



FRONT ELEVATION STYLE 'A'



FRONT ELEVATION STYLE 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 OPT. GROUND FL. ELEV. 'A' & 'B'
- A4 MAIN FLOOR ELEV. 'A'
- A5 SECOND FLOOR ELEV. 'A'
- A6 OPT. SECOND FLOOR ELEV. 'A'
- A7 PART. GROUND FLOOR ELEV. 'B'
- A8 PART. SECOND FLOOR ELEV. 'B'
- A9 FRONT ELEVATION 'A'
- A10 RIGHT SIDE ELEVATION 'A'
- A11 REAR ELEVATION 'A' & 'B'
- A12 LEFT SIDE ELEVATION 'A'
- A13 FRONT ELEVATION 'B'
- A14 RIGHT SIDE ELEVATION 'B'
- A15 LEFT SIDE ELEVATION 'B'
- A16 TYPICAL CROSS SECTION - 3 STOREY (BRICK)
- A17 PARTIAL OPT. GROUND FLOOR WOD/LOB CONDITION
- A18 PARTIAL BASEMENT FLOOR WOD CONDITION
- A19 PARTIAL REAR ELEVATION WOD CONDITION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

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Areas:

		ELEVATION 'A'		ELEVATION 'B'	
		SF	SM	SF	SM
GROUND FLOOR	(0)	139.0	12.9	139.0	12.9
MAIN FLOOR	(0) (1)	1407.4	130.7	1412.3	131.2
SECOND FLOOR	(0) (1)	1400.5	130.1	1412.3	131.2
TOTAL AREA (0)		2946.9	273.8	2963.6	275.3
OPT. GROUND FL.	(1)	785.9	73.0	785.9	73.0
TOTAL AREA (1)		3593.8	333.9	3610.5	335.4
COVERAGE INC PORCH		1523.2	141.5	1479.9	137.5
COVERAGE NOT INC PORCH		1455.6	135.2	1412.3	131.2

Gold Park Homes
McLaughlin and
Mayfield
The Schubert

9	REVISED AREA CHART AS PER CLIENT COMMENTS	9/15/2015	CR	CR	13	REVISED AS PER OBC SB-12 2017 UPDATE	3/29/2017	ES	ES
10	REVISED COFFERED CLO'S - DINING ROOM STD. & LIVING ROOM OPT.	9/17/2015	CR	CR					
11	ISSUED FOR CONSTRUCTION	17-Sep-15	ci	djh					
12	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP					

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN: 38688 26995 MAY 19/16

SIGNATURE:

J.P.

Client Gold Park Homes

location Brampton

project McLaughlin and Mayfield

marketing name The Schubert

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4-Jul-14	KK	RPA	5	REVISED AS PER ENGINEERING COMMA.	27-May-15	RPA	DJH
2	REVISED AS PER ARCH. CONTROL COMMA.	25-Aug-14	RPA	DJH	6	ISSUED FOR PERMIT	6/16/2015	RPA	DJH
3	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJH	7	REVISED BREAKFAST BAR NOTATION TO STATE FLUSH	3-Sep-15	ci	ci
4	REVISED AS PER FLR. COORDINATION	27-Aug-14	RPA	DJH	8	REVISED AS PER STRUCTURAL ENGINEER'S COMMENTS	15-Sep-15	ci	ci

RN design
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model 38-7

scale 3/16" = 1'0"

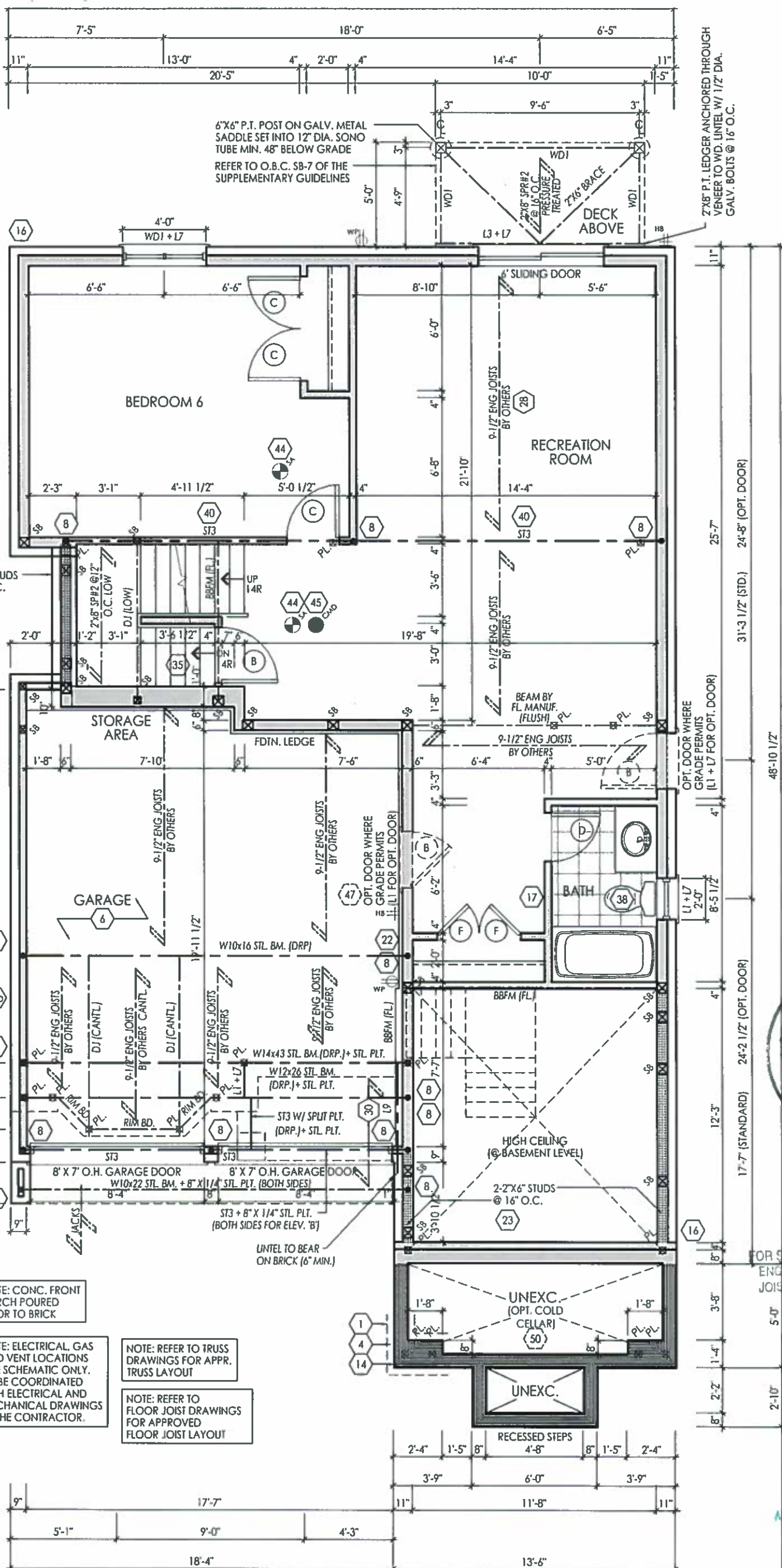
project # 13098

page

A0

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

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MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSSES, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

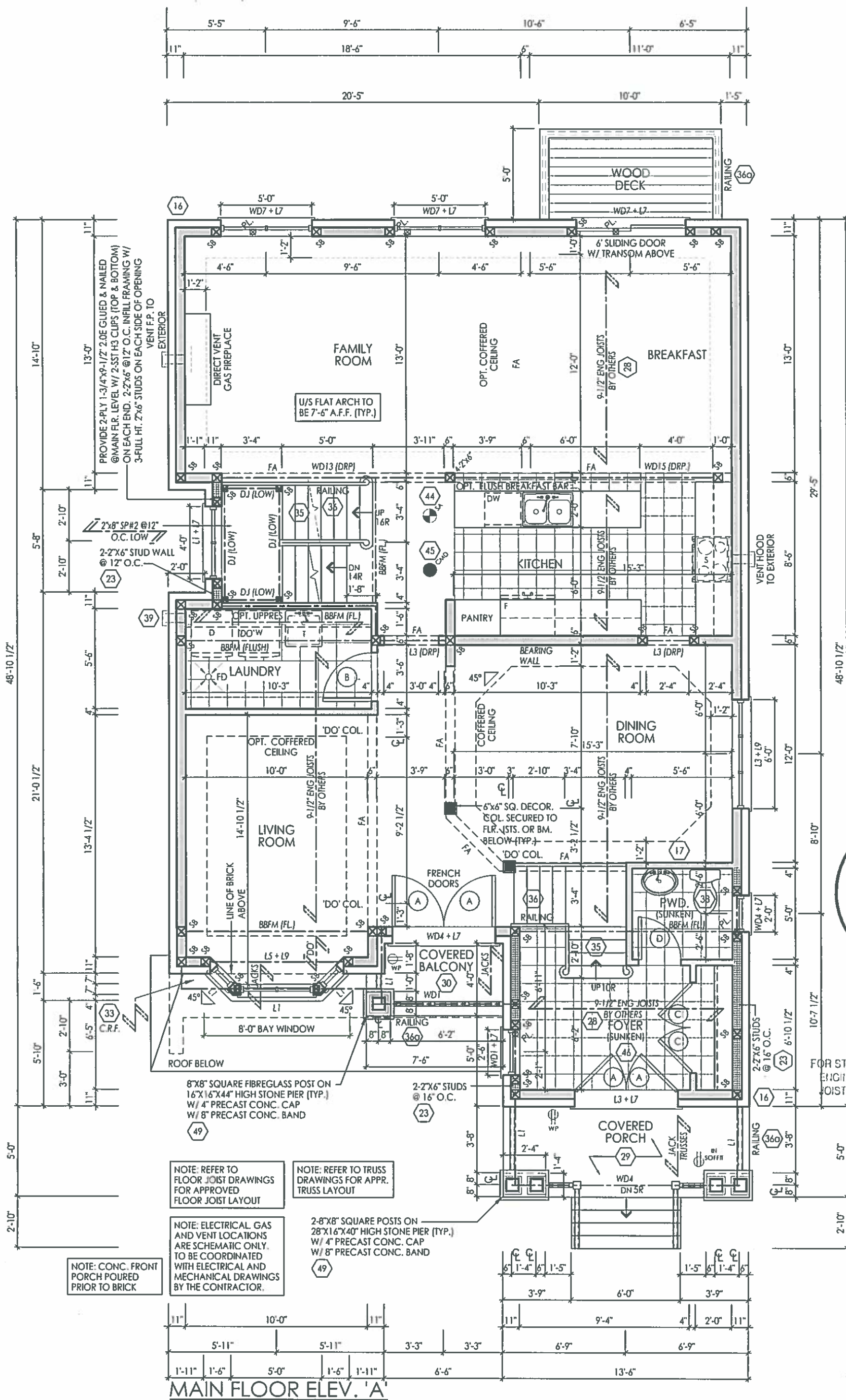
client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield				The Schubert			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	4-Jul-14	KK	RPA	5	REVISED AS PER STRUCTURAL ENGINEER'S COMMENTS - NOTES CUT-OFF	15-Sep-15
2	REVISED AS PER FLR. COORDINATION.	27-Aug-14	RPA	DJH	6	ISSUED FOR CONSTRUCTION	17-Sep-15
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJH	7	REVISED AS PER CLIENT COMMENTS - COLD CELLAR WALL / NEW BATH LAYOUT	1/14/2016
4	REVISED FOR PERMIT	4/16/2015	RPA	DJH	8	REVISED AS PER CBC 12.2017 UPDATE	3/29/2017

