



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A5 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR SIDE ELEVATION 'A' & 'B'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 LEFT SIDE ELEVATION 'B'
- A13 TYPICAL CROSS SECTION - 3 STOREY (BRICK)
- A14 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B' LOB CONDITION
- A15 PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B' LOB CONDITION
- A16 PARTIAL REAR ELEVATION 'A' & 'B' LOB CONDITION
- A17 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B' WOD CONDITION
- A18 PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B' WOD CONDITION
- A19 PARTIAL REAR ELEVATION 'A' & 'B' WOD CONDITION
- A20 PART BASEMENT FLOOR PLAN 'B' CORNER UPGRADE
- A21 PART. GROUND FLOOR PLAN ELEV. 'B' CORNER UPGRADE
- A22 SECOND FLOOR PLAN ELEV. 'B' CORNER UPGRADE
- A23 FRONT ELEVATION 'B' CORNER UPGRADE
- A24 RIGHT SIDE ELEVATION 'B' CORNER UPGRADE
- A25 REAR ELEVATION 'B' CORNER UPGRADE
- D1 PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B' WUB CONDITION
- D2 PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B' WUB CONDITION
- D3 PARTIAL REAR SIDE ELEVATION 'A' & 'B' WUB CONDITION
- D4 CONSTRUCTION NOTES
- D5 CONSTRUCTION NOTES
- D6 CONSTRUCTION NOTES

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Areas:

	ELEVATION 'A'		ELEVATION 'B'		ELEVATION 'B' CORNER UPGRADE	
	SF	SM	SF	SM	SF	SM
GROUND FLOOR PLAN	1095.9	101.8	1095.9	101.8	1111.3	103.2
SECOND FLOOR PLAN	2921.8	271.4	1457.7	135.4	1472.9	136.8
TOTAL AREA	4017.7	373.2	2553.6	237.2	2584.2	240.1
COVERAGE INC PORCH	1533.4	142.5	1533.4	142.5	1548.5	143.9
COVERAGE NOT INC PORCH	1465.9	136.2	1465.9	136.2	1481.0	137.6

Gold Park Homes McLaughlin and Mayfield The Handel

9	ADDED DECK CONDITIONS FOR REVIEW	MAY-19-16	SM	JP					
10	ADDED CORNER UPGRADE FOR REVIEW	MAY-30-16	SM	JA					
11	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP					
12	REVISED AS PER CBC 58-12 2017 UPDATES	3/29/2017	ES	ES					

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE: 38688 26995 MAY 19/16

SIGNATURE:

J.P.

client Gold Park Homes

project McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	PG	TA	5	ISSUED FOR PERMIT	16/06/2015	RPA	D.J.H.
2	FLOOR JOIST & TRUSS COORDINATION	22/08/2014	FE	D.J.H.	6	REVISED BREAKFAST BAR NOTATION TO STATE FLUSH	3-Sep-15	cr	cr
3	REVISED AS PER ARCH. CONTROL COMM.	25/08/2014	RPA	D.J.H.	7	FLIPPED MASTER ENSUITE DOOR SWING	3-Sep-15	cr	cr
4	REVISED AS PER ARCHITECTURAL CONTROL	27-SEP-15	RPA	D.J.H.	8	REVISED FOR CONSTRUCTION	17-Sep-15	cr	cr

location Brampton

marketing name The Handel

RN design
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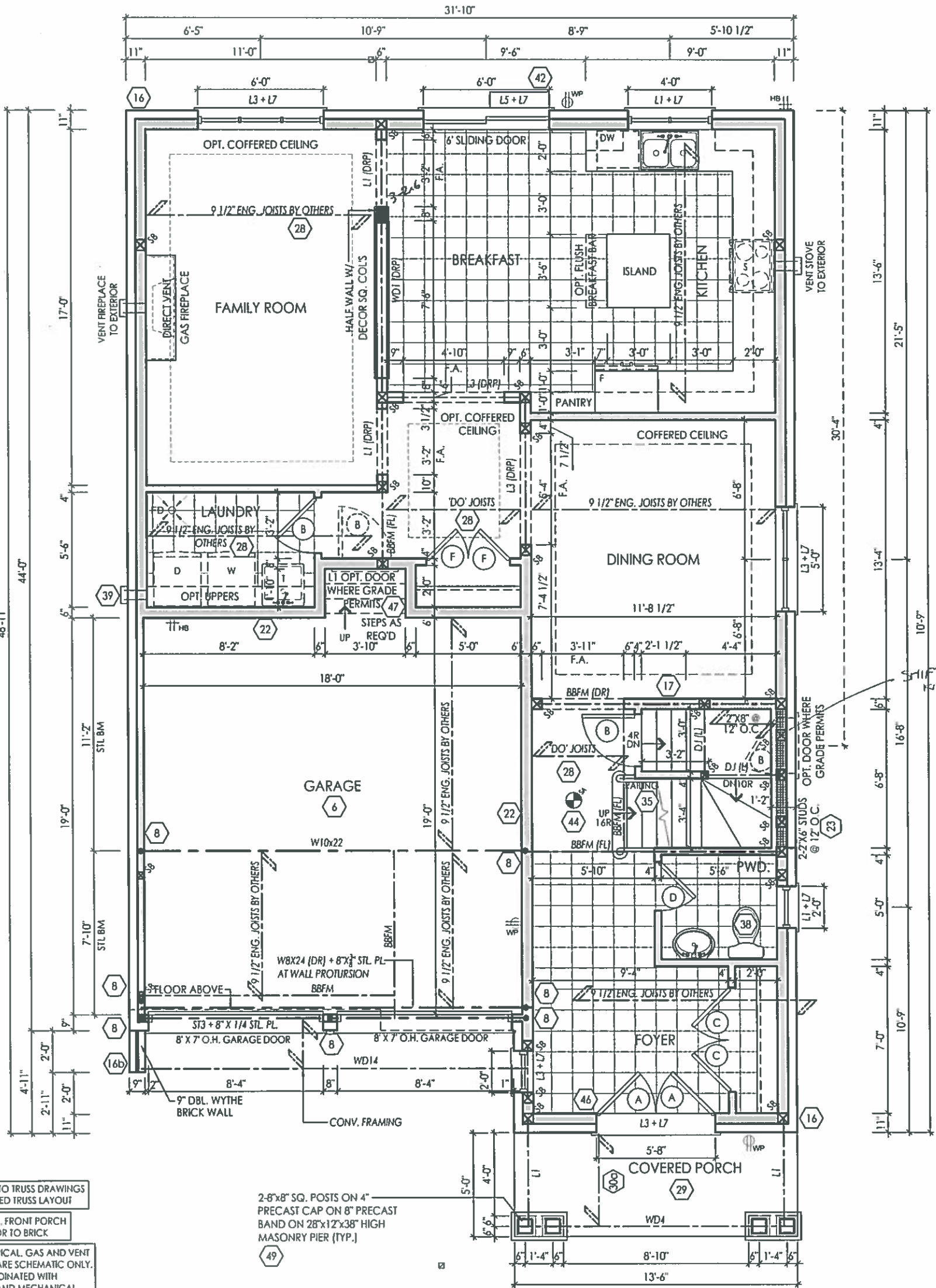
model 38-5

scale N.T.S. project # 13098

page

A0

NO UNPROTECTED OPENINGS PERMITTED FOR
LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS
PER 9.10.14 OF THE ONTARIO BUILDING CODE



NOTE: REFER TO TRUSS DRAWINGS
FOR APPROVED TRUSS LAYOUT

NOTE: CONC. FRONT PORCH
POURED PRIOR TO BRICK

NOTE: ELECTRICAL, GAS AND VENT
LOCATIONS ARE SCHEMATIC ONLY.
TO BE COORDINATED WITH
ELECTRICAL AND MECHANICAL
DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO FLOOR JOIST DRAWINGS
FOR APPROVED FLOOR JOIST LAYOUT
AND SPACING

GROUND FLOOR PLAN ELEV. 'A'

MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGN



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Guidelines approved by the City of
Brampton.

ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

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3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJM	7	REVISED AS PER OBC 38-12 2017 UPDATES	3/29/2017	ES	ES
4	RECEIVED BY THE CLIENT	16/06/2017	DBA	DJM	8				

location
Brampton

marketing name
The Handel

RN design
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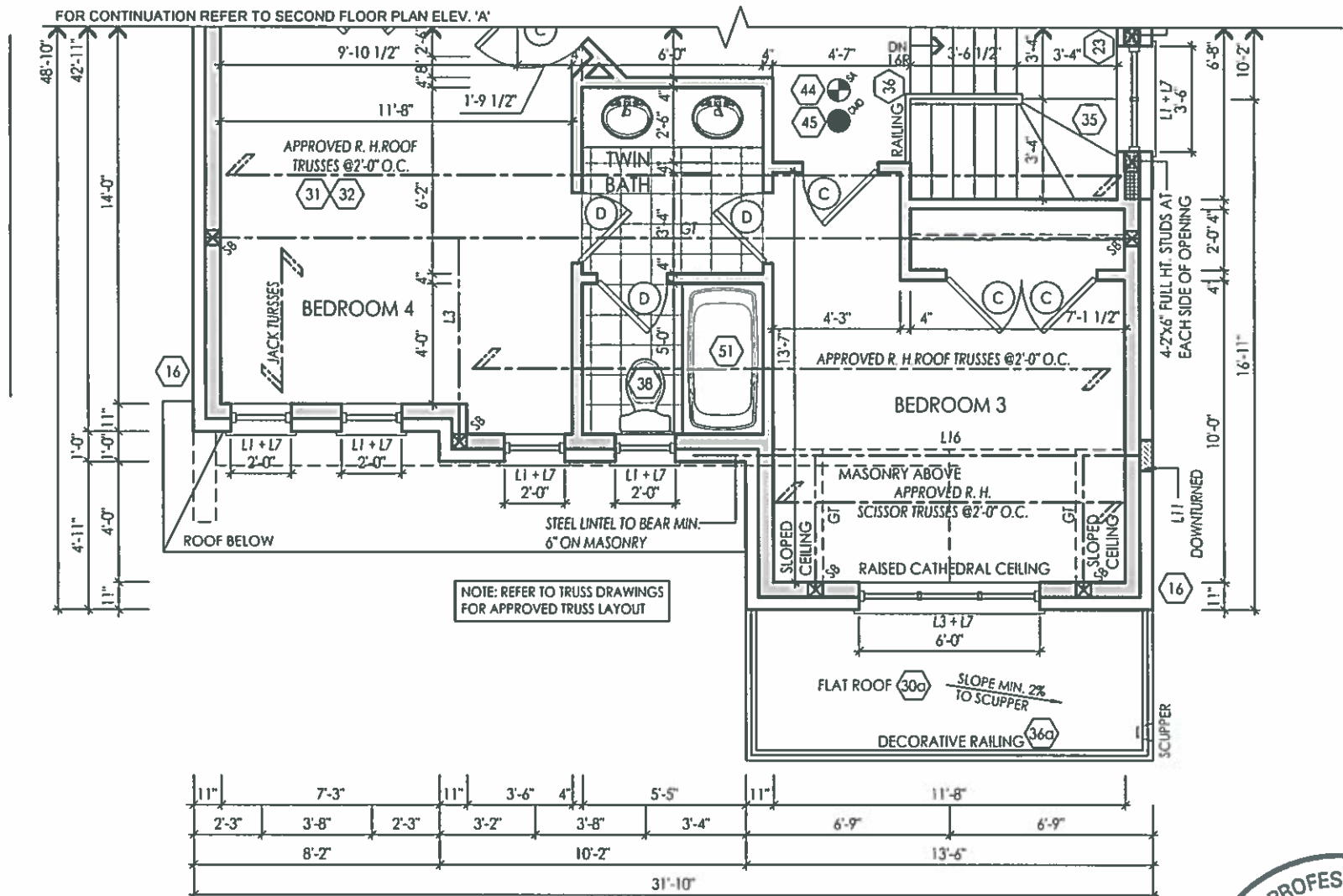
model
38-5

