

TYP. BOX-OUT PROJECTED WINDOW PLAN VIEW

AREA CALCULATIONS

	EL. 'A' STD./OPT SEC FLR	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B' STD/OPT SEC FLR	EL. 'B'	EL. 'C'	EL. 'C'
GROUND FLOOR AREA	PLAN 1984 sq. ft.	PLAN W/ OPT. ELV. 2131 sq. ft.	CORNER 2078 sq. ft.	2224 sq. ft.	PLAN 1977 sq. ft.	PLAN W/ OPT. ELV. 2124 sq. ft.	PLAN 2007 sq. ft.	PLAN W/ OPT. ELV 2153 sq. ft.
			(193.05 sq. m.)		(183.67 sq. m.)		(186.46 sq. m.)	
SECOND FLOOR AREA	2207 sq. ft.	2207 sq. ft.	2301 sq. ft.	2301 sq. ft.	2208 sq. ft.	2208 sq. ft.	2262 sq. ft.	2262 sq. ft.
					(205.13 sq. m.)			
SUBTOTAL	4191 sq. ft.	4338 sq. ft.	4379 sq. ft.	4525 sq. ft.	4185 sq. ft.	4332 sq. ft.	4269 sq. ft.	4415 sq. ft.
DEDUCT ALL OPEN APEAG		(403.01 sq. m.)			(388.80 sq. m.)	(402.46 sq. m.)	(396.60 sq. m.)	
DEDUCT ALL OPEN AREAS	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.
TOTAL NIET ADEA	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)	(7.90 sq. m.)
TOTAL NET AREA	4106 sq. ft.	4253 sq. ft.	4294 sq. ft.	4440 sq. ft.	4100 sq. ft.	4247 sq. ft.	4184 sq. ft.	4330 sq. ft.
EN 1101 1ED DAOEL 1EL 17 A DE 1	(381.46 sq. m.)	(395.12 sq. m.)	(398.93 sq. m.)	. ,	. ,	(394.56 sq. m.)	(388.71 sq. m.)	
FINISHED BASEMENT AREA	169 sq. ft.	173 sq. ft.	169 sq. ft.	173 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.
	(15.70 sq. m.)	(16.07 sq. m.)	(15.70 sq. m.)	(16.07 sq. m.)	(15.70 sq. m.)	(15.70 sq. m.)	(15.70 sq. m.)	(15.70 sq. m.)
COVERAGE	2549 sq. ft.	2549 sq. ft.	2644 sq. ft.	2644 sq. ft.	2542 sq. ft.	2542 sq. ft.	2572 sq. ft.	2572 sq. ft.
W/OUT PORCH			(245.64 sq. m.)		(236.16 sq. m.)	(236.16 sq. m.)	(238.95 sq. m.)	
COVERAGE	2598 sq. ft.	2598 sq. ft.	2693 sq. ft.	2693 sq. ft.	2601 sq. ft.	2601 sq. ft.	2635 sq. ft.	2635 sq. ft.
W/ PORCH	(241.36 sq. m.)	(241.36 sq. m.)	(250.19 sq. m.)	(250.19 sq. m.)	. ,	(241.64 sq. m.)	(244.80 sq. m.)	(244.80 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL		EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
CALCOLATIONS	STD. PLAN	OPT, SEC FLR, PLAN		RNER	STD. PLAN	OPT, SEC FLR, PLAN	STD. PLAN	OPT, SEC FLR, PLAN
GROSS WALL AREA	4759.49 sq. ft.	4759.49 sq. ft.		0 sq. ft.	4750.63 sq. ft.	4750.63 sq. ft.	4953.80 sq. ft.	4953.80 sq. ft.
	(442.17 sq. m.)	(442.17 sq. m.)		' sq. m.)	(441.35 sq. m.)	(441.35 sq. m.)	(460.22 sq. m.)	(460.22 sq. m.)
GROSS WINDOW AREA	524.77 sq. ft.	536.11 sq. ft.) sq. ft.	539.80 sq. ft.	551.14 sq. ft.	554.51 sq. ft.	545.18 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(48.75 sq. m.)	(49.81 sq. m.)	,	sq. m.)	(50.15 sq. m.)	(51.20 sq. m.)	(51.52 sq. m.)	(50.65 sq. m.)
TOTAL WINDOW %	11.03 %	11.26 %	12.2	21 %	11.36 %	11.60 %	11.19 %	11.01 %
	EL. 'A' - WOD	EL. 'A' - WOD		- WOD	EL. 'B' - WOD	EL. 'B' - WOD	EL. 'C' - WOD	EL. 'C' - WOD
	STD. PLAN	OPT, SEC FLR. PLAN		RNER	STD. PLAN	OPT, SEC FLR. PLAN	STD. PLAN	OPT. SEC FLR. PLAN
GROSS WALL AREA	4806.82 sq. ft.	4806.82 sq. ft.		3 sq. ft.	4797.96 sq. ft.	4797.96 sq. ft.	5001.14 sq. ft.	5001.14 sq. ft.
	(446.57 sq. m.)	(446.57 sq. m.)		' sq. m.)	(445.75 sq. m.)	(445.75 sq. m.)	(464.62 sq. m.)	(464.62 sq. m.)
GROSS WINDOW AREA	529.77 sq. ft.	541.11 sq. ft.) sq. ft.	544.80 sq. ft.	556.14 sq. ft.	559.51 sq. ft.	550.18 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(49.22 sq. m.)	(50.27 sq. m.)	(57.37	sq. m.)	(50.61 sq. m.)	(51.67 sq. m.)	(51.98 sq. m.)	(51.11 sq. m.)
TOTAL WINDOW %	11.02 %	11.26 %	12.2	20 %	11.35 %	11.59 %	11.19 %	11.00 %
	EL. 'A' - LOD	EL. 'A' - LOD	EL. 'A'	- LOD	EL. 'B' - LOD	EL. 'B' - LOD	EL. 'C' - LOD	EL. 'C' - LOD
	STD. PLAN	OPT, SEC FLR, PLAN	COF	RNER	STD. PLAN	OPT, SEC FLR, PLAN	STD. PLAN	OPT, SEC FLR. PLAN
GROSS WALL AREA	4939.95 sq. ft.	4939.95 sq. ft.	5195.0	6 sq. ft.	4931.08 sq. ft.	4931.08 sq. ft.	5134.26 sq. ft.	5134.26 sq. ft.
arrood writer riter	(458.94 sq. m.)	(458.94 sq. m.)	(482.64	sq. m.)	(458.11 sq. m.)	(458.11 sq. m.)	(476.99 sq. m.)	(476.99 sq. m.)
GROSS WINDOW AREA	551.44 sq. ft.	562.77 sq. ft.	639.17	7 sq. ft.	566.47 sq. ft.	577.80 sq. ft.	581.18 sq. ft.	571.85 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(51.23 sq. m.)	(52.28 sq. m.)	(59.38	sq. m.)	(52.63 sq. m.)	(53.68 sq. m.)	(53.99 sq. m.)	(53.13 sq. m.)
TOTAL WINDOW %	11.16 %	11.39 %	12.3	80 %	11.49 %	11.72 %	11.32 %	11.14 %
	EL. 'A' - WOB	EL. 'A' - WOB	EL. 'A'	- WOB	EL. 'B' - WOB	EL. 'B' - WOB	EL. 'C' - WOB	EL. 'C' - WOB
	STD. PLAN	OPT, SEC FLR, PLAN	COF	RNER	STD. PLAN	OPT, SEC FLR, PLAN	STD. PLAN	OPT, SEC FLR, PLAN
CDOSS WALL AREA	5380.74 sq. ft.	5380.74 sq. ft.	5635.8	5 sq. ft.	5371.88 sq. ft.	5371.88 sq. ft.	5575.05 sq. ft.	5575.05 sq. ft.
GROSS WALL AREA	(499.89 sq. m.)	(499.89 sq. m.)	(523.59	9 sq. m.)	(499.06 sq. m.)	(499.06 sq. m.)	(517.94 sq. m.)	(517.94 sq. m.)
GROSS WINDOW AREA	627.61 sq. ft.	638.94 sq. ft.	715.33	3 sq. ft.	642.64 sq. ft.	653.97 sq. ft.	657.35 sq. ft.	648.01 sq. ft.
(INCL, GLASS DOORS & SKYLIGHTS)	(58.31 sq. m.)	(59.36 sq. m.)	(66.46	sq. m.)	(59.70 sq. m.)	(60.76 sq. m.)	(61.07 sq. m.)	(60.20 sq. m.)
TOTAL WINDOW %	11.66 %	11.87 %	12.6	9 %	11.96 %	12.17 %	11.79 %	11.62 %







FRONT ELEVATION 'A'

PRESCRIPTIVE COMPLIANCE

FRONT ELEVATION 'B

FRONT ELEVATION 'C'

UNIT 5004 - 'THE BEAUMONT'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

	SPACE HEATING FUEL			
PACKAGE A1	■ GAS	□ OIL		
FAUNAGE AT	□ ELECTRIC	☐ PROPANE		
	□ EARTH	□ SOLID FUEL		
BUILDING COMPONENT	REQUIRED	PROPOSED		
INSULATION RSI (R) VALUE	*******			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)		
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)		
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)		
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)		
BASEMENT WALLS	3.52 ci *	3.52 ci		
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	(R20 ci) ×	(R20 ci) *		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-		
EDGE OF BELOW GRADE SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)		
HEATED SLAB OR SLAB \leq 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)		
WINDOWS & DOORS				
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6		
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8		
APPLIANCE EFFICIENCY				
SPACE HEATING EQUIP. (AFUE%)	96%	96%		
HRV EFFICIENCY (%)	75%	75%		
DHW HEATER (EF)	0.8	0.8		

AREA CALCULATIONS

1 - TITLE PAGE

2 - BASEMENT PLAN, EL. 'A'

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A 3 - GROUND FLOOR PLAN, EL. 'A'

4 - SECOND FLOOR PLAN, EL. 'A' 5 - OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'

6 - BASEMENT PLAN, EL. 'A' CORNER

7 - GROUND FLOOR PLAN, EL. 'A' CORNER

8 - SECOND FLOOR PLAN, EL. 'A' CORNER 9 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'B'

10 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'

11 - PART. FLOOR PLANS - OPT ELEVATOR CONDITION

12 - PART. FLOOR PLANS, OPT. LOGGIA CONDITION

13 - PART. FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION

14 - FRONT & REAR ELEVATION 'A' (REAR EL. 'B&C' SIMILAR)

15 - LEFT SIDE ELEVATION 'A'

16 - RIGHT SIDE ELEVATION 'A'

17 - FRONT ELEVATION 'A' CORNER 18 - LEFT SIDE ELEVATION 'A' CORNER

19 - RIGHT SIDE ELEVATION 'A' CORNER

20 - REAR ELEVATION 'A' CORNER

21 - FRONT ELEVATION 'B'

22 - LEFT SIDE ELEVATION 'B'

23 - RIGHT SIDE ELEVATION 'B'

24 - FRONT ELEVATION 'C' 0.8 0.8 25 - LEFT SIDE ELEVATION 'C'

26 - RIGHT SIDE ELEVATION 'C' 27 - ELEVATIONS LOGGIA CONDITION

28 - CROSS SECTIONS

29 - CONSTRUCTION NOTES

W1 - WALK OUT DECK CONDITION

W1A - WALK OUT DECK CONDITION W2 - LOOK OUT DECK CONDITION

W2A - LOOK OUT DECK CONDITION

W3 - WALK OUT BASEMENT CONDITION W3A - WALK OUT BASEMENT CONDITION

W4 - DECK DETAILS 1

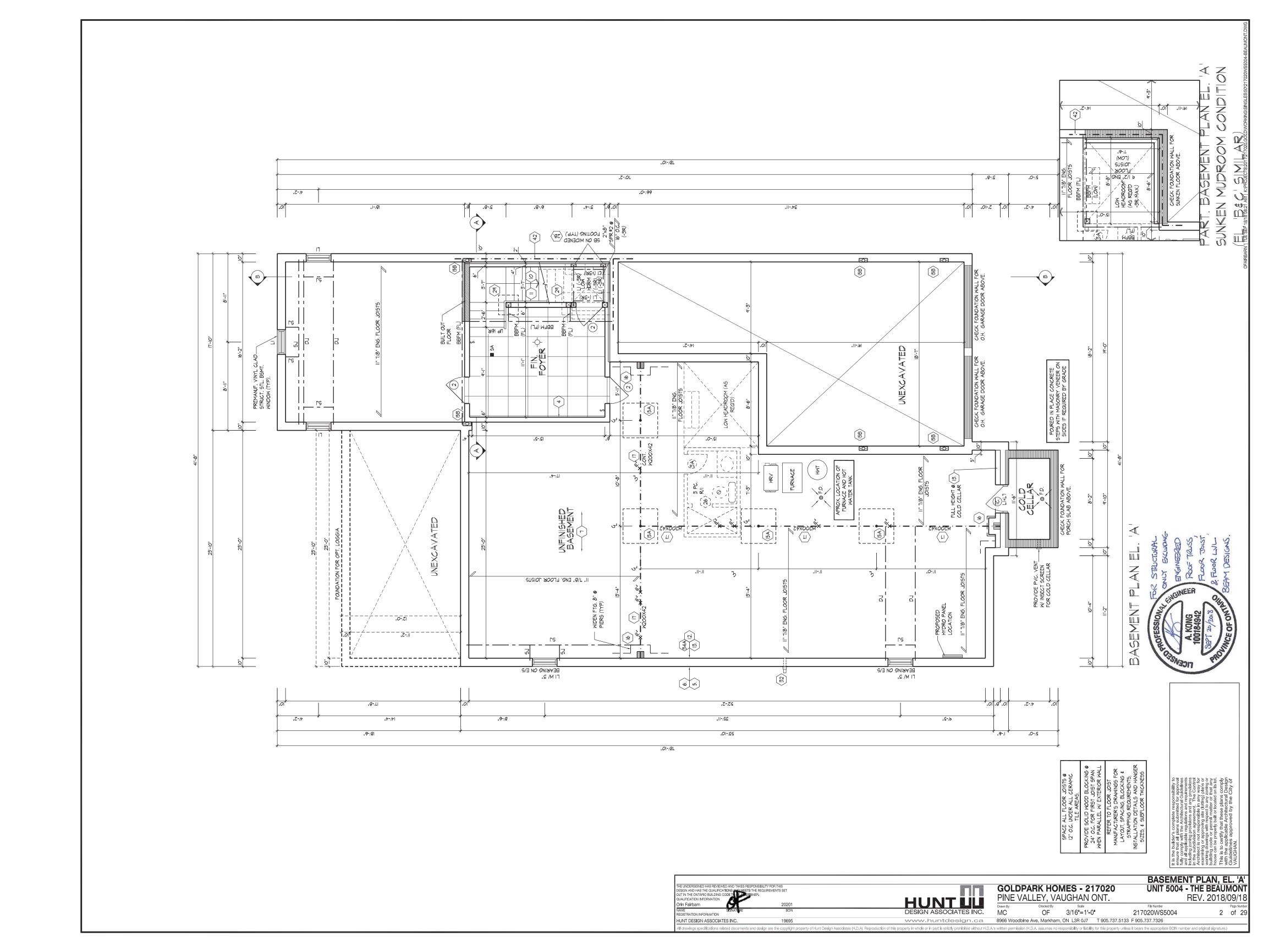
W5 - DECK DETAILS 2

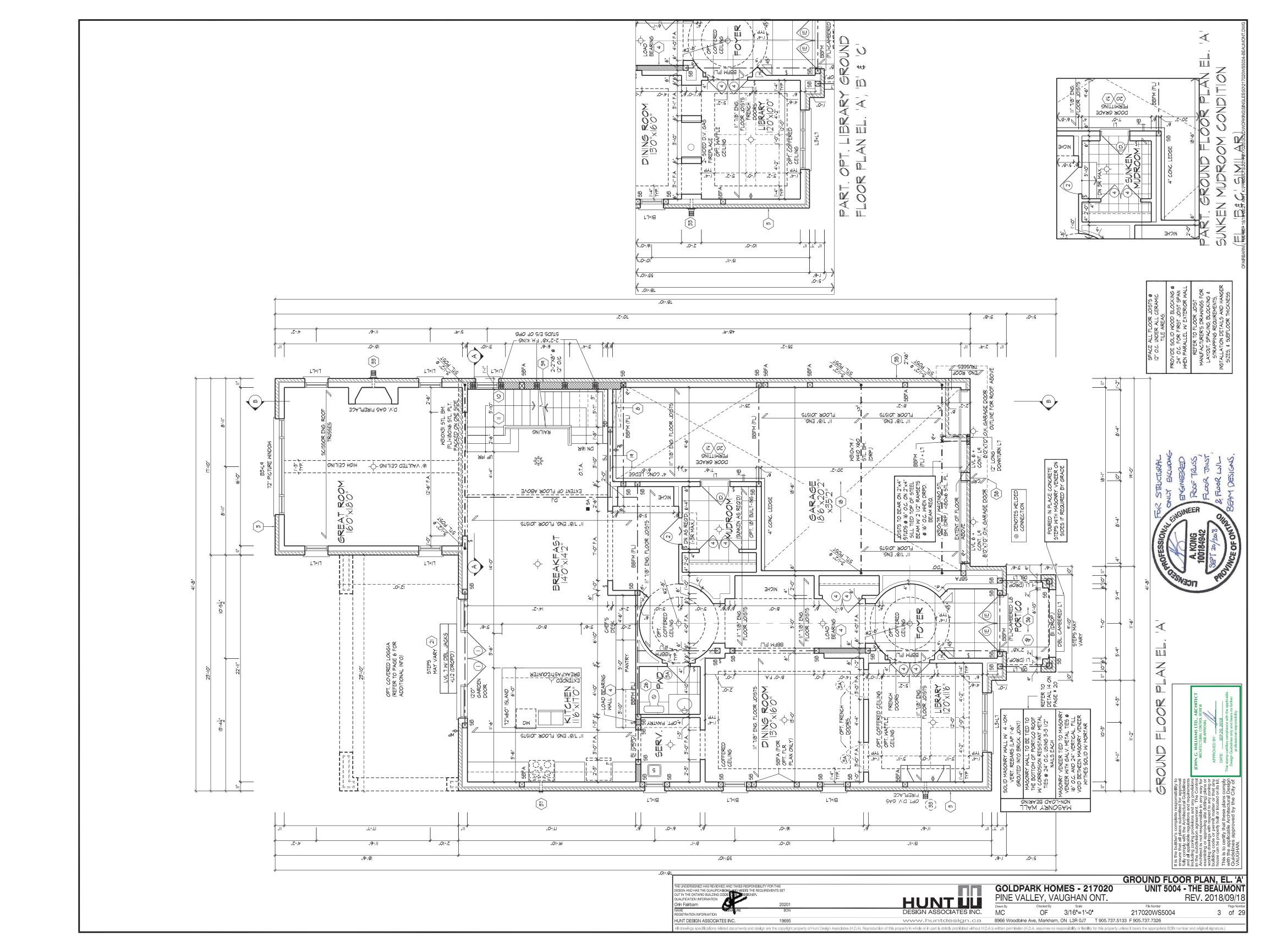
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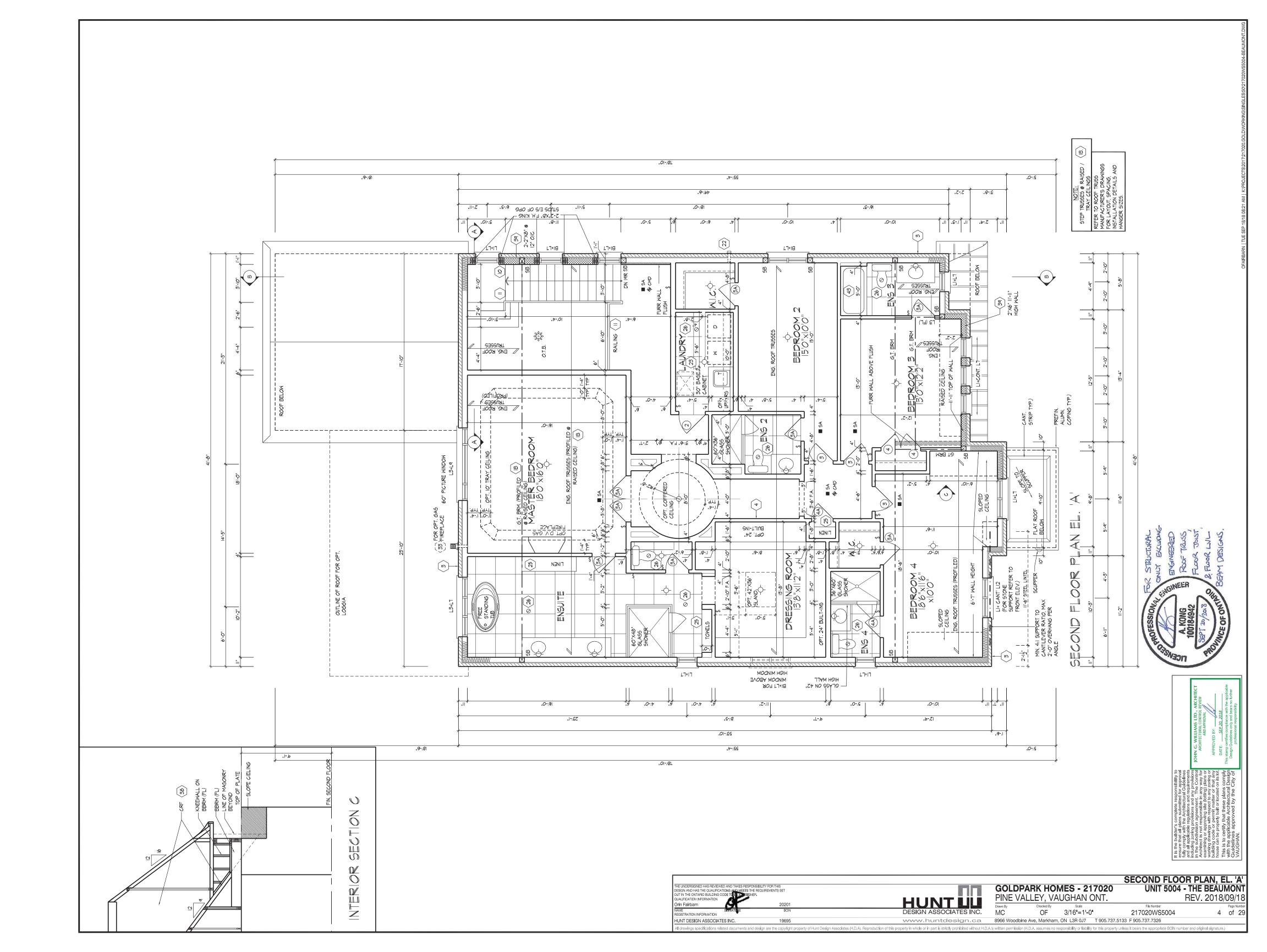


