It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AFT:

JUL 03, 202.

This stamp certifies compliance with the applic
Design Guidelines only and bears no furth
professional responsibility.

INTERNAL GARAGE WIDTH: INTERNAL GARAGE LENGTH: 5.79m GARAGE DOOR WIDTH:



REG PLAN No. 21T-110098Bb R1F-9.0-2452 LOT NUMBER LOT 148 LOT AREA(m)² 316.85 BLDG AREA(m)² N/A LOT COVERAGE(%) N/A No OF STOREYS MEAN HEIGHT(m) 8.27 PEAK HEIGHT(m) N/A 2 - 2.44mDECK LINE(m) N/A

BUILDING STATISTICS

FFE FINISHED FLOOR
ELEVATION
TFW TOP OF FOUNDATION
WALL BELL PEDESTAL CABLE PEDESTAL CATCH BASIN TOP OF BASEMENT SLAB USF UNDER SIDE FOOTING * ENGINEERED FILL USFR UNDER SIDE FOOTING & REAR HYDRO CONNECTION USFG UNDER SIDE FOOTING @
GARAGE
TEF TOP OF ENGINEERED
FILL FIRE HYDRANT STREET LIGHT MAIL BOX NUMBER OF RISERS TO GRADE TRANSFORMER SEWER CONNECTIONS 2 LOTS WOD WALKOUT DECK
LOB LCOKOUT BASEMENT SEWER CONNECTIONS I WOB WALK OUT BASEMENT WATER CONNECTION WATER VALVE CHAMBER HYDRANT AND VALVE REV REVERSE PLAN STD STANDARD PLAN DOOR HYDRO METER WINDOW H AIR CONDITIONING GAS METER MANHOLE - STORM DOWN SPOUT TO SPLASH PAD MANHOLE - SANITARY SWALE DIRECTION
SUMP PLIMP CHAINLINK FENCE __xx_ - PRIVACY FENCE

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

ISSUED OR REVISION COMMENTS				
НО	DESCRIPTION	DATE	DWN	CH
1.	ISSUED FOR PRE-SITE ONLY	JUN-05-19	-	
2	ISSUED FOR REVIEW	JUN-12-19	RP	DJ
3	ISSUED FINAL	JUN-19-19	RP	DJ
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				T

SOUND BARRIER

COURT RN DESIGN LTD.

8395 JANE STREET, SUITE 203 VAUGHAN, ONTARIO. L4K 5Y2 T:905-738-3177 | F: 905-738-5449

I. DANIEL HANNINEN DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3 2 + OF THE BUILDING CODE I AM QUALIFIED AND THE TIMEN IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 20888

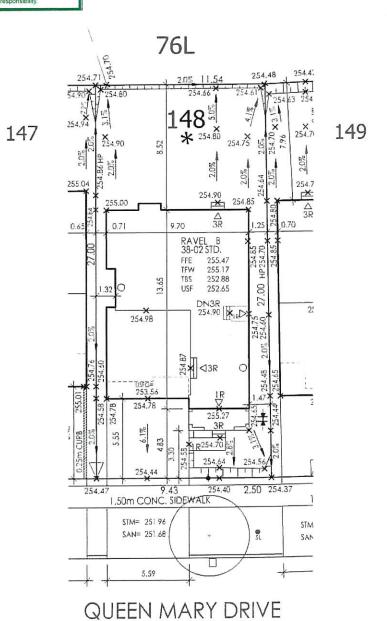
FIRM BCIN: DATE:

GOLD PARK HOMES

MCLAUGHLIN AND MAYFIELD-PH2 BRAMPTON, ON

SITE PLAN

DRAWN BY	SCALE
RP	1:250
PROJECT No	LOT NUMBER
13098-PH-2	LOT 148



URBANTECH NOTES:

No final utility location information at this time. Urbanlech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their frontages.

2) Builder to lower underside of foolings where adjacent to RLCB leads. Exact depth to be determined on sile during fooling excavation.

3) Builder to stake out driveway curb depressions at lime of curb installation

4) Builder to verify location of all hydronts, street lights, transformers and all other services. If min-dimensions are not maintained as per City standards, builder is to relocate at his own expense.

5) Builder to confirm service connection elevations and review for obsence of conflict prior to looting excavation

Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards

REVIEWED BY: MW DATE: TULZIA.