scale
3/16" = 1'0"

project #
13098

page

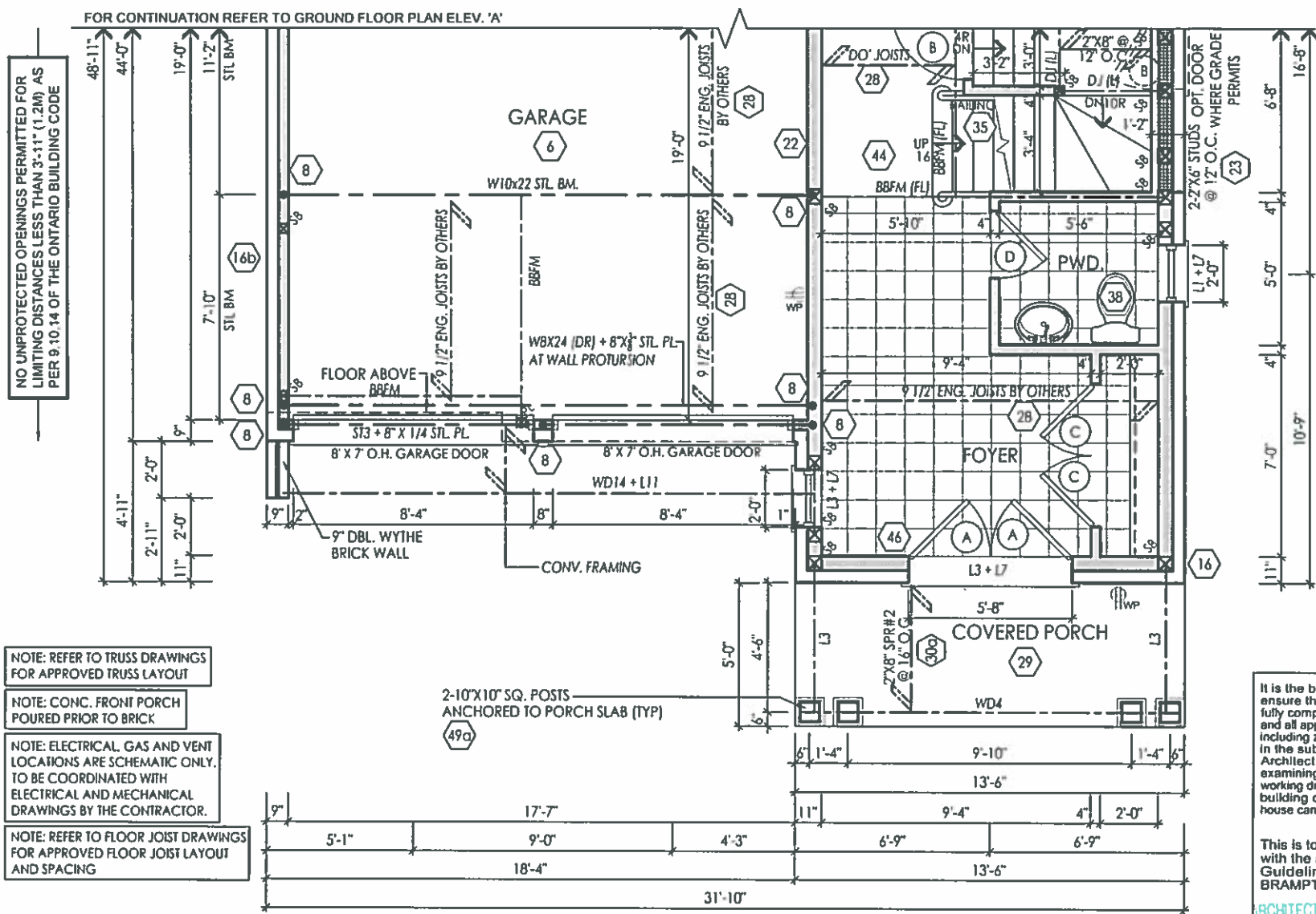
A2



PARTIAL
SECOND FLOOR PLAN ELEV. 'B'

MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS



PARTIAL
GROUND FLOOR PLAN ELEV. 'B'

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SIGNATURE:

client
GOLD PARK HOMES
project
MELAUGHLIN AND MAYFIELD

location
BRAPTON
marketing name

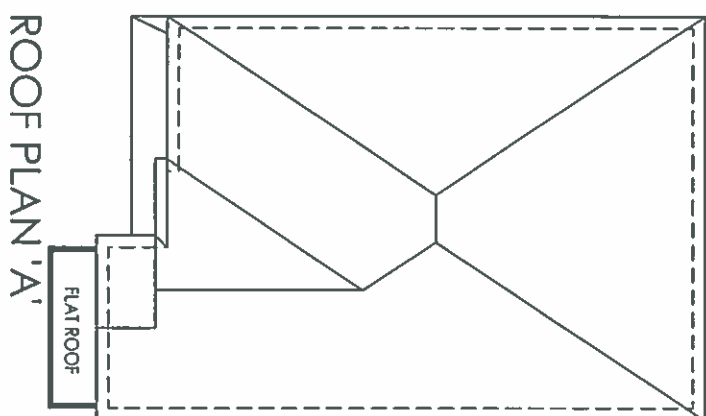
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3/16" = 1'0"
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1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ng	ra	5	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	ch
2	FLOOR JOIST & TRUSS COORDINATION	22/Oct/2014	FE	DJM	4	REVISED AS PER OBC 58-12 2017 UPDATES	3/29/2017	ES	ES
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJM	7				
4	REVISION FOR PERMIT	16/Oct/2017	gpa	ra	8				



A4



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC, ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2X4" SPF @ 24" O.C. WITH A 2X4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES
W/FLASHING AT VALLEYS (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND—
GUTTER ON PRE-FINISHED FASCIA BOARD
AND VENTED SOFFIT (TYP.)

1" X 6" DECOR ALUM. FRIEZE
BOARD (TYP)
8" PRECAST CONC. HEADER
& SURROUND (TYP)

FACE BRICK (TYP)——

PRECAST CONC. SILL
PAINTED METAL FLASH
CAULKING TO MATCH

U/S OF GARAGE

8' PRECAST CONC HEADER
W/ CENTER KEYSTONE (TYP)

4"x8" PRECAST CONC. BAND (TYP)
TOP OF BAND _____

STONE VENEER (TYP)

U/S OF FOOTING

FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF

33-9

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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

model

scale
 $3/16" = 1'0"$

page

A5

JULIO PINOZA DECLARE THAT I HAVE REVIEWED AND TAKEN
 DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
 OF RN DESIGN LTD UNDER DIVISION C.PART-3 SUBSECTION-3.2.4
 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
 REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
 QUALIFIED DESIGNER BCIN: 38688
 FIRM BCIN: 26995
 DATE: 11/17 JUNE 21/16

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

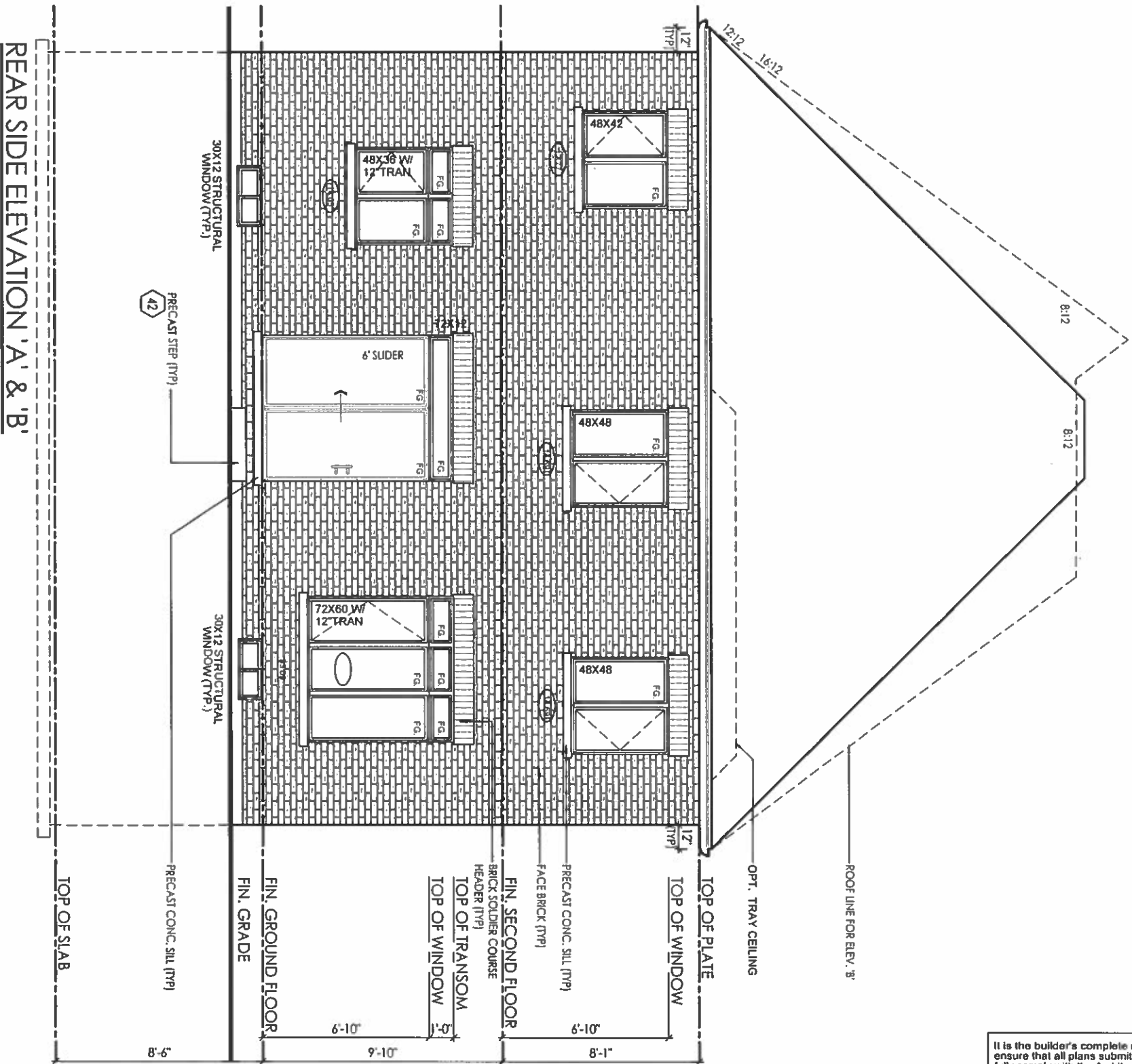
RN design
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model

scale
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DATE: JUNE 21/16

SIGNATURE: *[Signature]*

client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield				The Handel			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ng	ra	5		
2	ISSUED FOR PERMIT	16/04/2015	BPA	DJH	4		
3	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	dph	7		
4							