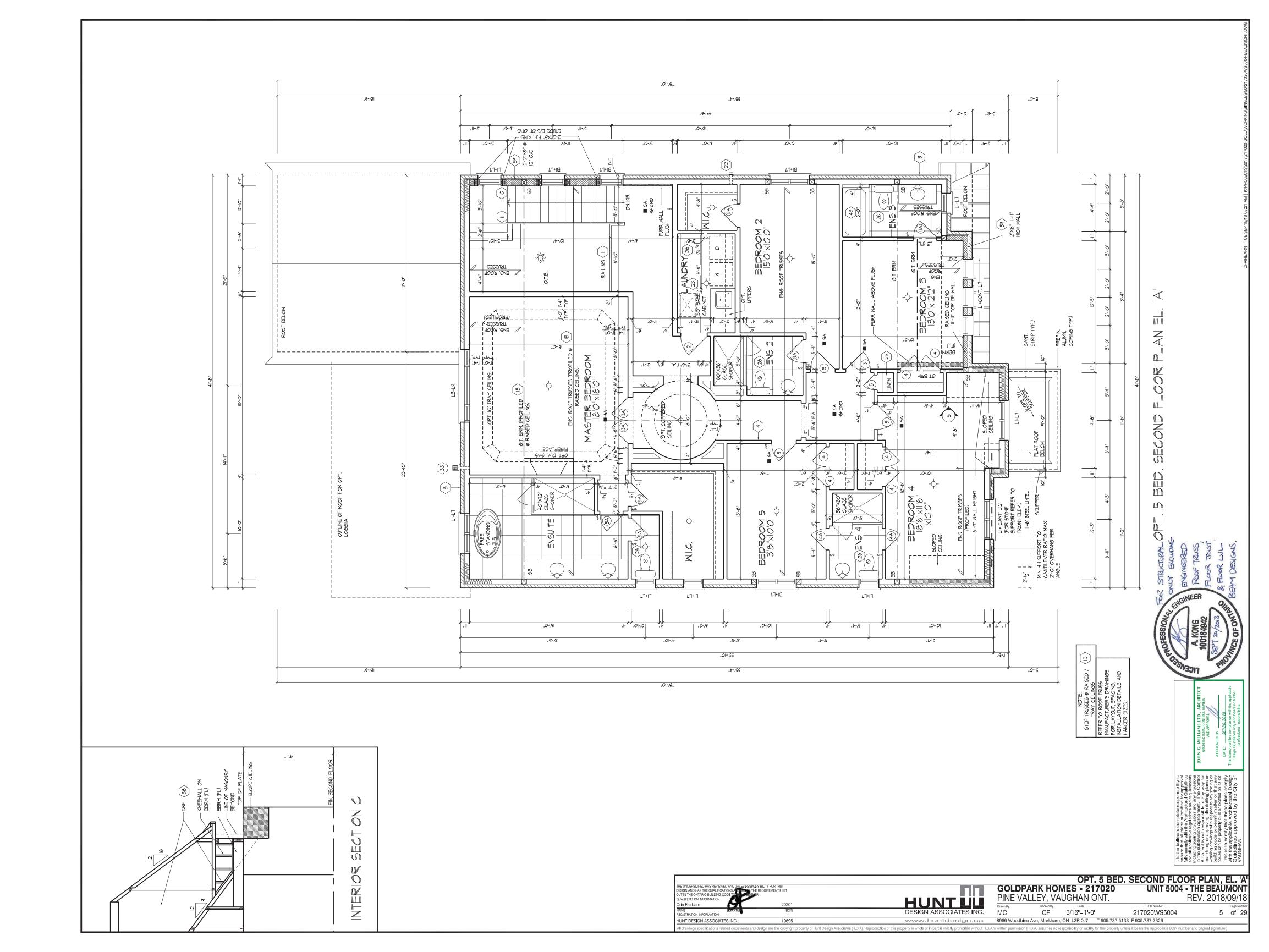
9.	REVISED AS PER CITY COMMENTS	2018/09/04	OF
8.	REVISED DESIGN AS PER CLIENT COMMENTS	2018/06/14	MC
7.	REVISED AS PER ENG. COMMENTS	2018/05/31	MC
6.	REVISED AS PER CLIENT COMMENTS	2018/05/14	OF
5.	REVISED AS PER ENG. COMMENTS	2018/04/17	MC
4.	REVISED AS PER CLIENT COMMENTS	2017/12/05	MC
3.	REVISED AS PER FLOOR MANUF. LAYOUTS	2017/12/01	OF
2.	REVISED AS PER CLIENT COMMENTS	2017/11/03	SSR
1.	ISSUED FOR CLIENT REVIEW	2017/10/20	MC
	REVISIONS	DATE (YYYY/MM/DD)	BY

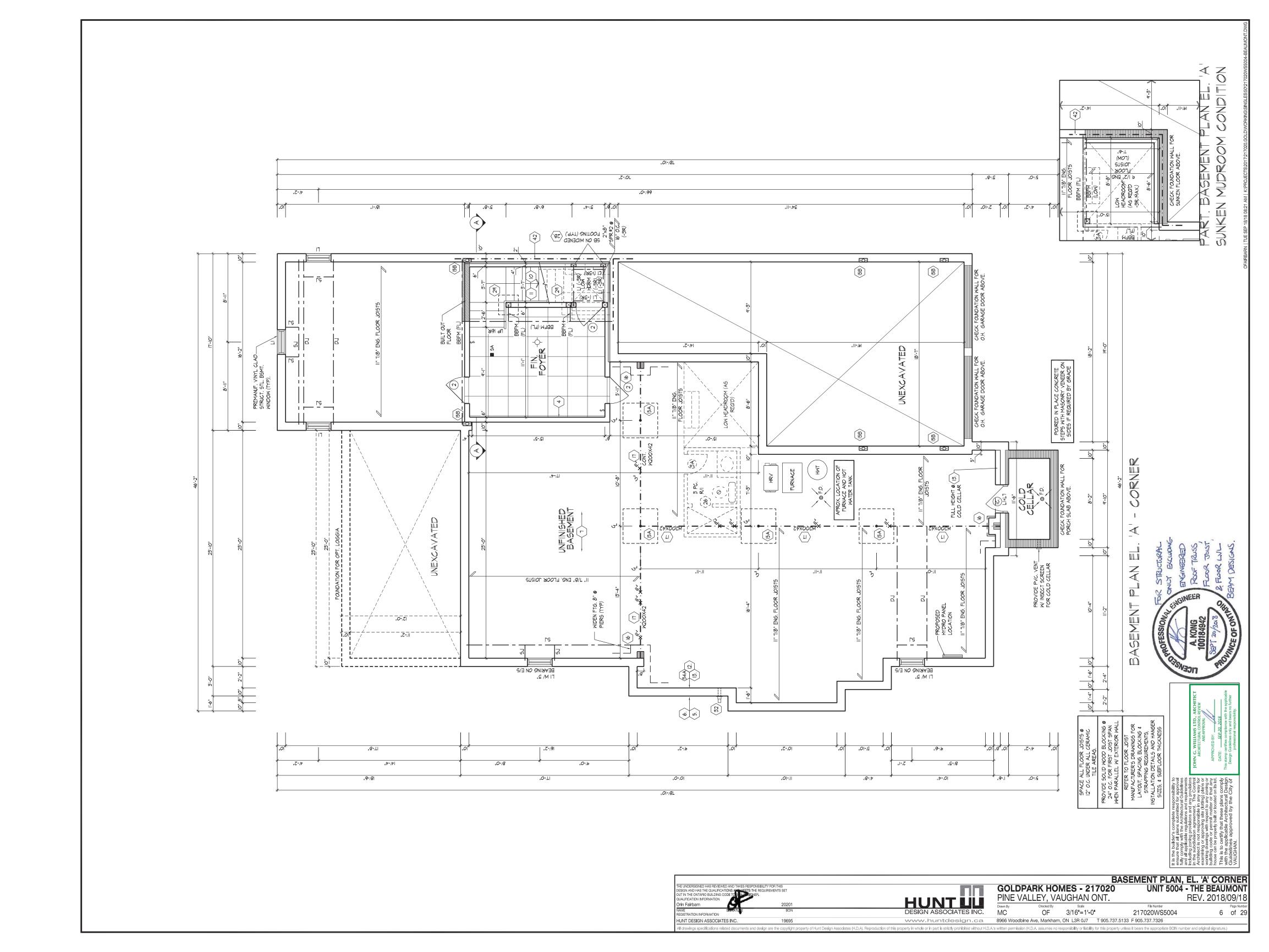
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REGISTRATION INFORMATION	BOIN	DESIGN ASSOCIATES INC.	MC	OF	3/16"=1'-0 "	217020WS5004	1	of 2
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodb	ine Ave, Markham	n, ON L3R 0J7 T 905.73	7.5133 F 905.737.7326		