ARN design
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model 38-7
scale 3/16" = 1'0"
project # 13098

page
A3



MAY 01, 2017

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Gold Park Homes
project
McLaughlin and Mayfield

location
Brampton
marketing name
The Schubert

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
2	REVISED AS PER FLR. COORDINATION.	27-Aug-14	RPA	DJH	6	REVISED AS PER STRUCTURAL ENGINEER'S COMMENTS - DBL VOL STUD FRAMING NOTE	15-Sep-15	cr	cr
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJH	7	REVISED COFFERED CLG'S - DINING ROOM SID. & LIVING ROOM OPT.	9/17/2015	cr	cr
4	ISSUED FOR PERMIT	4/16/2015	RPA	DJH	8	ISSUED FOR CONSTRUCTION	9/17/2015	CR	CR
5	REVISED BREAKFAST BAR NOTATION TO	3-Sep-15	CR	CR	9	THE MATCH ADDED TO BREAKFAST AREA	16-Nov-16	kn	kn

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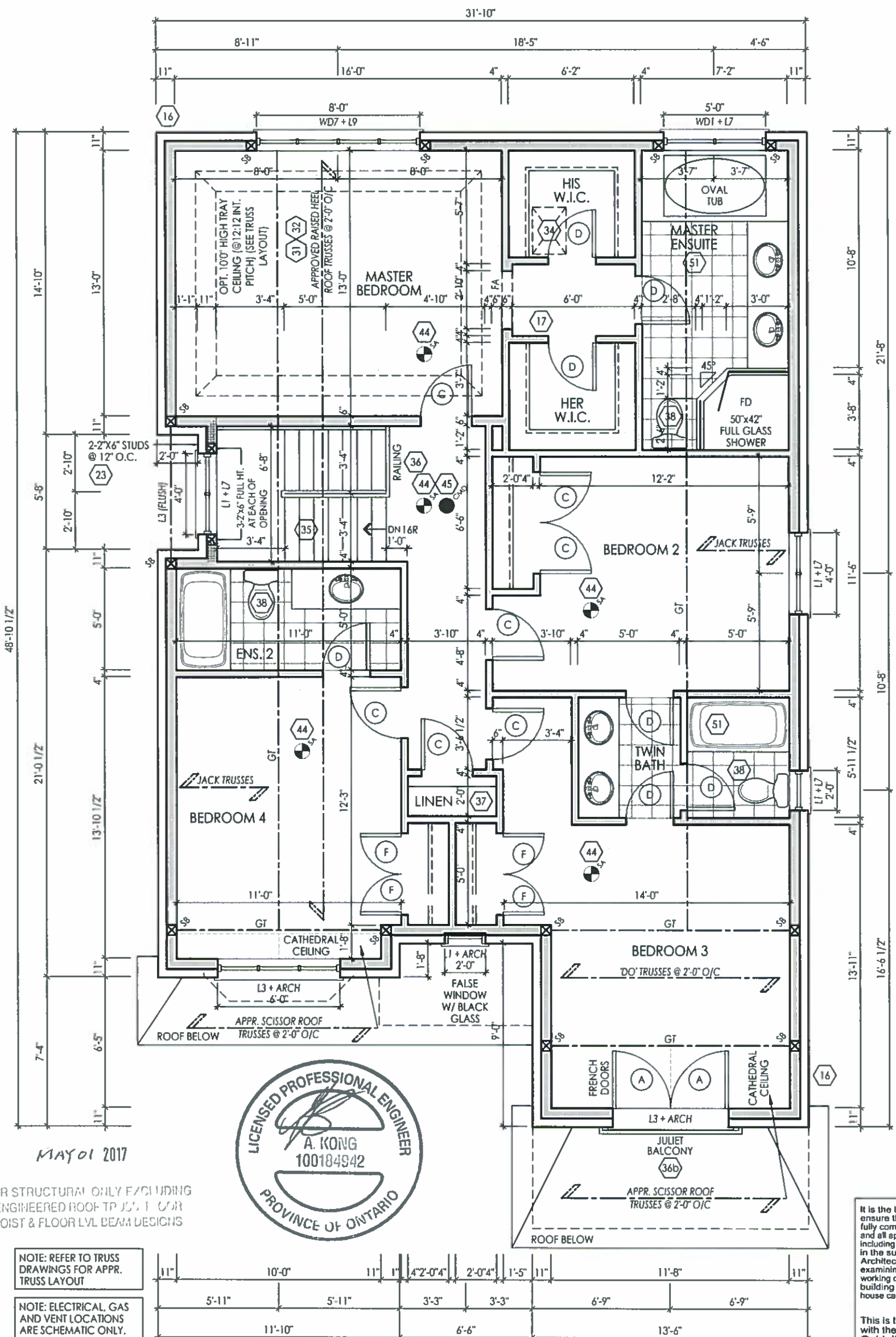
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38-7
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13098

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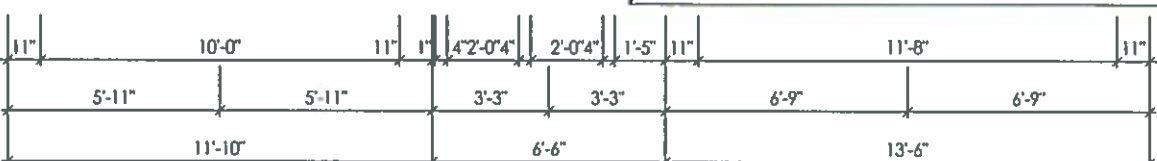
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NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.



SECOND FLOOR ELEV. 'A'

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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

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OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Schubert

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	7/4/2014	lk	rpa	5	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	djh
2	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJI	6				
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJI	7				
4	ISSUED FOR PERMIT	21-JUN-2015	RPA	DJI	8				

RN design
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model
38-7

scale
3/16" = 1'0"

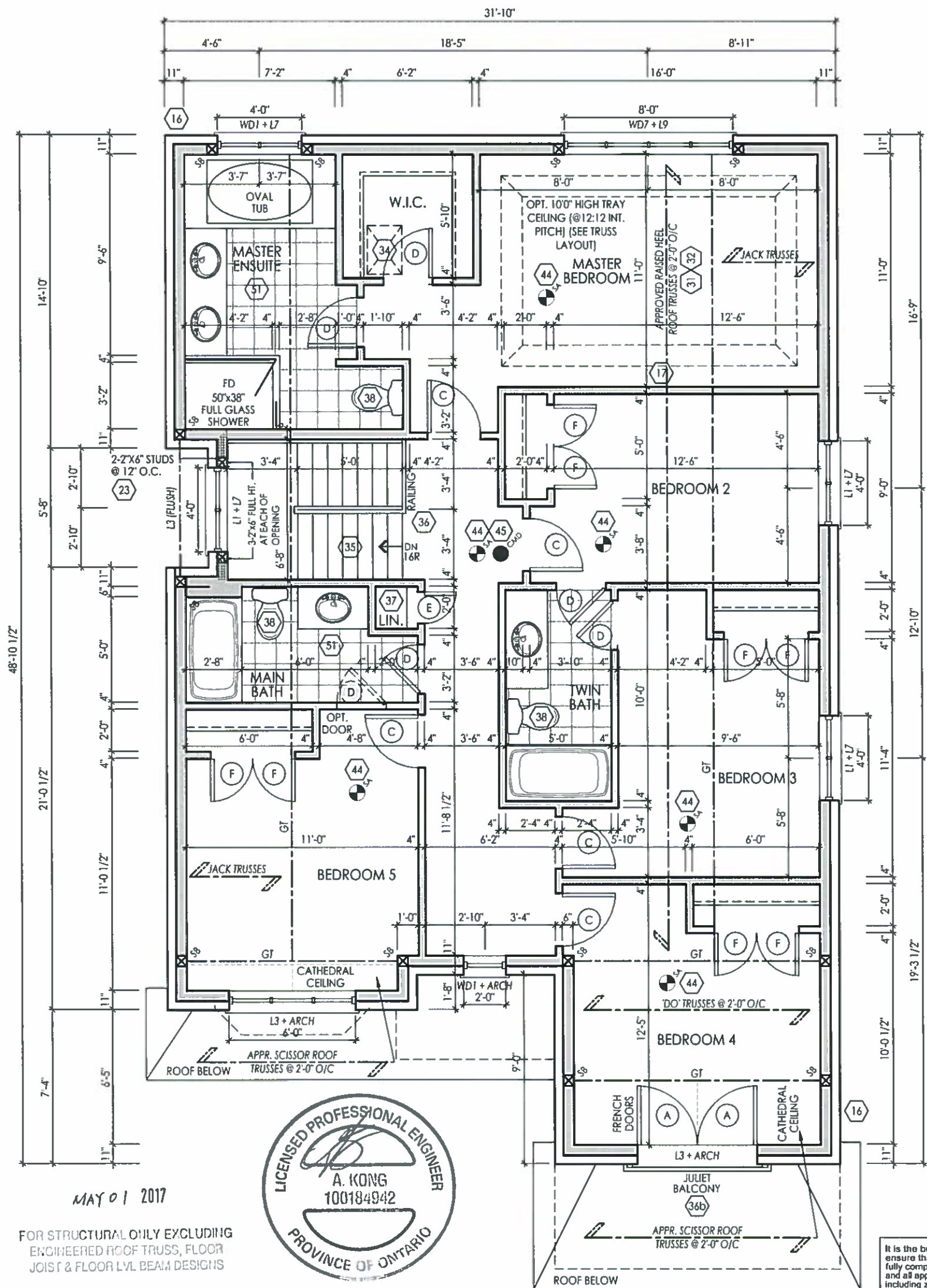
project #
13098

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A5

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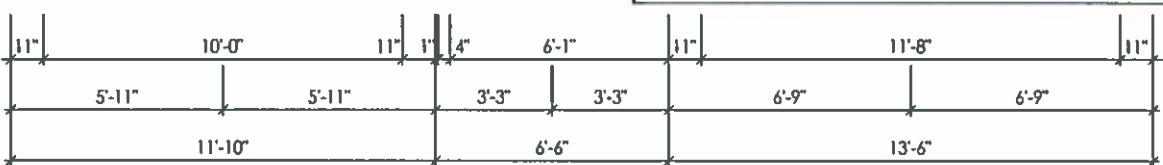
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NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: ELECTRICAL, GAS
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OPT. SECOND FLOOR ELEV. 'A'

