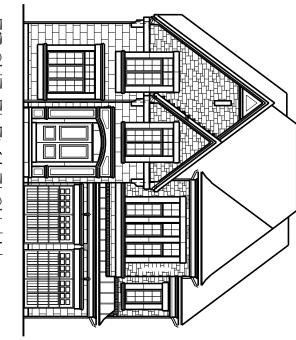
| STILL YOUR STILL YOU

AREA CALCULATIONS



OFAIRBARN | TUE MAY 21/19 10:51 AM | K:PROJECTS\2017\217020.GOLD\WORKING\SINGLES\MODEL HOMES LOT MODS\217020WS5004-BEAUMONT-LOT 92.DW

FRONT ELEVATION 'A'

UNIT 5004 -JHT. BEAUMONT' - LOT 92

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

AREA CALCULATIONS PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)
OW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE
3E OF BELOW GRADE SLAB < 600mm BELOW GRADE
NTED SLAB OR SLAB < 600mm BELOW GRADE ING W/O ATTIC SPACE

SED FLOOR 10.56 (R60) 5.46 (R31) 5.46 (R31) 3.87 (R22) 1.76 (R10) 1.76 (R10) 3.52 ci (R20 ci) * 1.6 2.8 10.56 (R60) 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52 ci (R20 ci) 1 76 (R10) 1 76 (R10) 1 - TITLE PAGE
2 - BASEMENT PLAN, EL. 'A'
3 - GROUND FLOOR PLAN, EL. 'A'
4 - SECOND FLOOR PLAN, EL. 'A'
5 - FRONT & REAR ELEVATION 'A'
6 - LEFT SIDE ELEVATION 'A'
8 - CROSS SECTIONS
9 - CONSTRUCTION NOTES
9 - CONSTRUCTION NOTES
W1 - WALK OUT DECK CONDITION
W2 - LOOK OUT DECK CONDITION
W3 - WALK OUT BASEMENT CONDITION
W4 - DECK DETAILS 1
W5 - DECK DETAILS 2