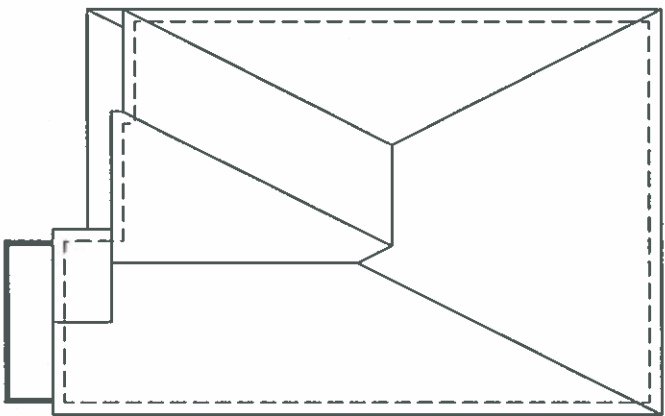
model
38-5

scale
3/16" = 1'0"

project #
13098

page
A7

ROOF PLAN 'B'



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NOTE: REFER TO TRUSS DRAWINGS FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

1" X 6" DECOR ALUM. FRIEZE BOARD (TYP.)
8" PRECAST CONC. HEADER & SURROUND (TYP.)
FACE BRICK (TYP.)
4" X 8" PRECAST CONC. BAND (TYP.)
TOP OF BAND

STONE VENEER W/ METAL FLASHING BEHIND (TYP.)

U/S OF GARAGE SOFFIT

8" PRECAST CONC. HEADER (TYP.)

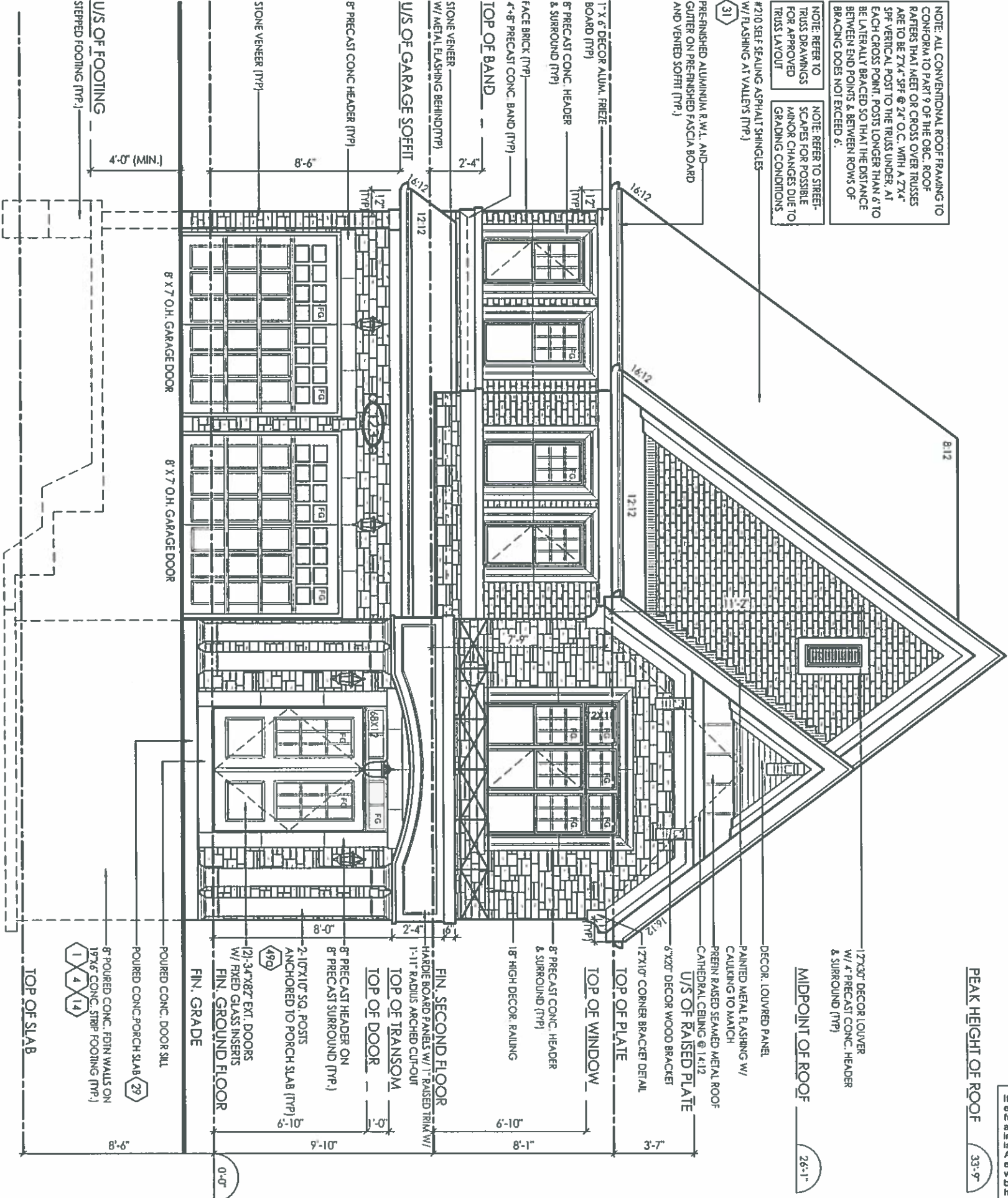
STONE VENEER (TYP.)

8' X 7' O.H. GARAGE DOOR

U/S OF FOOTING
STEPPED FOOTING (TYP.)

4'-0" (MIN.)

FRONT ELEVATION 'B'



PEAK HEIGHT OF ROOF

33'-9"

MIDPOINT OF ROOF

26'-1"

12'X30" DECOR LOUVER W/ 4" PRECAST CONC. HEADER & SURROUND (TYP.)

DECOR. LOUVER PANEL

PAINTED METAL FLASHING W/ CAULKING TO MATCH

PRE-FIN RAISED SEALED METAL ROOF CATHEDRAL CEILING @ 14'12"

U/S OF RAISED PLATE

6'X20" DECOR WOOD BRACKET

12'X10" CORNER BRACKET DETAIL

TOP OF PLATE

TOP OF WINDOW

8" PRECAST CONC. HEADER & SURROUND (TYP.)

18" HIGH DECOR. RAILING

FIN. SECOND FLOOR

HARDBOARD PANELS W/ 1" RAISED TRIM W/ 1-1/2" RADIUS ARCHED CUT-OUT

TOP OF TRANSOM

TOP OF DOOR

8" PRECAST CONC. HEADER ON 8" PRECAST SURROUND (TYP.)

2-10'X10' SQ. POSTS ANCHORED TO PORCH SLAB (TYP.)

12-3/4'X8' EXT. DOORS W/ FIXED GLASS INSERTS

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. DOOR SILL

POURED CONC. PORCH SLAB

8" POURED CONC. FDN WALLS ON 18"X6" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

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ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

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FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes
project
McLaughlin and Mayfield

location
Brampton
marketing name
The Handel

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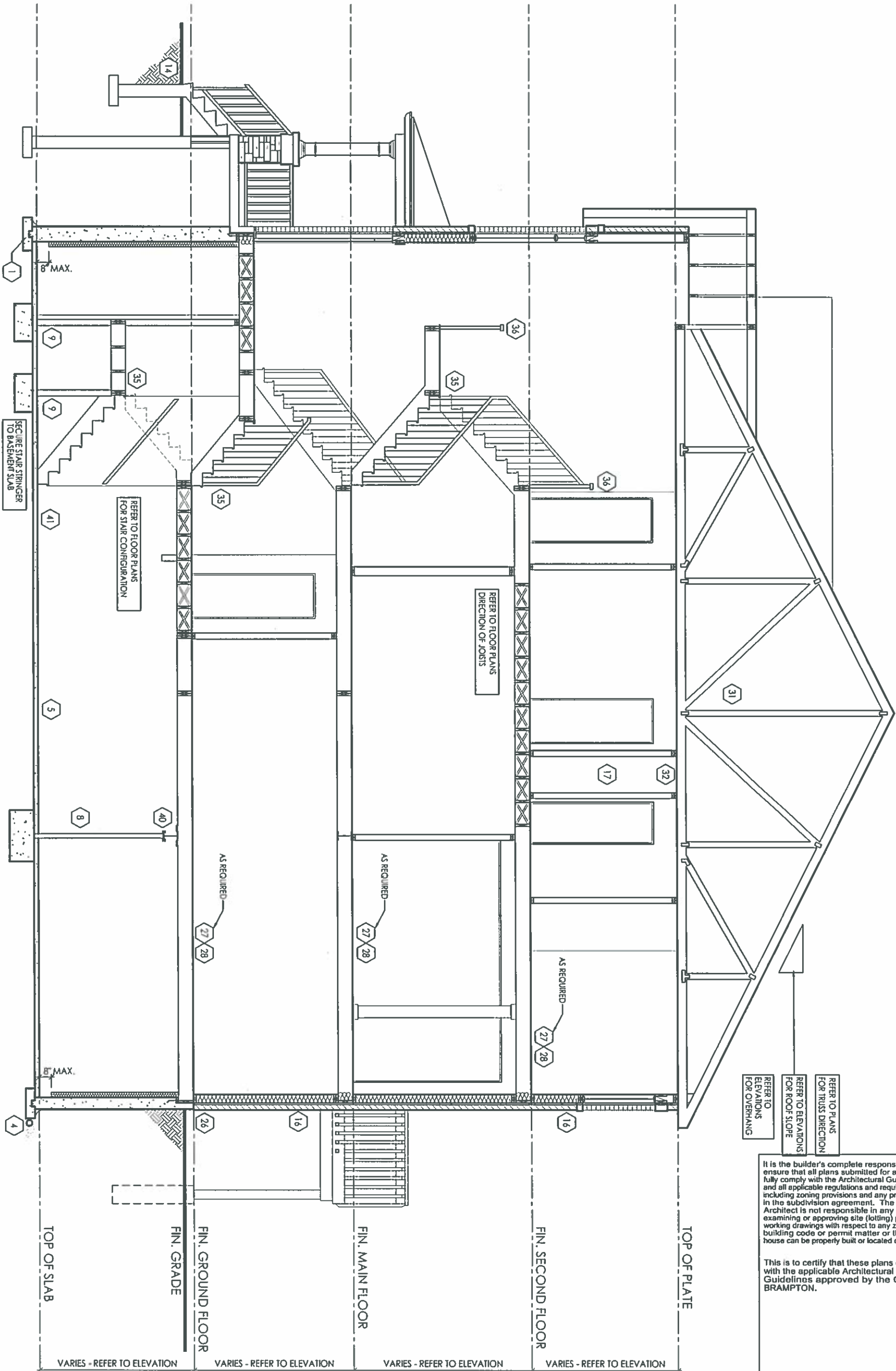


model
38-5
scale
3/16" = 1'0"
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13098

page

A9

TYPICAL CROSS SECTION - 3 STOREY (BRICK)
N.T.S.