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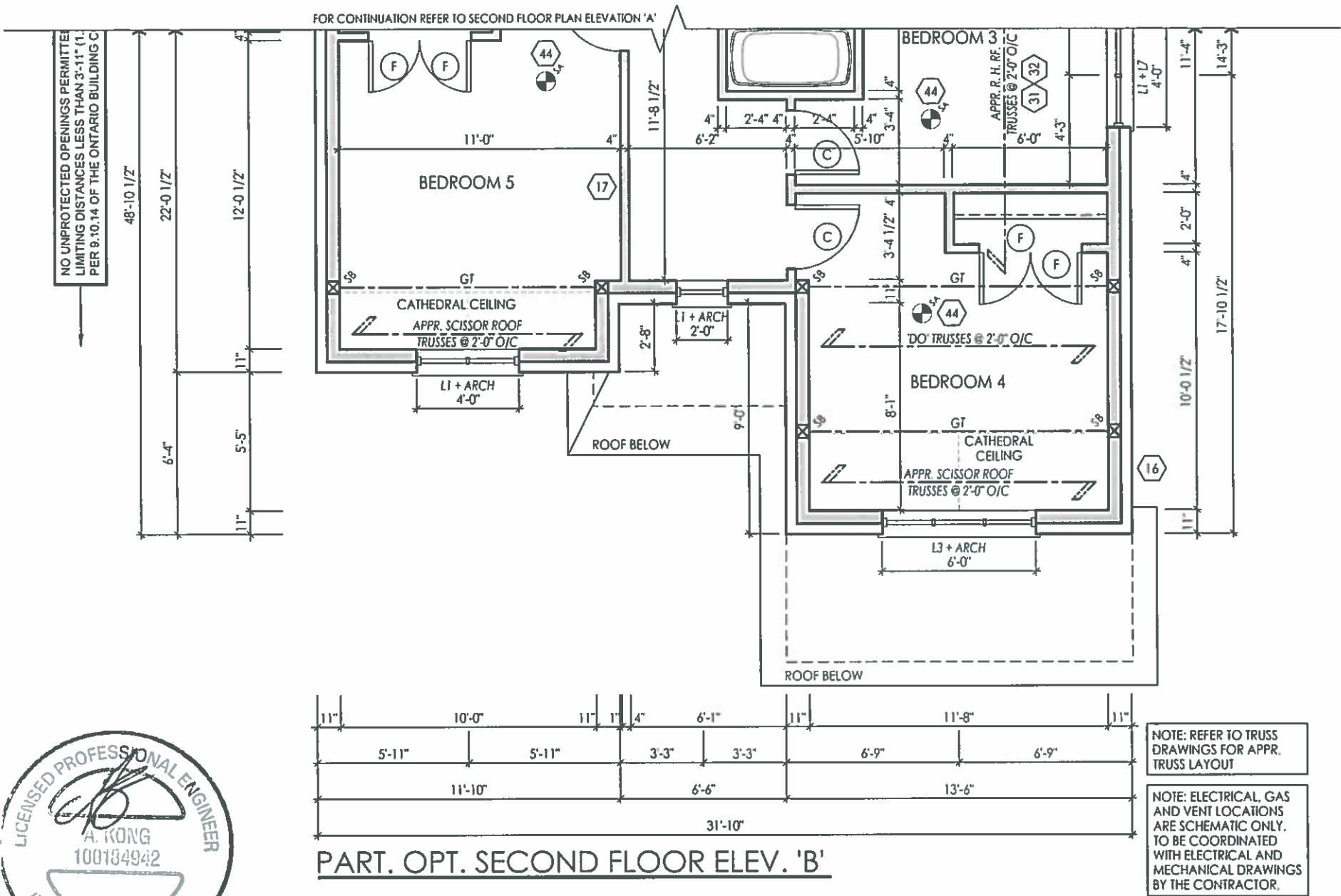
client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Schubert				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	7/14/2014	lt	rpa	5	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	djh
2	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJH	6				
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJH	7				
4	ISSUED FOR PERMIT	APR/2015	RPA	DJH	8				

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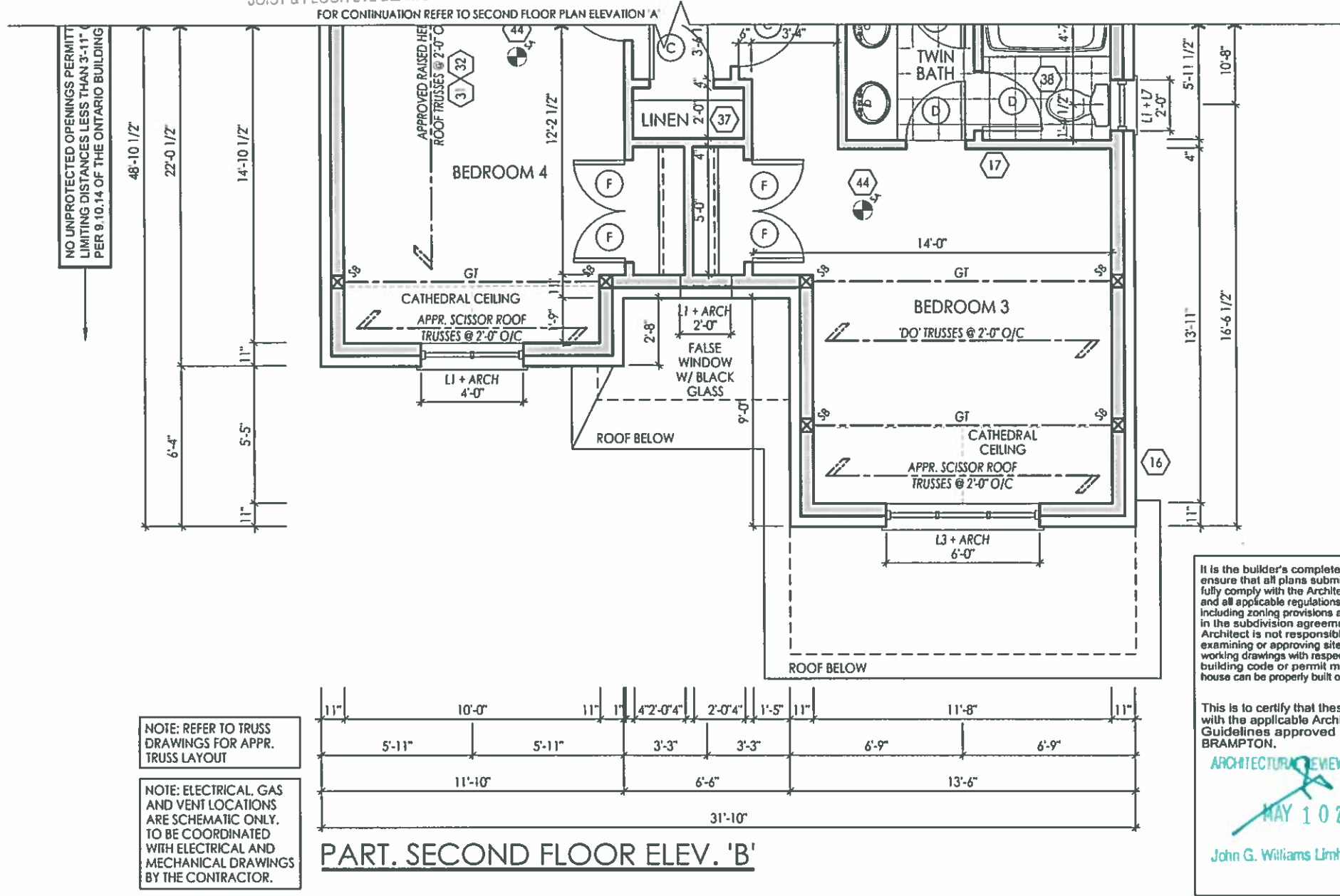
model
38-7
scale
3/16" = 1'0"
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13098

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A6



MAY 01 2017

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client Gold Park Homes				location Brampton			
project McLaughlin and Mayfield				marketing name The Schubert			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	7/4/2014	11	ipa	5	REVISED COFFERED CLG'S - DINING ROOM STD. & LIVING ROOM OPT	9/17/2015
2	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJH	6	ISSUED FOR CONSTRUCTION	17-Sep-15
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJH	7		
4	REVISED FOR PERMIT	1/11/2015	RPA	DJH	8		



model
38-7

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3/16" = 1'-0"

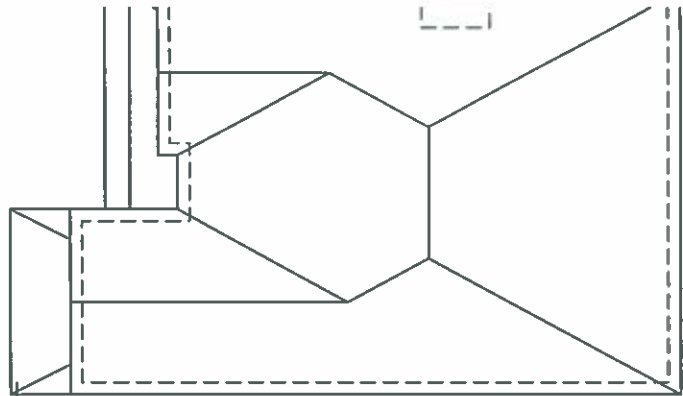
project #
13098

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A8

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SP@ 24" O.C. WITH A 2"x4" SP@ VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.



- #210 SELF SEALING ASPHALT SHINGLES w/ FLASHING AT VALEYS (TYP.)
- 12" SELF SUPP. PRECAST ARCH (TYP.) w/ CENTER KEYSTONE
- 72"x20" EXT. ARCH TRANSOM (TYP.)
- 12" PRECAST RETURNS (TYP.)
- PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)
- 1"x6" DECOR. ALUM. FRIEZE BOARD (TYP.)
- 12" PRECAST CONC. BAND (TYP.)
- 8" PRECAST SURROUND (TYP.)
- FACE BRICK (TYP.)
- PRECAST CONC. SILL (TYP.)
- PAINTED MIL. FLASHING (TYP.) w/ CAULKING TO MATCH

- U/S OF DECK SOFFIT
- 3'-6" HIGH RAILING (TYP.)
- 8"x8" SQUARE POST ON 16"x16"x44" HIGH STONE PIER (TYP.) w/ 4" PRECAST CONC. CAP w/ 8" PRECAST CONC. BAND
- U/S OF GARAGE SOFFIT
- 8" PRECAST HEADER (TYP.) w/ CENTER KEYSTONE

- STONE VENEER (TYP.) w/ MIL. FLASHING BEHIND
- U/S OF FOOTING
- STEPPED FOOTING (TYP.)

