

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

FOR CONTINUATION REFER TO STD. GROUND FL ELEV 'A' & 'B'

PARTIAL STD GROUND FL PLAN
CORNER UPGRADE ELEV. 'B'

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGNATION ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION 3.2.4 OF THE BUILDING ACT. THE FIRM IS REGISTERED IN ONTARIO.

PRELIMINARY-NOT
FOR CONSTRUCTION

DATEOUT

SIGNATURE:

client

Gold Park Homes

project

Mclaughlin and Mayfield

location

Brampton

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED CORNER UPGRADE ELEV 'B' ISSUE FOR REVIEW - STD GROUND FLOOR	13-JUN-19	DJH	DJH					



WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

model

38-9

scale

3/16" = 1'0"

project #

13098

page

A21

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

FOR CONTINUATION REFER TO OPT. GROUND FL ELEV 'A' & 'B'

PARTIAL OPT GROUND FL PLAN
CORNER UPGRADE ELEV. 'B'

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

I, **ARNOLD**, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THIS BUILDING ON BEHALF OF **RN DESIGN LTD.** UNDER DIRECT EMPLOYMENT. THE FIRM IS REGISTERED IN THE PROVINCE OF ONTARIO.

PRELIMINARY-NOT FOR CONSTRUCTION

DATEOUT

SIGNATURE:

client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield							
#	revisions	date	dwn	chk	#	revisions	date
1	ADDED CORNER UPGRADE ELEV 'B' ISSUE FOR REVIEW	29-MAR-19	LO	ES			

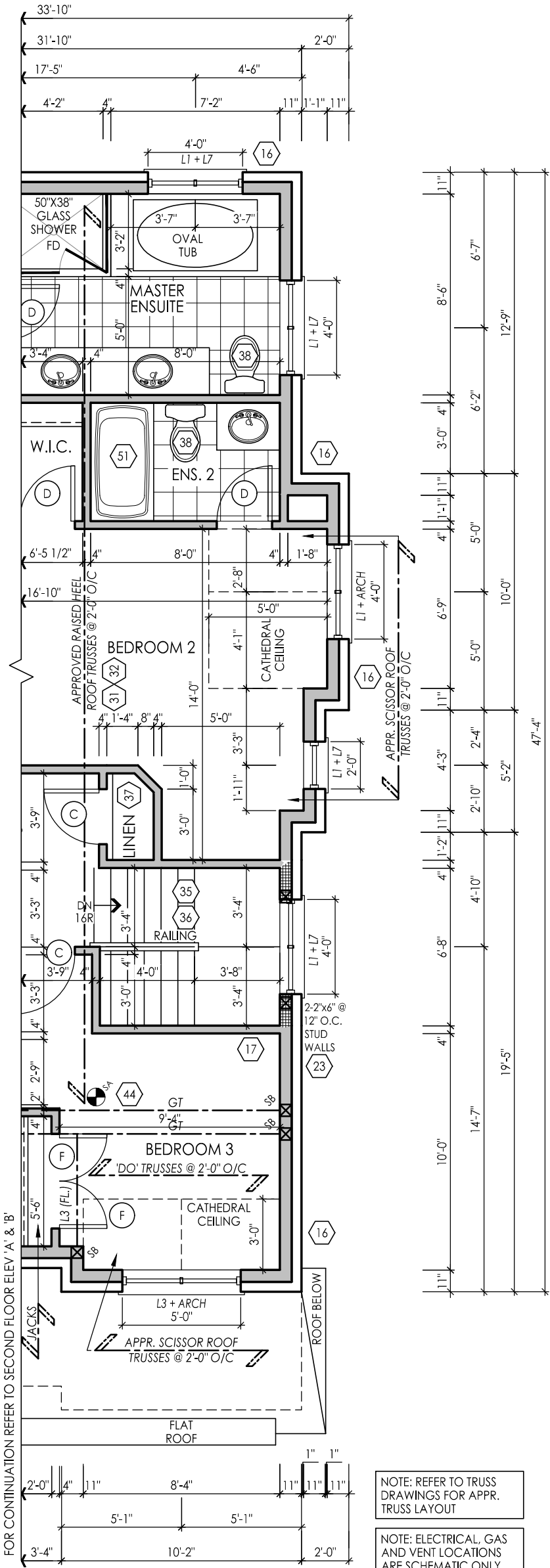


WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

model	38-9
scale	3/16" = 1'0"
project #	13098

page

A21A



PARTIAL SECOND FLOOR PLAN
CORNER UPGRADE ELEV. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION 3.2.4 OF THE BUILDING ACT. THE FIRM IS REGISTERED IN ONTARIO.