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location
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RN design
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model
38-5

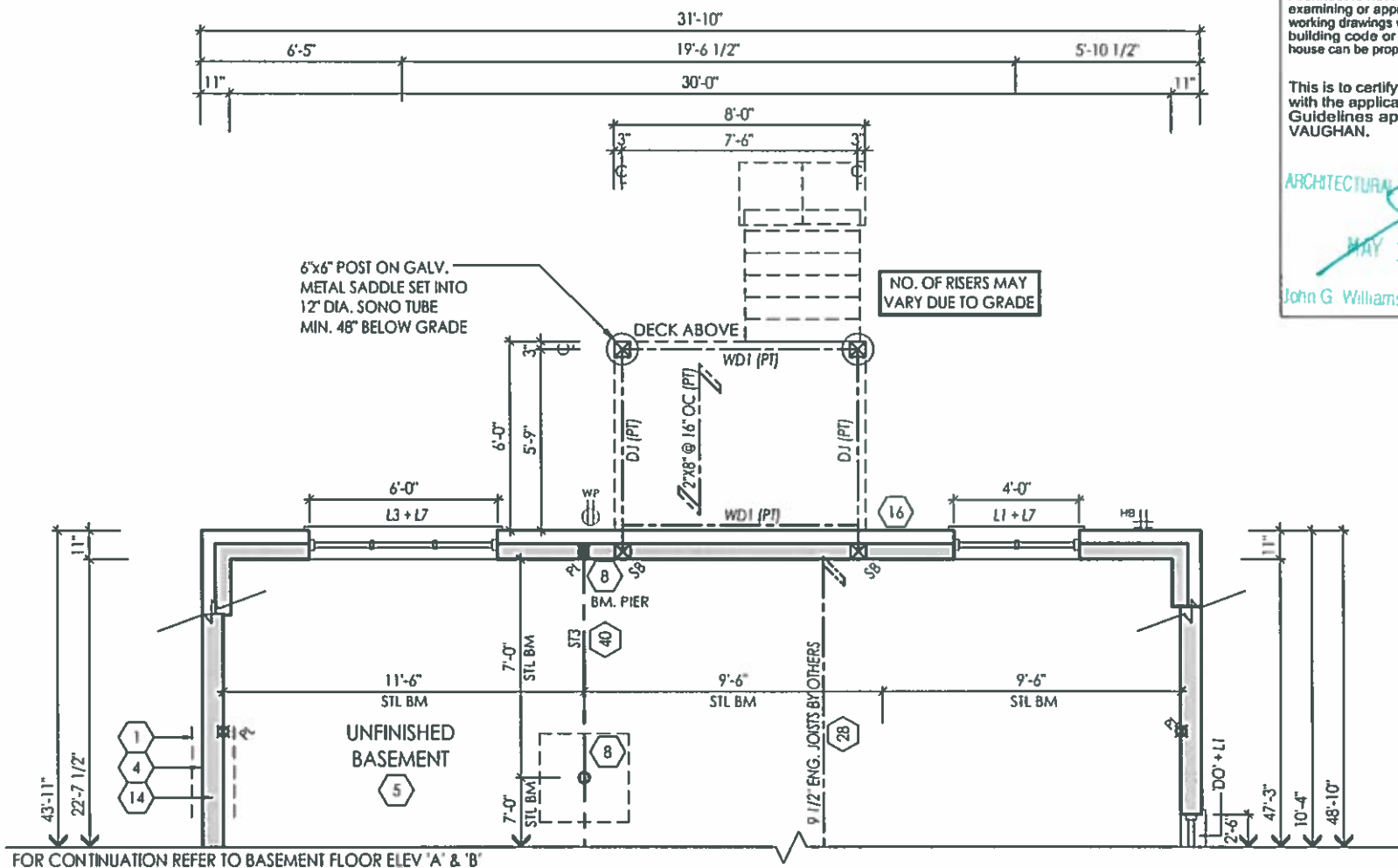
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A12

PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
LOB CONDITION



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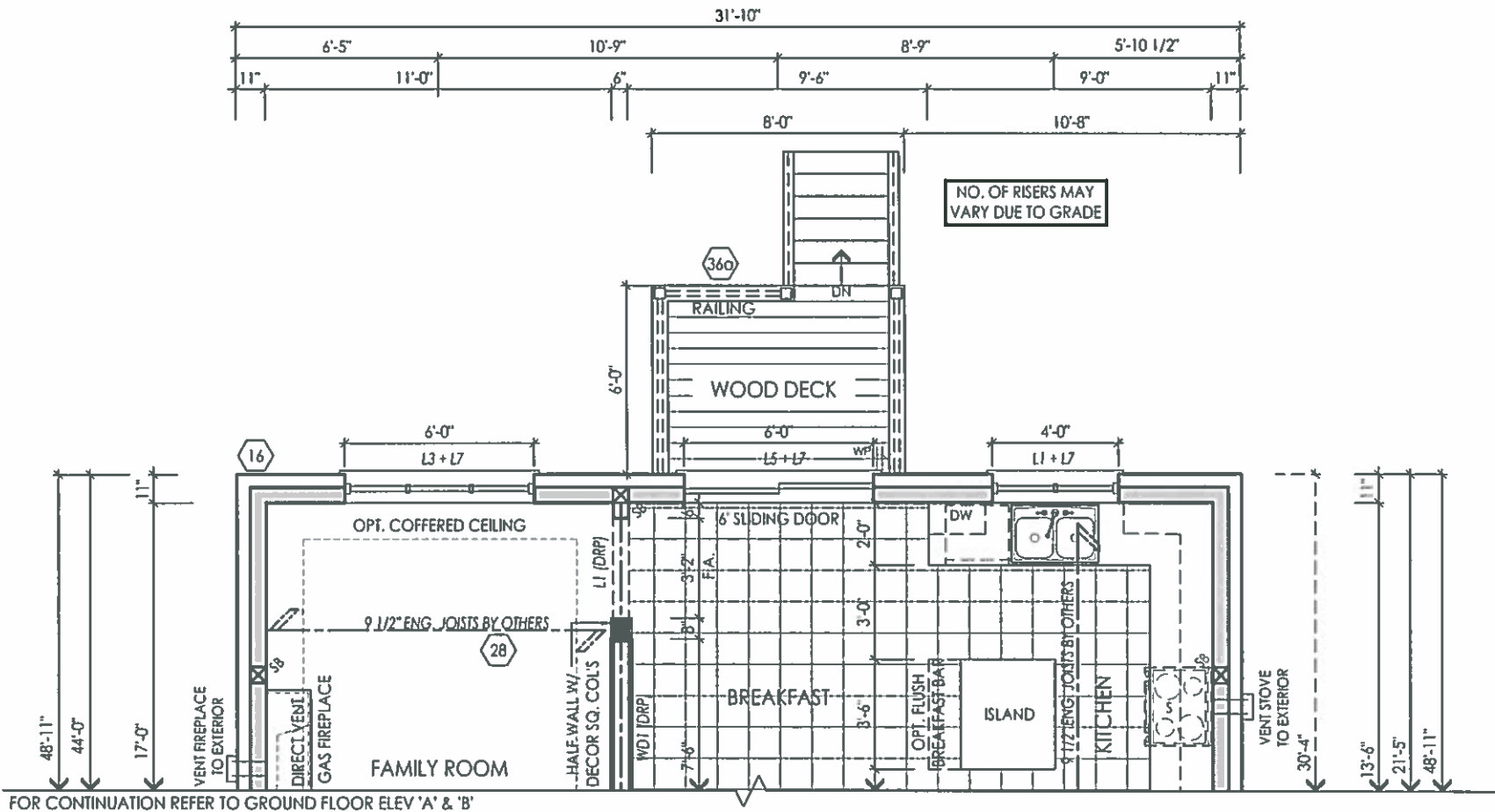
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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

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PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B'
LOB CONDITION



MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING
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JOIST & FLOOR LVL BEAM DESIGNS



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FIRM BCIN:
DATE:

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4-MAY-18	SA	JM					

RN design
Imagine • Inspire • Create



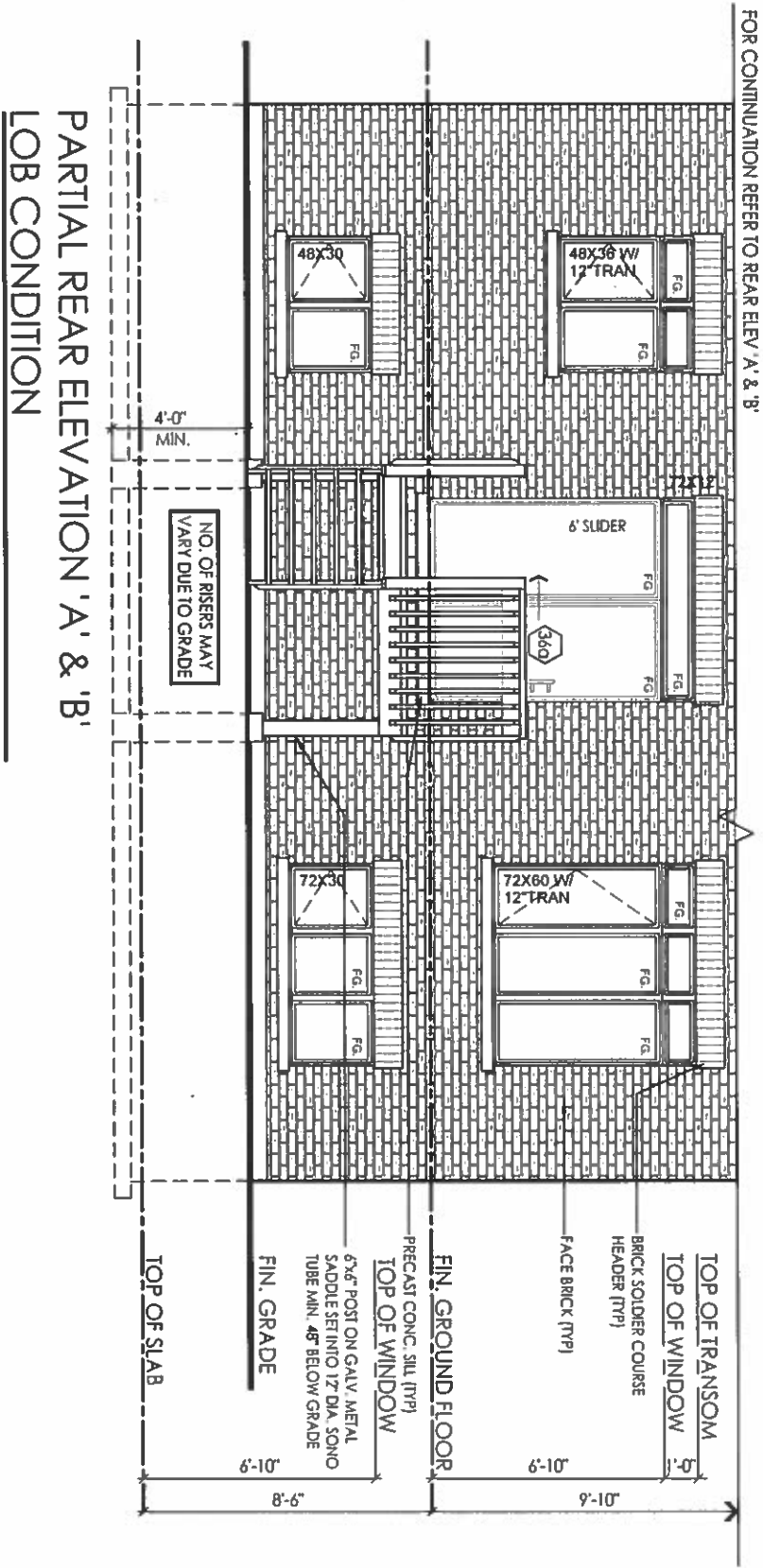
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A13