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REVISIONS	1. ISSUED FOR CLIENT REVIEW	2. REVISED AS PER CLIENT COMMENTS	3. REVISED AS PER FLOOR MANUF. LAYOUTS	4. REVISED AS PER CLIENT COMMENTS	5. REVISED AS PER ENG. COMMENTS	6. REVISED AS PER CLIENT COMMENTS	7. REVISED AS PER ENG. COMMENTS	8. REVISED DESIGN AS PER CLIENT COMMENTS	9. REVISED AS PER CITY COMMENTS	10. REVISED AS PER INTERIOR DESIGN DRAWINGS	
DATE (YYYY/MM/DD)	2017/10/20	2017/11/03	2017/12/01	2017/12/05	2018/04/17	2018/05/14	2018/05/31	2018/06/14	2018/09/04	2019/04/12	
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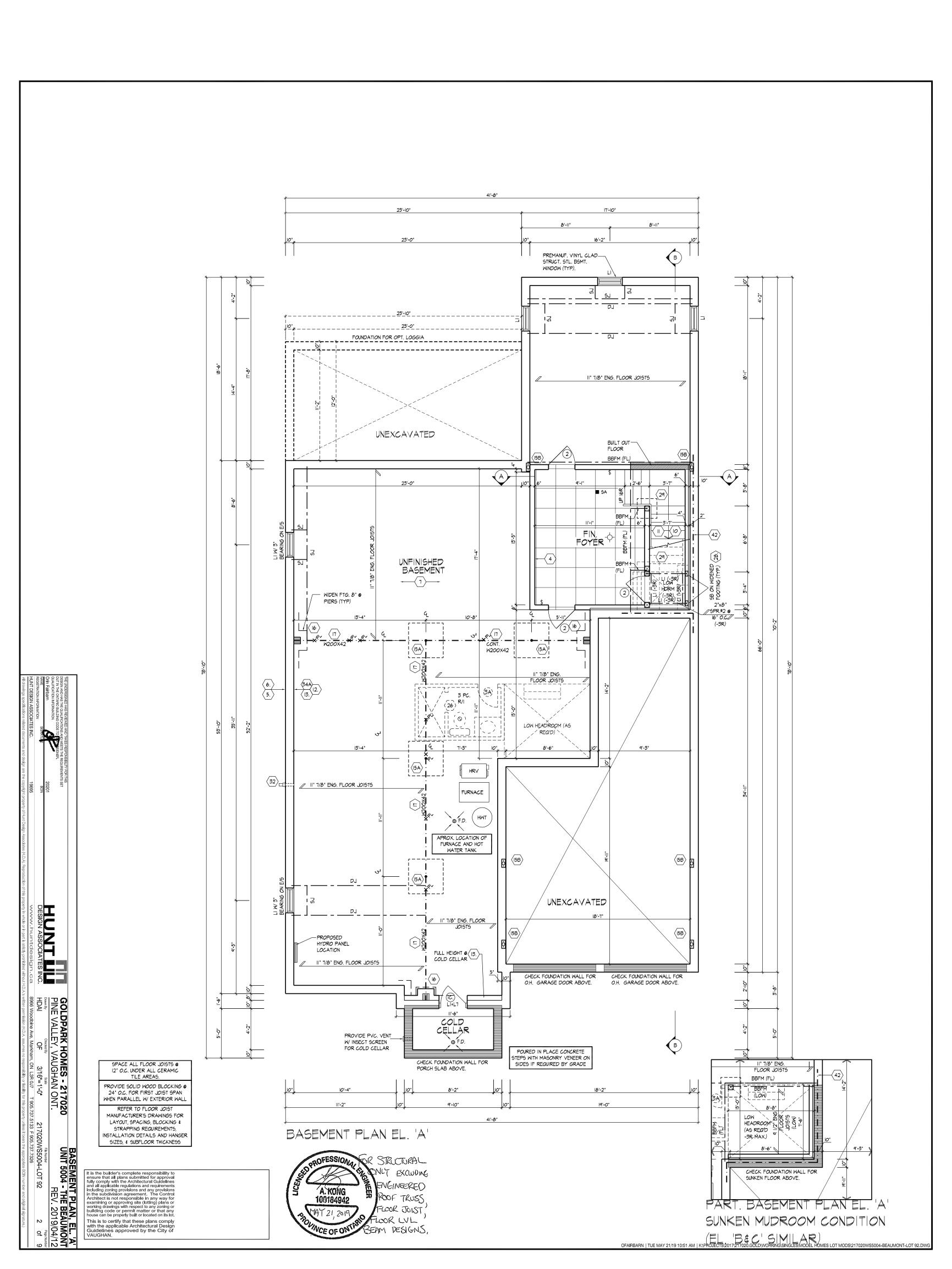
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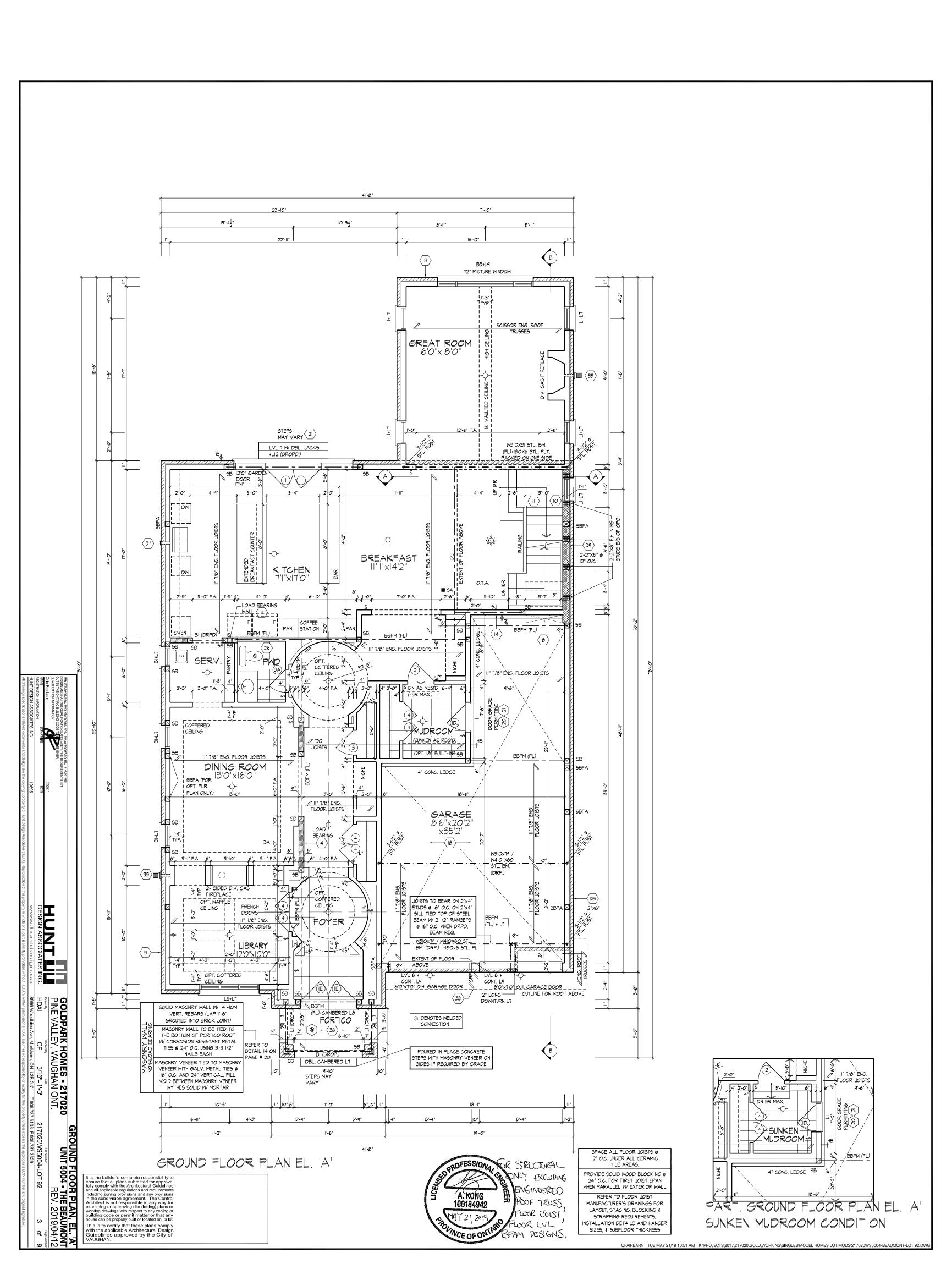
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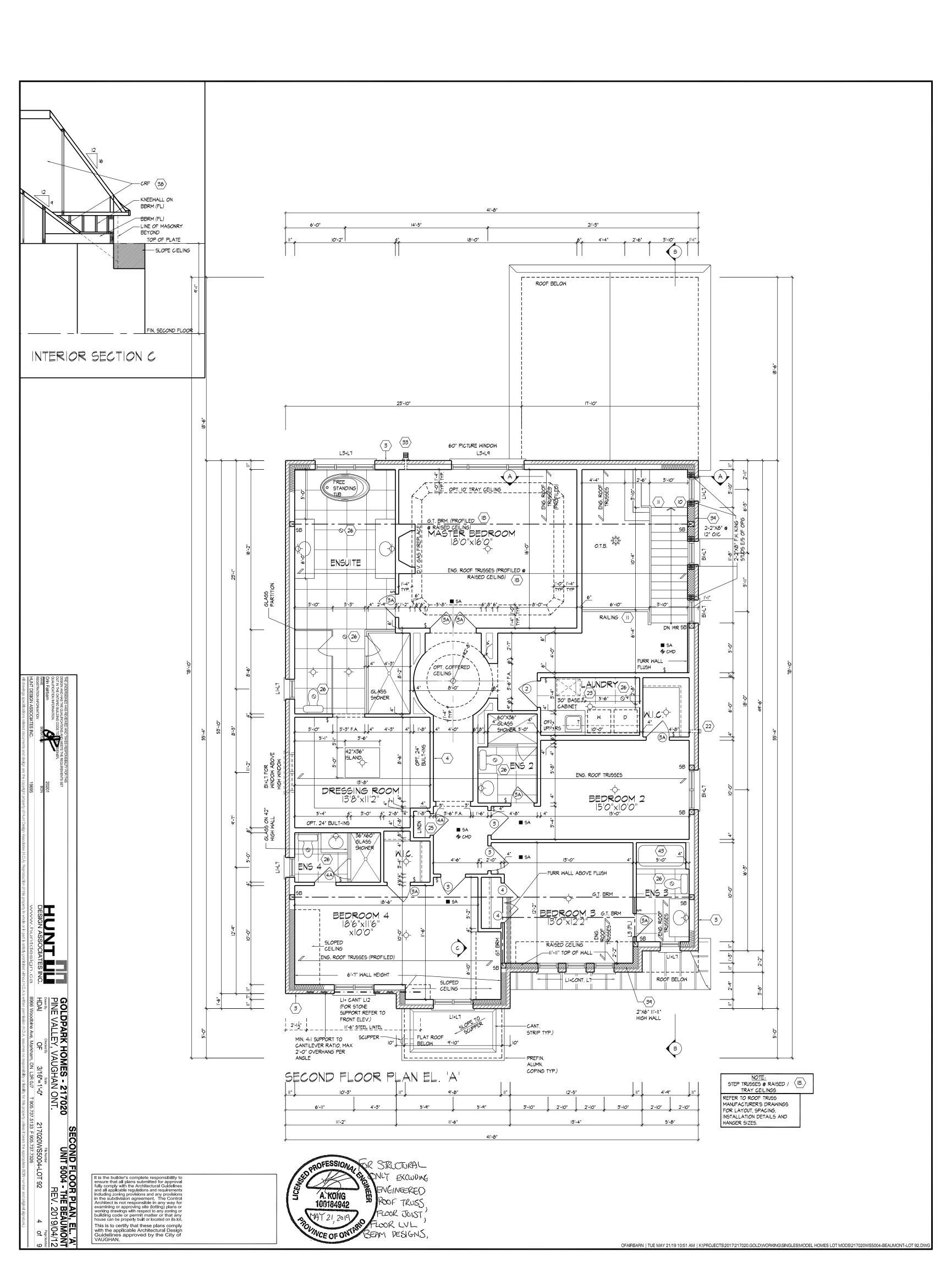
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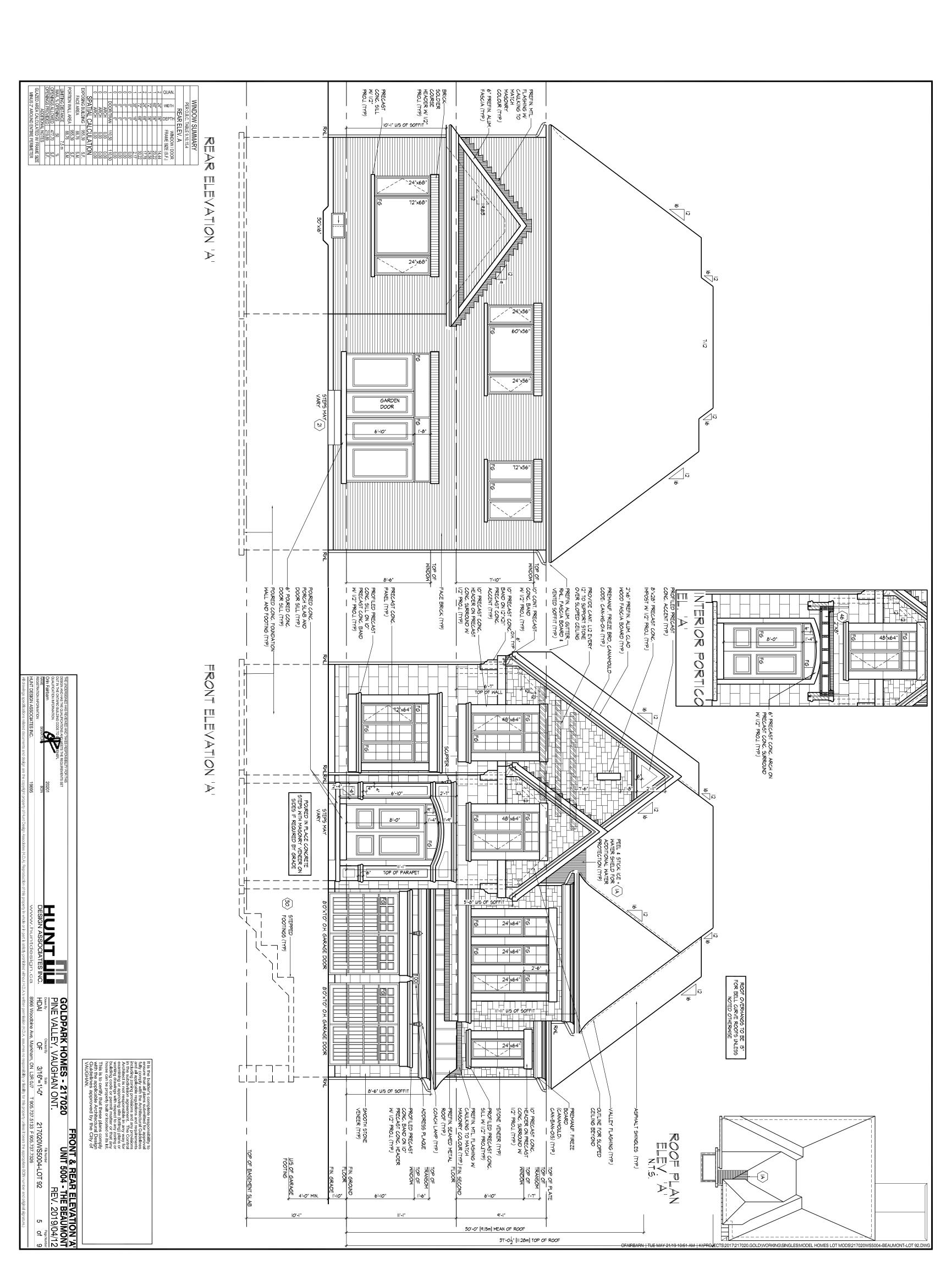
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UNIT 5004 - THE BEAUMONT
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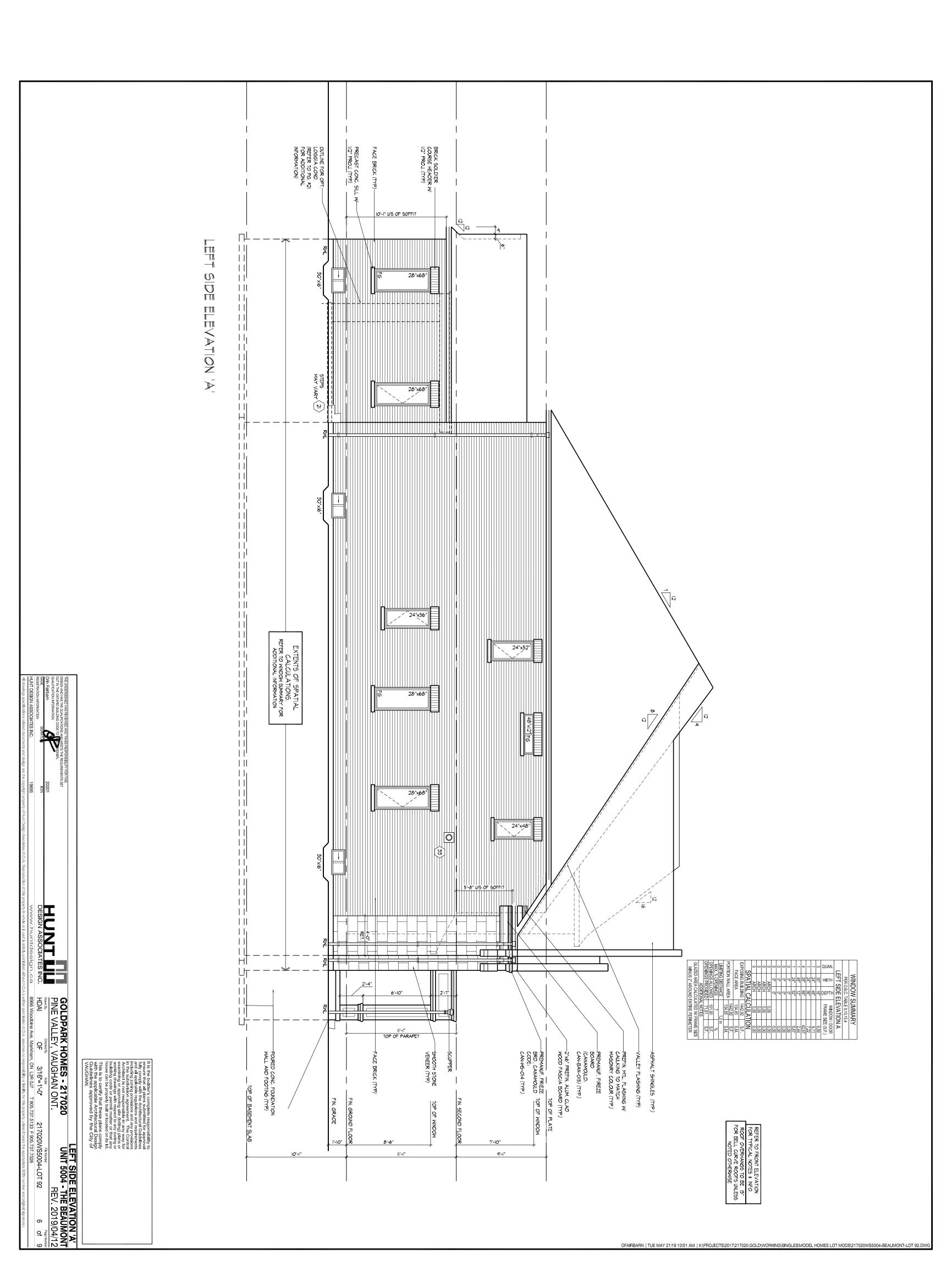
HDAI 8966 W GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