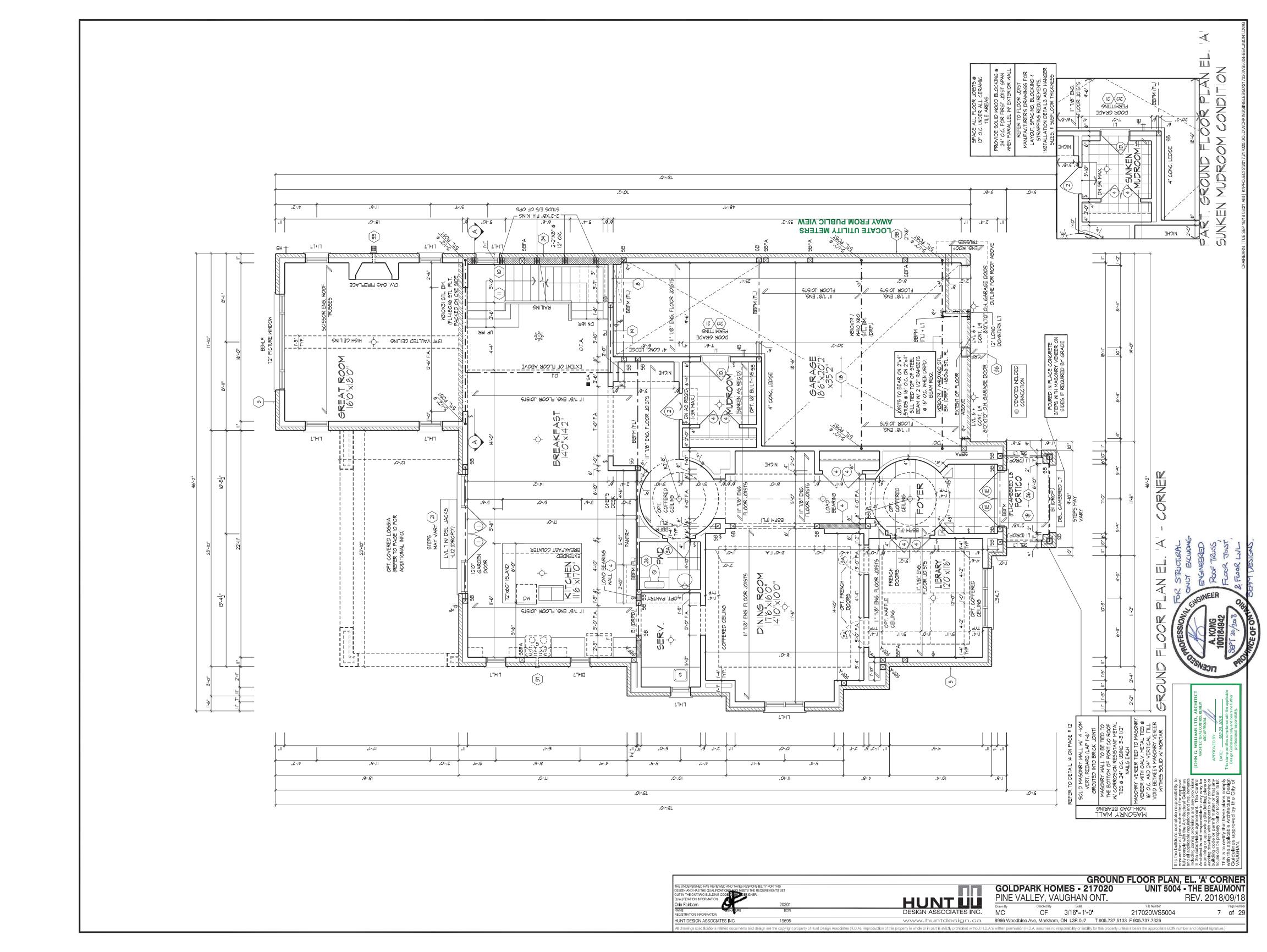


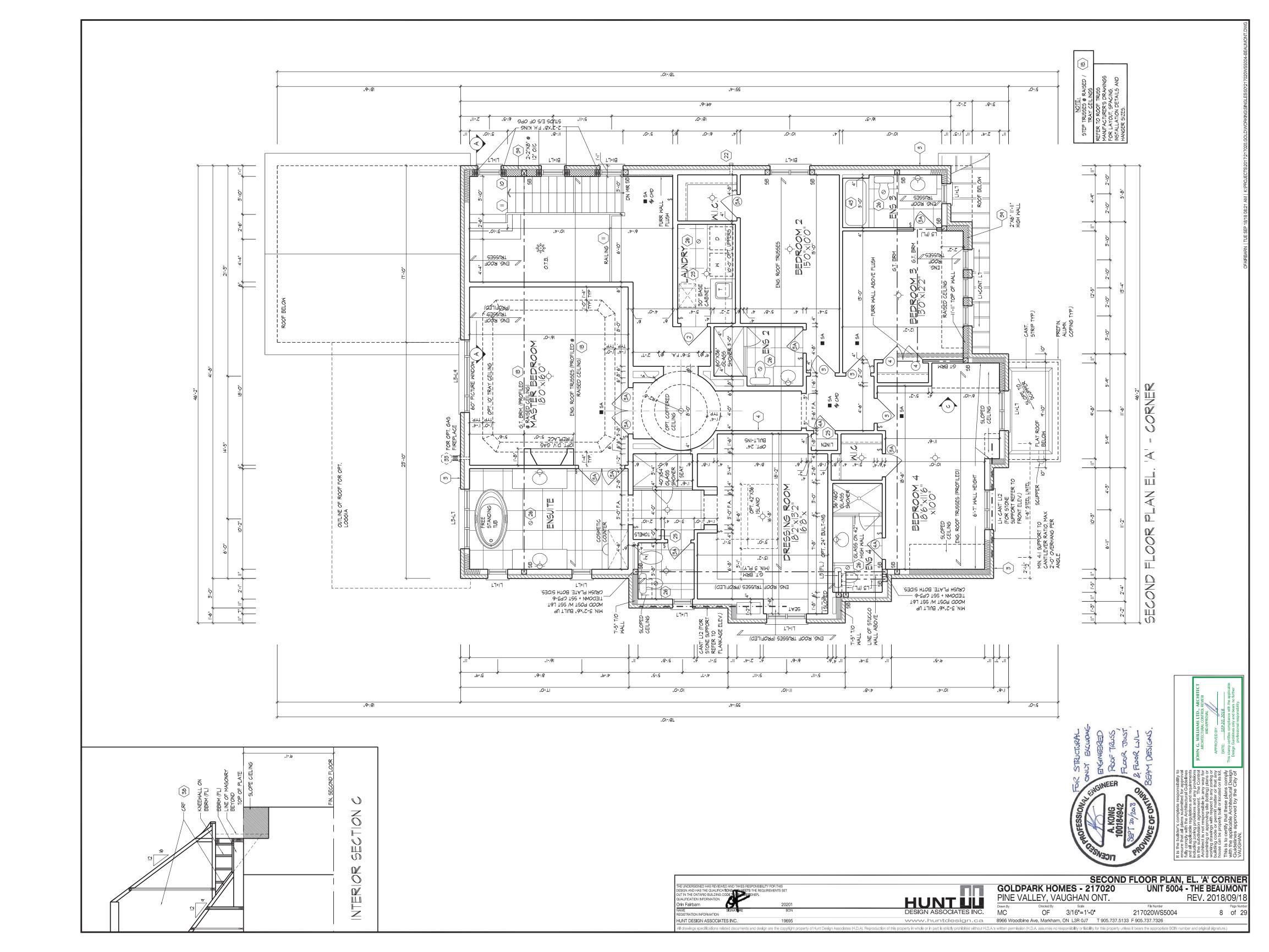


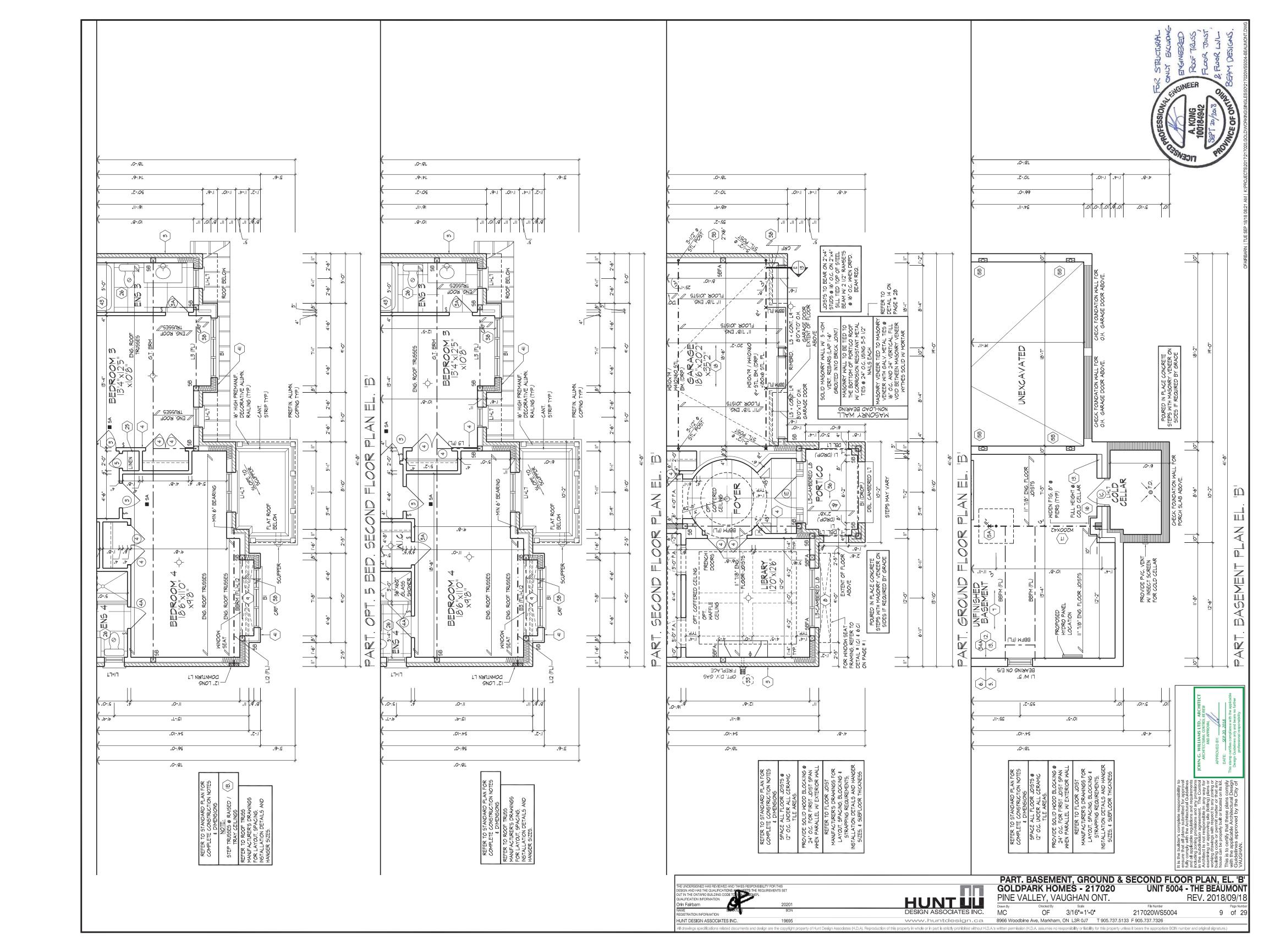


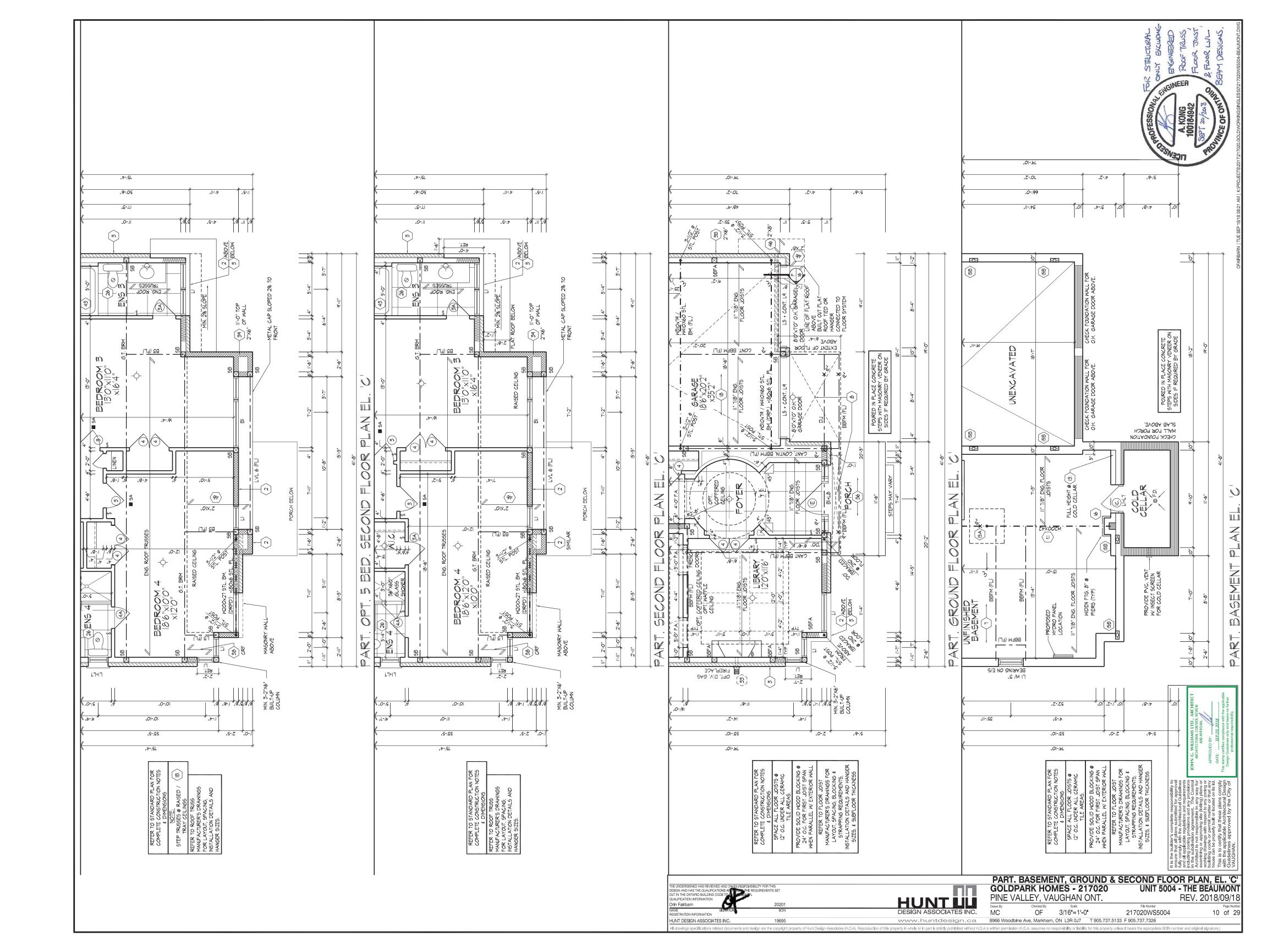


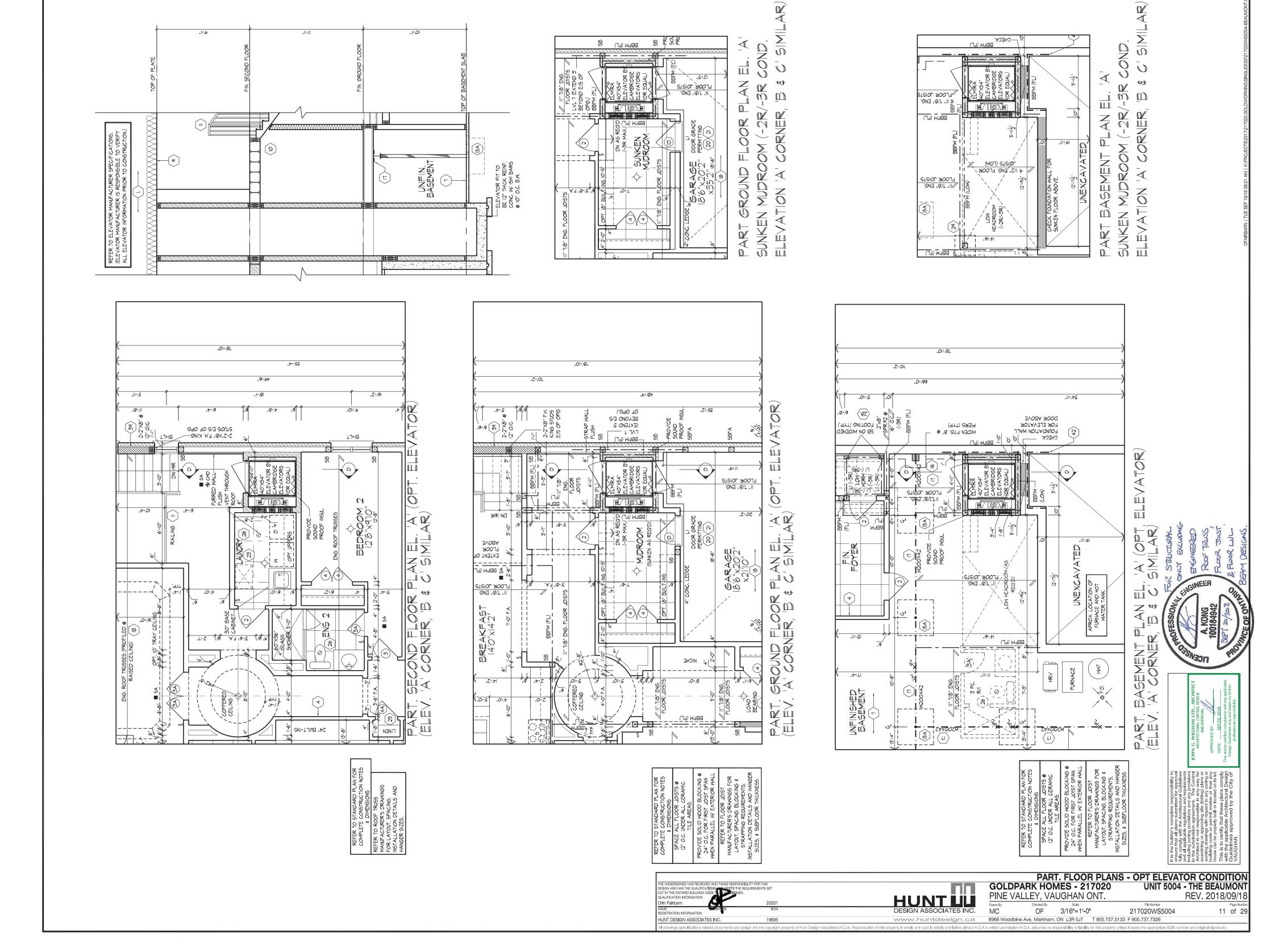


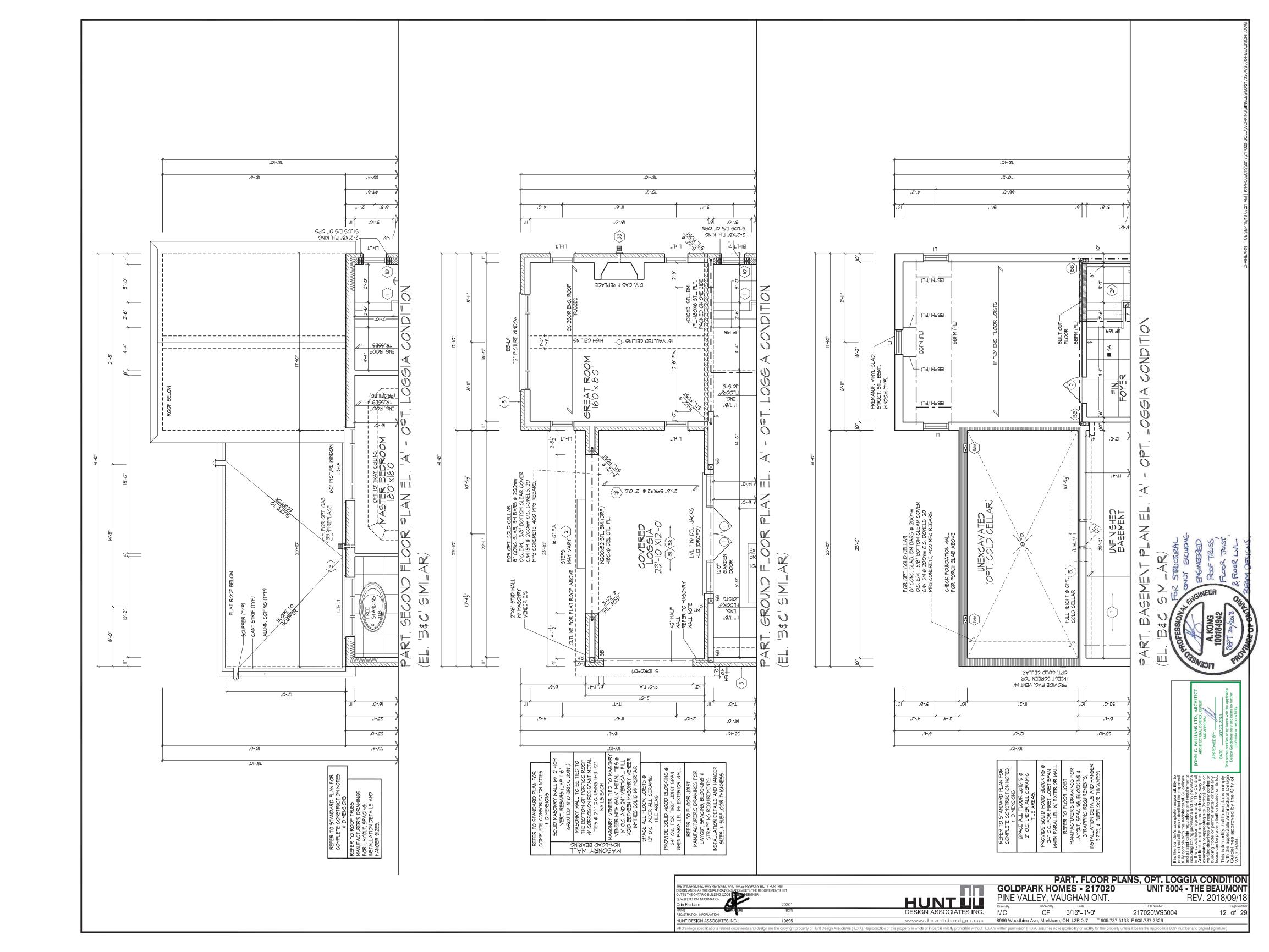


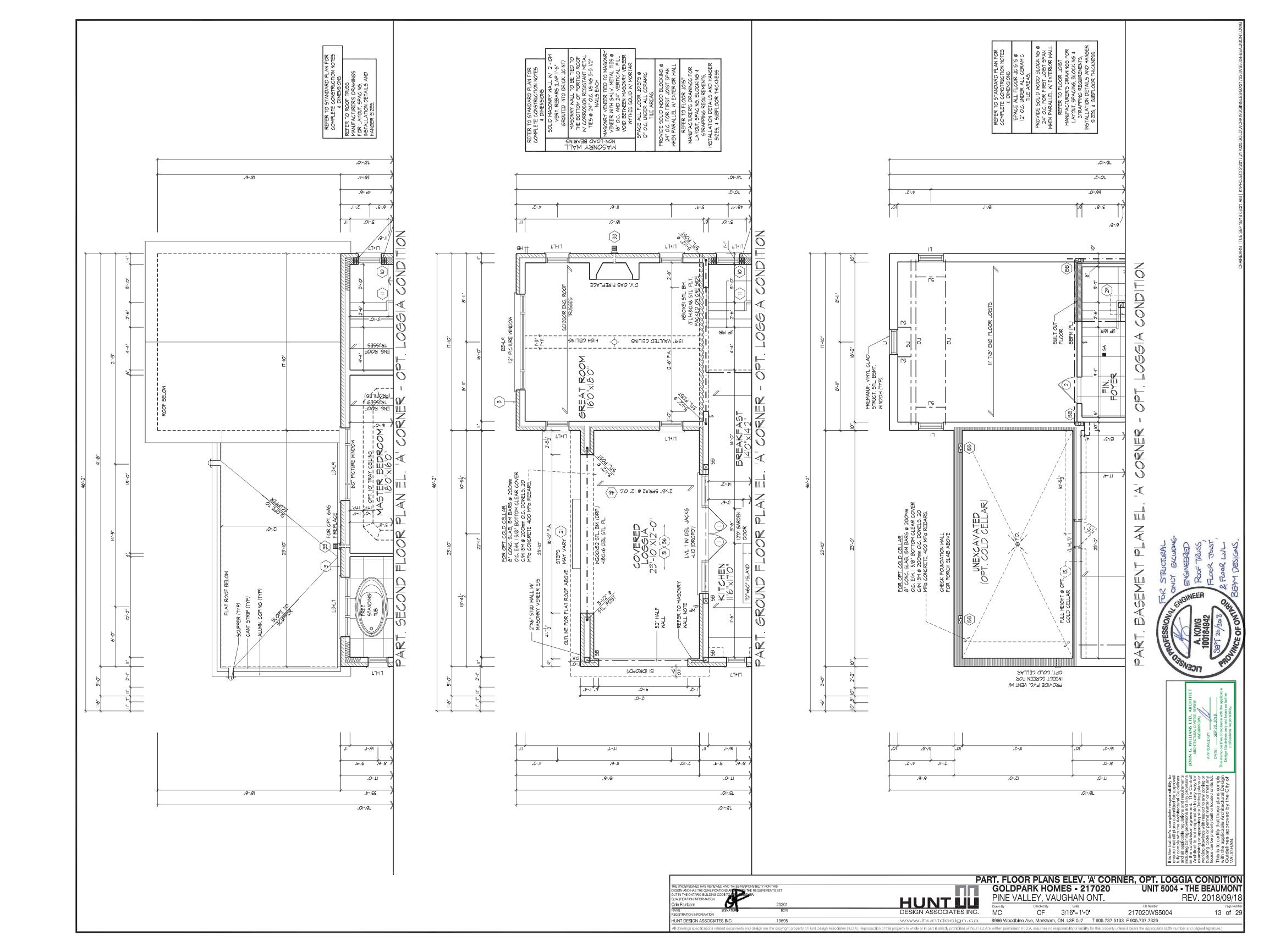


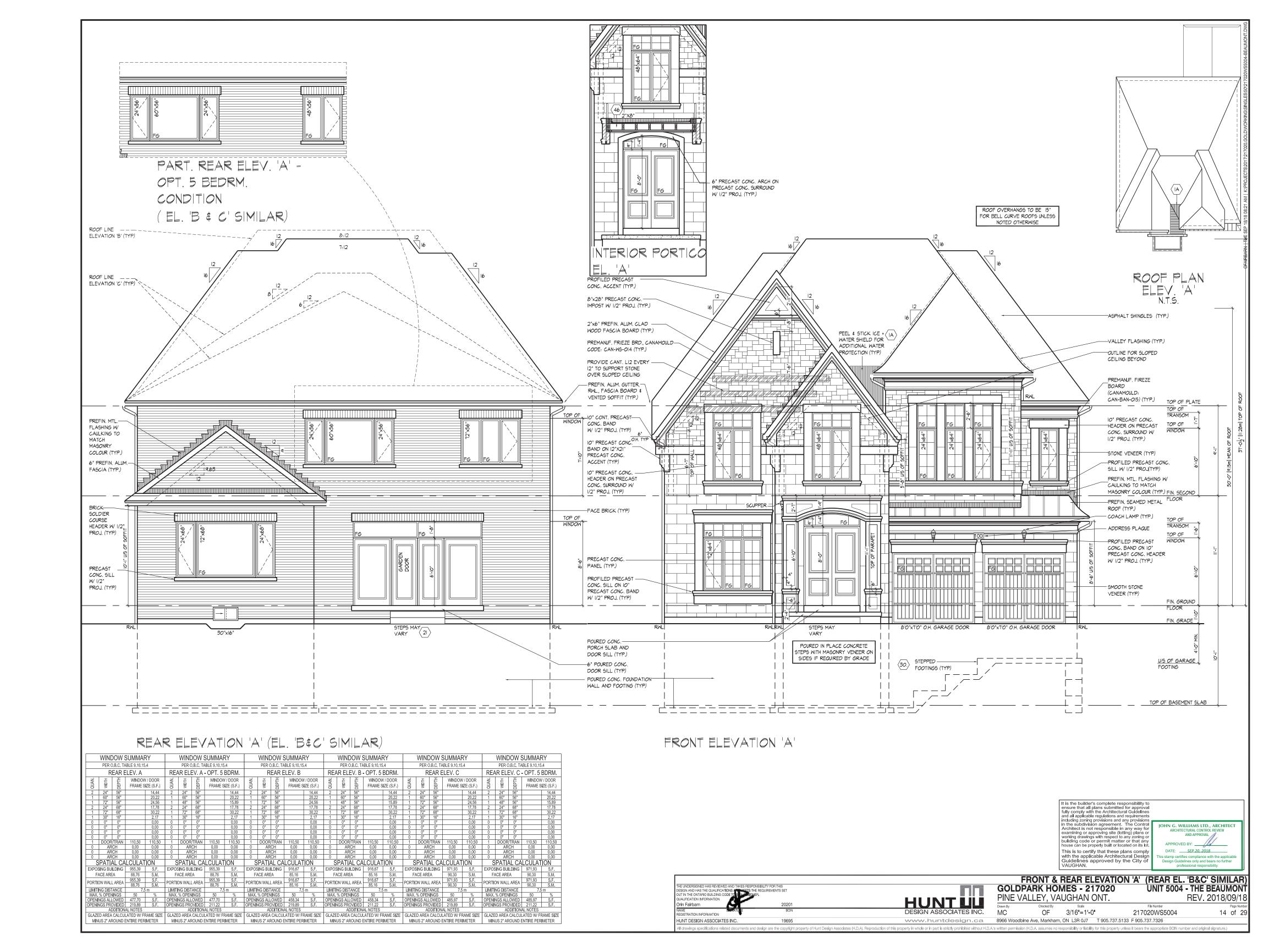


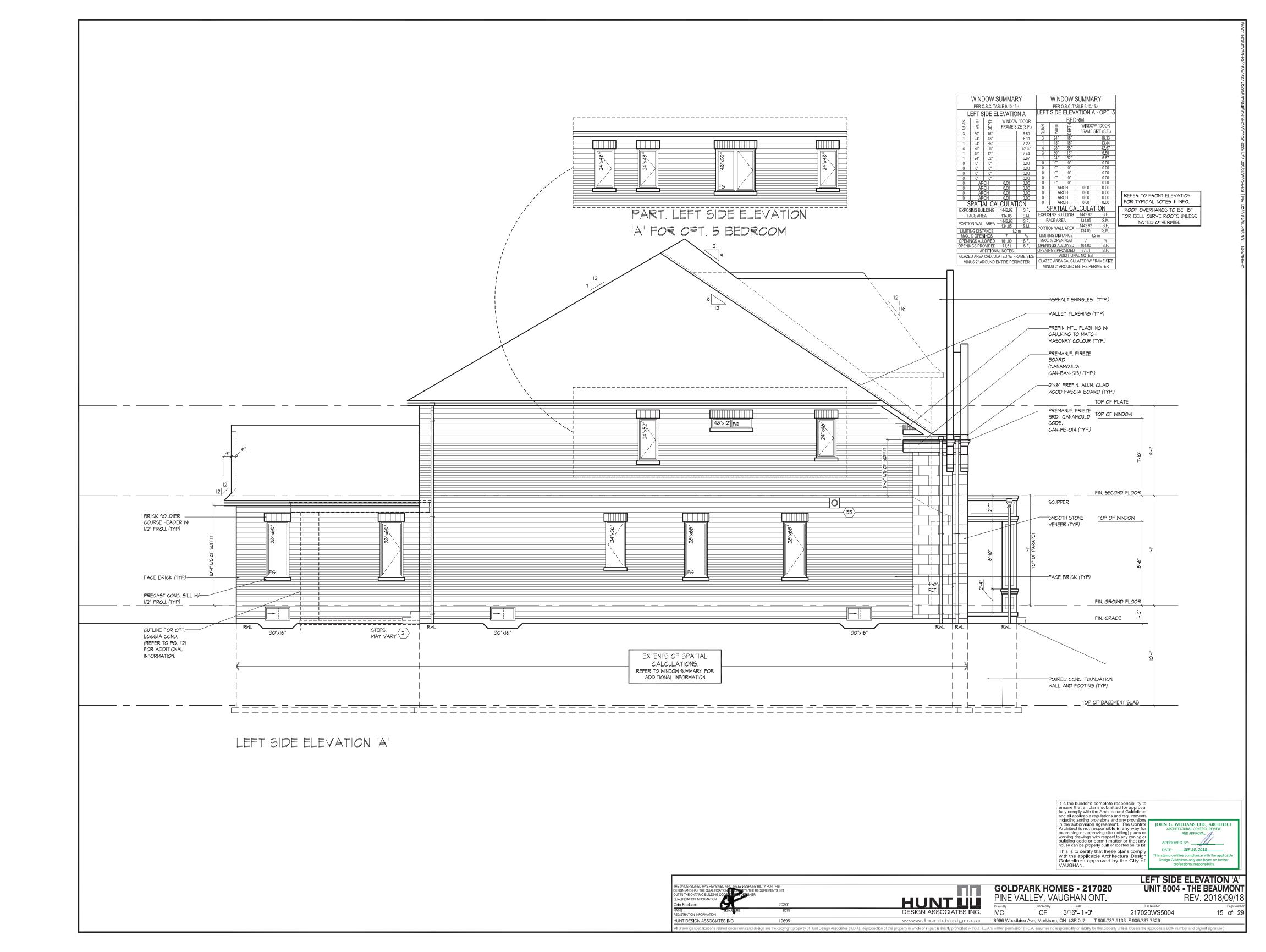


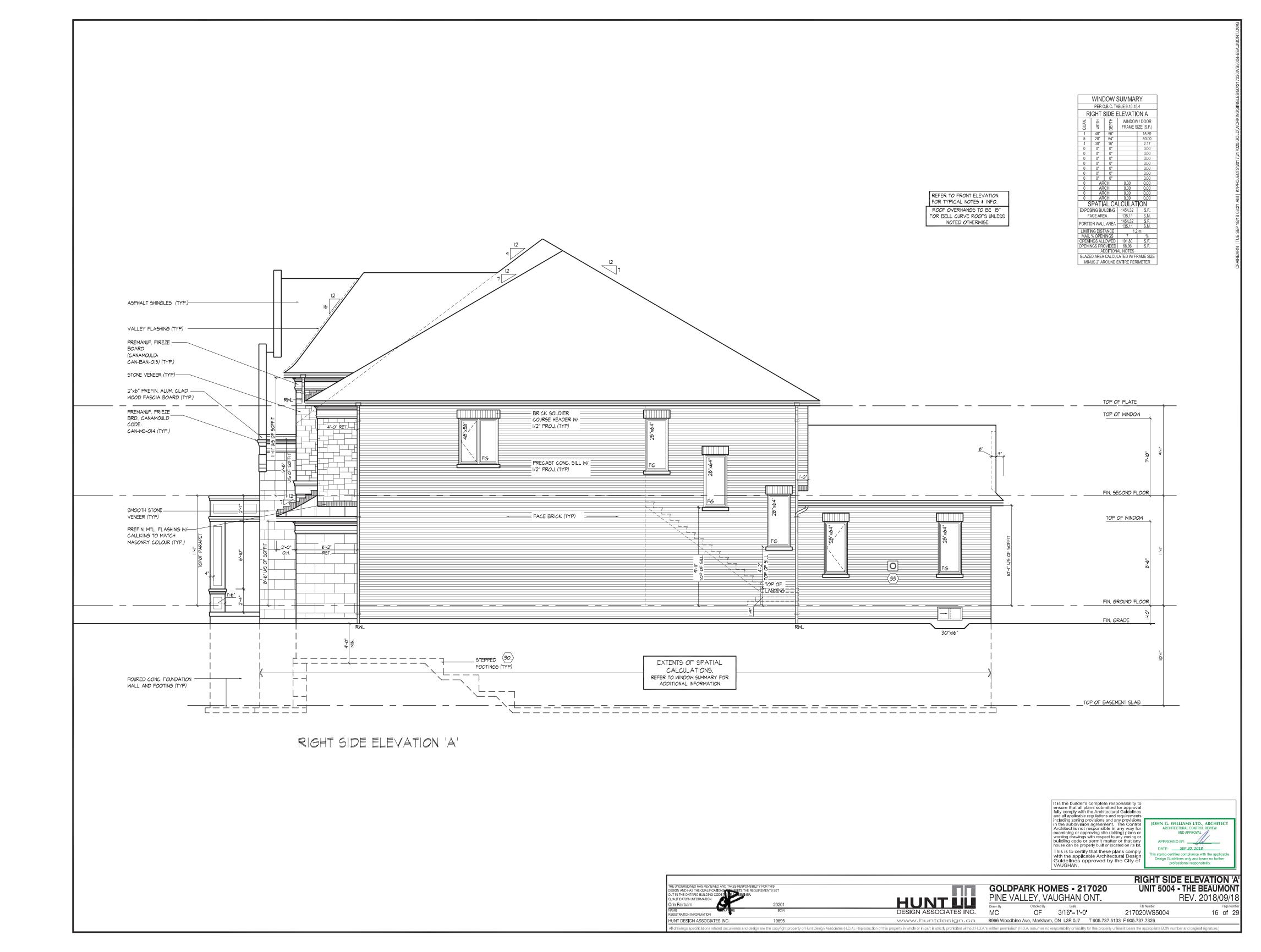