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DATE: 26995
MAY 19/16

SIGNATURE:

J.P.

client
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location
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project
McLaughlin and Mayfield

marketing name
The Handel

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ARN design
Imagine • Inspire • Create



model
38-5

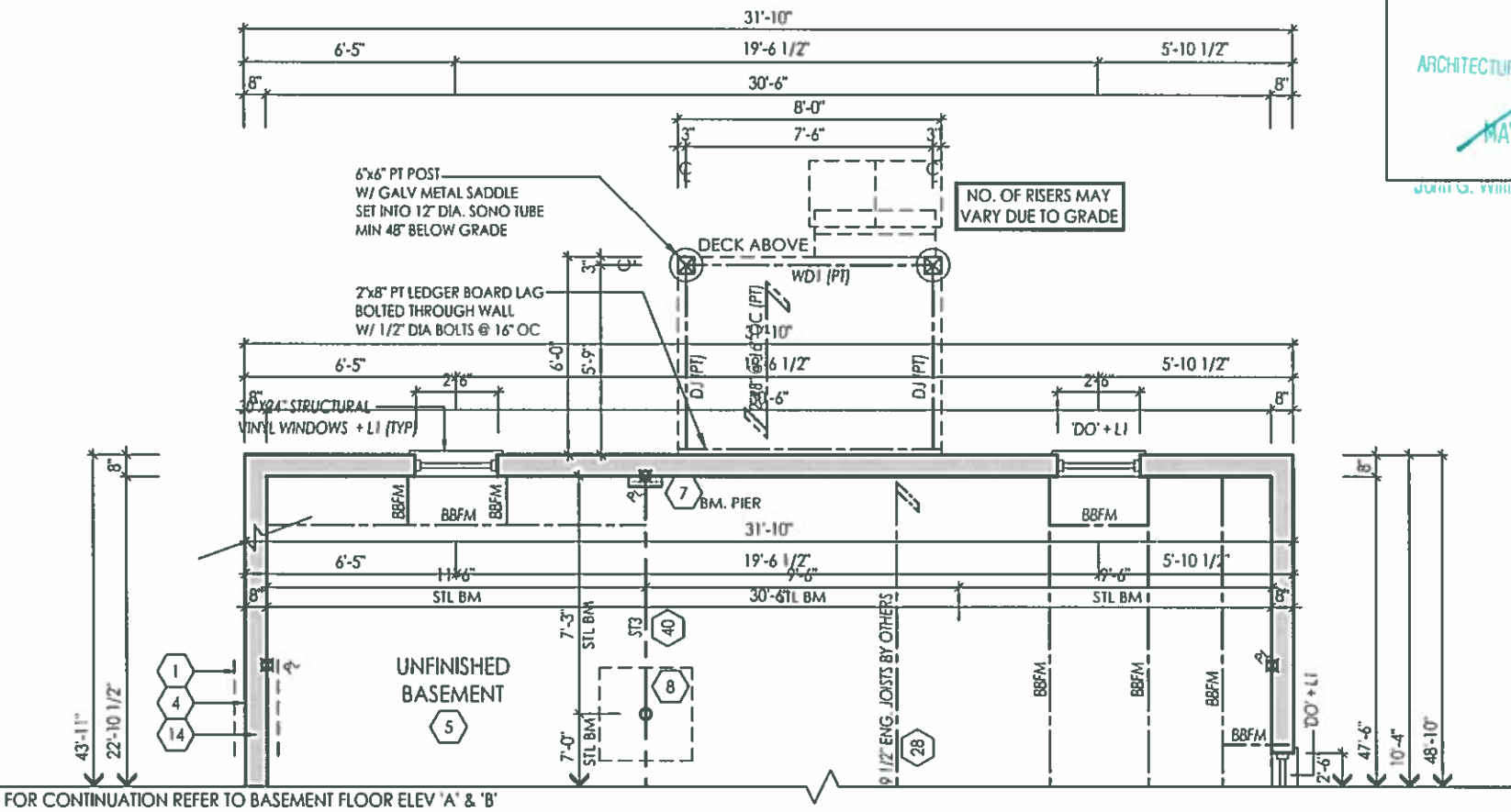
scale
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page

A14

PARTIAL BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
WOD CONDITION

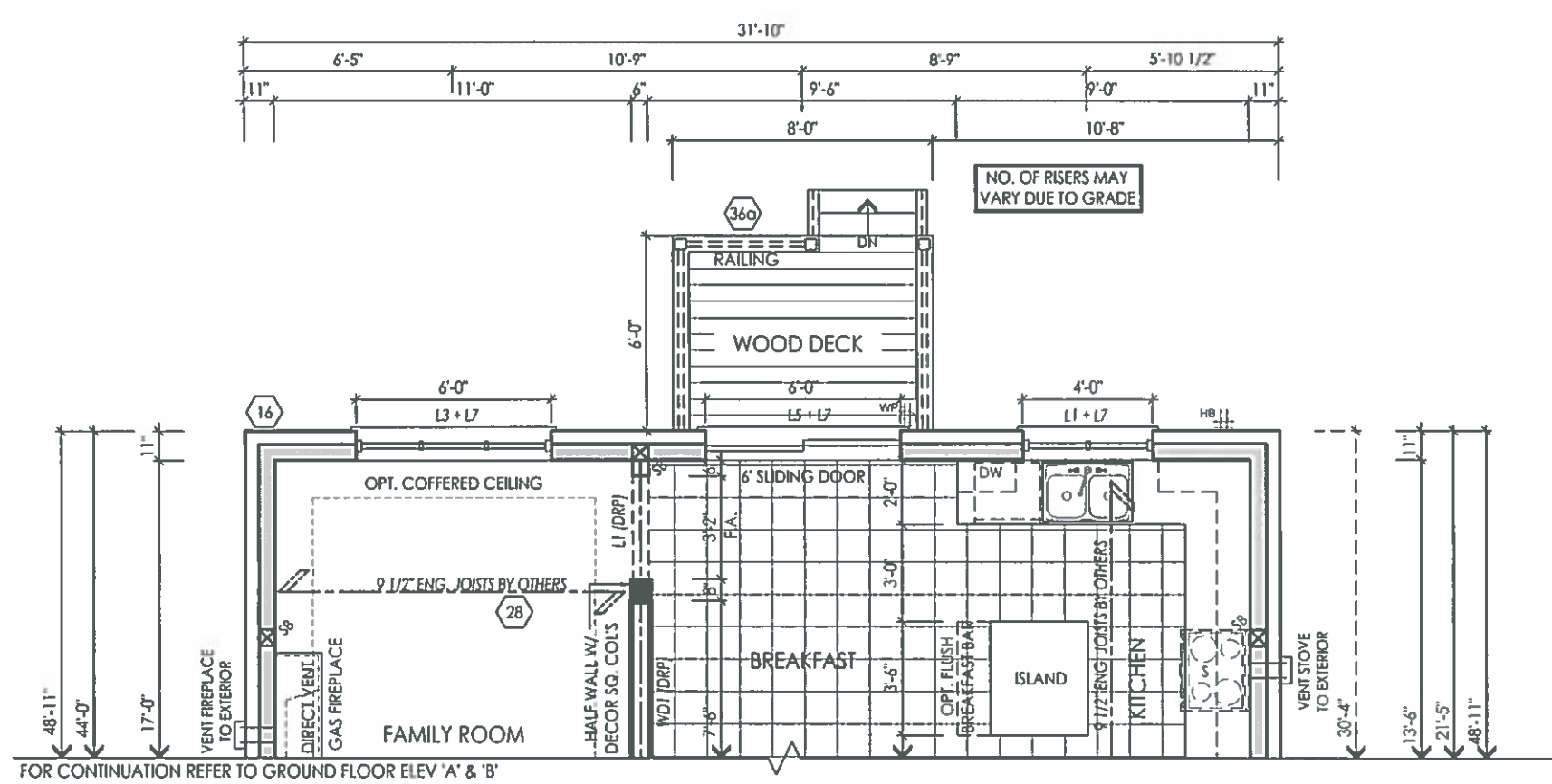


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
JOHN G. WILLIAMS Limited, Architect

PARTIAL GROUND FLOOR PLAN ELEV. 'A' & 'B'
WOD CONDITION



MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN: 38688
DATE: 26995 MAY 19/16

SIGNATURE:

J.P.

client
Gold Park Homes

location
Brampton

project
McLaughlin and Mayfield

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6-MAY-16	SM	JM					

RN design
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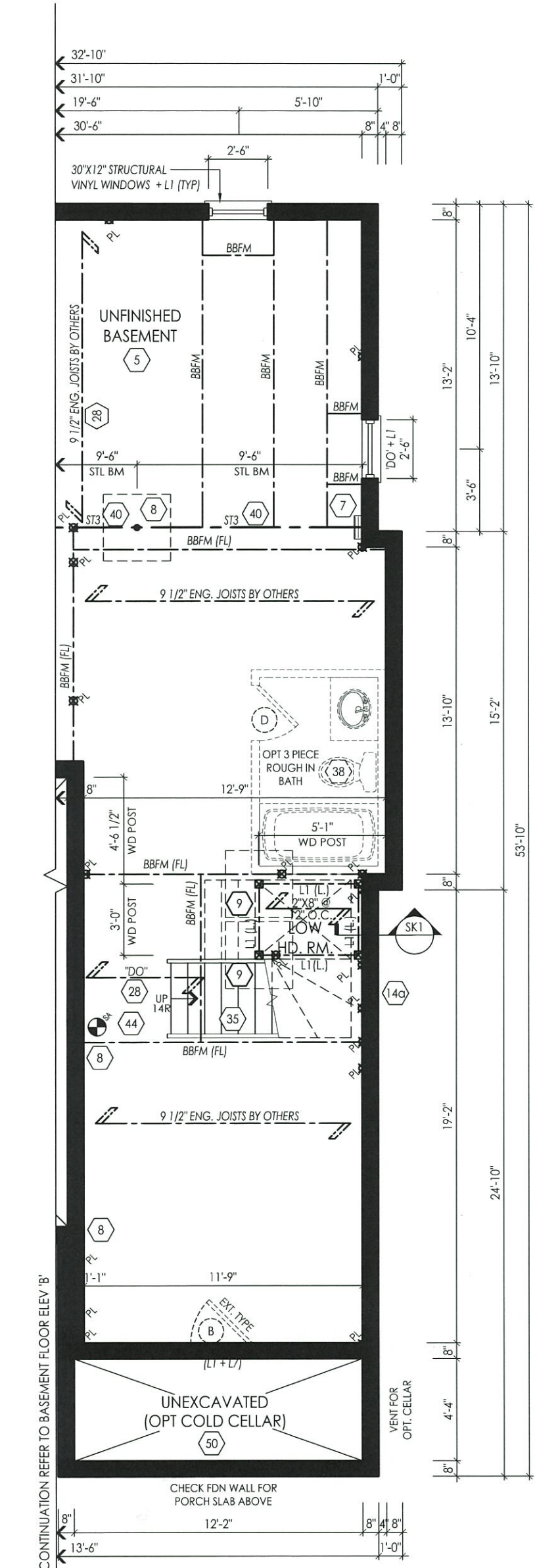
model
38-5