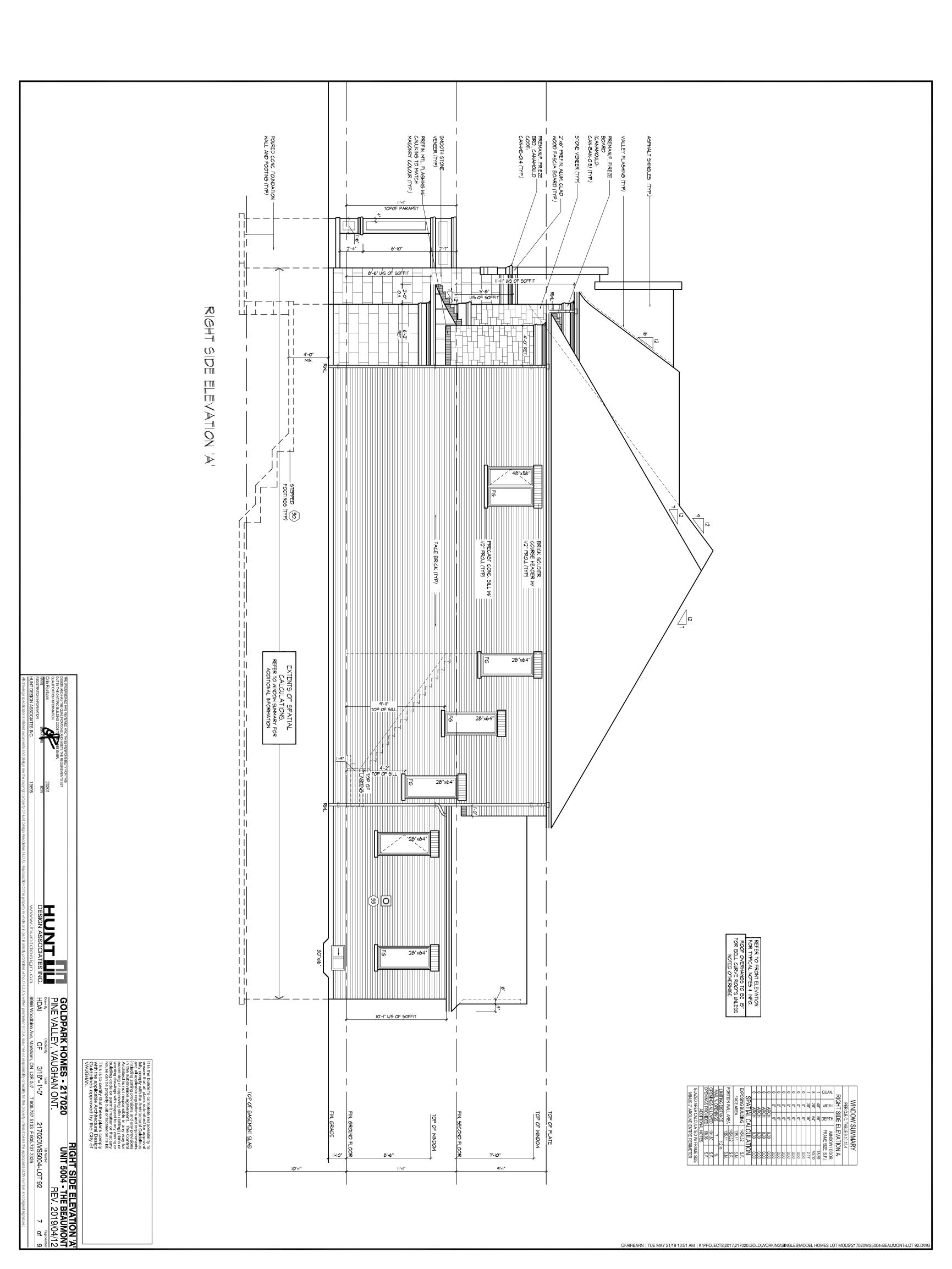


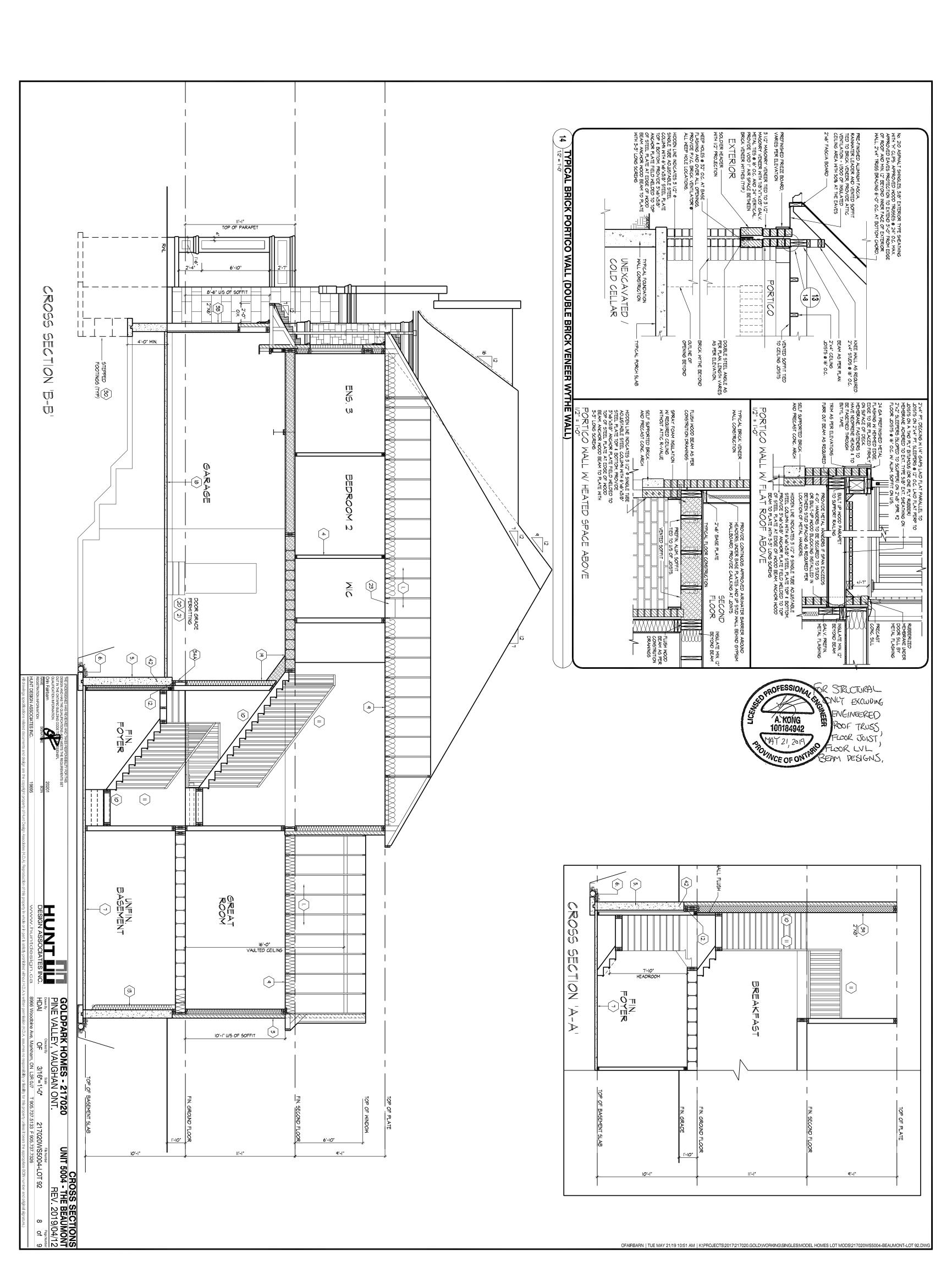












D. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING TH "H" CLIPS, APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX, APPROVED WAS PROTECTION TO EXTEND 2-11" (900) FROM EDGE OF ROOF AND MIN. VASS PROTECTION TO EXTEND 2-11" (900) FROM EDGE OF ROOF AND MIN. (200) BEYOND, UNICH FACE OF EXTENDEN WALL, 2"4"(38X89) TRUSS ACING @ 6"-0" (1830) O.C. AT BOTTOM CHORD, PREFIN, ALUM. VESTROUGH, FASCIA, RWL & VENTED SOFFIT, ATTIC VENTILATION 1:300 OF SULATED CELLING AFEA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT BOTTOM 5-SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM 5-SPACE EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING ONTO 5-SPACE EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING OWNHOUSES 1+AVEST MIN. EAVESTROUGH WITH ELEC. THACED HEATER CABLE ALONG VESTROUGH AND DOWN RWL.

LAVES INCUGIT AND MOTER SHIELD

(1A) ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHELD IN THE AREAS INDICATED. THE ICE AND WATER SHELD IN THE AREAS INDICATED. THE ICE AND WATER SHELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

CONFORMING TO O.B.C (9.23.10.1), & SECTION 1.1., INSULATION, APPROPRON 3/8" (9.5) EXT. GRADE SHEATHING ON CONFORMING TO O.B.C (9.23.10.1), & SECTION 1.1., INSULATION, APPROPROMENTAL AND APPROPROMENTAL AND APPROPROMENTAL AND APPROPROMENTAL AND APPROPRIATE SIDING WALL CONSTRUCTION A SIDING MATERIAL AS PER ELEVATION A PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

TIERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON ARPWAITER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID VI, CIONITS UNTAPED MECHANICALLY FASTENED AS PER URERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON FURRISS SPECIFICATIONS ON 1.1, S. SECTION 1.1., INSULATION, APPROVED ETHYLENE AIRWAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD YPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE THYLENE AIRWAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD SHALL NOT BE AIRWAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD SHALL NOT BE AITTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

(2B) SIDING WALL @ GARAGE CONSTRUCTION
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FE
FI IRRING MEMBERS OR BI OCKING RETWEEN THE ERAL ING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON OVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON S CONFORMING TO O.B.C (9.23.10.1) & SECTION 1.1.,1/2" (12.7) GYPSUM BOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND BOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING 16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

(3A) RICK VENEER 1* (25) AIR SPACE. 1/8*X7*00.03* (22x180x0.76) GALV. METAL TIES O.C. HORIZ. 24* (860) O.C. VERT, BONDING AND FASTENING FOR TIES TO O.C. HORIZ. 24* (860) O.C. VERT, BONDING AND FASTENING FOR TIES TO WITH 9.20° (9.0 S) EXTERIOR TYPE WITH 9.20° (9.0 MAPPROVED SHEATHING PAPER, 38* (9.5) EXTERIOR TYPE STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1. INSULATION DIVERTEY LEVEL VAPOUR BAPRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2* O.M. WALLBOARD INTERIOR FINISH. PROVIDE MEET POLIES @ 32* (800) O.C. DURSE AND OVER DPENINGS. PROVIDE BASE FLASHING UP MIN. 6* (150) LDING PAPER (9.20.13.6.) (REFER TO 35 NOTIE AS REQUIRED)

3A) 31/2" (90) BRICK VENIER I (25) ARIS PROCE 7/8" 750.03" (22×180x).76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9,20.9. ON APPROVED AIR/MATER BARRIER AS PER O.B.C. 92.7.3. ON EXTERIOR TYPE RIGID INSULATION, JONNIS JUNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 39" (9,5) EXTERIOR TYPE SHERIHING, STUDS CONFORMING TO O.B.C. (9,23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 22" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9,20.13.6.) REFER TO 3.8" (9.5) SECTION 1.1., 1/2" (120) CO. HORIZ. 24" (600) O.C. WERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9,20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.31.01.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BEARING PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"X4" (38x89) (6.23.9.8.) PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 ND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) 0) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP 2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) 2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x89) @ 24" (610) O.C. LADDER FRAMING HERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING 2MLIS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" OOD BLOCKING ON FLAT @ 3"-11" (1194) O.C. MAX. BETWEEN FLOOR HEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

TO O.B.C (9.23.10.1.) & REARRIER WITH ARD INT. FINISH. (9.23.)

5 FOUNDATION WALL/FOOTINGS
POURED COME FOR MINIOTINGS AB EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION ER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID IANICALLY FASTENED AS PER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, 10.1.) & SECTION 1.1. INSULATION AND 6 WITH APPROVED CONT. AIR BARRIER. 1/2" 131. (9.23.)

POUJEBE CONG. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONGRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMIPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELCW GRADE. PROVIDE A DPANNAGE LAYER AT THE TOP. THE TOP OF THE FOUNDATION WALL SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE FOUNDATION WALL SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE FOUNDATION WALL SEAD IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE C. (REFER TO CHART BELOW FOR RESPECTIVE SLE). BRACE FOUNDATION WALL PRIOR TO PLESHOWS. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125MPA S.L.S. OF COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125MPA S.L.S. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY. BEIGNEREED FOUTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFERT TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4.

FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS. PRECAST CONC. STEP OR WOOD STEP W

D IN THICKNESS TO MG, THE REDUCED HE BRICK VENEER SHALL RESISTANT METAL TIES NEW WITH MORTAR

\$\frac{\frac{5B}{B}}\$ \ \begin{array}{l} OUNDATION WALL IS REDUCED IN THICKNESS TO OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE 50) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

WEEPING TILE (9.14.3.)

4" (100) Ø WEEPING TILE W. FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL.

UH 20MPa (2900ps) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL AROUND THE PERIMETER EXTERIOR GRADE 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ((SB-12) 3.1.1.7.(5) & (6))

NOHED TO FRAMING MEMBERS.

EN THE FRAMING MEMBERS ON

BENT HAND REMBERS ON

BENT HAND REMBERS ON

SOFTI OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

1/2" (12.7) GYPSUM WALLBOARD INT. FIN.

AND FIBERBOARD SHALL NOT BE USED

3.(1.)) (REFER TO 35 NOTE AS REQ.)

NITERIOR FINISH OR APPROVED EQ.

NITERIOR FINISH OR APPROVED EQ.

NITERIOR FINISH OR APPROVED EQ.

NITERIOR FINISH OR APPROVED EQ. EXPOSED CEILING TO EXTERIOR w/o ATTIC

WINSULATION BETWEEN JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES)
WINSULATION BETWEEN JOIST 6 MIJ POLVETHYLENE VAPOUR BARRIER 1/2" (12.7)
GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANULC-\$705.2, 9.19.1, 9.10.17.1)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2. 9.8.2., 9.8.4.)

MAX. RISE MIN. RISE MAY DIMIT.

PRIVATE 2-10" (860) MIN. RUN | 57/8" (150) MAX. NOSING | 1" (25) PUBLIC | 2-11" (900) MIN. AVG. RUN | 77/8" (200) |

*** HEIGHT OVER STARS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STARS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SNIGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) FOR AN EXTERIOR STAIR SERVING A GARAGE W/MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.2.

GUARD HEIGHTS - O.B.C. 9.8.8.2.

INTERIOR GUARDS: 2-11* (900) MIN. (LESS THAN 5-11* (1800) TO GRADE) 3-6* (1070) MIN. (MORE THAN 5-11* (1800) TO GRADE) AND AND AND AND FOR EXIT STARRS: 3-0* (1920) MIN. (MORE THAN 5-11* (1800) TO GRADE) GUARDS FOR EXIT STARRS: 3-0* (1920) MIN. (MORE THAN 5-11* (1800) TO GRADE) GUARDS FOR FLOORS & PAMPS IN GARAGES (SERVICE STAIRS)

TYPE

GUARDS FOR FLOORS & PAMPS IN GARAGES (SERVICE STAIRS)

FLOOR OR RAMP WO EXTERIOR WALLS THAT IS 23 5/8* (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6* (150) HIGH, AND GUARD MIN. 3-6* (1070) HIGH.

REQUIRED GUARDS

REQUIRED GUARDS

BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN

ELEVATION MORE THAN 23.56° (600) OR ADJACENT SURFACE WITHIN 3-11" (1200)

& WALKING SURFACE W. A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED

WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRALL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS OR RAMP: 3"-2" (965)

MAX. HEIGHT AT STAIRS OR RAMP: 3"-2" (965)

MAX. HEIGHT AT LANDING: 3"-6" (1070)

STAIRS OR RAMP MIN. 7-3" (2200) WIDE: 2-9" (865) MIN. HEIGHT AT PRAMP MIN. 7-3" (2200) WIDE: 2-9" (865) MIN. HEIGHT AT LANDING: 3"-6" (1070)

(22) 2"X" (38.39) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C. CALILKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION (58-12) 3.1.7.)