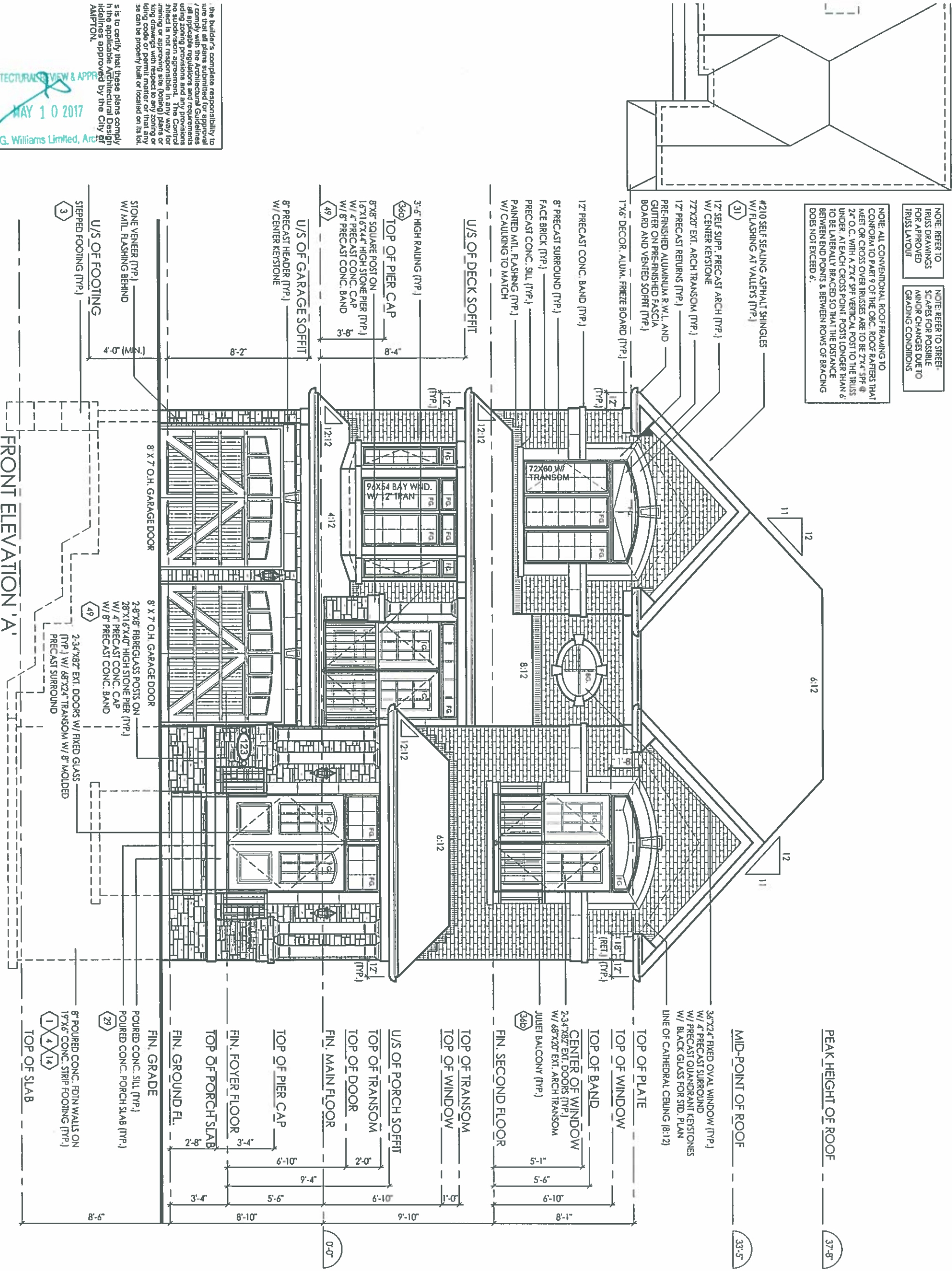
the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions the subdivision agreement. The Council shall not be responsible for any delay or change in the construction schedule or any other drawings with respect to any zoning or building code or permit matter or that any use can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE: *[Signature]*

client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Schubert				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	7/1/2014	tk	rpa	5				
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4									



model 38-7

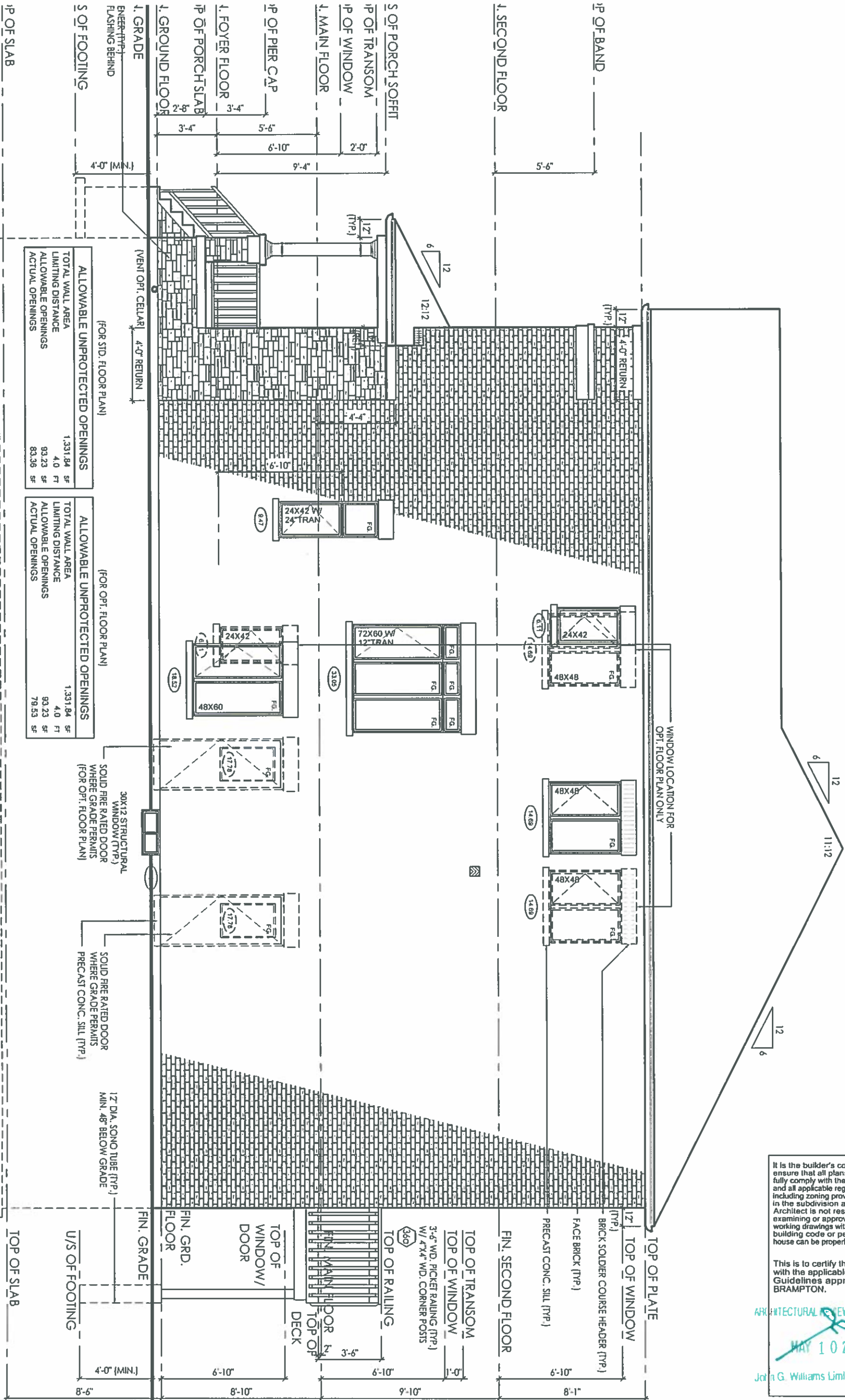
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RIGHT SIDE ELEVATION 'A'



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model
38-7

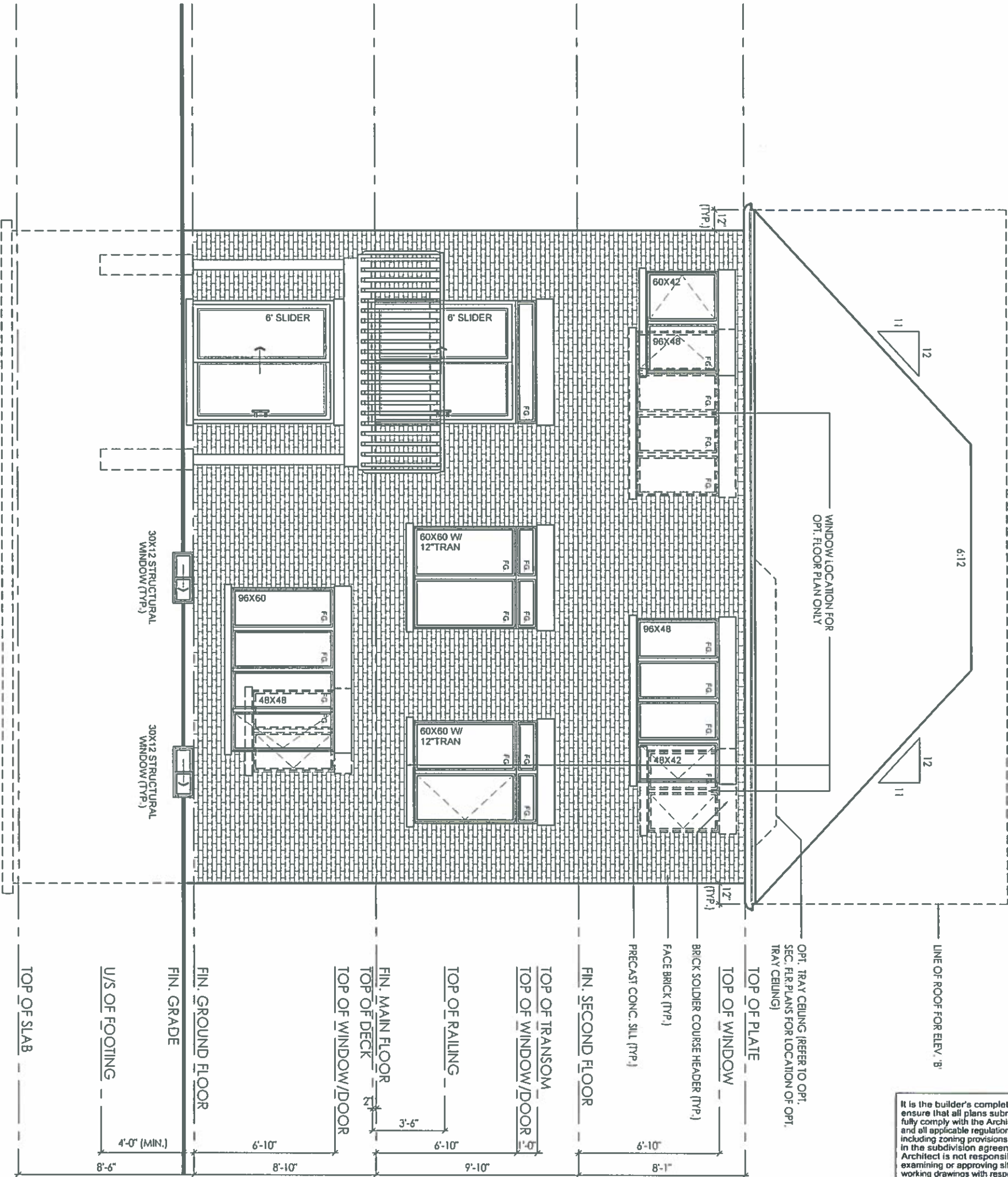
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A10

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page

A11

OPT. TRAY CEILING (REFER TO OPT. SEC. FLOOR PLANS FOR LOCATION OF OPT. TRAY CEILING)

12
6

11:12

12
6

11:12

11:12

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TOP OF PLATE

TOP OF BAND

FACE BRICK (TYP.)

FIN. SECOND FLOOR

U/S OF DECK SOFFIT

TOP OF TRANSOM

TOP OF WINDOW

U/S OF PORCH SOFFIT

TOP OF PIER CAP

STONE VENEER (TYP.)
W/ MTL. FLASHING BEHIND

FIN. MAIN FLOOR

U/S OF GARAGE SOFFIT

TOP OF PIER CAP

FIN. FOYER FLOOR

TOP OF PORCH SLAB

FIN. GROUND FL.

FIN. GRADE

CHECK FDN. WALL
6" BELOW GRADE

U/S OF FOOTING

STEPPED FOOTING (TYP.)

TOP OF SLAB

LEFT SIDE ELEVATION 'A'

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,152.95 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	80.71 SF
ACTUAL OPENINGS	25.55 SF

NOTE: WINDOWS AT STAIR TO COMPLY TO 9.4.4 OF THE ONTARIO BUILDING CODE

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

6'-5" RETURN

4'-0" (MIN.)