scale
3/16" = 1'0"

project #
13098

page

A15



PART BASEMENT FLOOR ELEV 'B'
CORNER UPGRADE

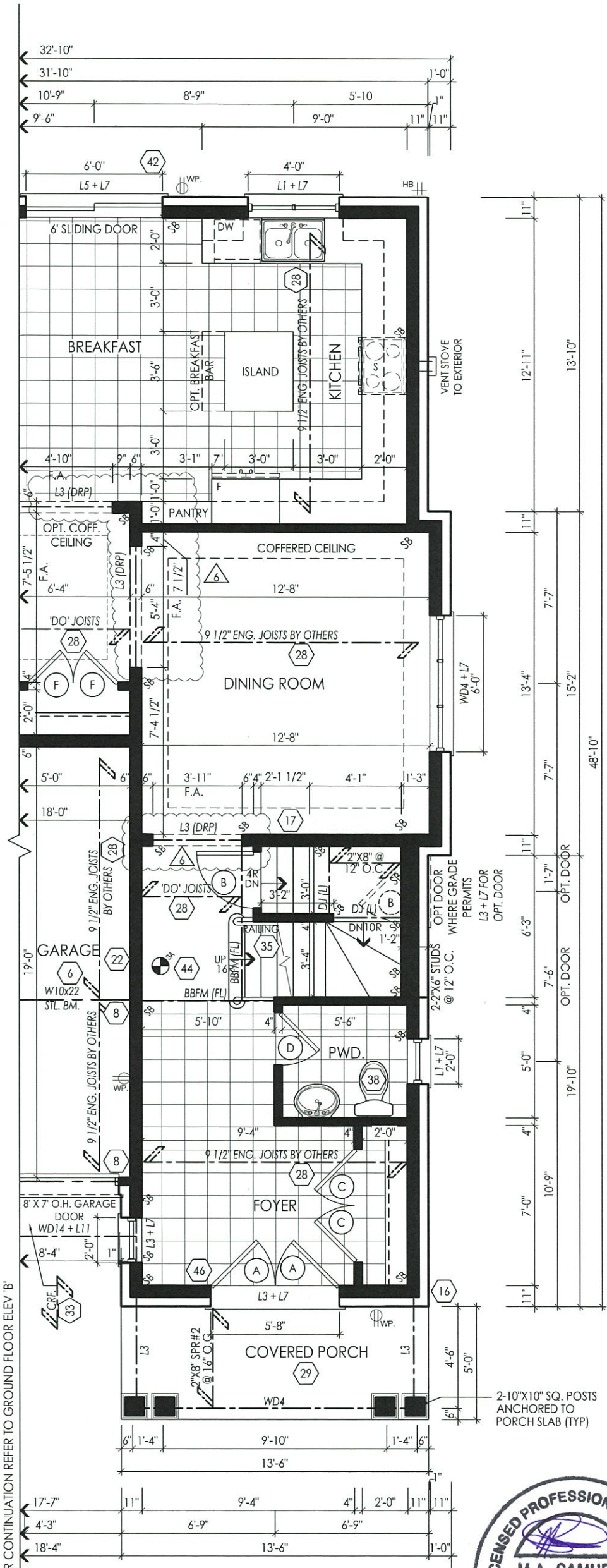
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: **141** 47245
FIRM BCIN: 26995
DATE:

SIGNATURE:



PARTIAL GROUND FLOOR ELEV. 'B'
CORNER UPGRADE



client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield				The Handel			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	MAY-30-16	SM	JM	5	REVISED PER OBC S8-12 2017 UPDATE	29-MAR-17
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-JULY-16	JM	JM	6	REVISED PER CITY COMMENTS	13 SEPT-17
3	REVISED PER FLOOR COORDINATION	16-AUG-16	JR	JP			
4	REVISED PER TRUSS COORDINATION	18-AUG-16	AD	JP			

RN design
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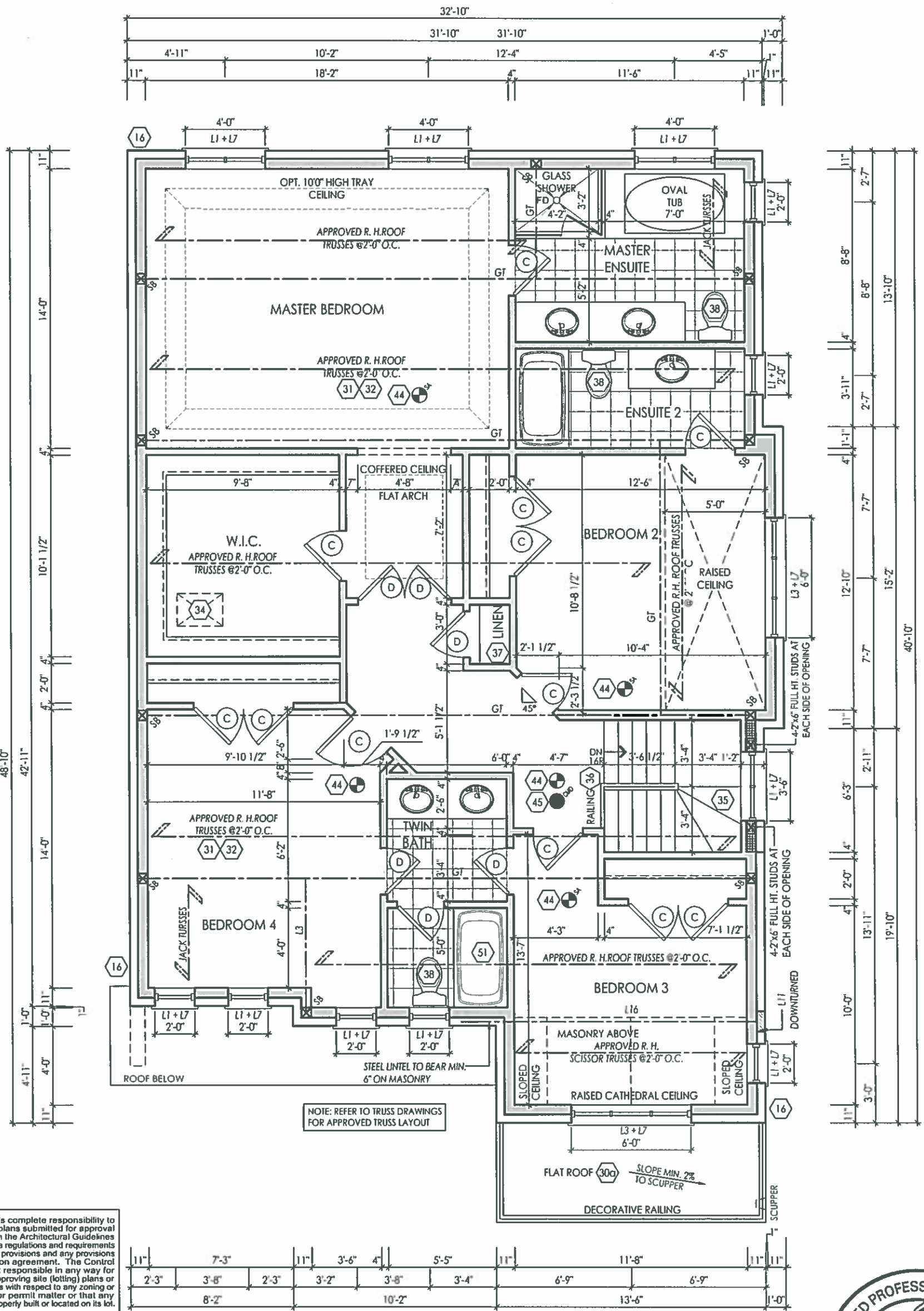


model
38-5

scale
3/16" = 1'0"

project #
13098

page
A17



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

SECOND FLOOR PLAN ELEV. 'B' CORNER UPGRADE

MAY 01 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	14-1-2016	SM	JM					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-JULY-16	JM	JM					
3	REVISED PER TRUSS COORDINATION	13-223-21	AD	XX					
4	REVISED PER OBC 58-12 2017 UPDATE	28-MAR-17	ES	ES					

RN design
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model
38-5

scale
3/16" = 1'0"