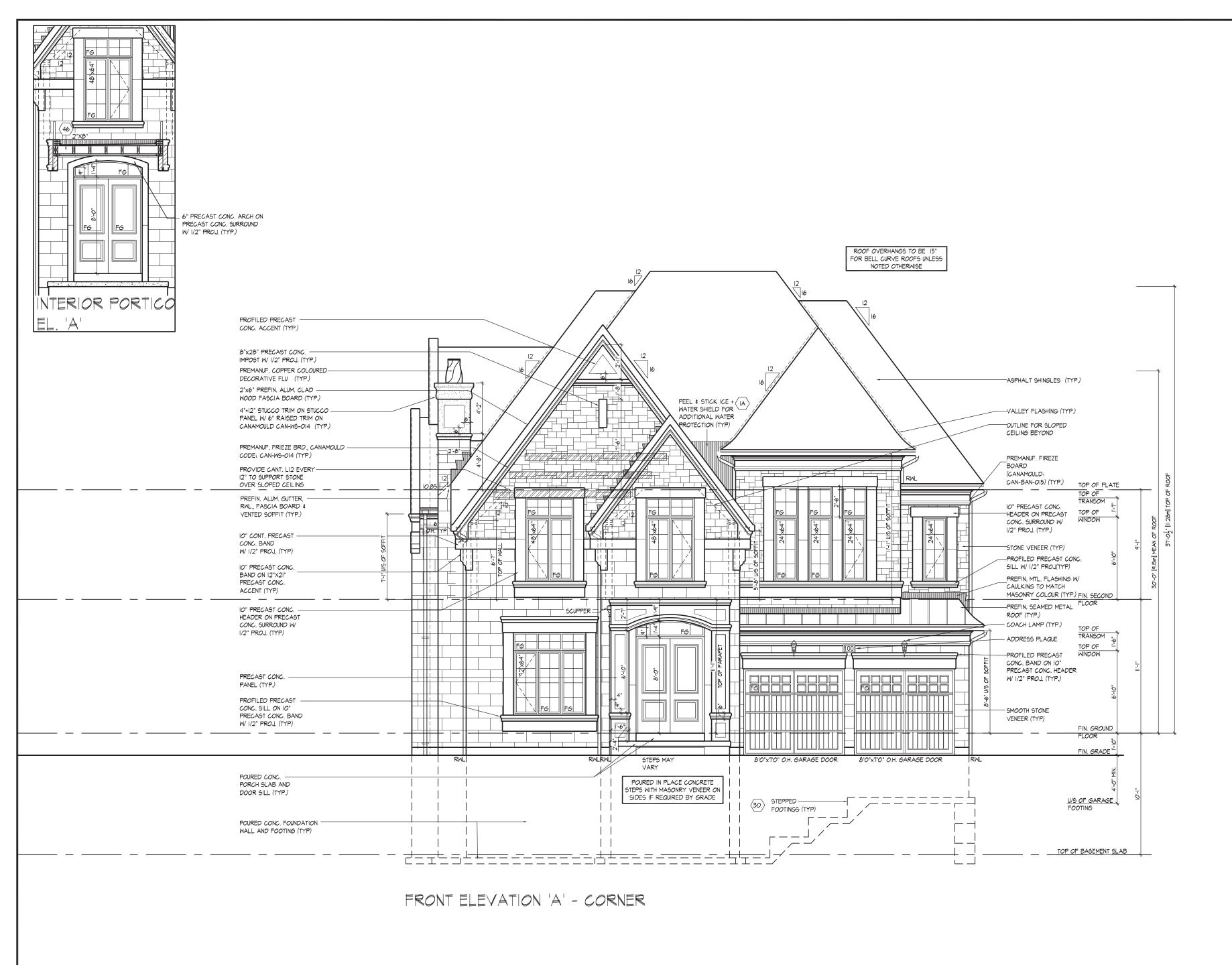


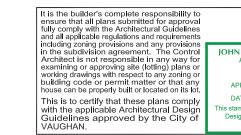












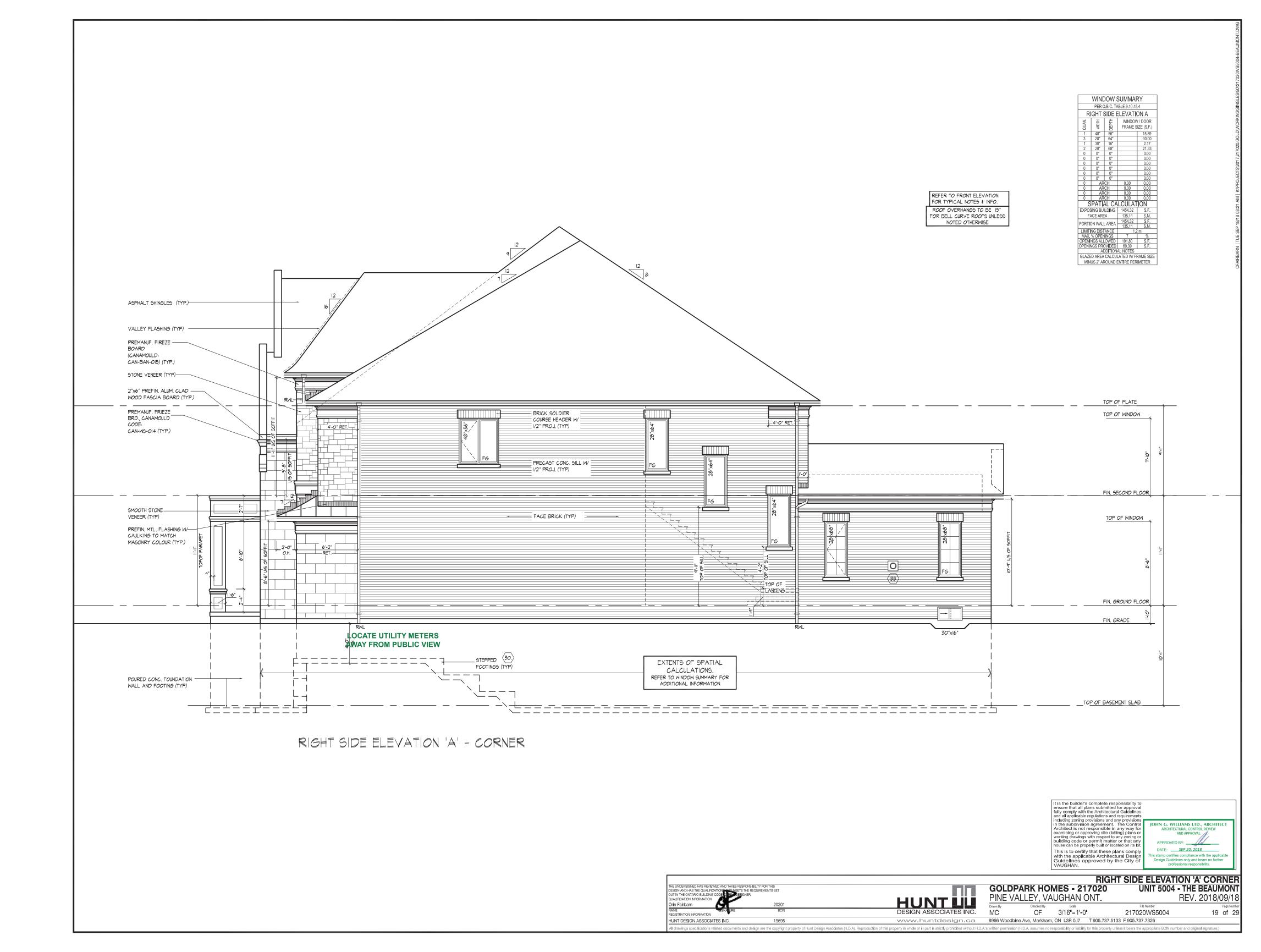
JOHN G. WILLIAMS LTD., ARCHITECT DATE: <u>SEP 20, 2018</u>

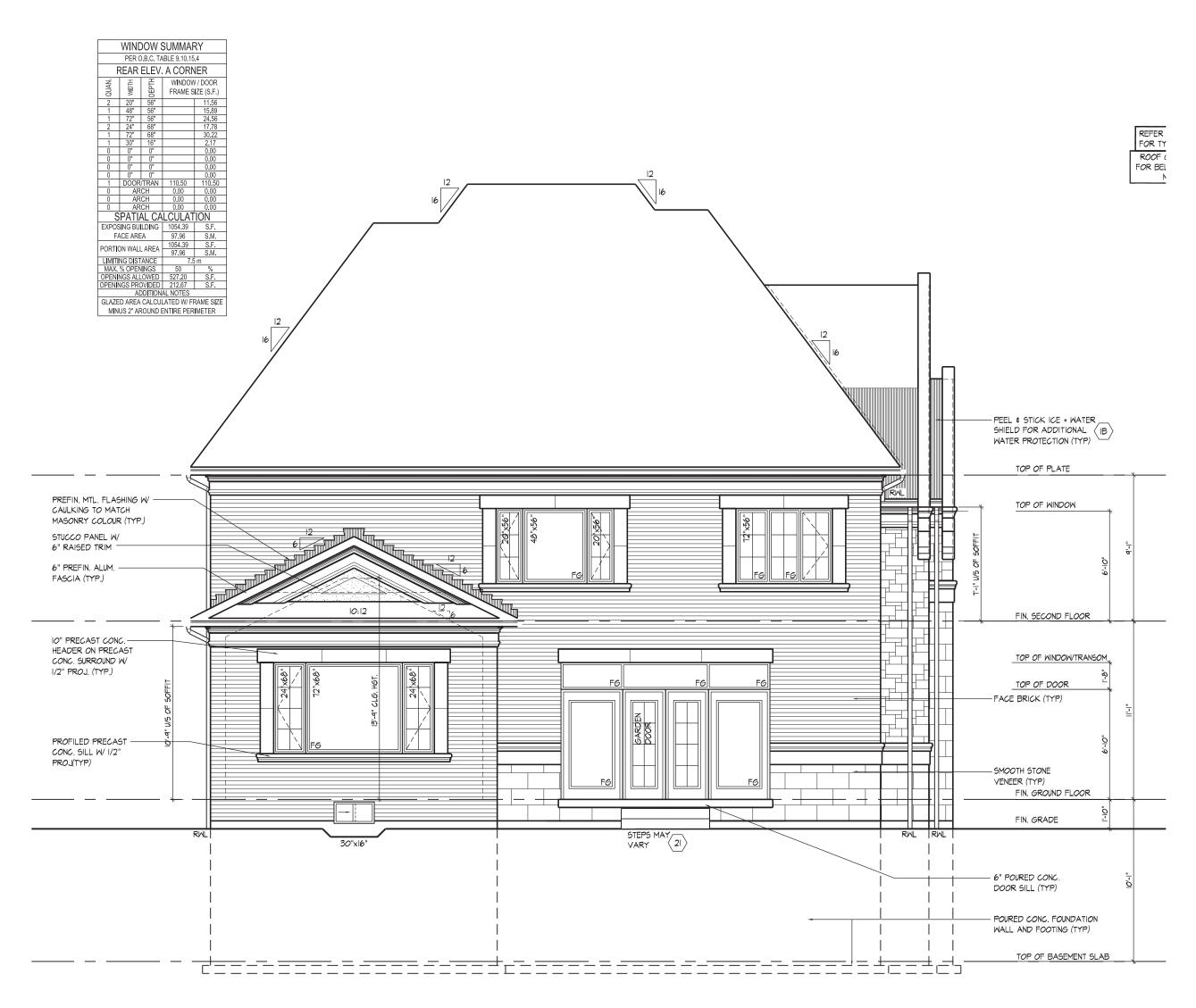
FRONT ELEVATION 'A' CORNER THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT** THE UNIVERSIGNED THAN SERVICE WITHOUT MAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO SESSIONER.