PRELIMINARY-NOT FOR CONSTRUCTION

DATEOUT

SIGNATURE:

client
Gold Park Homes
project
Mclaughlin and Mayfield
location
Brampton
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED CORNER UPGRADE ELEV 'B' ISSUE FOR REVIEW	29-MAR-19	LO	ES					



WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

model
38-9
scale
3/16" = 1'0"
project #
13098

page

A23

GROSS GLAZING AREA-ELEV 'B'-CORNER UPG

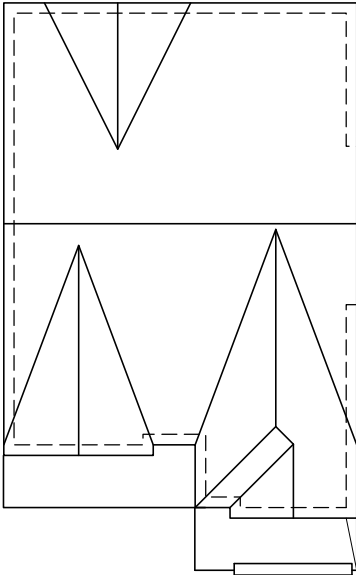
TOTAL PERIPHERAL WALL AREA	4254.57 SF	395.26 m²
FRONT GLAZING AREA	196.13 SF	18.22 m²
LEFT SIDE GLAZING AREA	0.00 SF	0.00 m²
RIGHT SIDE GLAZING AREA	194.28 SF	18.05 m²
REAR GLAZING AREA	209.00 SF	19.42 m²

TOTAL GLAZING AREA	599.42 SF	55.69 m²
TOTAL GLAZING PERCENTAGE	14.09 %	

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



ROOF PLAN ELEV. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

6"x20" DECOR. GABLE BRACKET DETAIL. (TYP.)

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

8" SELF SUPP. MOLDED PRECAST ARCH (TYP.) W/ CENTER KEYSTONE W/ 8" MOLDED PRECAST RETURNS

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

DECOR. PRECAST BRACKET DTL. (TYP.)

FACE BRICK (TYP.)

4"x8" PRECAST CONC. BAND (TYP.)

4"x4" PRECAST CONC. SILL (TYP.)

PREFIN METAL FLASHING W/ CAULKING TO MATCH (TYP.)

U/S OF BALCONY SOFFIT

1"x6" DECOR. ALUM. FRIEZE BOARD (TYP.)

8" MOLDED PRECAST SURROUND (TYP.)

3'-6" HIGH RAILING (TYP.)

