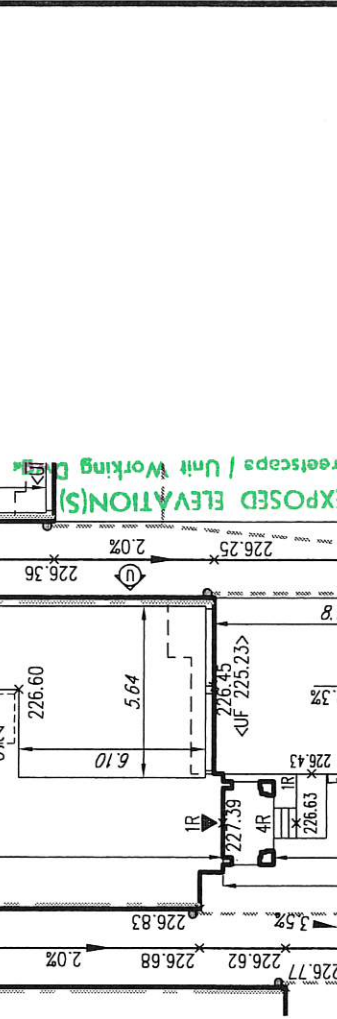


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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (footing) plans or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW APPROVAL

NOV 06 2018

John G. Williams Limited Architect

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVISED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP-OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR 1FW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

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-	-	-	-	-	-	
REVISED AS PER ENGINEER & REISSUED FOR FINAL	OF	2018/11/01				
ISSUED FOR FINAL APPROVAL	OF	2018/10/25				
ISSUED FOR PRELIMINARY APPROVAL	OF	2018/10/15				

It is the builder's complete responsibility to ensure that all work is done in accordance with the fully applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plans or plans submitted with the building permit or for building code or permit matter or that its house can be properly built or located on its lot.	GENERAL NOTES: 1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE. 2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION. 3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

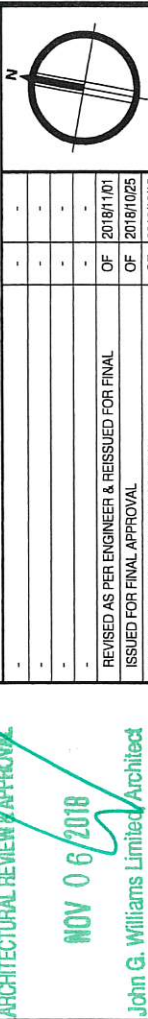
ARCHITECTURAL REVIEW & APPROVAL

PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

N

John G. Williams Limited ✓ Architect	ISSUED FOR FINAL APPROVAL	OF	2018/10/25
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HYDRO TRANSFORMER	SW	SANITARY LINE	⊙	DOWNSPOUTS	FINISHED FLOOR
PADMOUNTED MOTOR	SW	STORM WATER LINE	⊙	WINDOWS PERMITTED	TOP OF FOUNDATION WALL
EXISTING GRADES	W	WATERLINE	45 MINUTE FIRE RATED WALL	45 MINUTE FIRE RATED WALL	DISCHARGE LOCATION
PROPOSED GRADES	H	HYDRO LINE	SIDEWALK DISTANCE IS LESS THAN 12m TO CURB LINE (NO WINDOWS PERMITTED)	CHAIN LINK FENCE	UPGRADE ELEVATION
SWALE DIRECTION	G	GAS LINE	EXTERIOR DOOR LOCATION	FENCE AND GATE	BASEMENT OF FOOTING
EMBANKMENT / BERM	B	CABLE LINE	EXTERIOR DOOR LOCATION	PRIVACY FENCE	WALKOUT DECK
MAX 3:1 SLOPE	HC	BELL	HYDRO GAS	ACoustic FENCE	WALKOUT BASEMENT
		BELL, CABLE LINE	BELL, CABLE LINE	ACoustic FENCE	MODIFIED
				ACoustic FENCE	REV
				ACoustic FENCE	REVERSED
				ACoustic FENCE	NO DOOR
				ACoustic FENCE	HIGHLIGHTED GRADE



Plan No.	Lot	Street Name
-	95	SOPHIES COURT

GOLDPARK HOMES - 217020
PINE VALLEY VAUGHAN ONT

Drawn By	Checked By	Scale	File Number	Lot / Page Number
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8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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