QUALIFICATION INFORMATION

2007 PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18 **HUNT JU** File Number 217020WS5004 Drawn By OF 3/16"=1'-0" 17 of 29 REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca



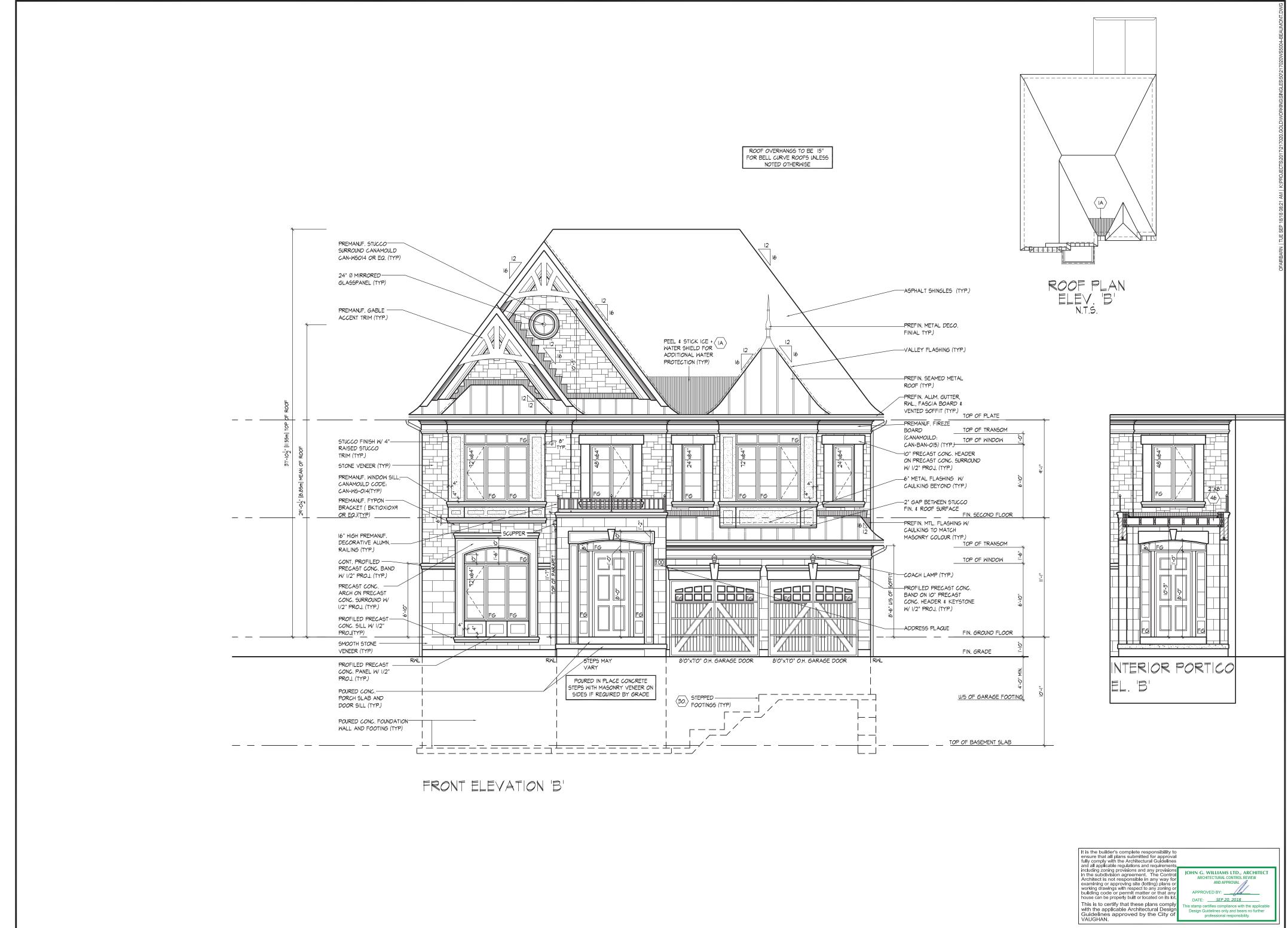




REAR ELEVATION 'A' - CORNER

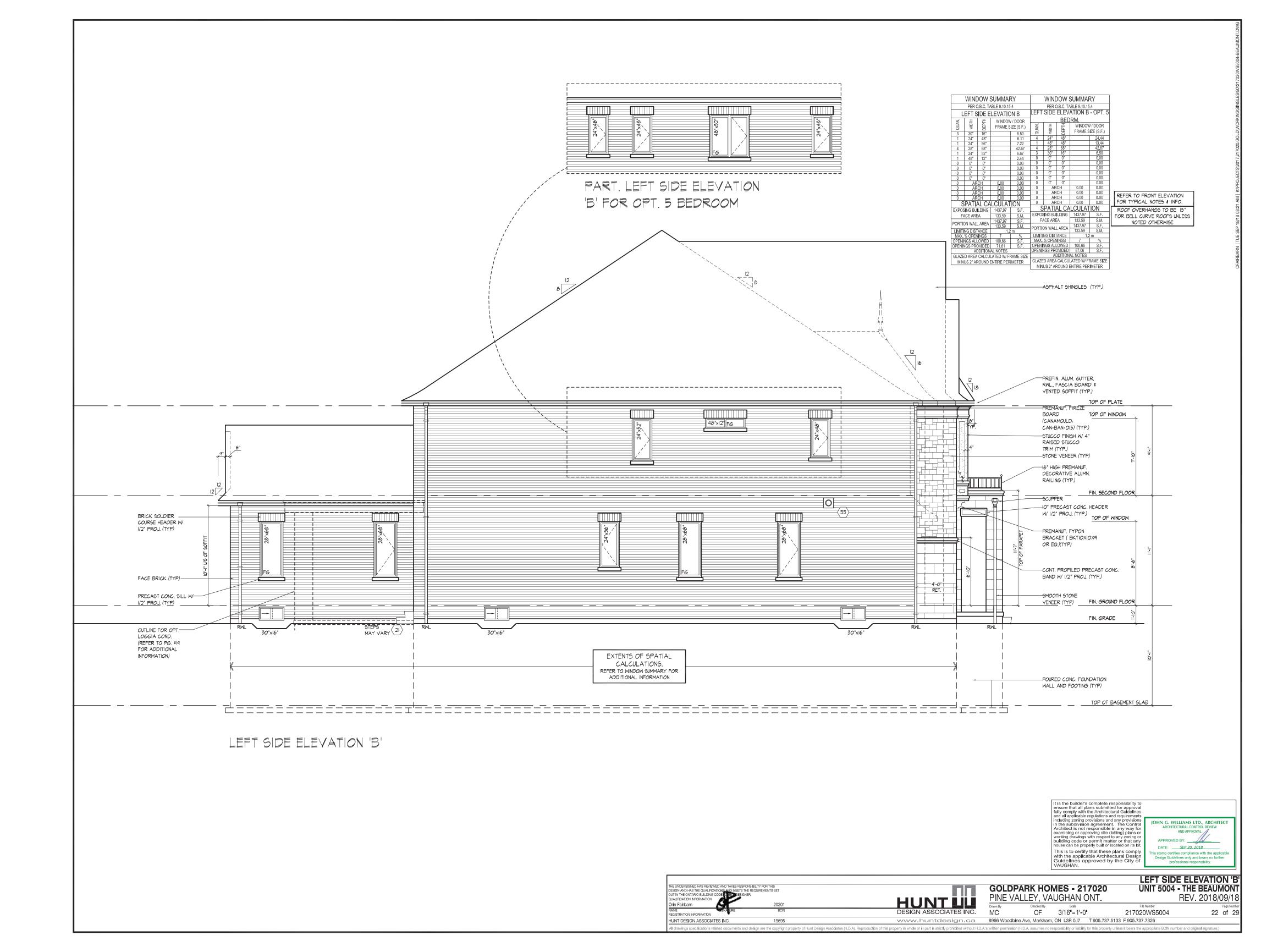


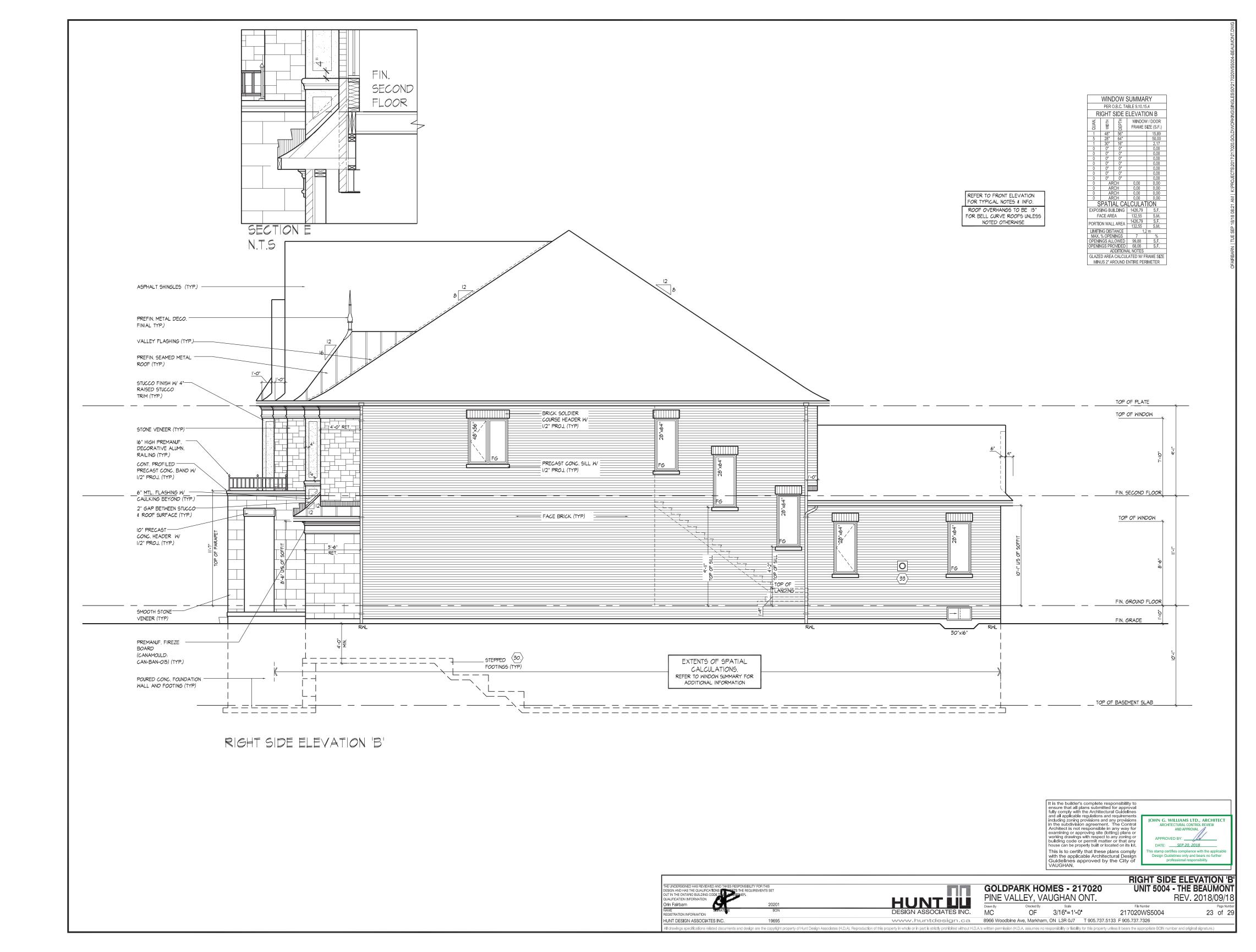
						REAR ELEVAT	ION 'A' CORNER
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONS DESIGN AND HAS THE QUALIFICATION OF THE DESIGNER. OUT IN THE ONTARIO BUILDING CODE TO BE DESIGNER.			GOLD	PARK HOI	MES - 21	7020 UNIT 5004	- THE BEAUMONT
QUALIFICATION INFORMATION		HUNTUU	PINE V	'ALLEY, VA	UGHAN C	NT.	REV. 2018/09/18
Orin Fairbarn	20201		Drawn By	Checked By	Scale	File Number	Page Number
NAME SIGNATURE REGISTRATION INFORMATION	BCIN	DESIGN ASSOCIATES INC.	MC	OF	3/16"=1' - 0"	217020WS5004	20 of 29
HUNT DESIGN ASSOCIATES INC.	19695	www.huntdesign.ca	8966 Woodb	oine Ave, Markham	, ON L3R 0J7	T 905.737.5133 F 905.737.7326	
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FRONT ELEVATION 'B' THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT** THE UNDERSIONED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION BY MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (G BF DESIGNER. QUALIFICATION INFORMATION Orin Fairbarn 202

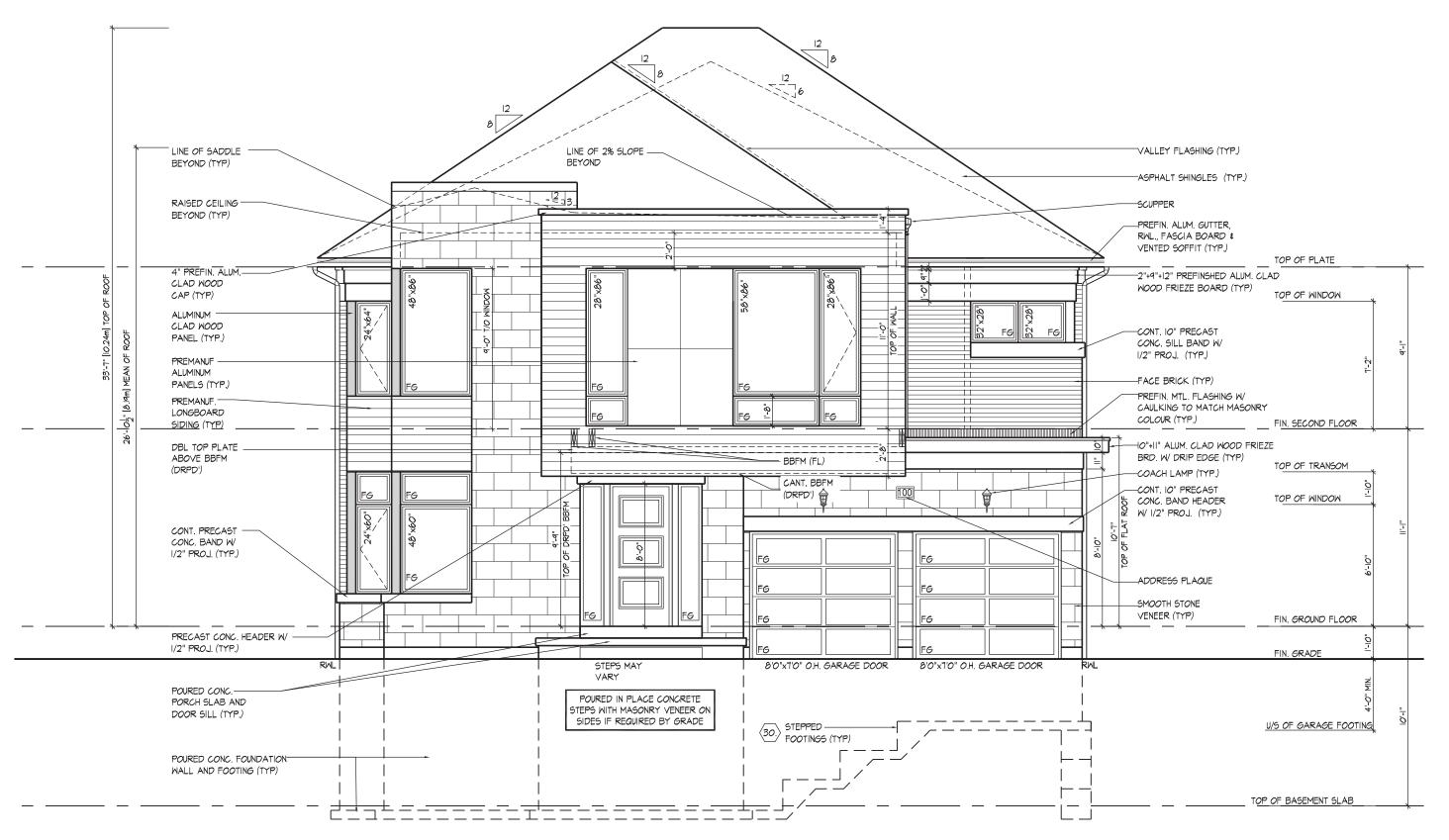
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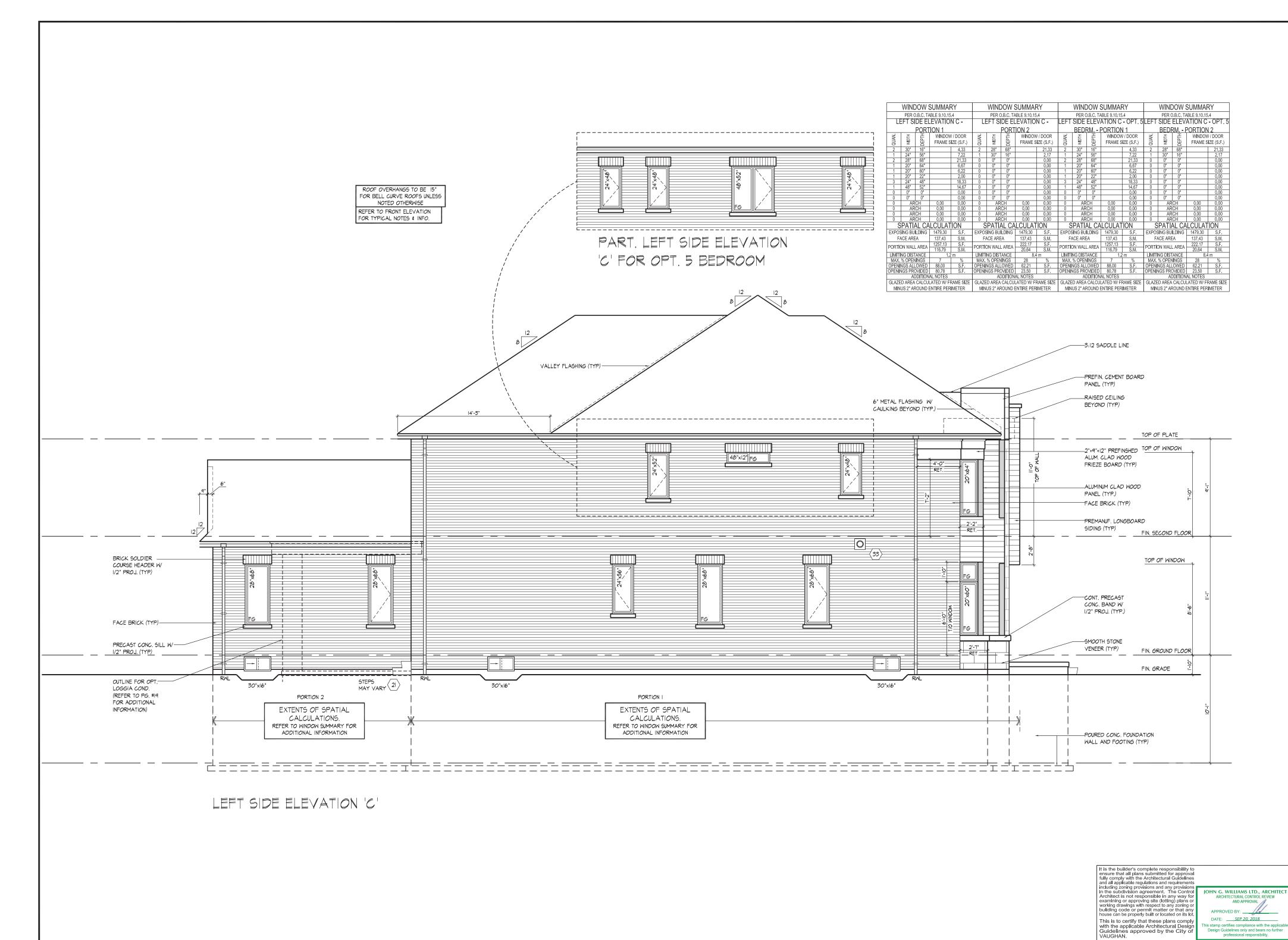
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ROOF OVERHANGS TO BE 15" FOR BELL CURVE ROOFS UNLESS NOTED OTHERWISE