TOP OF PIER CAP

2-8" DIA. FIBREGLASS POSTS ON 30"x16"x46" HIGH STONE PIER (TYP.) W/ 4" PRECAST CONC. CAP W/ 8" PRECAST CONC. BAND

TOP OF BALCONY

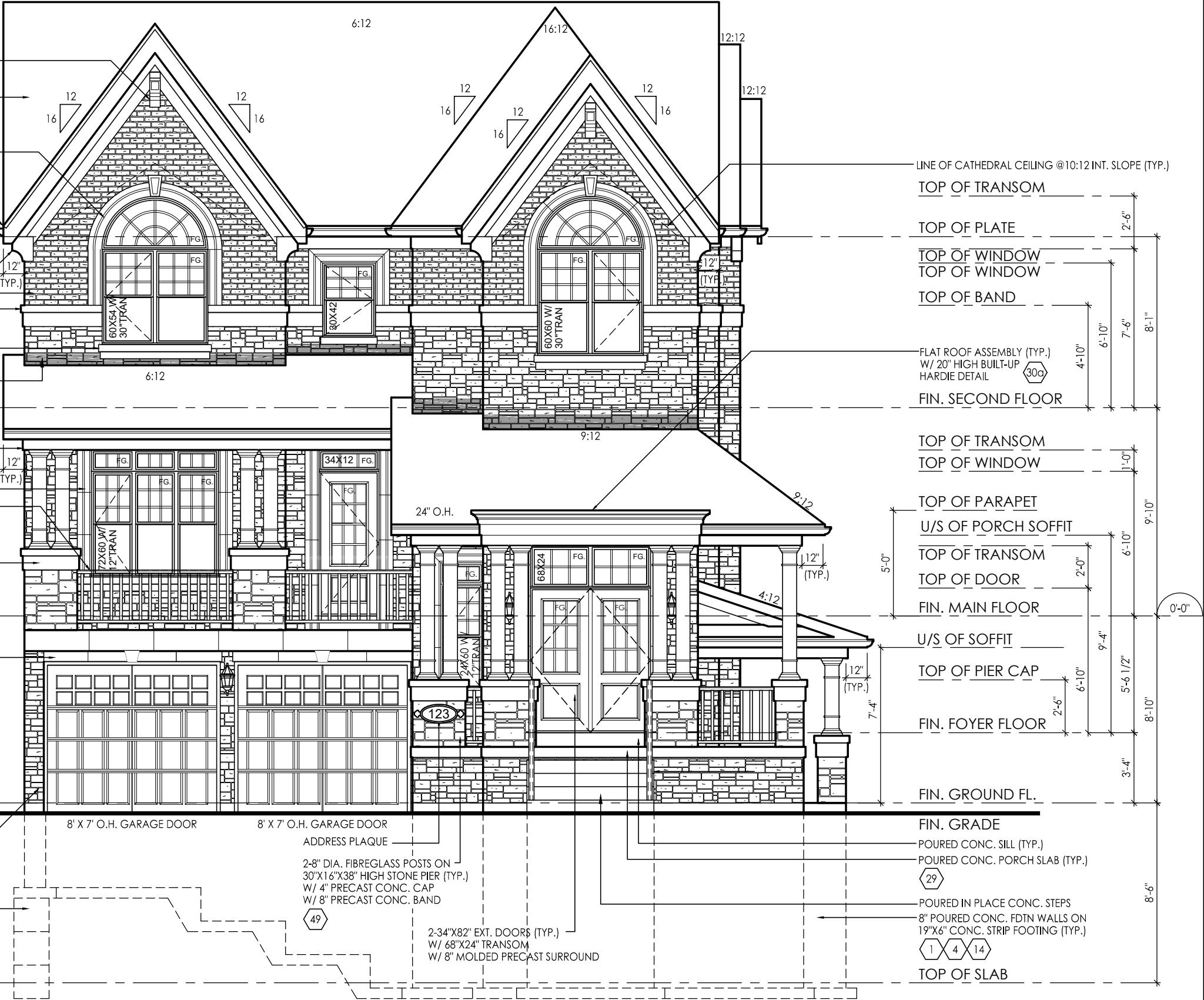
8" PRECAST HEADER (TYP.) W/ CENTER KEYSTONE

FIN. GROUND FLOOR

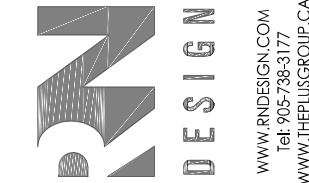
FIN. GRADE
STONE VENEER (TYP.)

U/S OF FOOTING
STEPPED FOOTING (TYP.)

TOP OF SLAB



FRONT ELEVATION 'B'
CORNER UPGRADE



client	Gold Park Homes	location	Brampton
project	Mclaughlin and Mayfield	marking name	
#	1	revisions	date dwn chk
1	ADDED CORNER UPGRADE ELEV 'B' ISSUE FOR REVIEW	28-MAR-19	LO ES

I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGNATION ON BEHALF OF N2 DESIGN LTD. UNDER THE BUILDING ACT, 1998, SECTION 3.2.4 OF THE BUILDING ACT, 1998, THE FIRM IS REGISTERED IN THE PROVINCE OF ONTARIO.

PRELIMINARY-NOT FOR CONSTRUCTION

DATEOUT

SIGNATURE: _____

model 38-9
scale 3/16" = 1'0"
page

A24

File: C:\N2\Standards\Temp\A\Public\3824\13098-38-FINAL\Legd Plot.dwg Jun 13, 2019 by: DJH