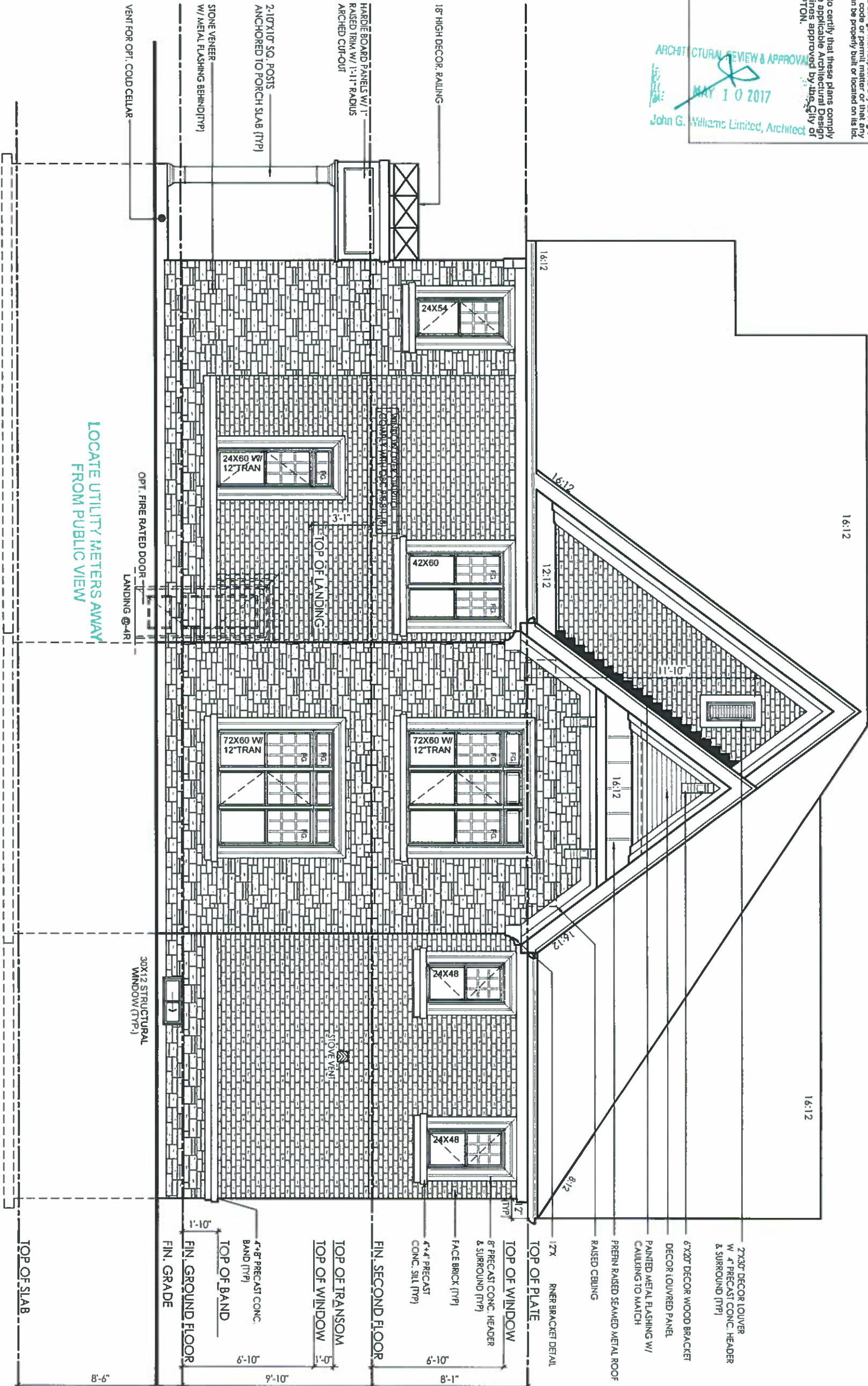
project #
13098

page

A18

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building elevations. The Control Architect is not responsible for the design of the building or for the construction of the building. The Control Architect is not responsible for the design of the house or for the construction of the house. The house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect



RIGHT SIDE ELEVATION 'B'
CORNER UPGRADE

LOCATE UTILITY METERS AWAY
FROM PUBLIC VIEW

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	MAY 30/16	SM	JM					
2	ISSUED FOR PERMIT	JUNE 16/16	SM	JM					

RN design
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model
38-5

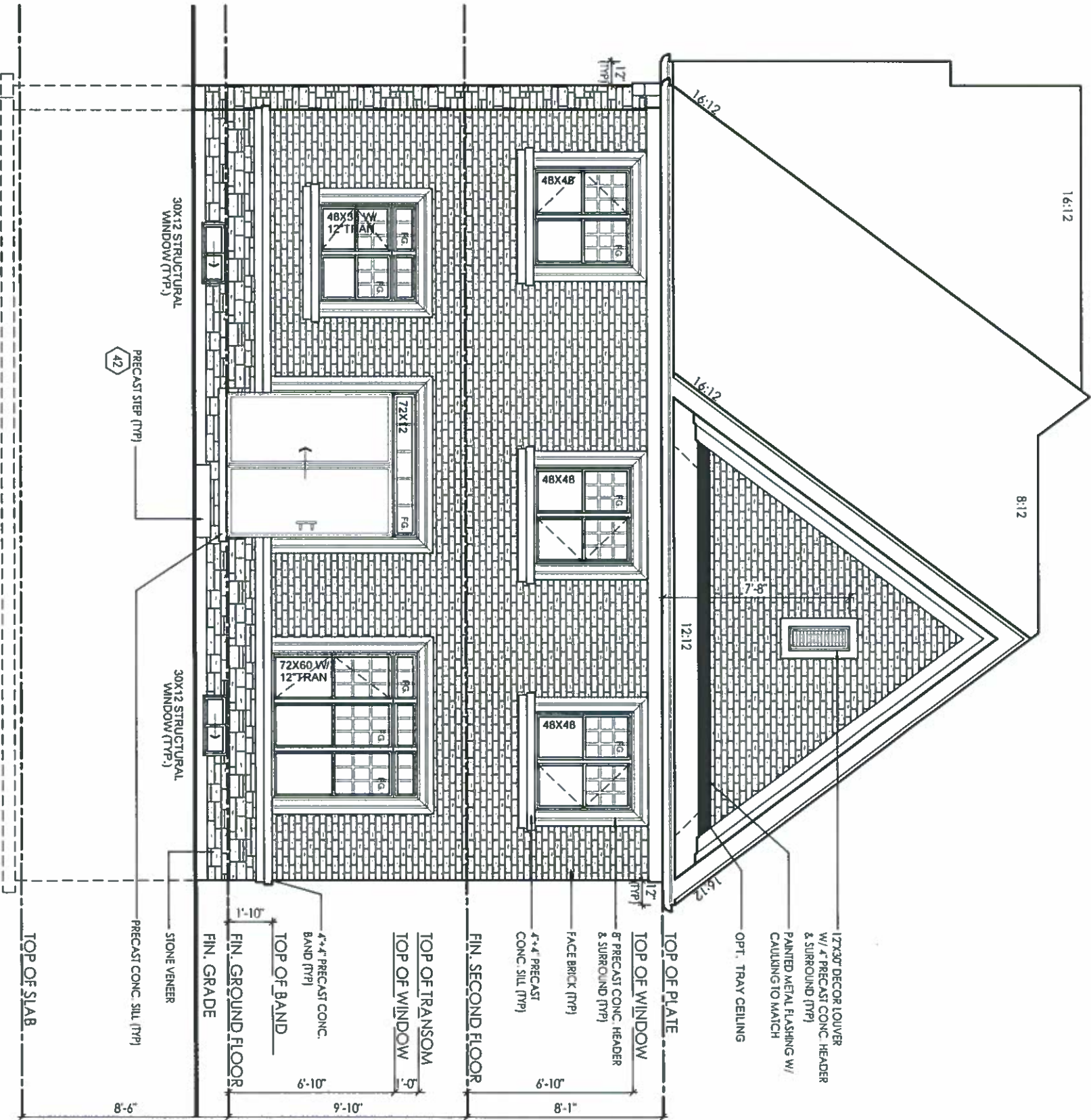
scale
3/16" = 1'0"

project #
13098

page

A20

REAR ELEVATION 'B'
CORNER UPGRADE



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes

location
Brampton

project
McLaughlin and Mayfield

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	MAY 30-16	SM	JM					
2	ISSUED FOR PERMIT	19-JULY-16	SM	JM					

RN design
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model
38-5

scale
3/16" = 1'0"

project #
13098

page

A21

31'-10"

6'-5"

19'-6 1/2"

5'-10 1/2"

8"

8"

30'-6"



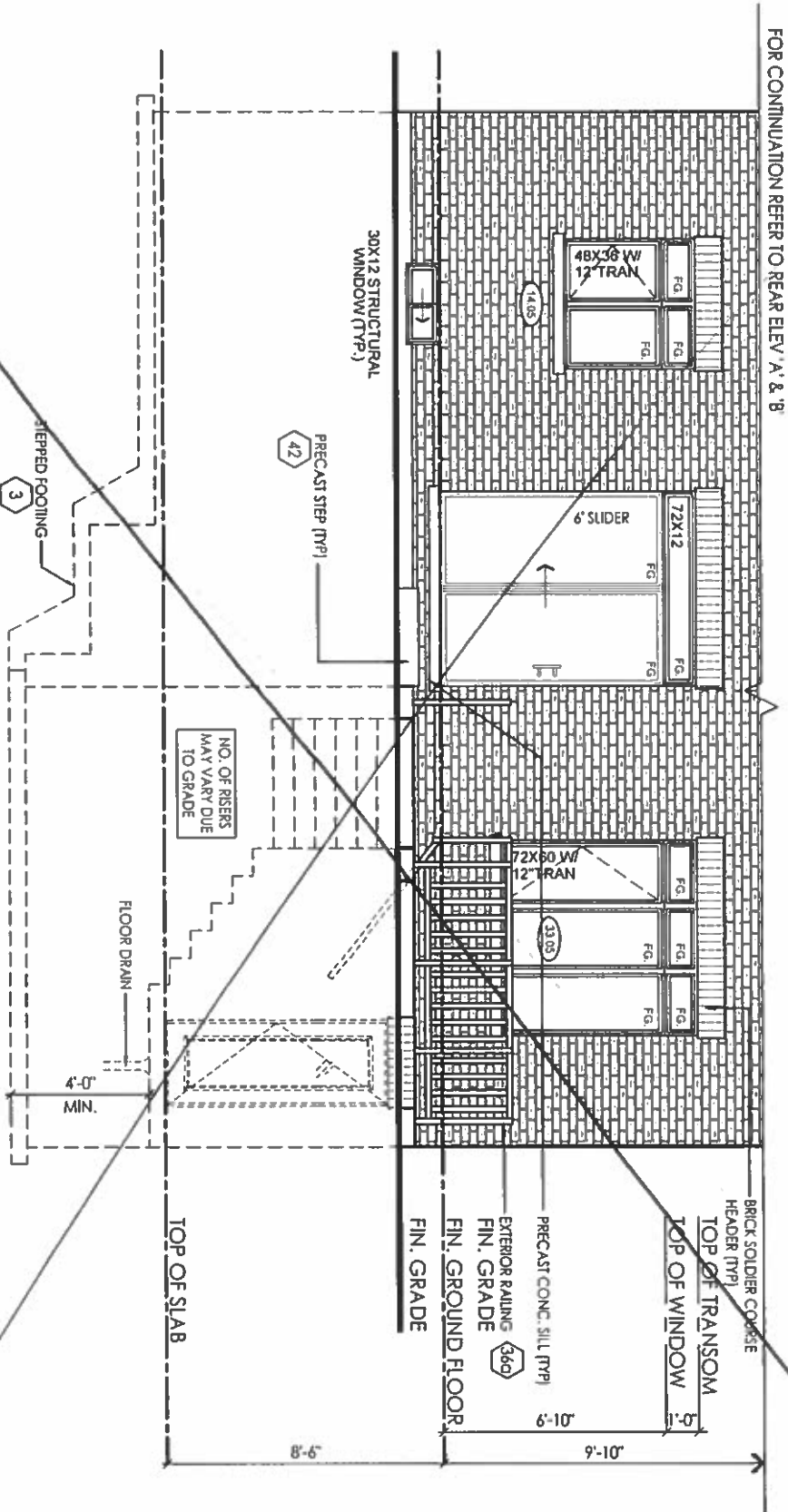
SIGNATURE:

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A22

project #
13098

PARTIAL REAR SIDE ELEVATION 'A' & 'B'
WUB CONDITION



FOR CONTINUATION REFER TO REAR ELEV. 'A' & 'B'