8'-6"

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FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

location
Brampton

project
McLaughlin and Mayfield

marketing name
The Schubert

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	7/4/2014	kk	tpa	5				
2	ISSUED FOR PERMIT	6/16/2015	RPA	DJH	6				
3	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	dph	7				
4					8				

RN design
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model
38-7

scale
3/16" = 1'0"

project #
13098

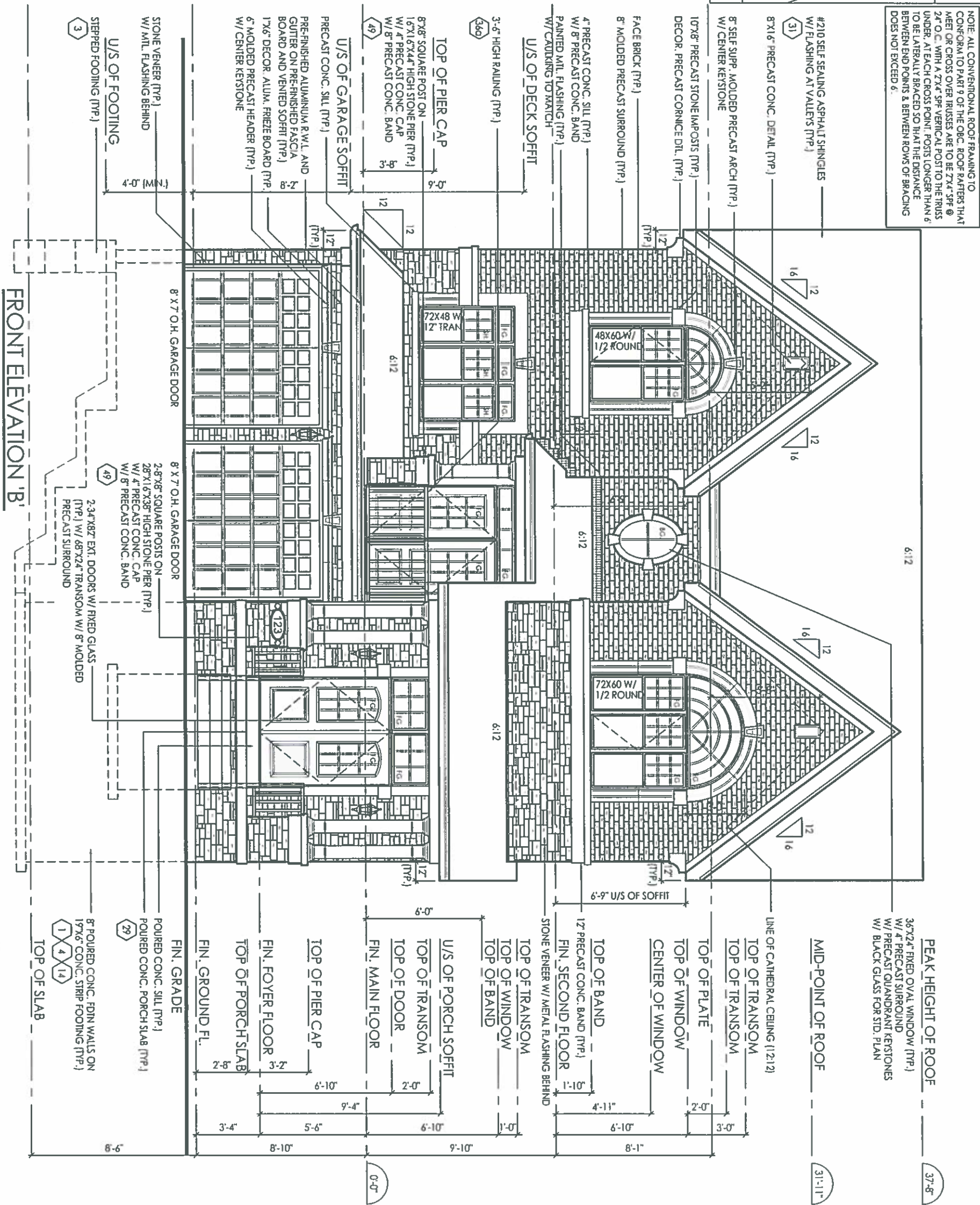
page

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is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of AMPTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect



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FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client Gold Park Homes

project McLaughlin and Mayfield

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1	ISSUED FOR CLIENT REVIEW	7/14/2014	tk	rpa	5				
2	REVISED AS PER ARCH. CONTROL COMM.	25-Aug-14	RPA	DJM	6				
3	ISSUED FOR PERMIT	6/16/2015	RPA	DJM	7				
4	ISSUED FOR CONSTRUCTION	12-Sep-15	rv	rdh	8				

location Brampton

marketing name The Schubert

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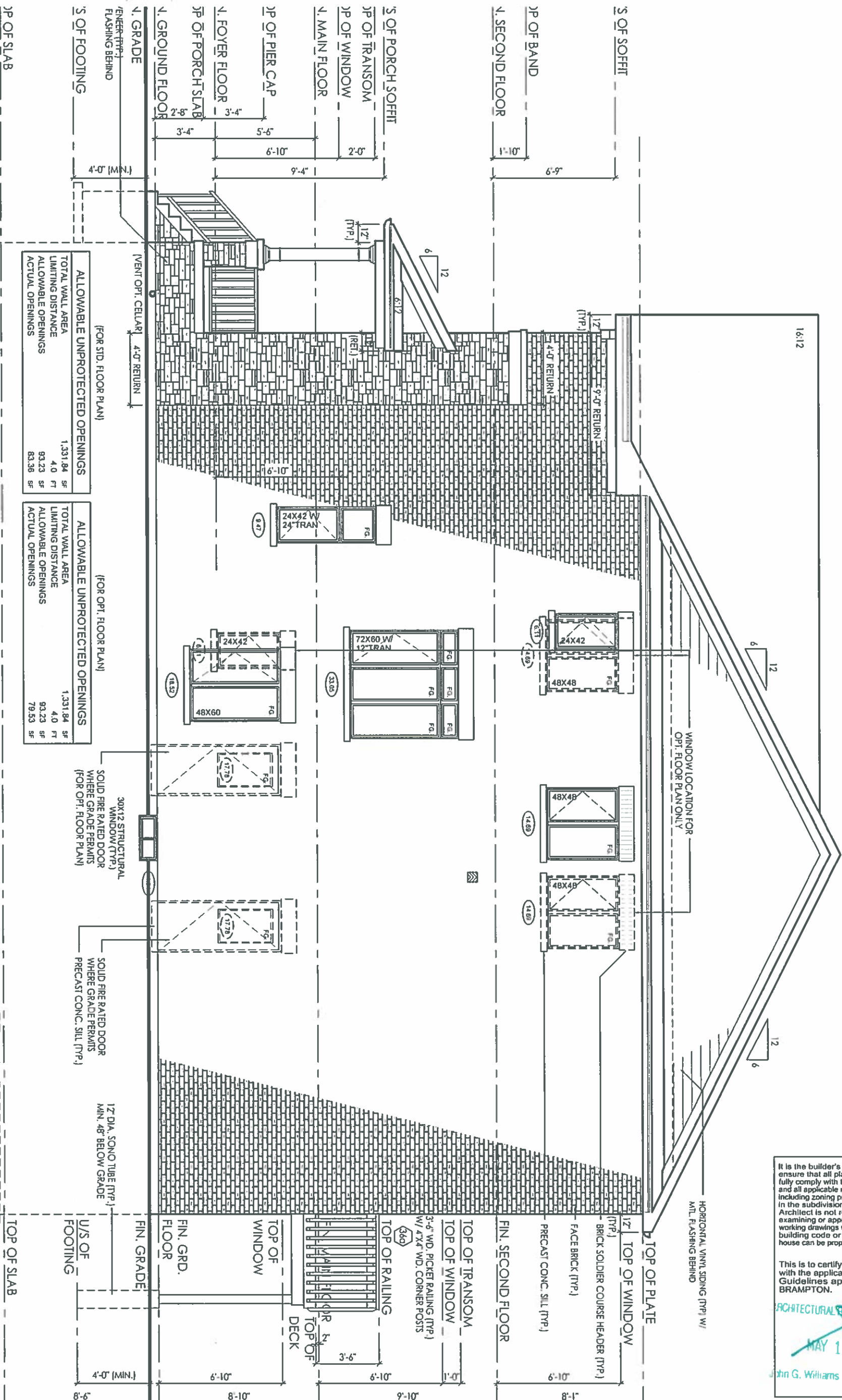
model 38-7

scale 3/16" = 1'0"

project # 13098

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE: *[Signature]*

client Gold Park Homes					location Brampton				
project McLaughlin and Mayfield					marketing name The Schubert				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	7/4/2014	kk	rpa	5				
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3	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	dji	7				



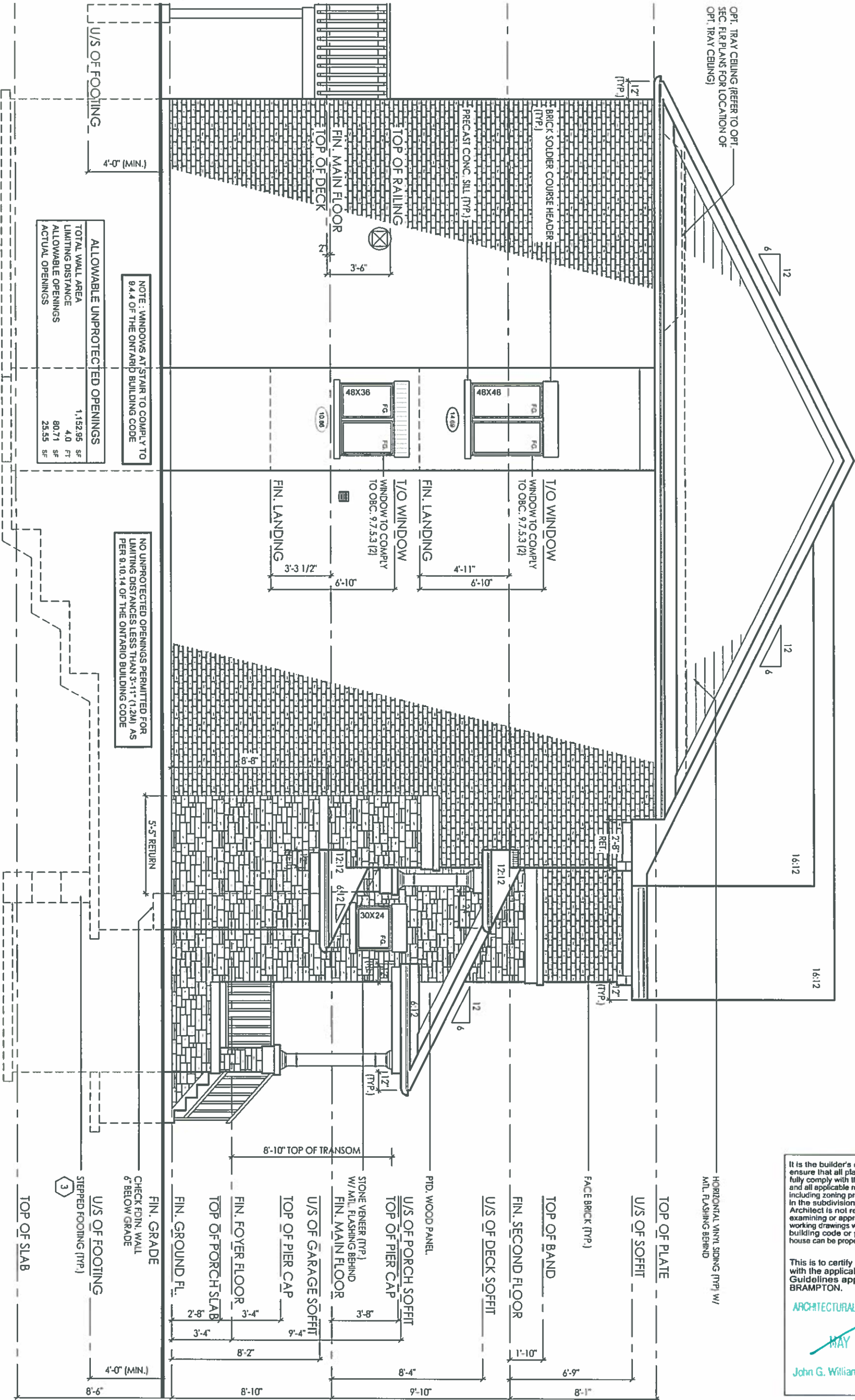
model
38-7

scale
3/16" = 1'0"

project #
13098

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LEFT SIDE ELEVATION 'B'