BASEMENT INSULATION (58-12) 3.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER, INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR, DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

THE FOUNDATION WALL AND INSULATION IN BASEMENT (9.15.3.6. 9.23.10.1.)

36

THE FOUNDATION WALL AND INSULATION OF TO GRAVET LEVEL.

BEARING STUD PARTITION. IN BASEMENT (9.15.3.6.) 28.310.1.)

REQUIRED.) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM. 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7.10" (2390) 0.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

DAJUSTABLE STEEL BASEMENT COLLMIN. (9.15.3.4.)

P-10" (3000) MAX. SPAN BETWEEN COLLMINS. 3.1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLLMIN CONFORMING TO CANCGESH-ZNA, AND WITH 6"%%3/8" (152x152x9.5) SITEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLLMIN CONNECTION. POURED CONCRETE FOOTING ON NATUPAL UNDSTUBBED SOIL OF 125/4Pa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125/4Pa S.L.S. AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x470x40) CONC. FOOTING SUPPORTING 3 STOREY FLR. LO

(3)

NON-ADJUSTABLE STEEL BASEMENT COLUMN 3 1/2" (90) 0 × 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN N 3 12" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 8"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM BOTTOM PLATE C/W 2 1/2"Ø x 12" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL. OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. UPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING UPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

(18) GARAGE SLAB (9.16, 9.35)

4" (100) 32MPa (1964)0psi) CONC. SLAB WITH 5-8% AR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
COMPACTED NATIVE FILL. SLOPE TO FRONT (9.10.9.16.)

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

102" (12.7) GYPSUM BOARD ON WALL AND CEILING (9.10.9.16.)

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENIED AS PER MANUFACTURERS SPECIFICATIONS ON 38" EXTERIOR GRADE SHEATHING ON STUDIOS BETWEEN HOUSE AND GARAGE, PUS BEQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

A. KONG 100184942

20 DHOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.)
DERAME. DOOR EQUIPPED WITH SELF CLOSING STRIPPING.

ALLAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER.

XX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235), FOR THE REQUIRED NUMBER.

STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE

AIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH

JUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED

1, PER SUBSECTION 9.8.10.

CHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (5.45) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ((SB-12) 3.1.1.8.(1)) FIREPLACE CHIMNEYS
TOP OF FIREPLACE CHIMNEYS

-PLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ACE WITHIN A HORIZ, DISTANCE OF 10-0" (3048) FROM THE CHIMNE

25 FROVIDE 4 SHELVES MIN. 14" (356) DEEF

27 PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE \(\begin{align*} \begin{align*} \begin{align*} \left(26 \right) & \text{MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3. \end{align*}

WOOD FRAMING IN CONTACT TO CONCRETE

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

(29) BUILT-UP WOOD POST AND FOOTING

3-2"X6" (3-38x140) BUILT-UP WOOD POST (UNLESS I

METAL BASE SHOE ANCHORED TO COINC, WITH 1/1

(610x610x305) COINC, FOOTING OR AS PROVIDED C

30 STEP FOOTINGS
MIN. HORIZ STEP = 2 31) CONC. PORCH SLAB (9.16.4.)

MIN. HORIZ STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600). MIN. 4" (100) CONCRETE SLAB (9.16.4.)

FILL, REINFORCED WITH δεδετική SLAB. CONIG. THE SLAB ON GRADE TO SLAB ON GRADE TO SLAB. CONIG. THE SLAB ON GRADE TO SLAB ON GRAD TO SLAB ON GRAD TO SLAB ON GRAD TO SLAB ON GRAD TO SLAB ON GRA LAB ON GRADE ON 4" (100) COARSE GRANULAR x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON

(<u>31</u>)

(344) FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.)

TRIG SUBFLOOR ON WOOD FLOOR JOISTS, FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLLD BLOCKING @ 6"-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6"-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION
PROVIDE CONTINUOUS APPROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP)
HE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE
PLATE. THE HEADER WRAP SHALL EXTEND 6° (122) BELOW THE
COUNDATION WALL AND WILL BE SEALED TO THE CONCRETE
TION WALL EXTEND HEADER WRAP 6° (122) UP THE INTERIOR SIDE
SI'LD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL
IT, ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULIC-STOZ & HAVING A MASS OF NOT LESS THAN 1.22 KGM/2 OF WALL SUFFACE AND MYST (1.20 m)

A MASS OF NOT LESS THAN 1.22 KGM/2 OF WALL SUFFACE AND MYST (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUST BLE WHEN LIMITING DISTANCE IS 23.58" (0.60m) OR LESS, WALL ASSEMBLY RECUIRES TO HAVE A FIRE RESISTANCE BATING OF NOT LESS THAN 4.5 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.), REFER TO DETAILS FOR TYPE & SPECS, *** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 2.01 MYST (1.30 cm²) SHALL NOT BE CONSIDERED AN UNIPROTECTED OPENING AS PER

46

RMAX, 8-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ % ARI ENTRANMENT. REINF, WITH 10M BARS @ 77/8" (200) O.C. EACH ECTION, W1 11/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FRST ER OF BARS & SECOND LAYER OF BARS LAD DIRECTLY ON TOP OF LOWER ER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., CHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.

CONVENTIONAL ROOF FRAMING (9.23.13. 9.23.15.)

2*X6" (38X:140) RAFTERS @ 16" (406) O.C., 2*X6" (38X:184) RIDGE BOARD.
2*X4" (38X:89) COLLAR TIES AT MID-SPAN, CEILING, JOISTS TO BE 2*X4" (38X:89)
@ 16" (406) O.C., FOR MAX, 9"-3" (2819) SPAN & 2*X6" (38X:180) @ 16" (406)
O.C., FOR MAX, SPAN 14-7" (4450), RAFTERS FOR BUILT UP ROOF OVER
PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO
BE 2*X4" (38X:89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED. (37) RANGE HOODS AND RANGE-TOP FANS
COOKING APPLIANCE EXHAUST FANS VENTED TO CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10. O EXTERIOR MUST

9.23.11., 9.23.16.)

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4"-0" (1220) O.C. VERTICALLY.

FLOOR LYL BEAM DESIGNS, POLINCE OF ONTARIO

cont. SECTION 1.0. CONSTRUCTION NOTES

SECTION 1.1. WALL STUDS

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

AS REQUIRED FOR EXTERIOR NG PLAN OF THIS UNIT FOR CONFIRMATION STRONG INFORMATION.

STUCCO WALL CONSTRUCTION
STUCCO FINISH CONFORMING TO O.B.C. S SECTION 9.28, AND APPLIED PER 9.11/2" (38) E.I.F.S. (MINIMUM) ON 1.0 ENSGLASS GOLD GYPSUM BOARD (10.1), & SECTION 1.1. INSULATION, JR BARRIER, 1/2" (12.7) GYPSUM 1.0TE AS REQUIRED)

2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED
3) PENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS
3. CCATED LESS THAN 1".7" (480) ABOYE FIN. FLOOR AND THE DISTANCE FROM THE
3. INISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5-11" (1800). (9.8.8.1.)
3. WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2"-11" (900). (3"-6" (1070)
3. OR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE
3. WINDOWS SHALL BE NON-OPERABLE AND DESIGNED
3. O WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN
3. 1.5.15 OR 9.8.8.2

JBLE JOIST/TRIPLE JOIST

42

4 WINDOW WELLS

WATERPROOFING MEMBRANE (9,26.11, 9,26.15, 9,26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 22". (38x38) PUBLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"X8" (38x184) FLOOR JOISTS @ 16" (406) O.C. UNLESS OTHERWISE NOTED, BUILT UP JOIR TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR CONTINUOUS "URM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN (TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR ANEL FOR UNDERSIDE OF SOFFIT (9,23.2.3). REMOVE CURB WHERE REQ.

BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2
ROOF, JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR
BARREL, SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD.
INTERIOR FIN. (REFER TO DETAILS) DECKING W. 1/4" (6.4) GAPS LAID I CONTROLL TO JUNE TO DECKING W. 1/4" (6.4) GAPS LAID I CONTROLL TO JUNE TO PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAH I U JUNE TO PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAH I U JUNE TO BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOFBALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO HEX NOTE 9 FOR INSULATION AND PT ANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND ONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. AID FLAT PAPALLEL TO JOISTS ON 2"x4" (38x89) C. LAID FLAT PERPENDICULAR TO JOISTS

ADDRESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL AND SAND ALL TYPE '866' & '81tb')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2%2" (38x38) VERTICAL WD. CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W.2 COATS OF PAINT OR FURRED WITH 2%2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ((SB-3) WALL TYPE 'W13c')

5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"%4" (38x38) STUDS (@ 16" (406) O.C., MIN. 40 1 HR. PARTY WALL (CONC. BLOCK)

SECTION 2.0. GENERAL NOTES

PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS

(4)

STUCCO WALL CONSTRUCTION W/ COUNTIN. INSULATION
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER
MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON
APPROVED DRAHINGE MAT ON APPROVED ARWATER BARRIER AS PER O.B.C.
9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNITABED) MECHANICALLY
FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE
SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23. 10.1.) & SECTION 1.1.
INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7)
GYPSUM WALLBOARD INT. FINISH, (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST.
STUCCO FINISH CONFORMING TO TO TO

2.2. CEILING HEIGHTS
PHE CFILING HEIGHTS OF ROOMS AND SPACES

TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

ROOM OR SPACE LIVING ROOM, DINING ROOM AND KITCHEN

BASEMENT BEDROOM

MANUFACTURERS SPECIFICATIONS OVER 1.1/2" (38) E.F.I.S (MIN APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSCLASS GOLD (3) STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" WALLBOARD NT. FINISH. (REFER TO 38 NOTE AS REQ.)

**** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTING PROVIDE APPROVED DRAINAGE MAT ON 1/16" (11) EXTERIOR TY.

OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F. ON APPROVED DRAINAGE MAT ON 1/2" (72.7) DENSCLASS GOLD ON APPROVED DRAINAGE MAT ON 1/2" (72.7) DENSCLASS GOLD UNSULPORTED FOUNDATION WALLS (9.15.4.2.)

PRINFORCING AT STAIRS AND STINKEN FI OOR ARFAS

42 RINFORKIES FOUNDATION WALLS (13-00-16)
420M BARS IN TOP PORTION OF WALL (UP TO 8-00-OPENING)
3-20M BARS IN TOP PORTION OF WALL (UP TO 10-00-OPENING)
3-20M BARS IN TOP PORTION OF WALL (UP TO 10-00-OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
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4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
4-20M BARS IN TOP PORTION OF WALL (10-00-TO 15-00-OPENING)
4-20M BAR

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRANKED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CWA FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.3:10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION (18B-12] 2.1.1.7., 9.23.4.2.)

2*X12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2*X2" (38x28) PURLINS @ 16" (406) O.C. PERPENDICUL AR TO ROOF JOIST (PURLINS NOT RED. W. SPRAY FOAM), WINSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. HINSH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION

2 HR. FIREWALL (ISB-3] WALL TYPE '86e' & 'B1b')

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE. FILL S. SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT, GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK, (REFER TO DETAILS)

CTION 9.28. AND APPLIED PER
1/2" (38) E.F.I.S (MINIMUM) ON
NSGLASS GOLD GYPSUM BRD. ON
SECTION 1.1., 1/2" (12.7) GYPSUM ON COŃSTRUCTION, 11) EXTERIOR TYPE SHEATHING OF 11/2" (38) E.F.I.S (MINIMUM) ENSGLASS GOLD GYPSUM BRD.

CLEAR HEIGHT OF G: 11" AT ANY POINT
7-7" OVER 50% OF REQUIRED FLOOR AREA OR 6: 11"
OVER 50% OF REQUIRED FLOOR AREA OR 6: 11"
OVER ALL OF THE REQUIRED FLOOR AREA
6: 11" OVER ALL GET THAT EVENT THE BEAMS AND DUCTS THE
EXCEPT THAT UNDER BEAMS AND DUCTS THE
CLEARANCE IS PERMITTED TO BE REDUCED TO G: 5"
6" 11" IN ANY AREA WHERE A PERSON WOULD
NORMALLY BE STANDING 6-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.) 6-7" (9.5.3.3.)

2.3. MECHANICAL / PLUMBING
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR
IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24
HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM
TO OBC 9.32.3.4 WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO
MECHANICAL DRAWNINGS.) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC
OT WATER HEATER MINIMUM EFFICIENCIES.
) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE EQUIREMENTS OF 3.1.1.12. OF THE O.B.C.

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DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.

3.5. SYMBOLS
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN A

ACCORDANCE WITH SECTION 9.34

4) ALL LAMINATED VENEER LUMBER (LU), BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS, FROWIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (45bs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND. 2.4. LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

LIGHT FIXTURE (PULL CHAIN)

CHANDELIER (CEILING MOUNTED)

TELEPHONE JACK

LIGHT FIXTURE (WALL MOUNTED) LIGHT FIXTURE (CEILING MOUNTED

CABLE T.V. JACK

POT LIGHT

ROUGH IN FOR ELECTRIC VEHICLE CHARGING STATION (9.34.4)

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2.6. FLAT ARCHES

2.6. FLAT ARCHES

1) FOR 8-0" (2440) CELLINGS, FLAT ARCHES SHALL BE 6-10" (2080) A.F.F.
2) FOR 9-0" (2740) CELLINGS, FLAT ARCHES SHALL BE 7-10" (2000) A.F.F.
2) FOR 9-0" (2740) CELLINGS, FLAT ARCHES SHALL BE 8-6" (2600) A.F.F. 2.5. STEEL (9.23.4.3.)
STRUCTUBAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W, HOLLOW STRUCTUBAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
N REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

CMID CARBON MONOXIDE ALARM (9.33.4.)

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S)
CONFORMING TO CANCCA-6.19 SHALL BE INSTALLED ON OR NEAR THE CELLING IN EACH
DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)
SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS
AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SMOKE ALARM (9.10.19.)

DE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS DE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS DE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN UNG ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TINATE ALL ALARMS, IF ONE SOUNDS, ALARMS, ARE TO BE CONNECTED TO AN RICAL CARCUIT AND WITH A BATTERY BACKUP. ALARM SARDAL SHALL MEET SHCAL CARCUIT AND WITH A BATTERY BACKUP. ALARM ANSUAL SIGNALLING ONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY "U.C. LISTED ALL REQUIRED WITHIN THESE DRAWNESS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT "SPECIFIED U.C. LISTING": THERE SHALL BE NO DEVIATIONS UNDER ANY CIFICUMSTANCES IN ANY "U.C. LISTED ASSEMBLY" IDENTIFIED IN THESE DRAWINGS. 2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE
2.8. FLASHING (9.20.13. 9.26.4. & 9.27.3.)
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C. 2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER
WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY
AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.

2 HR. FIREWALL REFER TO HEX NOTE 40A

1.01 **kPa** 0.44 **kPa**

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

THE OF A WOOD COLDWIN SHALL NOT BE LESS THAN THAN THE WIDTH OF MITH OF THE NUMBER BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH STHAN 3" (76) NAILS SPACED NOT MORE THAN 11 34" (300) O.C. THE NUMBER DIS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)
H OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF
TEN MENABED BILL THE WOOD COLLINNS SHALL BE NAILED TOGETHER WITH

(DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.12.3.(1), (3), 9.23.13.8.(2), 9.37.3.1.(1)	3.1. WOOD LINTELS AND BUILT-UP WOOD	CECTION O O LECENIO
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	3.1. WOO	9 TA	3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES AS TO A10 AND A12. A15 & A16)	UP W	OOD 2. A15 & A16)	SECTION 4.0. CLIMATIC DATA
FOF	FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(9 23 4	.2.(3), 9.23.4.2.(4), 9.23.12.3	3.(1),(3),	=	DESIGN SNOW I OAD (9 4 2 2)
	2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
ᄓ	2/2"x8" (2/38x184)	L3	L3 2/2"x10" (2/38x235)	L5	L5 2/2"x12" (2/38x286)	WIND FOND (400) (00-1.2:):
В1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)	STAMP
B2	4/2"x8"(4/38x184)	В4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)	
B7	5/2"x8" (5/38x184)	B8	B8 5/2"x10" (5/38x235)	В9	B9 5/2"x12" (5/38x286)	
	ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)	3CHED	ULE - GRADE 2.0E (UNLE	ON SS	TED OTHERWISE)	
	1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		13/4" x 14" LVL	
LVL2	1-1 3/4"x9 1/2"	LVL3	LVL3 1-1 3/4"x11 7/8"	LVL10	LVL10 1-1 3/4"x14"	
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"	

SIZE		3.2.8	4-1 3/4"x9 1/2"	3-1 3/4"x9 1/2"	2-1 3/4"x9 1/2"	1-1 3/4"x9 1/2"	3/4" x 9 1/2" LVL	NGINEEREI	5/2"x8" (5/38x184)	4/2"x8" (4/38x184)	3/2"x8" (3/38x184)
	(DIVISION -ORMING P.	TEEL LIN		1/2"		1/2"	"LVL	LUMBER S	8x184)	8x184)	8x184)
	ART OF	TELS	LVL9	LVL7	LVL6	LVL3		SCHED	B8	B4	ВЗ
	(DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2 (2) & 9.20.5.2 (3)	3.2. STEEL LINTELS SUPPORTING MASONRY VENEER	4-1 3/4"x11 7/8"	3-1 3/4"x11 7/8"	2-1 3/4"x11 7/8"	LVL3 1-1 3/4"x11 7/8"	1 3/4" x 11 7/8" LVL	NGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)	5/2"x10" (5/38x235)	4/2"x10" (4/38x235)	3/2"x10" (3/38x235)
RRICK	20 5 2	SONE	LVL13	LVL12	LVL11	LVL10		ESS NO	В9	В6	B5
	B))5.2(3)	₹Y VENEE	4-1 3/4"x14"	3-13/4"x14"	2-13/4*x14	LVL10 1-1 3/4"x14"	13/4" x 14" LVL	OTED OTHEF	5/2"x12" (5/38x286)	4/2"x12" (3/2"x12" (3/38x286)
STONE		J 20	14"	14"	14"	14"	LVL	WISE)	5/38x286)	4/2"x12" (4/38x286)	3/38x286)
											SIAME