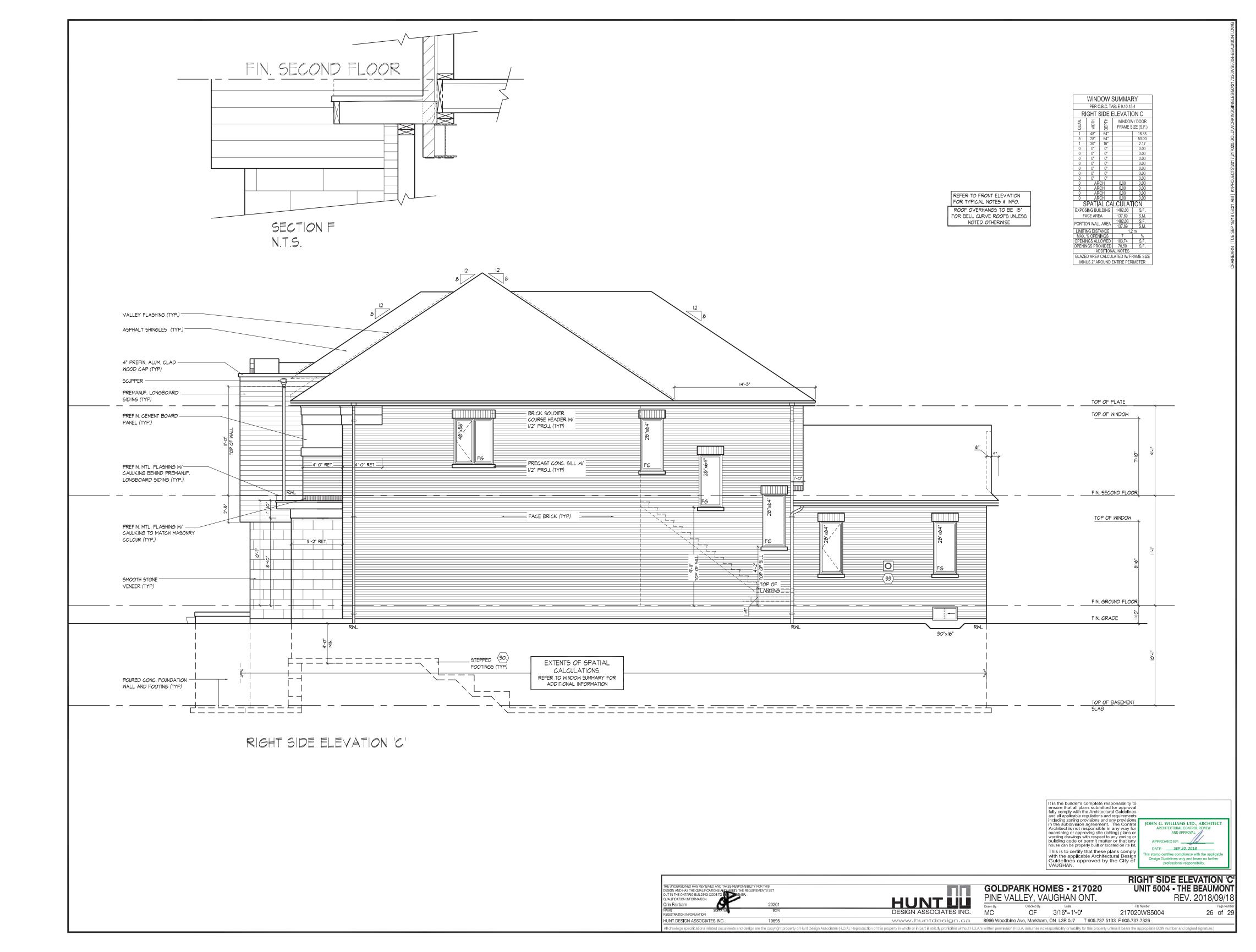
FRONT ELEVATION 'C'

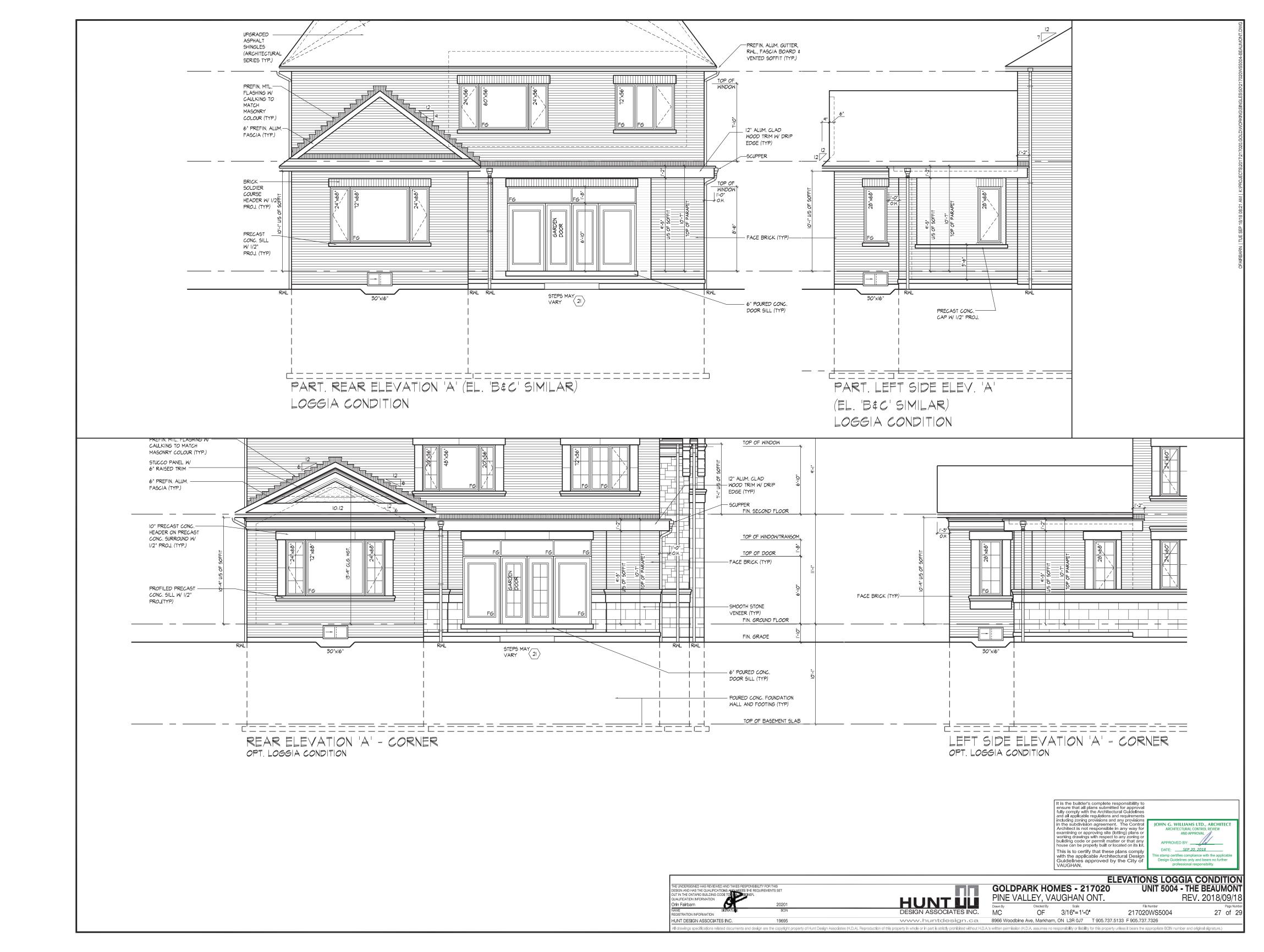


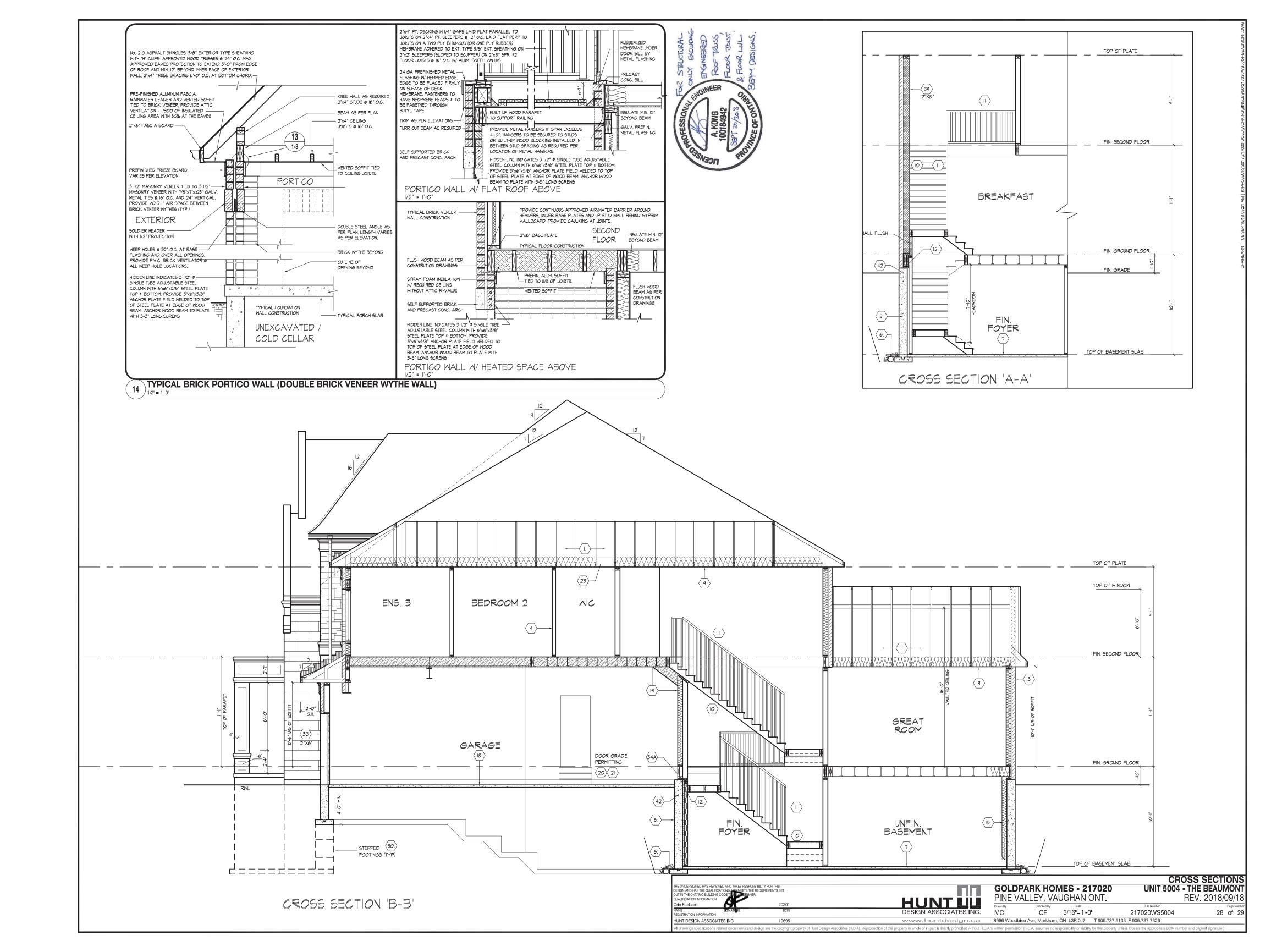


THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION IN FORMATION OUT IN THE QUALIFICATION INFORMATION OUT IN THE QUALIFICATION INFORMATION OF PAIR BELIANDING CODE IS DESIGNER.

QUALIFICATION INFORMATION ON INFORMATION O







SECTION 1.0. CONSTRUCTION NOTES

ROOF CONSTRUCTION (9.19., 9.23.13., 9.23.15. NO. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2"-11" (900) FROM EDGE OF ROOF AND MIN. 2" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2"X4"(38X89) TRUSS 12 (305) BETOIND INNER FACE OF EXTERIOR WALL, 2 A4 (38589) I RUSS BRACING @ 6-0" (1830) O.C. AT BOTTOM CHORD. PREFIN, ALUM. EAVESTROUGH, FASOIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE, EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS. TOWNHOUSE: TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG

1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES BOOE TRUSSES SHALL BE PROFILED AND/OR STEPPED AT BAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS OF APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS O APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

BRICK VENEER WALL CONSTRUCTION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES

@ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO

CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE

SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION

AND 6 miles of the conformation of the con AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIRWATER BARRIER AS PER O.B.C 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800 O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

(3B) BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS

4A EXT. LOFT WALL CONSTRUCTION - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION - NO CLADDING
W/ CONTINUOUS INSULATION
APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING, FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE. AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (490) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 125kPa S L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPa S.L.S.. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED

TILIC	וט וו וג	INLLOS O II ILINWI	OL NOTED. [8.13	.4.2.(1.)]				
	UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)							
臣	SS	MAX. HEIGHT FROM FIN. SLAB TO GRADE						
STRENGTH	THICKNESS	UNSUPPORTED	Sl	JPPORTED AT TO)P			
STF	Ĭ	AT TOP	≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m			
МРа	* 8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)			
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)			
15	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			
МРа	* 8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)			
	10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			
20	12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)			

★ 9" MIN_THICK FOLINDATION WALL IS BEOLIBED FOR MASONBY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

	3.)		
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTYWALL
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THI
2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THI
3	36" WIDE x 14' THICK	26" WIDE x 9" THICK	36" WIDE x 14" THI

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY HERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS ERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING. THE REDUCE SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK, THE BRICK VENEER SHAL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) WEEPING TILE (9.14.3.)

(100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3.) " (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL

OR 20MPa (2900nsi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

NI STAIRS/EVTERIOR STAIRS (0010 000 00

AIDS/EX	IENK	י חכ	SIAINS	(9.8.1.2., 9.8	3.2., 9.8.4.)		
MAX. RISE	MIN. F	RISE	MAX. RUN	MIN. RUN	MAX. TREAD	M	N. TREAD
7 7/8' (200)	5" (12	25)	14" (355)	8 1/4' (210)	14' (355)	9	1/4" (235)
7' (180)	5" (12	25)	NO LIMIT	11" (280)	NO LIMIT	1	1' (280)
MIN. STAIR	MIN. STAIR WIDTH		CURVED ST	AIRS	ALL ST	TAIF	IS
2'-10" (8	60)	N	IIN. RUN	5 7/8" (150)	MAX. NOSIN	G	1" (25)
2'-11" (9	100)	MIN	. AVG. RUN	7 7/8" (200)			
	MAX. RISE 7 7/8' (200) 7' (180) MIN. STAIR 2'-10" (8	MAX. RISE MIN. F 7 7/8' (200) 5" (12 7' (180) 5" (12 MIN. STAIR WIDTH 2'-10" (860)	MAX. RISE MIN. RISE 7 7/8' (200) 5" (125) 7' (180) 5" (125) MIN. STAIR WIDTH 2'-10" (860) N	MAX. RISE MIN. RISE MAX. RUN 7 7/8¹ (200) 5" (125) 14" (355) 7¹ (180) 5" (125) NO LIMIT MIN. STAIR WIDTH CURVED ST 2²-10" (860) MIN. RUN	MAX. RISE MIN. RISE MAX. RUN MIN. RUN	7 7/8¹ (200) 5" (125) 14" (355) 8 1/4¹ (210) 14' (355) 7' (180) 5" (125) NO LIMIT 11" (280) NO LIMIT MIN. STAIR WIDTH CURVED STAIRS ALL S' 2-10" (860) MIN. RUN 5 7/8" (150) MAX. NOSIN	MAX. RISE MIN. RISE MAX. RUN MIN. RUN MAX. TREAD MI 7 7/8' (200) 5" (125) 14" (355) 8 1/4" (210) 14" (355) 9 7 (180) 5" (125) NO LIMIT 11" (280) NO LIMIT 1 MIN. STAIR WIDTH CURVED STAIRS ALL STAIR 2-10" (860) MIN. RUN 5 7/8" (150) MAX. NOSING

WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING I OWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE OWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS

GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11. **GUARDS/RAILINGS** (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9 8 8 2

GUARD HEIGHTS - O.B.C. 9.8.8. INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.

GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH. REQUIRED GUARDS

TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3:-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3) MIN. HEIGHT AT STAIRS OR RAMP: 2-10" (865) MAX. HEIGHT AT STAIRS OF RAMP: 3'-2" (965) MAX. HEIGHT AT LANDING: 3'-6" (1070)

STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT SILL PLATES 2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG,

EMBÈDDED MIN. 4" (100) INTO CONC. @ 4-0" (1220) O.C., CAÙLKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.) BASEMENT INSULATION ([SB-12] 3.1.1.7 PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8° (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN

HE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. **BEARING STUD PARTITION IN BASEMENT** (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER

TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED. ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3,8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125KPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125KPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

(15A) NON-ADJUSTABLE STEEL BASEMENT COLUMN STEEL PLATE TOP & BOTTOM BOTTOM PLATE CW 2 1/2"/Ø x 1/2" LONG x2" HOOK ANCHORS. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 125kPa S.L.S. OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 125kPa S.L.S. AS PER SOILS REPORT. SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE, BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"0" x 12" LONG x 2" HOOK ANCHORS (2-12.70"x305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN, BEARING 3 1/2" (90) **WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. GARAGE SLAB (9.16., 9.35.)

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.)

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND PARAGE PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION

(12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER 1/2" (12./) GYPSUM BOAHD ON CEILING AND ON WALLS INSTALLED OVEH EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH OUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

23 ATTIC ACCESS (9.19.2.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE A OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE NSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

25 LINEN CLOSET
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

 26
 MECHANICAL VENTILATION (9.32.1.3.)

 MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST
 ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

27 PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

28 WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

BUILT-UP WOOD POST AND FOOTING (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

(9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.)

MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FURNACE VENTING (9.32.) / DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6"-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.)
DIRECT VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34) **FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION
PROVIDE CONTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S7 A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12 GYPSUM WALLBOARD INTERIOR FINISH, EXTERIOR CLADDING MUST BE GYPSOM WALLDBARD INI FIGHT RINGH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.), REFER TO DETAILS FOR TYPE & SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in (30cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 10.10.14.60

(9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/5-8% AIR ENTRAINMENT. REINF, WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION, W/1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"X-24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCLODED IN DEPTH HETER DIR. WILL OF LOWER AND COMPANY OF THE AND COMPANY OF THE

ANCHORED IN PERIMETER END. WALLS, SLOPE SLAB 1.0% FROM DOOR (37) RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST

CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10. (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) 244" (38x89) OULLAR HES AT MID-SPAN, CEILING JUISTS TO BE 2'x4" (38x8) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2'x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'.7" (4450), RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

(9.23.10.1., 9.23.11.) **TWO STOREY VOLUME SPACES**

WALL AS	SSEMBLY	WIND LOADS						
EXTER I OR	STUDS	<= 0.5	kPA (q50)	> 0.5 kPa (q50)				
EXTENION	31003	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT			
BRICK	2-2"x6" (2-38x140)	12" (305) O.C.	18'-4" (5588)	8" (200) O.C.	18'-4" (5588)			
SIDING	SPR.#2	16' (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)			
BRICK	2-2"x8" (2-38x184)	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)			
SIDING	SPR.#2	16" (406) O.C.	21'-0" (6400)	16" (406) O.C.	21'-0" (6400)			
** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER **								
STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLD WOOD BLOCKING BETWEEN WOOD STUDS								

9 4'-0" (1220) O.C. VERTICALLY. - FOR HORIZ. DISTANCES LESS THAN 9-6" (2896) PROVIDE 2'x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN, 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x6" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

cont. SECTION 1.0. CONSTRUCTION NOTES

FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN, 1" (25) APART ON SEPA CAVITÝ WITH AT LEAST 90% OF ABSORPTIVE MATÉRIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

(12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL HILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SANC ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION. WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

(41A) STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B. APPROVED DRAININGE MAI ON APPROVED AIRWAITER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TYP SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS. 20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL @ 6" O.C.

15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN SILL EXTEND BARS 24" (610) BEYOND THE OPENING, 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.

43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT

SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W. SPRAY FOAM), W. INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/6 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2*/2* (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2*x8* (38x184) FLOOR JOISTS @ 16* (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U

BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS

ANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM

40A 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b')

41B STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALL BOAD DATE FINISH (1955-1973) CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REPERTIO 35 NOTE AS REQ.)
**** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION,
PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING
OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)
ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

REINFORCING AT BASEMENT WINDOW

- BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE PRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

FLAT ROOF/BALCONY CONSTRUCTION

(38X184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRA TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM C PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY OVER HEATED SPACE CONDITION

BARREL VAULT CONSTRUCTION

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2
ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR LS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)									
MIN.		SUPPORTED LOADS (EXTERIOR)							
STUD SIZE.	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR					
in (mm)	MAX. STUD SPACING, in (mm) O.C.								
1 ()	N	1)							
2"x4"	24" (610)	16" (405)	12" (305)	N/A					
(38x89)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A					
2"x6"	-	24" (610)	16" (406)	12" (305)					
(38x140)	_	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)					

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEI PORTION W/ NO DIMENSION LESS THAN 1-3" (380), CAPABLE OF MAINTAINING THI OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO 9.9.10 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS

	THE CEILING HEIGHTS OF R	OOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.				
	ROOM OR SPACE	MINIMUM HEIGHTS				
N	LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT				
	BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.				
	BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".				
	BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING				
	FINISHED ROOM NOT MENTIONED ABOVE	6'-11"				
	MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)				
	STORAGE GARAGE	6'-7" (9.5.3.3.)				

2.3. MECHANICAL / PLUMBING

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM

TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE RÉQUIREMENTS OF 3.1.1.12. OF THE O.B.C.

2.4. LUMBER1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BÚILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.) 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R. 2.6. FLAT ARCHES

FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F. (3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.) 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDMDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED

SECTION 3.0. LEGEND 3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2				
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)			
B1	3/2"x8" (3/38x184)	ВЗ	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)			
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	В6	4/2"x12" (4/38x286)			
В7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	В9	5/2"x12" (5/38x286)			
ENGINEERED LUMBER SCHEDULE - GRADE 2.0E (UNLESS NOTED OTHERWISE)								
1 3/4" x 9 1/2" LVL		1 3/4" x 11 7/8" LVL		1 3/4" x 14" LVL				
LVL2	1-1 3/4"x9 1/2"	LVL3	1-1 3/4"x11 7/8"	LVL10	1-1 3/4"x14"			
LVL4	2-1 3/4"x9 1/2"	LVL6	2-1 3/4"x11 7/8"	LVL11	2-1 3/4"x14"			
LVL5	3-1 3/4"x9 1/2"	LVL7	3-1 3/4"x11 7/8"	LVL12	3-1 3/4"x14"			
LVL8	4-1 3/4"x9 1/2"	LVL9	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"			

ORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

M.		1 OTHER OF SERVICES. 2.20.5.2.(2) & 3.20.5.2.(0)							
1	CODE	SIZE	BRICK	STONE					
	L7	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)					
	L8	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)					
	L9	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)					
	L10	4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)					
	L11	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)					
	L12	7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)					

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10 EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

ABOVE FINISHED FLOOR

A | EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) B | EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) C | EXTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7) EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 2 EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7) A EXTERIOR 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE 2 | INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35) 3 INTERIOR 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)

PROVIDE 8'-0" HIGH 3A | INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35) INTERIOR DOORS 4 INTERIOR 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35) FOR ALL 10' CEILING

CONDITIONS

4A | INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35) INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35) 3.4. ACRONYMS t Luois LIN LINEN CLOSE

BEAM BY FLOOR MANUFACTURER FIXED GLASS W/ BLACK BACKING LAMINATED VENEER LUMBER B/AL OPEN TO BELOW/ABOVE PL POINT LOAD RM BEAM BY ROOF MANUFACTURER PLT | PLATE COMPLETE WITH PT PRESSURE TREATED /TJ| DOUBLE JOIST/ TRIPLE JOIST D PAINTED DO OVER D POWDER ROOM RP DROPPED ROOF TRUSS EXTERIOR INSULATION FINISH SYSTEM RWL RAIN WATER LEADER NG | ENGINEERED SB | SOLID BEARING WOOD POST SBFA SB FROM ABOVE ST | FSTIMATE FA FLAT ARCH J SINGLE JOIS SPR SPRUCE FLOOR DRAIN G FIXED GLASS TL STEEL O TOP OF FLUSH TYPICAL S UNDERSIDE IB HOSE BIB wo Lwoon IRV HEAT RETURN VENTILATION UNIT WIC WALK IN CLOSET NT │ HOT WATER TANK WP | WEATHER PROOF

3.5. SYMBOLS ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34 CLASS 'B' VENT S EXHAUST VENT DUPLEX OUTLET (HEIGHT AS NOTED A.F DUPLEX OUTLET (12" HIGH) HEAVY DUTY OUTLET ROUGH IN FOR ELECTRIC VEHICLE - LIGHT FIXTURE (CEILING MOUNTE CHARGING STATION (9.34.4) → POT LIGHT - LIGHT FIXTURE (WALL MOUNTED) CO LIGHT FIXTURE (PULL CHAIN) TELEPHONE JACK

CENTRAL VACUUM OUTLE

CABLE T.V. JACK

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED D ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET MPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

OMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

CHANDELIER (CEILING MOUNTE

CMD CARBON MONOXIDE ALARM (9.33.4.)

TCHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH OWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) HALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT I AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

SUPPORTED MEMBER, BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH

NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER
OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD EXPOSED BUILDING FACE - O.B.C. 9.10.14. OR 9.10.15.

REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.

SECTION 4.0. CLIMATIC DATA DESIGN SNOW LOAD (9.4.2.2.):

1.01 **kPa** WIND LOAD (q50) (SB-1.2.): 0.44 **kPa**

2 HR. FIREWALL REFER TO HEX NOTE 40A.

ESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & PECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. LL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE NTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.

HUNTUU

GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT.

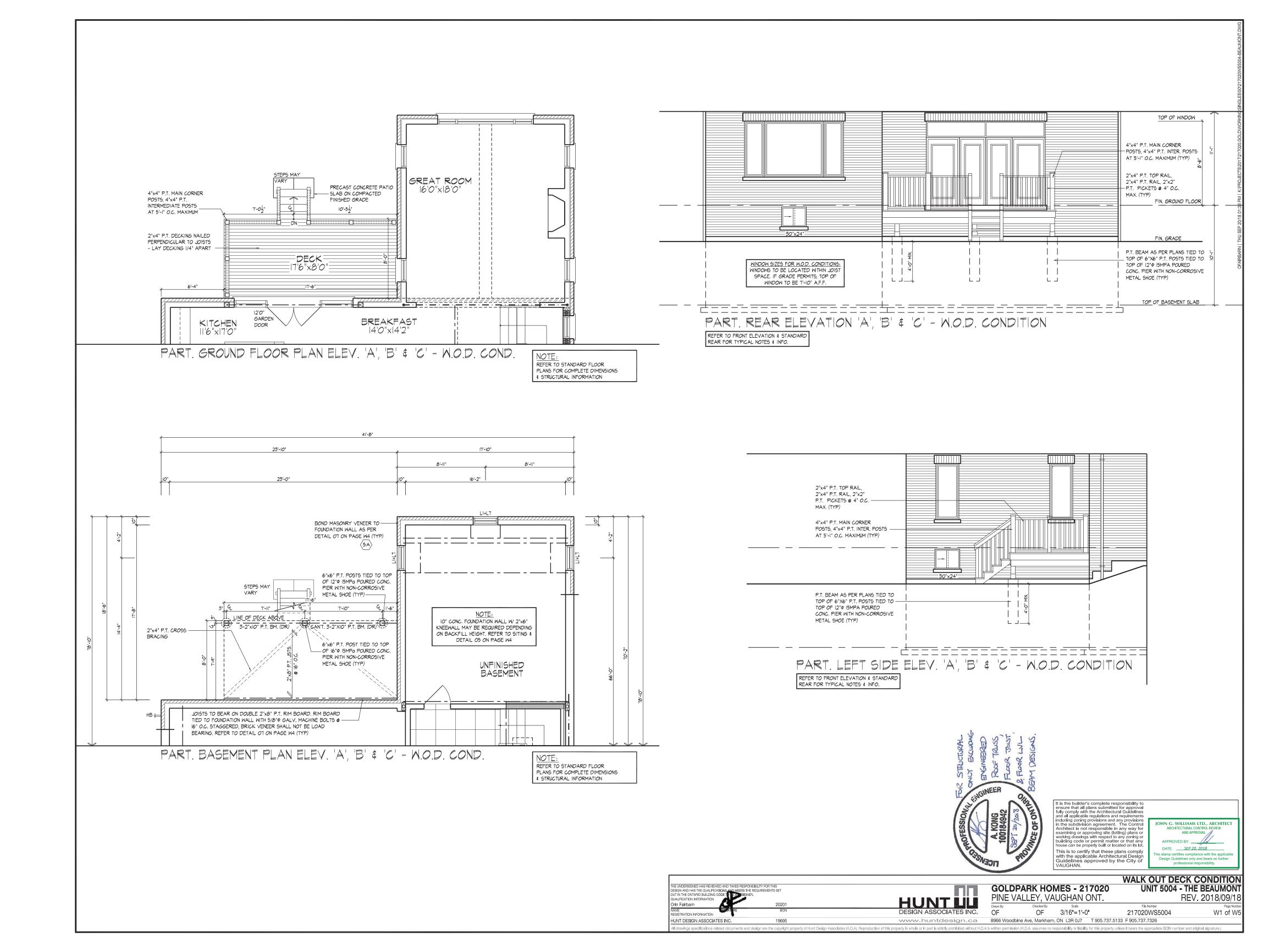
CONSTRUCTION NOTES UNIT 5004 - THE BEAUMON REV. 2018/09/1

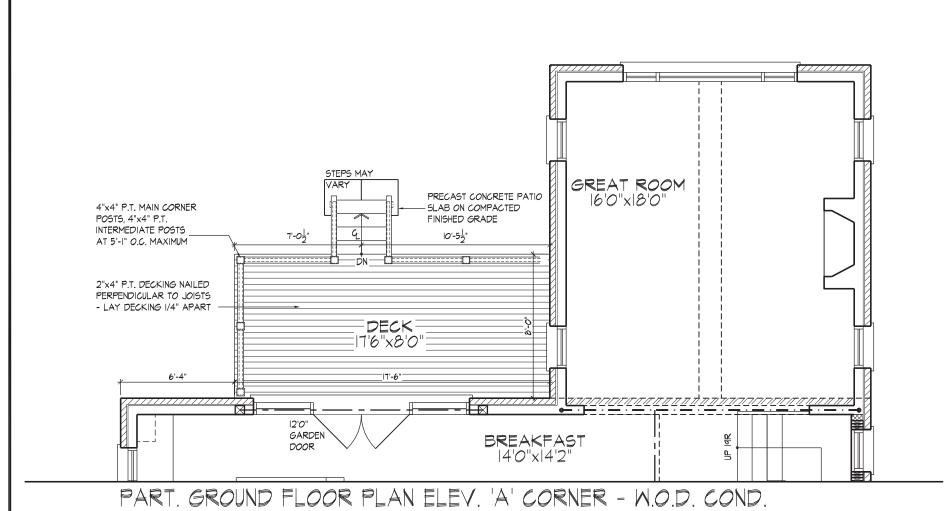
3/16"=1'-0" MC OF 217020WS5004 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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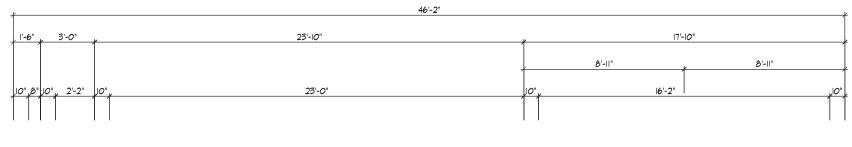
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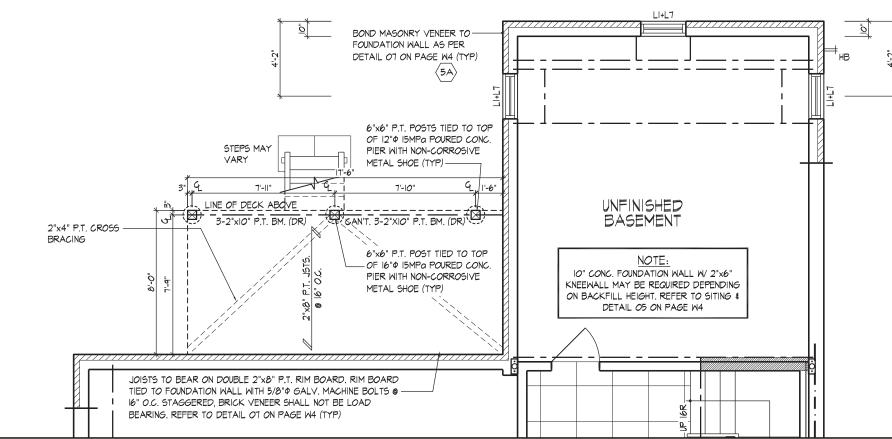
29 of 29





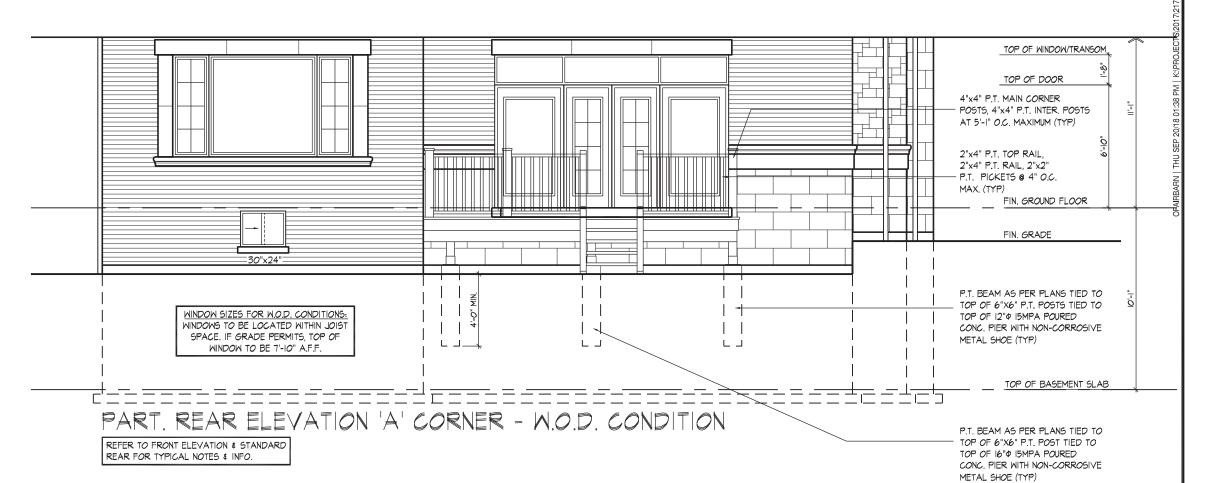
NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
\$ STRUCTURAL INFORMATION

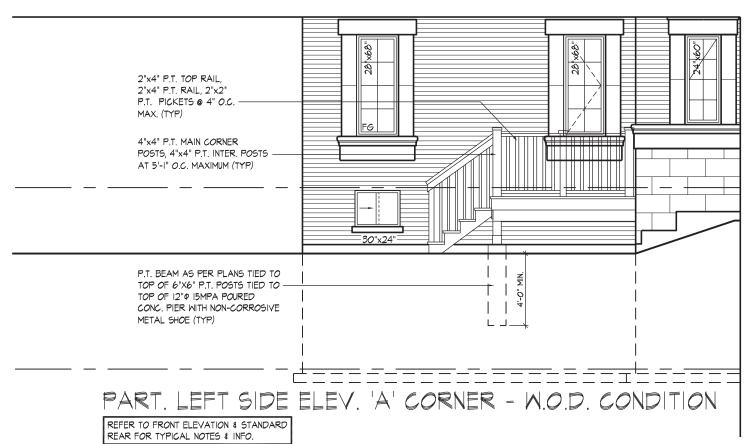


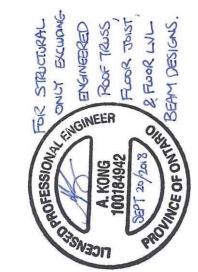


PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
\$ STRUCTURAL INFORMATION







It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

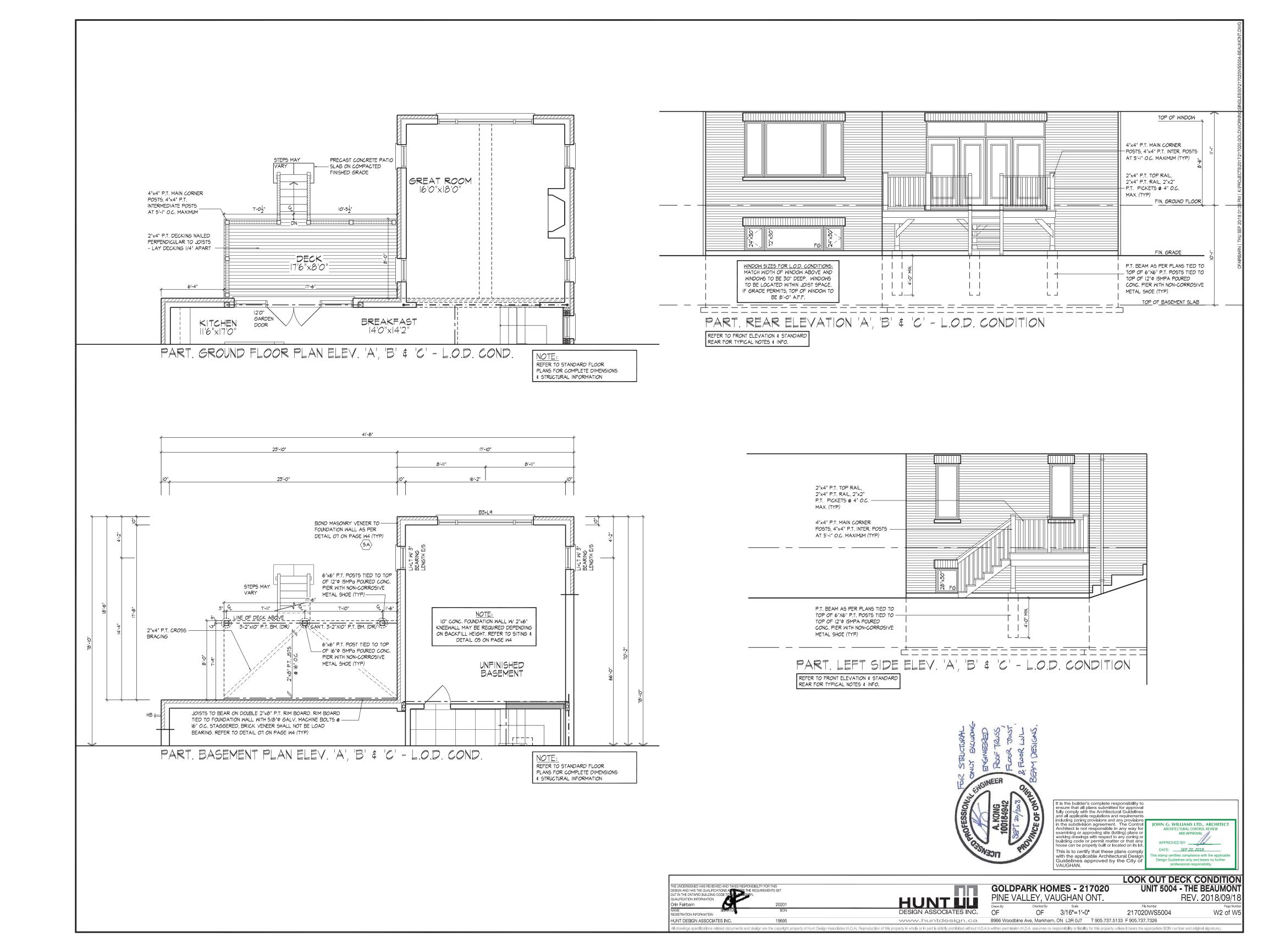
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