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project McLaughlin and Mayfield				marketing name The Schubert			
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4	ISSUED FOR CONSTRUCTION	12-Sep-15	lt	dh	8		

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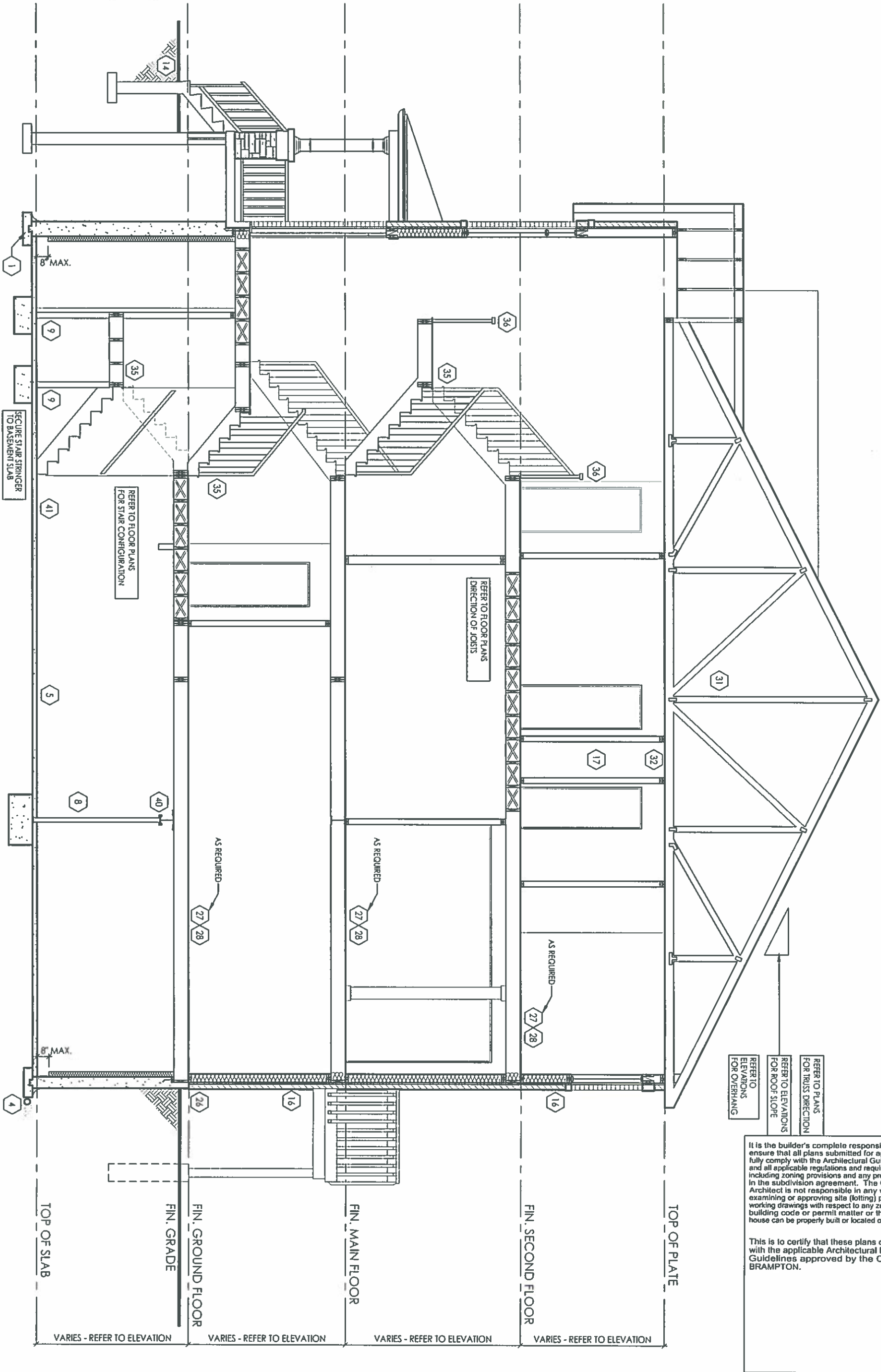


model
38-7
scale
3/16" = 1'0"
project #
13098

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TYPICAL CROSS SECTION - 3 STOREY (BRICK)
N.T.S.



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project McLaughlin and Mayfield					marketing name The Schubert				
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4									



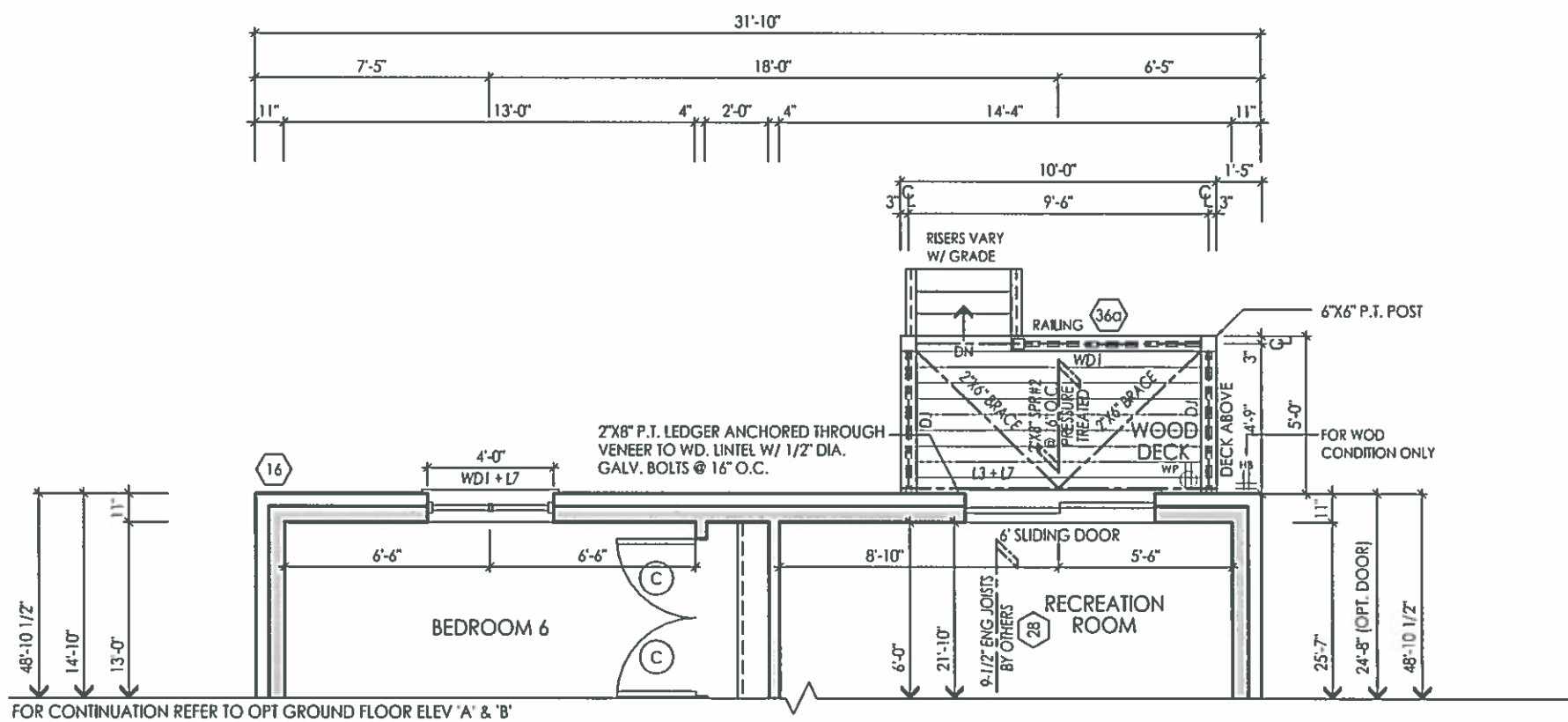
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38-7

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3/16" = 1'0"

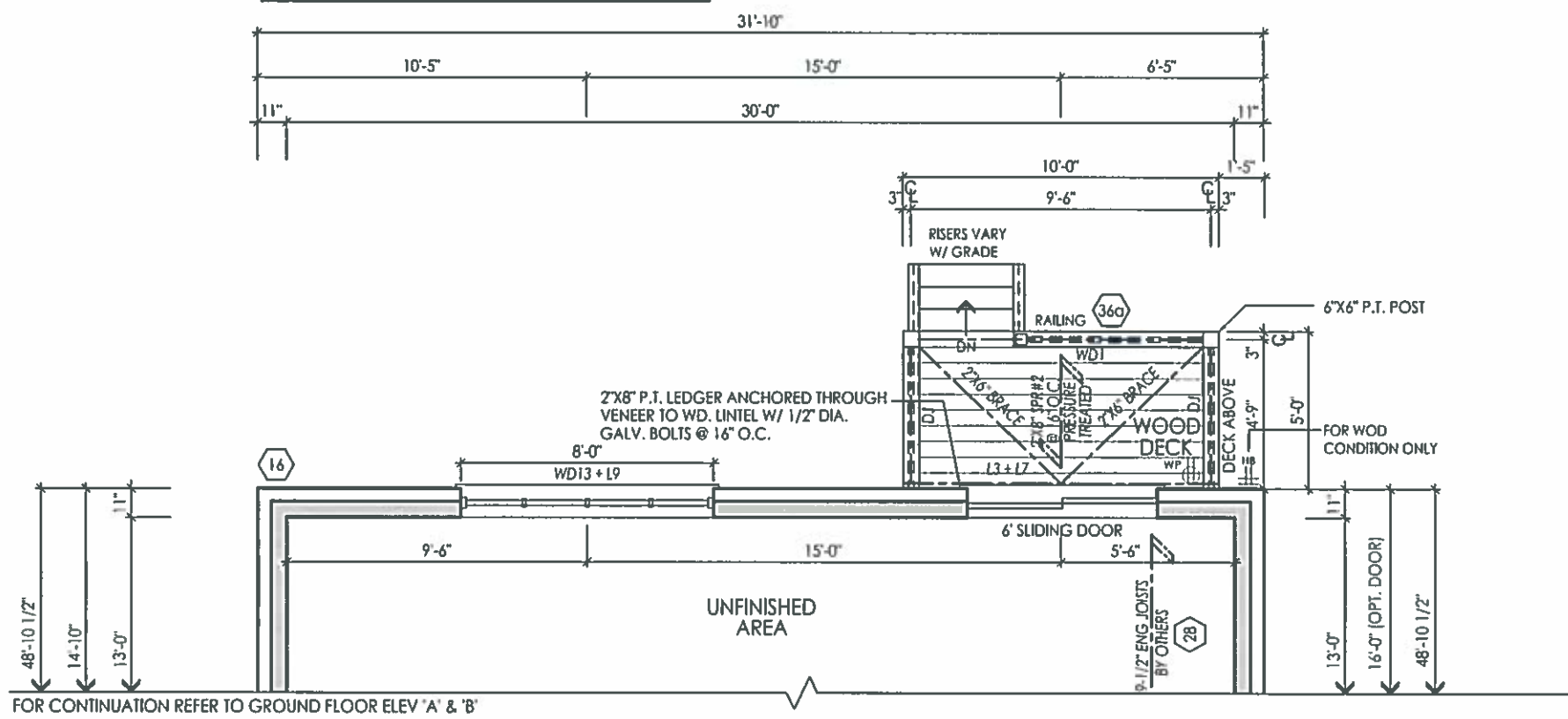
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13098