I, **DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.**

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4-JUL-16	SM	JM					

RN design
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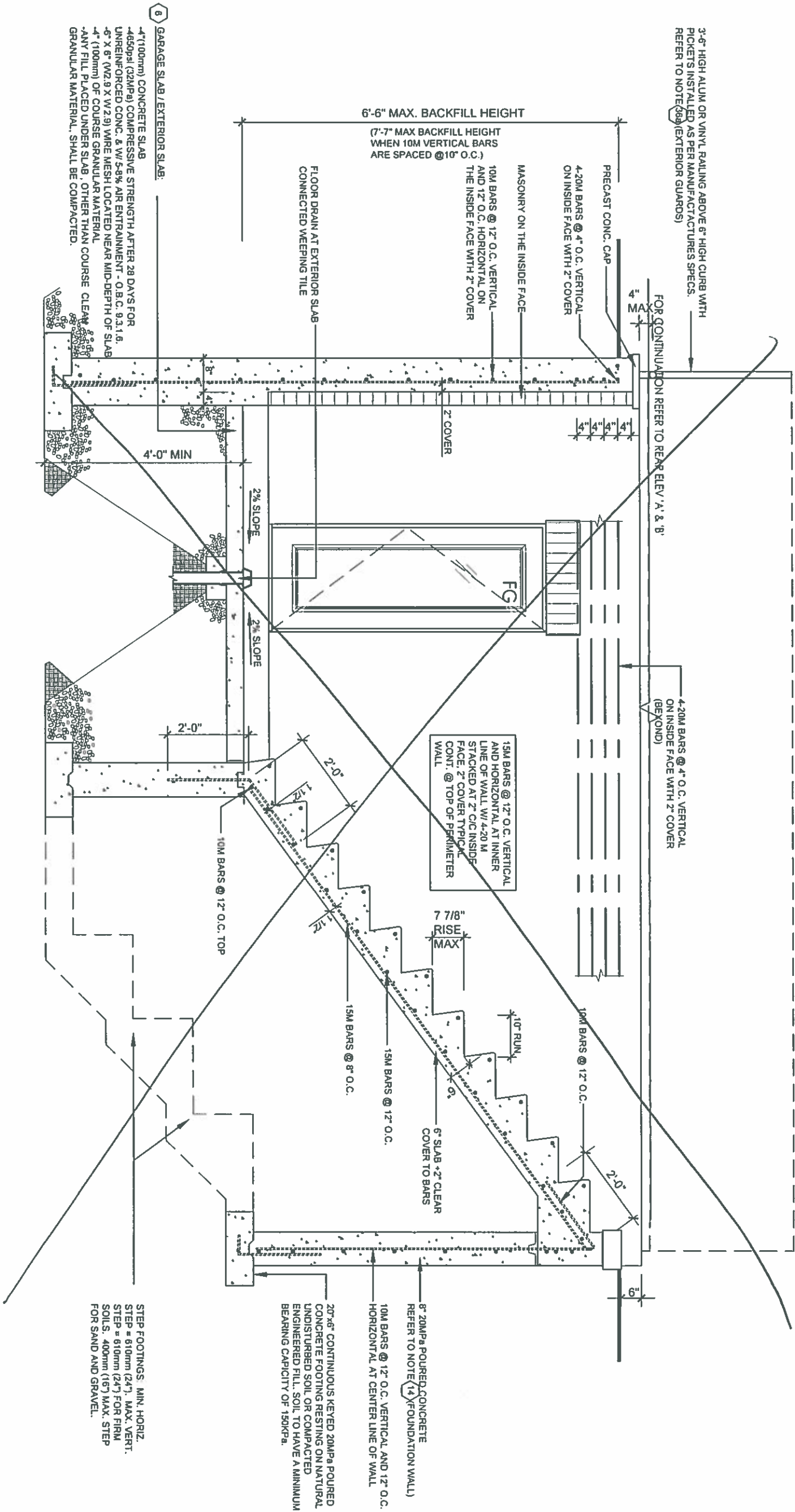
model
38-5

scale
3/16" = 1'0"

project #
13098

page

A23



A

TYPICAL WALK-UP STAIR DETAIL 'A'- (NO. OF RISERS MAY VARY)

SCALE: 3/8" = 1'-0"

MINIMUM REQUIREMENTS: FFR= N/A, STC= N/A

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QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	4/22/18	SM	JM					

RN design
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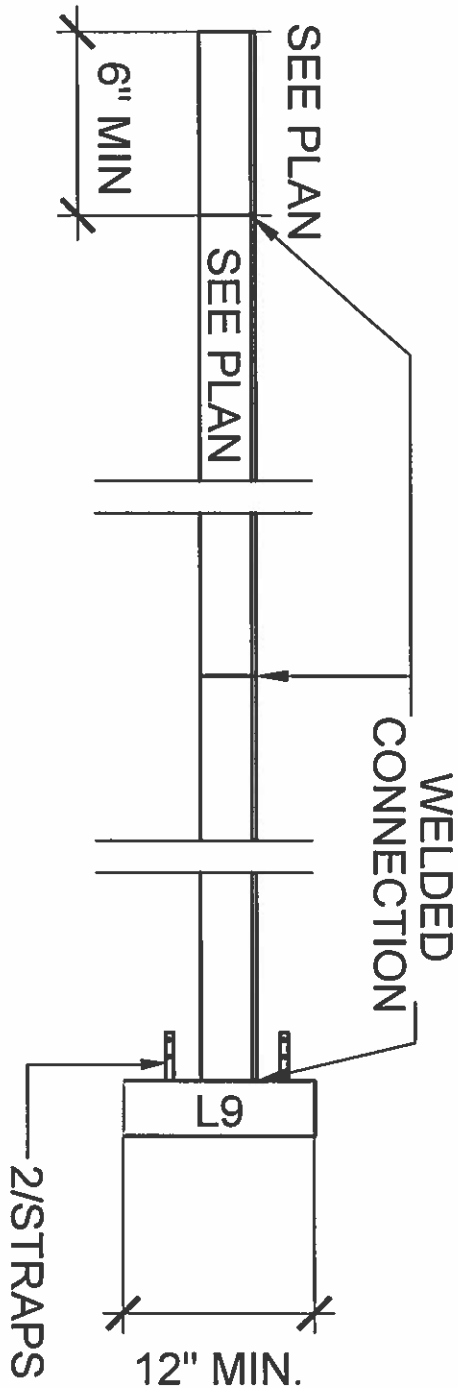
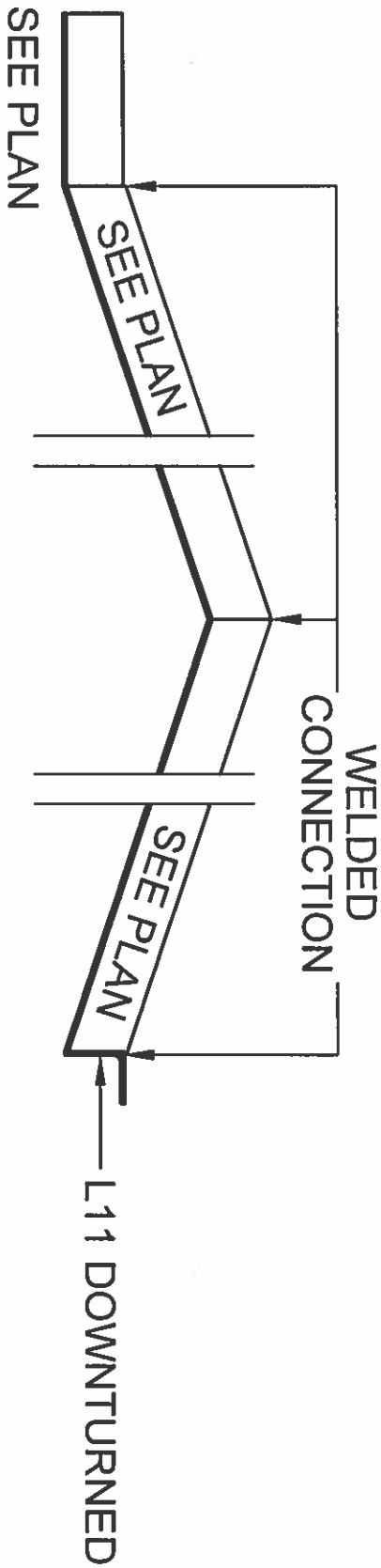
model
38-5

scale
3/16" = 1'0"

project #
13098

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LINTEL DETAIL EL. 'A'

2/STRAPS WELDED TO STL. ANGLE
& NAILED TO TOP OF
PLATE. 2 NAILS/STRAP

I, **DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.**

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Handel

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CONSTRUCTION	27-SEP-16	JM	JM					

RN design
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model
38-5

scale
3/16" = 1'0"

project #
13098

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE I

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.
-BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-FTG. TO HAVE CONTINUOUS KEY
-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER -1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING- -1 STOREY - 10" X 4" (255mm X 100mm)
-2 STOREY - 14" X 4" (360mm X 100mm)
-3 STOREY - 18" X 5" (460mm X 130mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY - 16" X 4" (400mm X 100mm)
-1 STOREY STUD - 12" X 4" (305mm X 100mm)
-2 STOREY MASONRY - 26" X 4" (660mm X 100mm)
-2 STOREY STUD - 18" X 5" (450mm X 130mm)
-3 STOREY MASONRY - 36" X 4" (900mm X 100mm)
-3 STOREY STUD - 24" X 5" (600mm X 130mm)

STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE PER 5/8" (160mm) MIN. HORIZONTAL RUN.

DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.
-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. JOIST.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF COURSE CLEAN STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

BASEMENT SLAB:

O.B.C. 9.13. & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C. 9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23'-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23'-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12-3.1.1.7 (5))
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23'-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7.(6))
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C. 9.31.4.4.
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

GARAGE SLAB / EXTERIOR SLAB:

-4" (100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

PILASTERS:

O.B.C. 9.15.5.3.
PILASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.
OR
BEAM POCKET
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)
STRUCTURAL COLUMNS
-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psi (2.4kPa).

STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4"x4"x1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)
COL. SPACING: FIG. SIZE:
2 STOREY
-MAX. 9'-10" (2997mm) - 34" X 34" X 16"
- (860mm X 860mm X 400mm)
- 44" X 44" X 21"
- (1120mm X 1120mm X 530mm)
3 STOREY
-MAX. 9'-10" (2997mm) - 40" X 40" X 19"
- (1010mm X 1010mm X 480mm)
- 51" X 51" X 24"
- (1295mm X 1295mm X 610mm)
-WHERE COL. SITS ON FDN. WALL USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

CLIENT SPECIFIC REVISIONS

WOOD COLUMN:

OBC 9.17.4.1, 9.17.4.2, & 9.17.4.3.
-5 1/4" x 5 1/4" (140mm x 140mm) SOLID WOOD COLUMN - OR
-3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 6 MIL POLY
-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9'-10" COL SPACING)
-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/ 9'-10" COL SPACING)

BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2"x8"x12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"x11"x 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

FOUNDATION WALL:

O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally supported height.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN Laterally supported height.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.-T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.-PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4" (38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL
REDUCTION OF THICKNESS:
O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMP-PROOFING & WATER-PROOFING:

-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP-PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP-PROOFING.

FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD.
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL OR
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: JUNE 21/16

SIGNATURE:

client
Gold Park Homes
project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	mg	ra	5				
2	ISSUED FOR PERMIT	14-04-2015	BPA	DJI	6				
3	ISSUED FOR CONSTRUCTION	17-Sep-15	ci	dji	7				
4	REVISED AS PER OBC SB-12 2017 UPDATE	29-Mar-17	es	es	8				

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marketing name
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3	ISSUED FOR CONSTRUCTION	17-Sep-15	cr	djh	7				
4	REVISED AS PER OBC 58-12 2017 UPDATE	29-Mar-17	es	es	8				

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