DESIGN ASSOCIATES INC.				
HDA	Drawn By	PINE V	GOLDP	
읶	Checked By	VALLEY, VAL	ARK HON	
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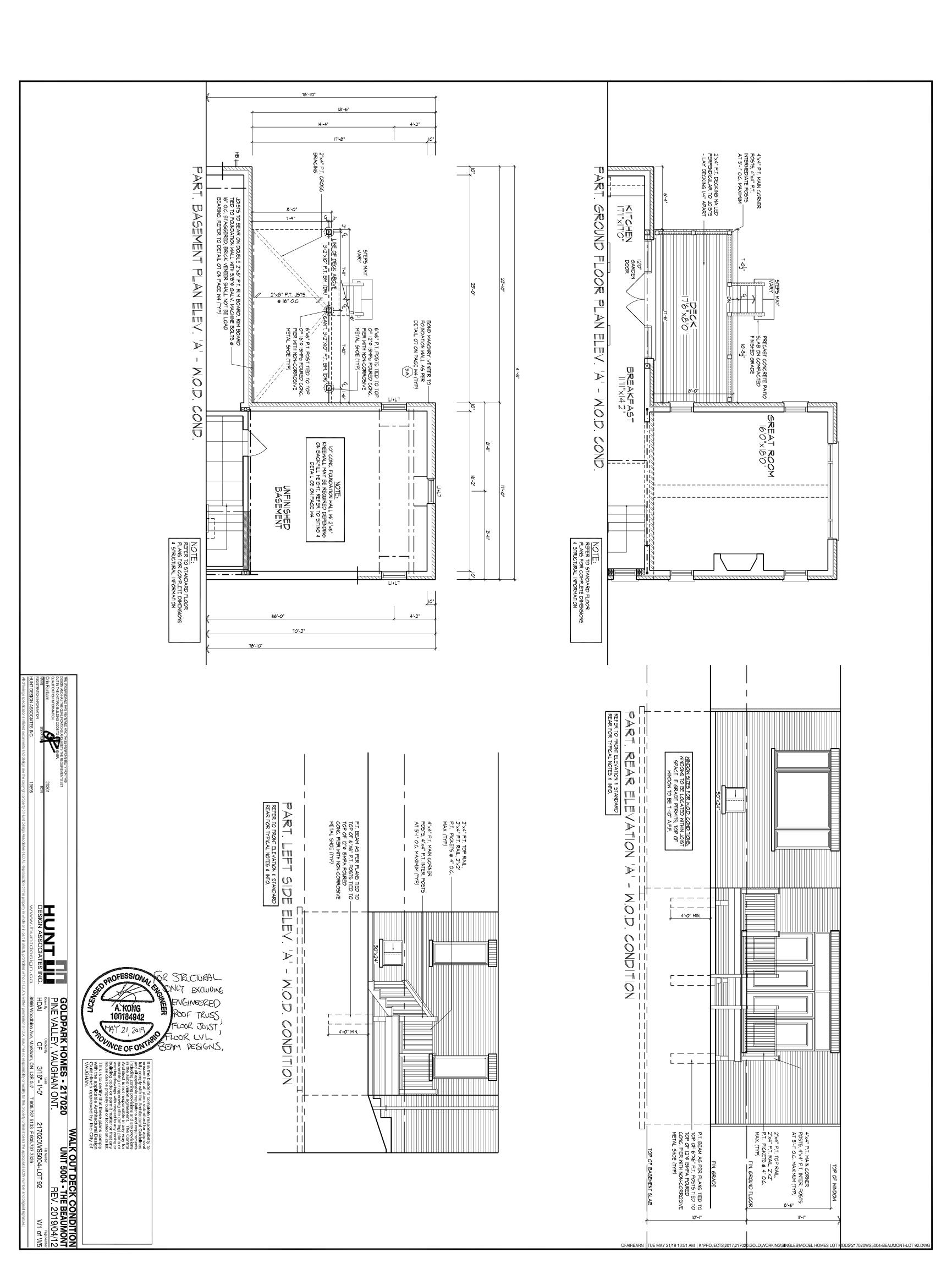
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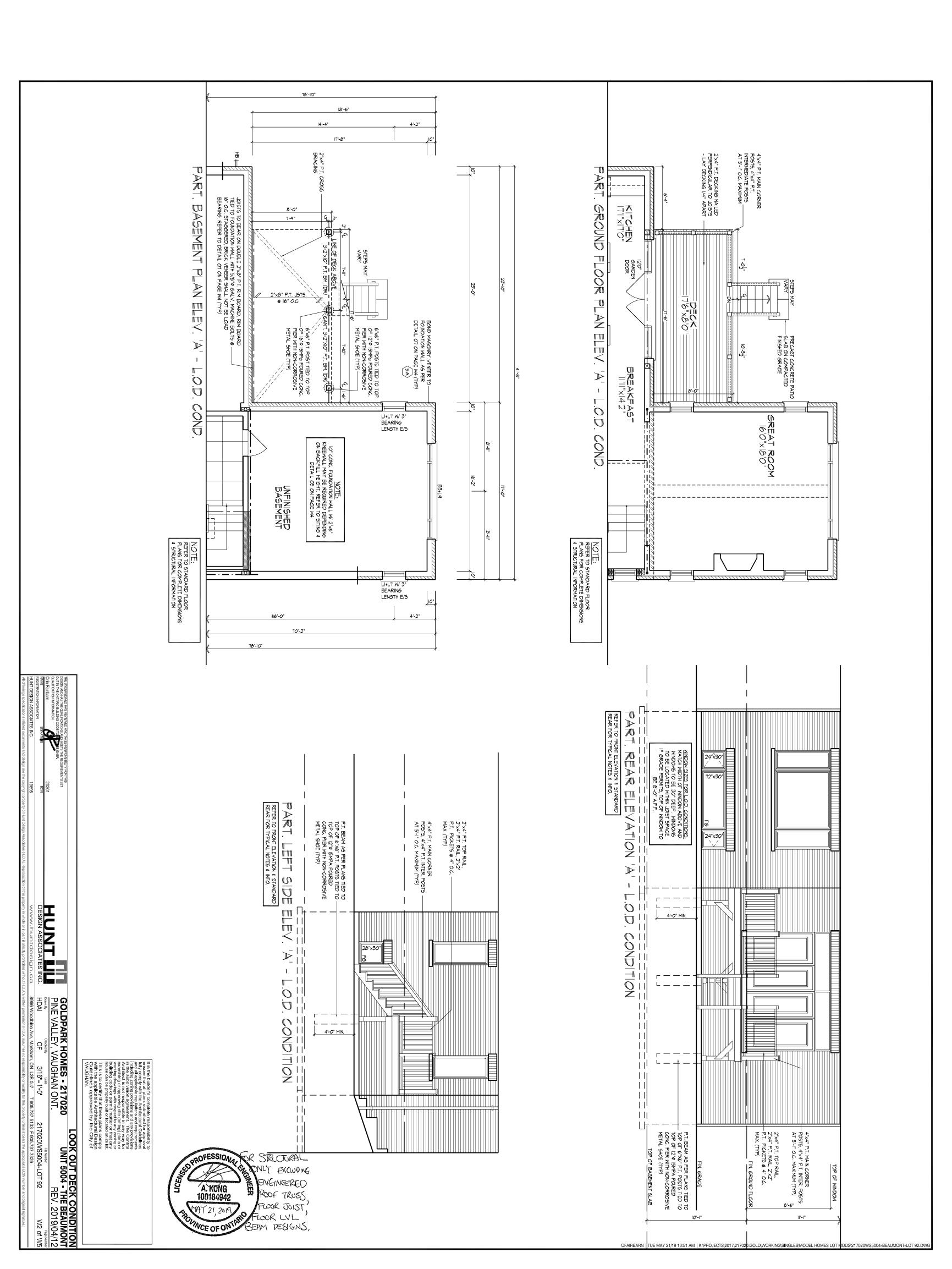
CONSTRUCTION NOTES
UNIT 5004 - THE BEAUMONT
REV. 2019/04/12 9