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PARTIAL OPT. GROUND FLOOR
WOD/LOB CONDITION



PARTIAL GROUND FLOOR
WOD/LOB CONDITION



MAY 01 2017

FOR STRUCTURAL CONSULTING
ENGINEERED ROOF TRUSS
JOIST & FLOOR LVL. BEAM DESIGN

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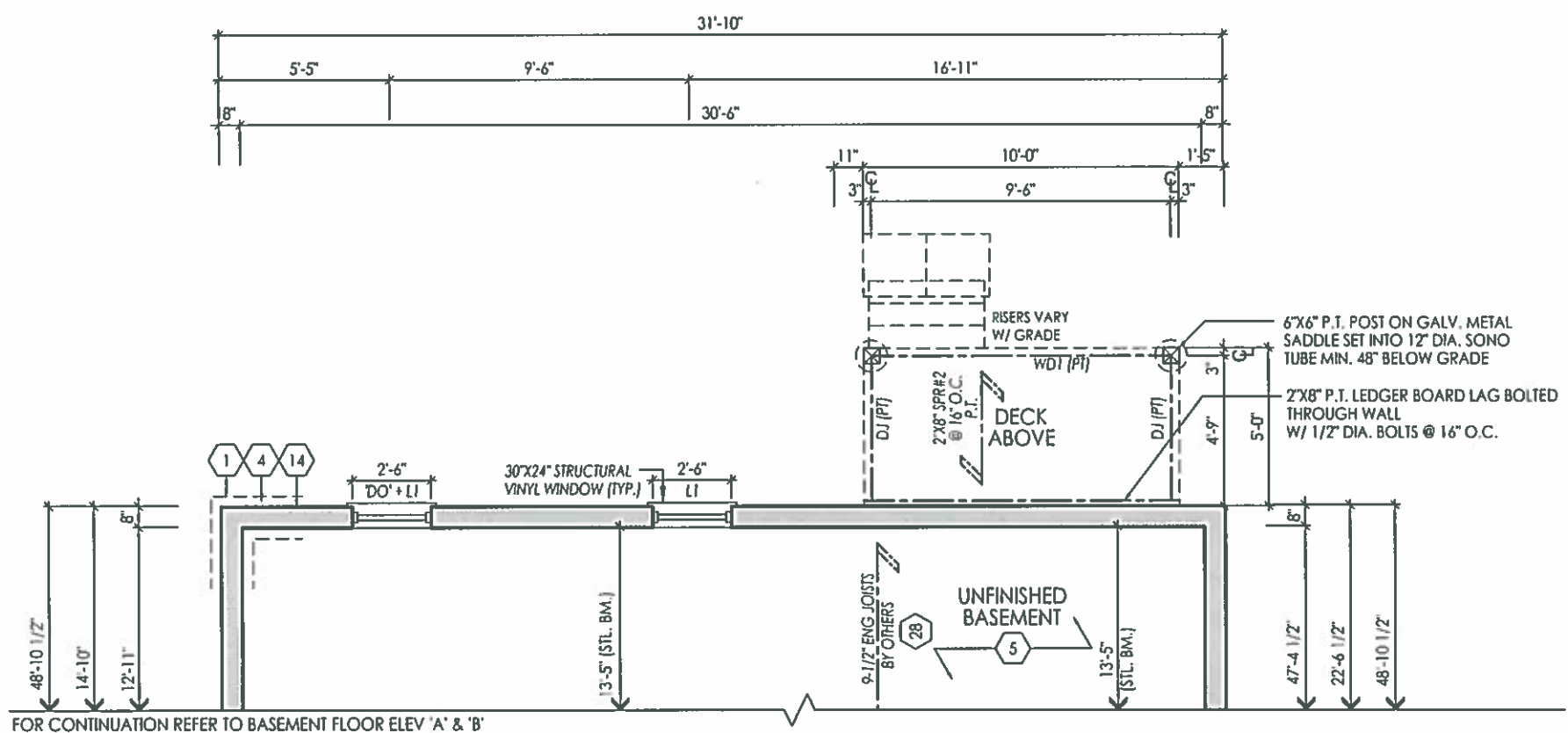
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DATE: MAY 19/16
SIGNATURE:

client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Schubert				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD/LOB CONDITIONS	12-May-16	JR	JP	5				
2					6				
3					7				
4					8				

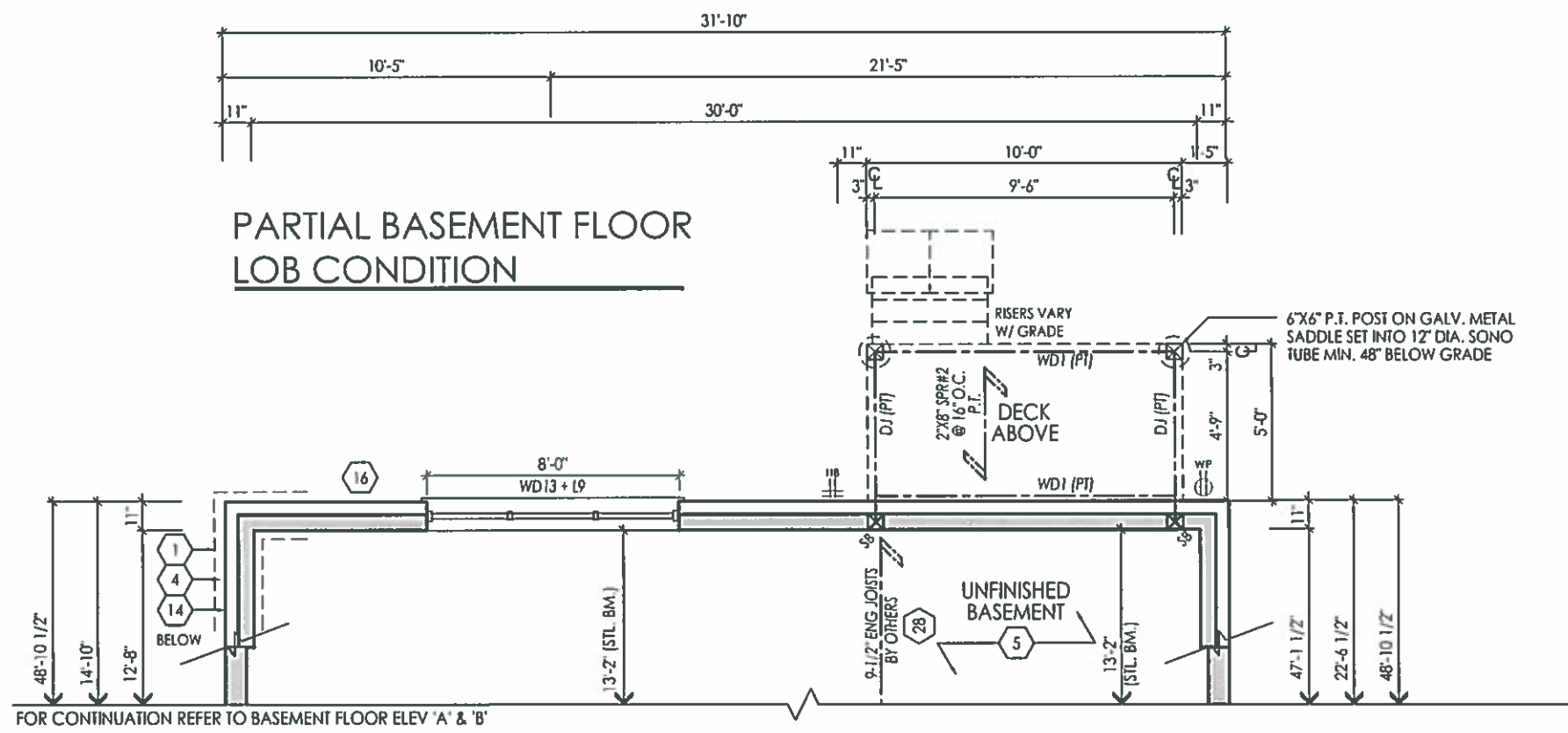


model 38-7
scale 3/16" = 1'0"
project # 13098
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PARTIAL BASEMENT FLOOR
WOD CONDITION



PARTIAL BASEMENT FLOOR
LOB CONDITION



MAY 01 2017

FOR STRUCTURAL ANALYSIS INCLUDING
ENGINEERED ROOF, FLOOR, CEILING
JOIST & FLOOR LVL DESIGNATIONS

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marketing name
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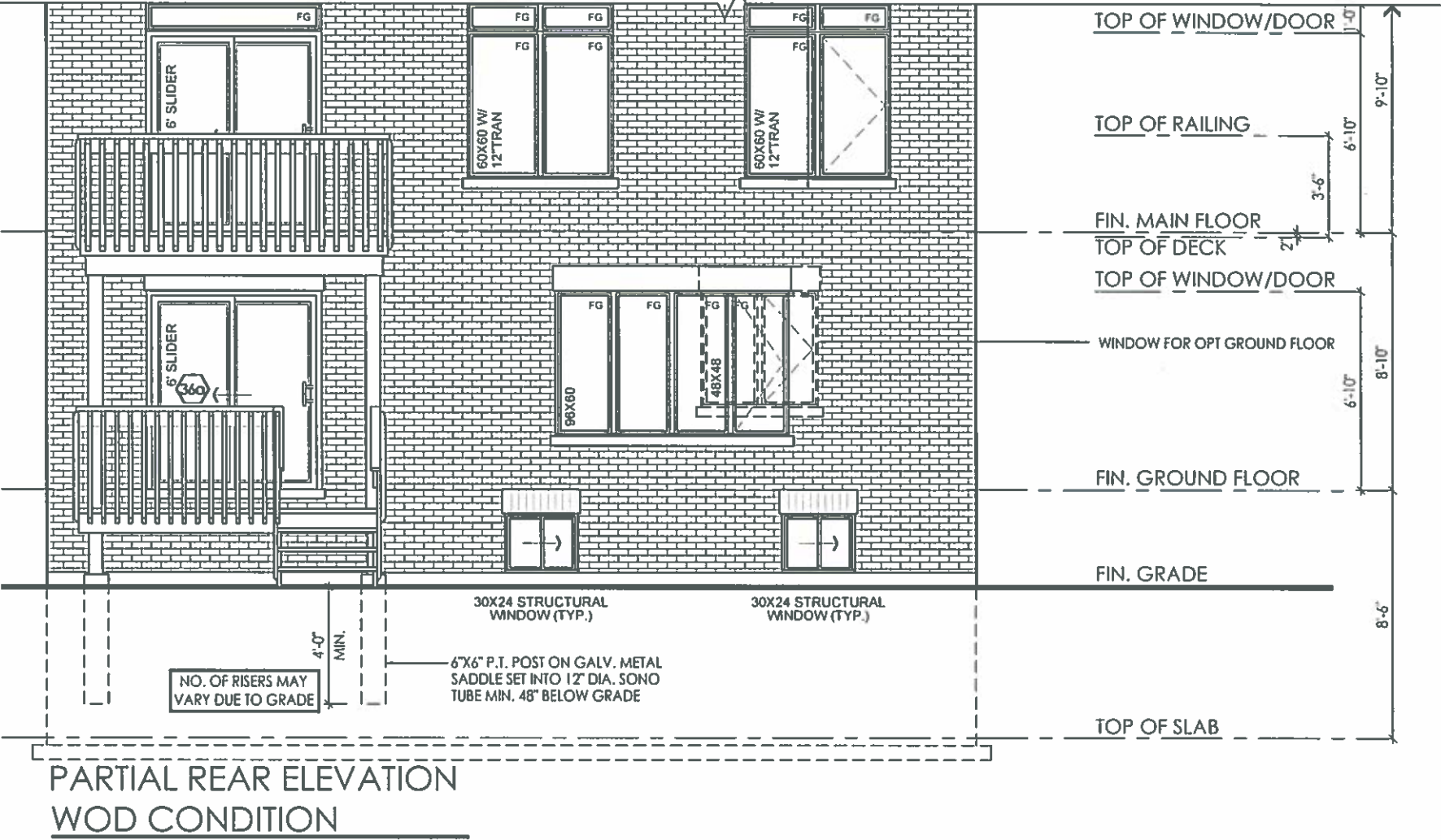
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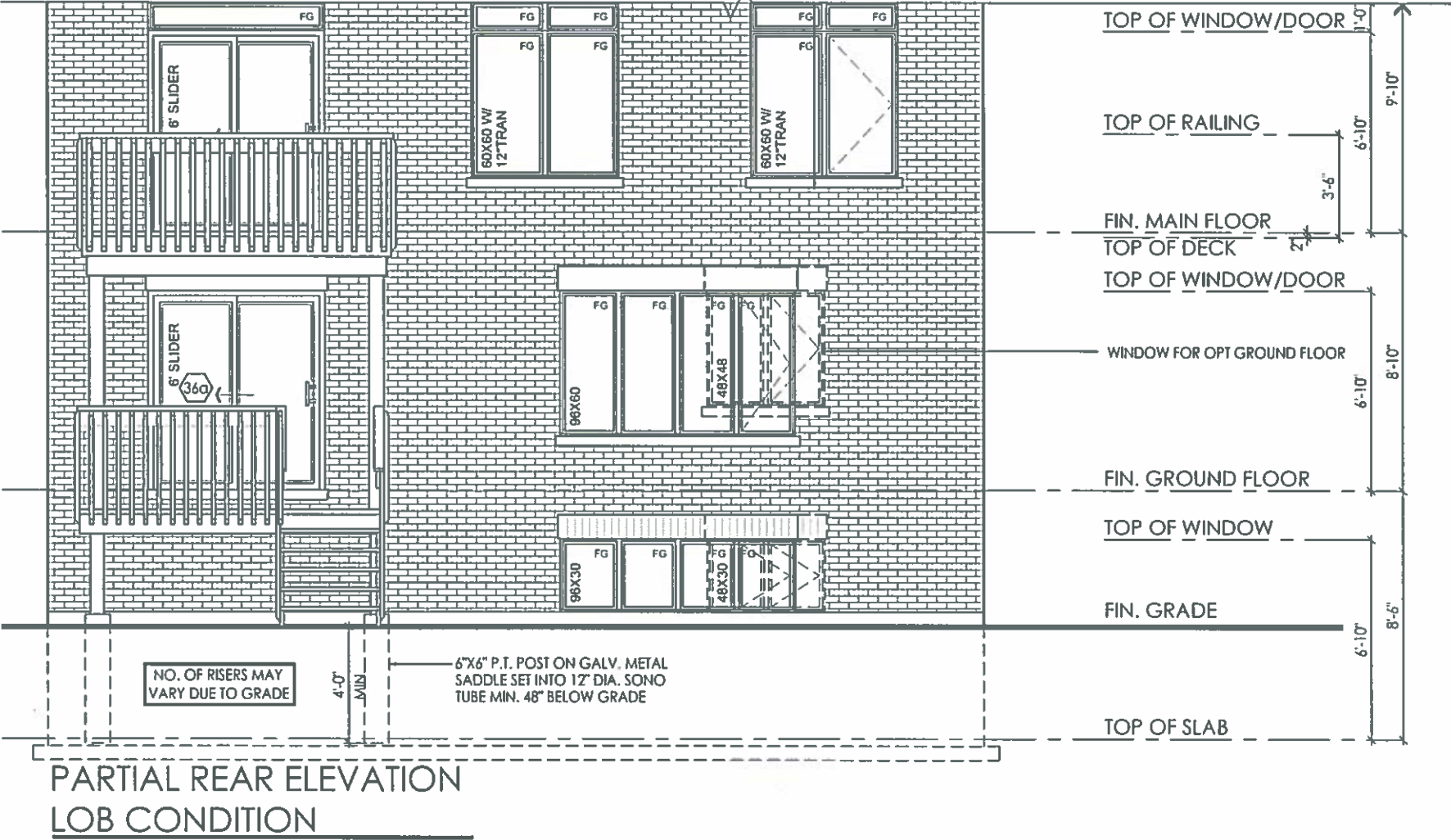


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FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



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4					8				

location
Brampton

marketing name
The Schubert

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model
38-7

scale
3/16" = 1'0"

project #
13098

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- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- 17** **INTERIOR STUD WALLS:**
- O.B.C. T.9.23.10.1.
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 18** **BEARING STUD WALL (BASEMENT):**
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL. 2" X 4" OR 2" X 6" TOP PLATE.
- 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB
- 19** **PARTY WALL - BLOCK:**
- O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 [NOTE (2) TO TABLE 1]
- 19c** **PARTY WALL - BLOCK (AGAINST GARAGE):**
- O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REQ. INSULATION VALUES:
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- | | |
|-----------------------------|---------|
| -RIGID INSULATION | = 20.00 |
| -LOW DENSITY CONCRETE BLOCK | = 1.70 |
| -WOOD FRAME W/ GYPSUM | = 2.72 |
| -AIR FILM - MOVING | = 0.68 |
| -AIR FILM - STILL | = 0.17 |
| TOTAL "R" VALUE | = 25.27 |
- 19b** **FIREWALL:**
- O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. T.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 [NOTE (2) TO TABLE 1]
- PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELING
- EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)
- 20** **PARTY WALL - FOUNDATION:**
- O.B.C. 9.15.4.2.
- 7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
- COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- 21** **PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- 2 ROWS 2"x4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 [NOTE (2) TO TABLE 1]
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- 22** **GARAGE WALL & CEILING:**
- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS.
- R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.. FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
- 22a** **WALLS ADJACENT TO ATTIC SPACE:**
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.
- 23** **DOUBLE VOLUME WALLS:**
- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
- SOLID BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

◆ CLIENT SPECIFIC REVISIONS

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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SIGNATURE:

client
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project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4-Jul-14	KK	RPA	5				
2	ISSUED FOR PERMIT	16-Jun-15	RPA	D/H	6				
3	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	djh	7				
4	REVISED AS PER OBC SB-12 2017 UPDATE	29-Mar-17	ES	ES	8				

location
Brampton

marketing name
The Schubert

Imagine • Inspire • Create



model
38-7

scale project #
3/16" = 1'0" 13098

page

D2

EXPOSED FLOOR:

- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT

SUNKEN FINISHED AREAS:

- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.

DOUBLE MASONRY WYTHE WALL:

- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILL SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

CORBEL MASONRY VENEER:

- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

FLOOR ASSEMBLIES:

SILL PLATE:

- O.B.C. 9.23.7.
- 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN (100mm) INTO FOUNDATION WALL
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN (25mm) THICK BEFORE COMPRESSING. OR JOISTS TO BE PLACED ON FULL BED OF MORTAR.

BRIDGING & STRAPPING:

- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- d) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

FLOOR ASSEMBLY:

- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

PORCH SLAB:

- O.B.C. 9.39.1.4.
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
- IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"

EXTERIOR BALCONY ASSEMBLY:

- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2"x4" WOOD PURLINS [CUT DIAGONALLY] @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS [CUT DIAGONALLY] @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- EXTERIOR GUARD AS PER #36a
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER

REQUIRED FOR OVER HEATED SPACES:

- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

EXTERIOR FLAT ROOF ASSEMBLY:

- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:**
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

ROOF ASSEMBLIES

TYPICAL ROOF:

- O.B.C. 9.26.
- NO. 210 (30. 5KG/m²) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB [0-2 GRADE] WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

CEILING:

- R60 (RSI 10.56) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

VAULTED OR CATHEDRAL CEILING:

- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m²) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB [0-2 GRADE] WITH "H" CLIPS.

- 2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
- 2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
- R31 (RSI 5.46) INSULATION
- MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD

CONVENTIONAL FRAMING:

- O.B.C. TABLE A6 OR A7
- 2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
- 2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
- CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
- HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

ATTIC ACCESS HATCH:

- OBC 9.19.2.1. & SB-12.3.1.1.8.(1)
- 19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

GENERAL:

PRIVATE STAIRS:

- O.B.C. 9.8.4.
- MAX. RISE = 7 7/8" (200mm)
- MIN. RUN = 9 1/4" (235mm)
- MIN. TREAD = 1" (25mm)
- MAX. NOSING = 1" (25mm)
- MIN. HEADROOM = 6'-5" (1950mm)
- MIN. WIDTH = 2'-10" (860mm)
- (BETWEEN WALL FACES)
- MIN. WIDTH = 2'-11" (900mm)
- (EXIT STAIRS, BETWEEN GUARDS)
- ANGLED TREADS:
- MIN. RUN = 5 7/8" (150mm)
- MIN. AVG. RUN = 7 7/8" (200mm)
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS
- HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

- O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

PUBLIC STAIRS:

- O.B.C. 9.8.4.
- MAX. RISE = 7-3/32" (180mm)
- MIN. RUN = 11" (280mm)
- MIN. TREAD = 11" (280mm)
- MAX. NOSING = 1" (25mm)
- MIN. HEADROOM = 6'-9" (2050mm)
- MIN. WIDTH = 2'-11" (900mm)
- (EXIT STAIRS, BETWEEN GUARDS)
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
- HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:

- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

- O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

- O.B.C. 9.8.7.3
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FINISH:

- O.B.C. 9.8.9.6
- TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATTE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

INTERIOR GUARDS:

- O.B.C. SB-7 & 9.8.8.3.
- GUARDS TO BE 3'-6" (1070mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

EXTERIOR GUARDS:

- O.B.C. SB-7 & 9.8.8.3.
- GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- PROVIDE MID-SPAN POSTS AS PER SB-7.
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