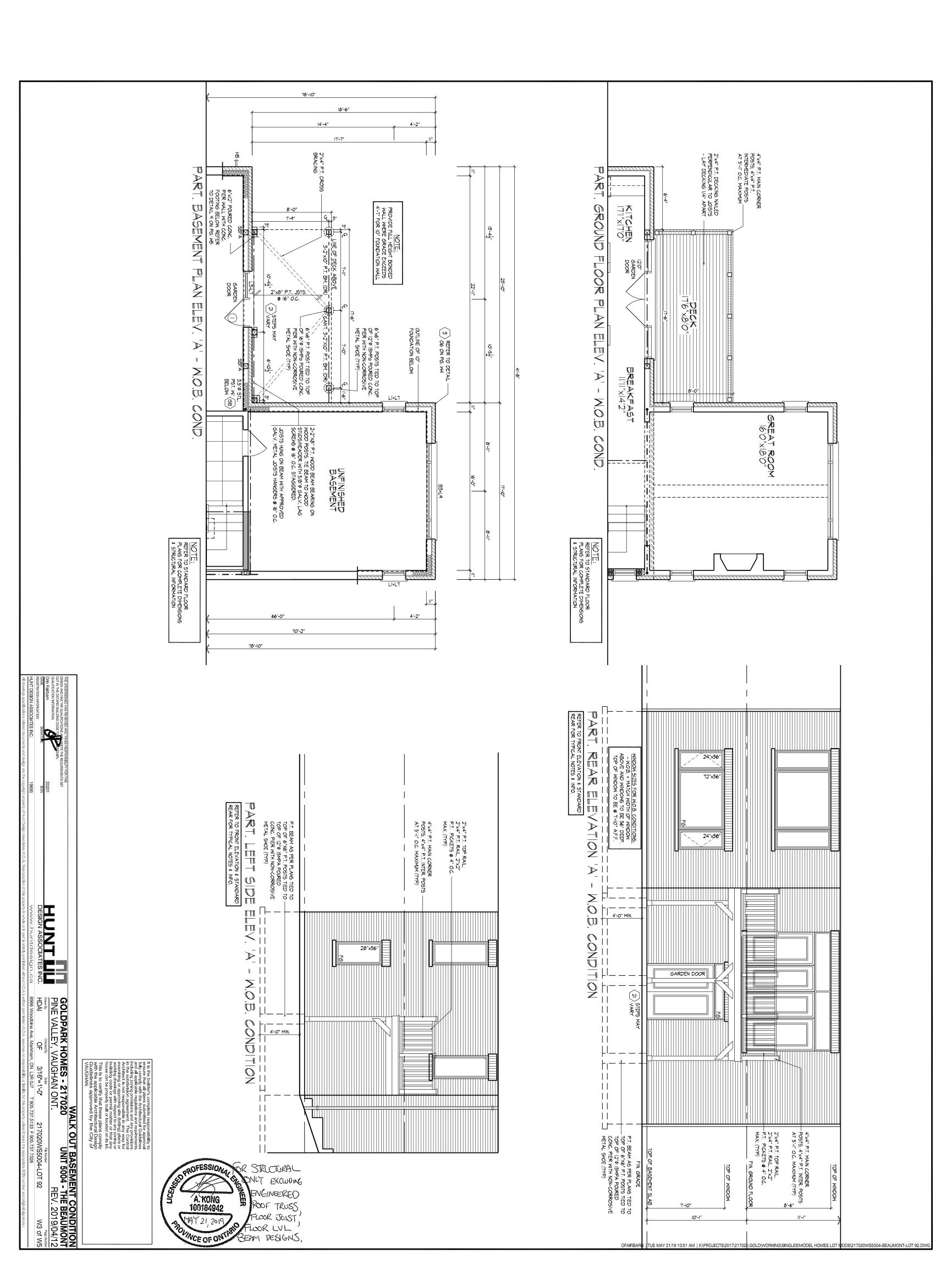
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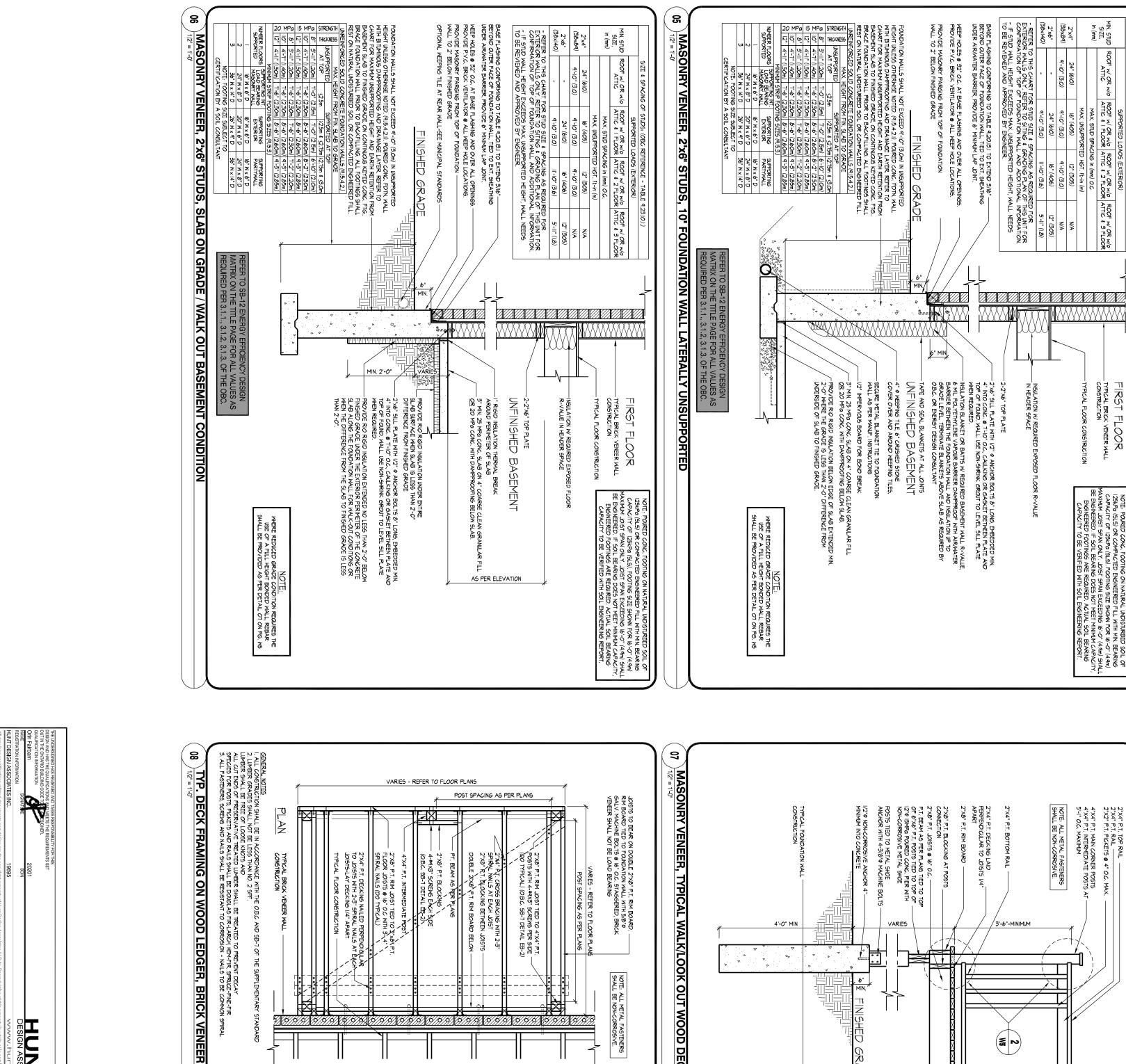
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IS. ONT. REG. 332/12.

3/16"=1'-0" 217020WS5004-LOT 92 ON L3R 0J7 T 905.737.5133 F 905.737.7326



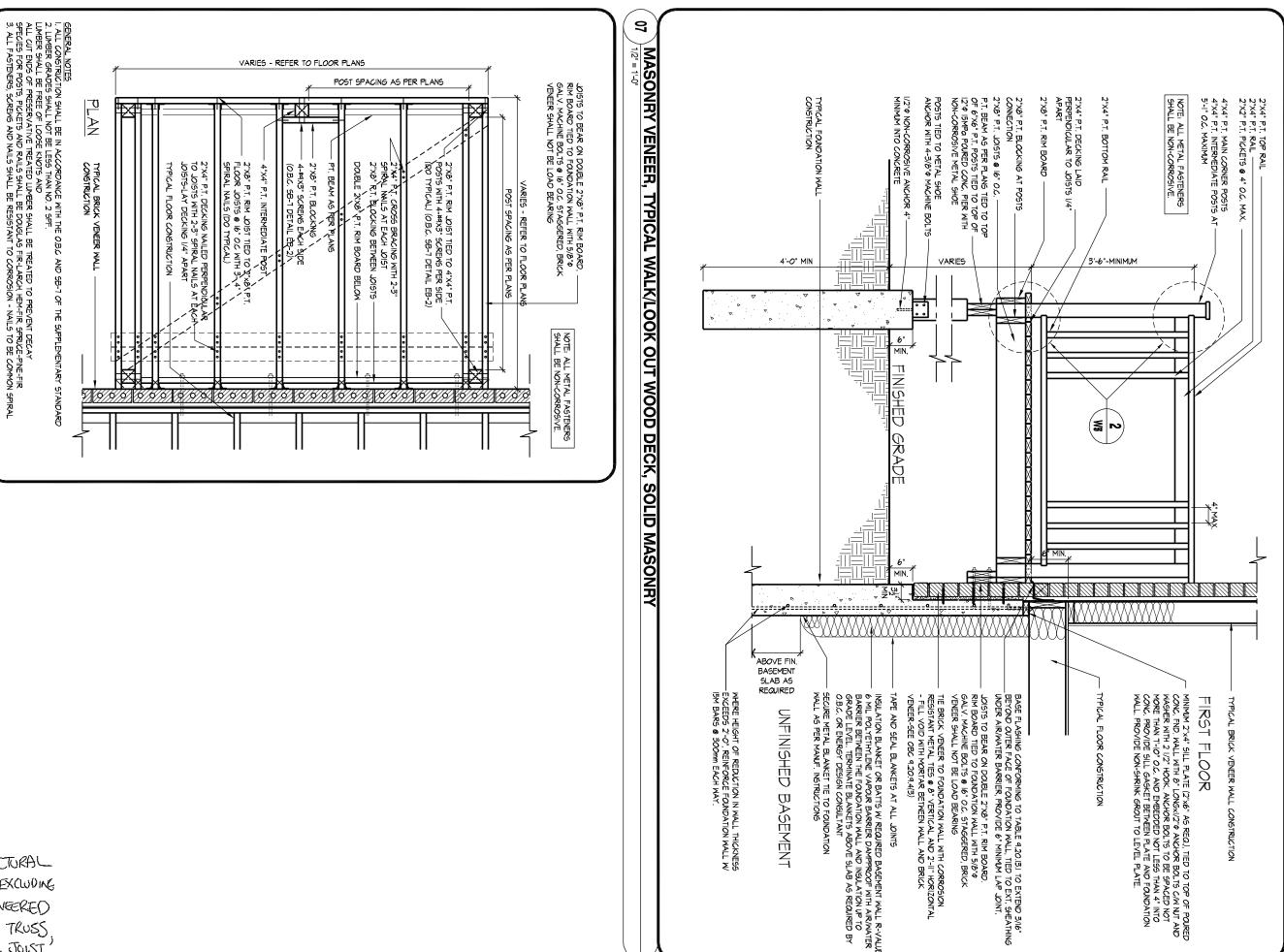






SIZE & SPACING OF STUDS

TABLE 9.23.10.1.



OFAIRBARN | TUE MAY 21/19 10:51 AM | K:\PROJECTS\2017\217020.GOLD\WORKING\SINGLES\MODEL HOMES LOT MODS\217020WS5004-BEAUMONT-LOT 92.D'



HUNT PESIGN ASSOCIATION

TES INC.

GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

DECK DETAILS 1 UNIT 5004 - THE BEAUMONT REV. 2019/04/12

HDA

HDAI e, Markha

3/16"=1'-0"

217020WS5004-LOT 92

W4 of W5