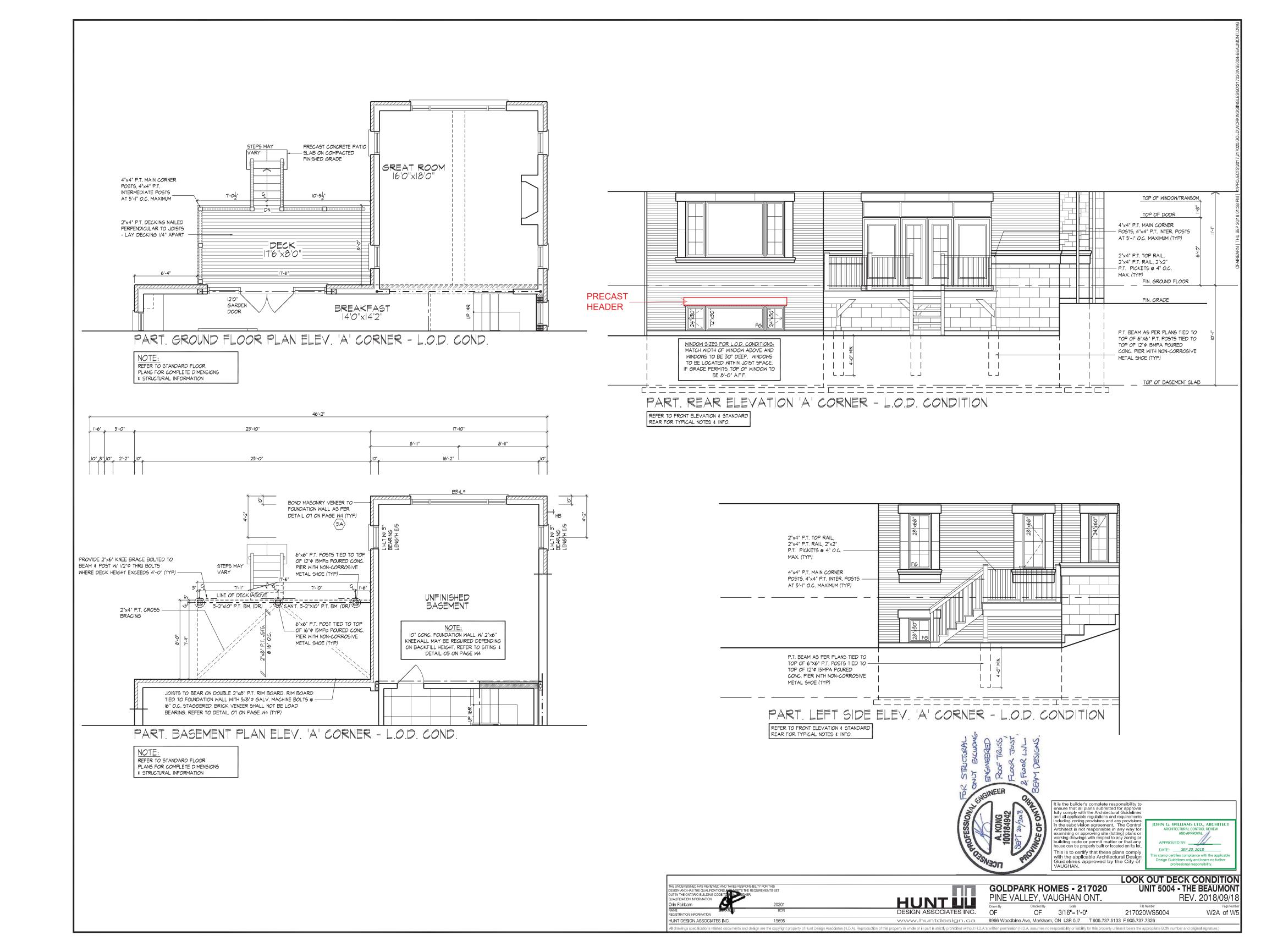
APPROVED BY:

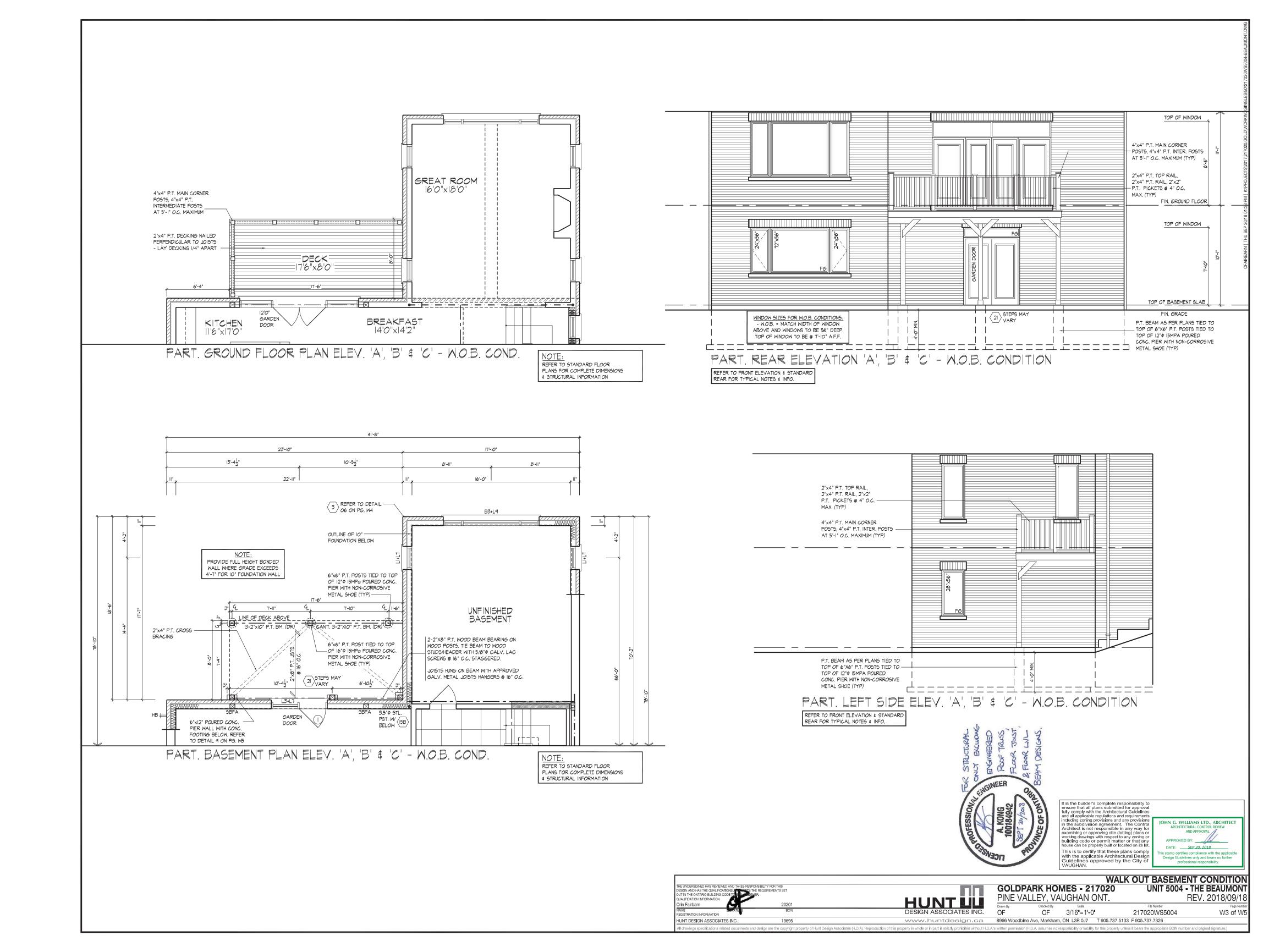
DATE: SEP 20, 2018

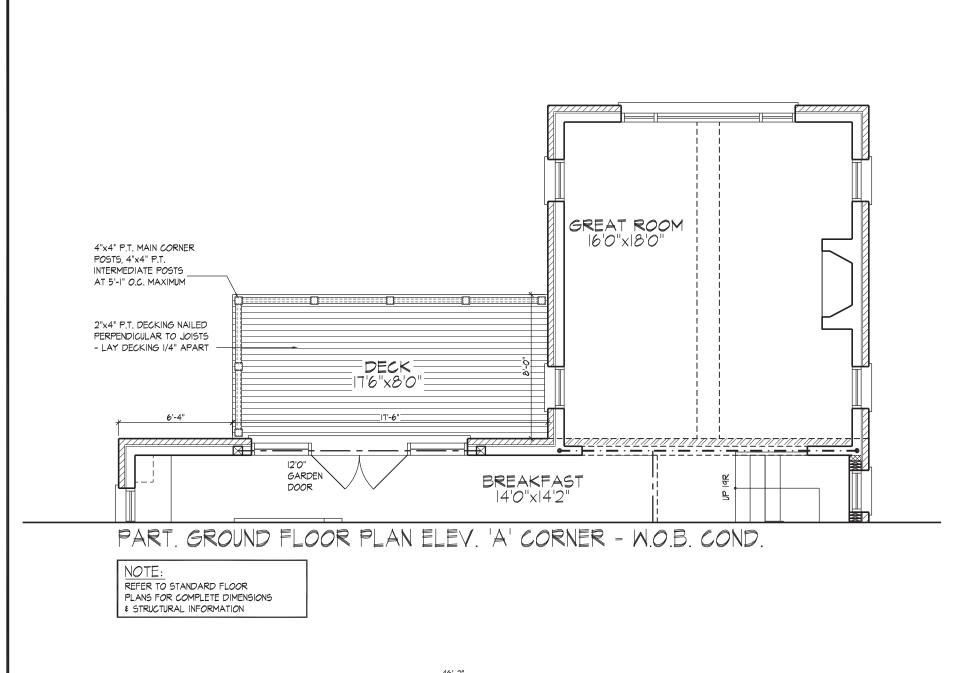
This stamp certifies compliance with the applicable Design Guidelines only and bears no further

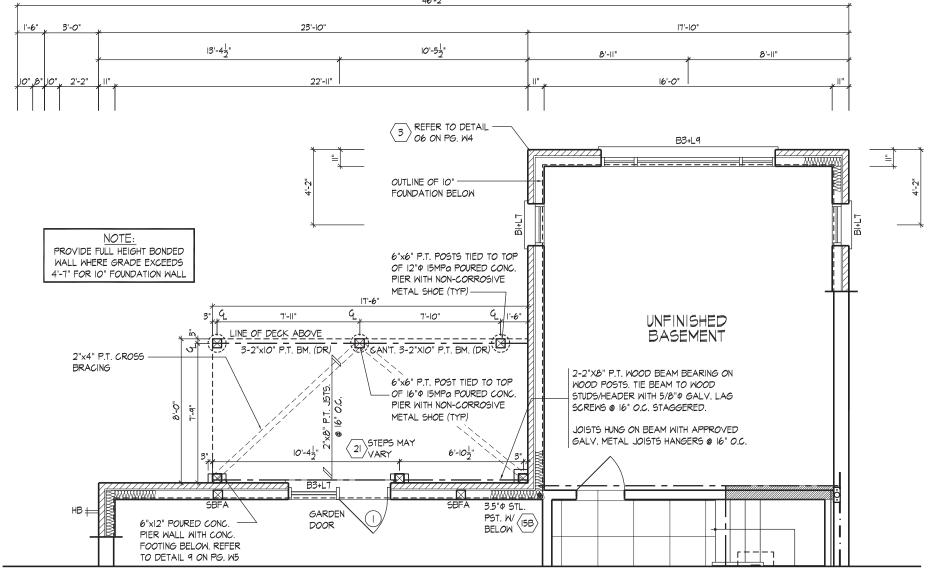
WALK OUT DECK CONDITION THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT** PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18 HUNTUU Orin Fairbarn OF OF OF 3/16"=1'-0" 217020WS5004 W1A of W5 REGISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca











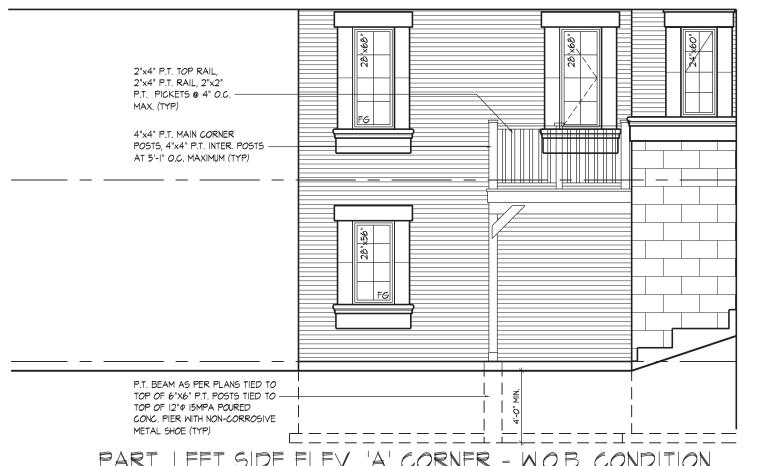
PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.B. COND.

NOTE: REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS \$ STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



SCHONG SERED TRUSS, & JOIST, & LUL RESIGNS.

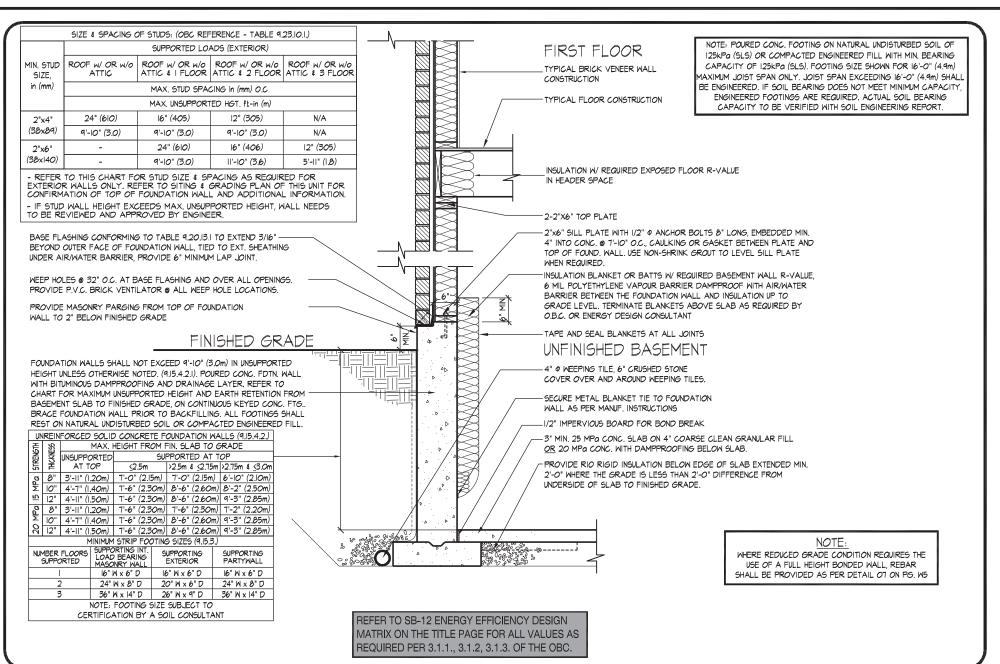
PART. LEFT SIDE ELEV. 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

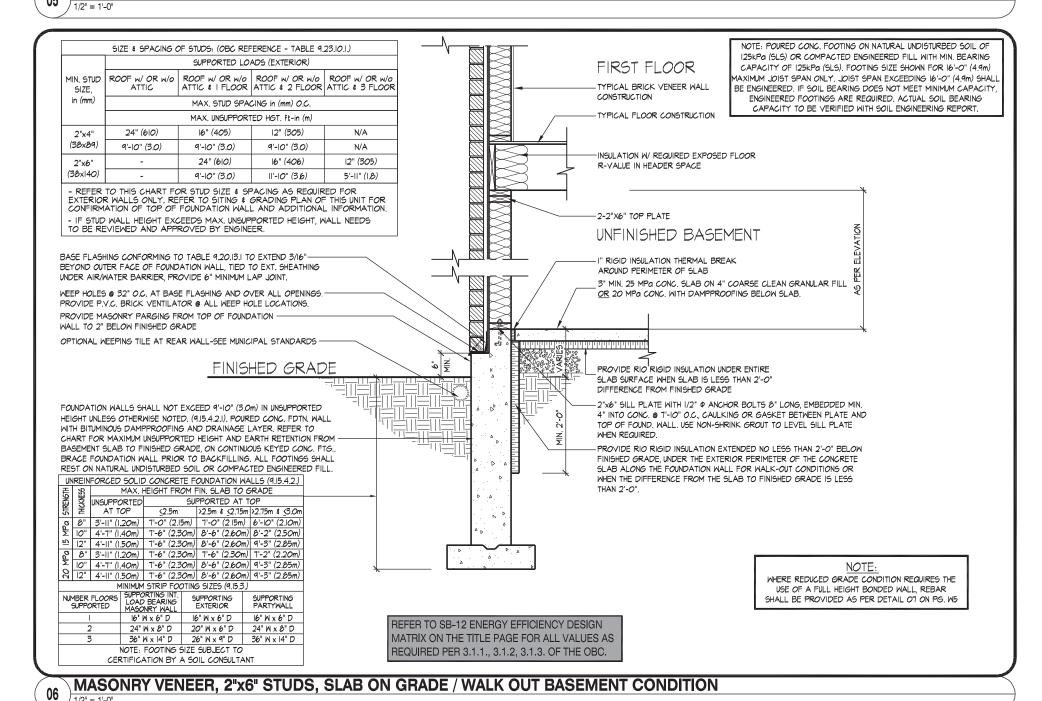
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT DATE: <u>SEP 20, 2018</u>

WALK OUT BASEMENT CONDITION THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **GOLDPARK HOMES - 217020 UNIT 5004 - THE BEAUMONT** PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18 **HUNT LU** OF OF OF 3/16"=1'-0" 217020WS5004 W3A of W5 ISTRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC. www.huntdesign.ca



MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL LATERALLY UNSUPPORTED



______2"X4" P.T. CROSS BRACING WITH 2-3" SPIRAL MAILS AT EACH JOIST 2"X8" R.T. BLOCKING BETWEEN JOISTS DOUBLE 2"X8" P.T. RIM BOARD BELOW -2"X8" P.T. BLOCKING 4-#9X3" SCREWS EACH SIDE (O.B.C. 5B-7 DETAIL EB-2)\ - 4"X4" P.T. INTERMEDIATE POST 2"X8" P.T. RIM JOIST TIED TO ""X8" P.T. FLOOR JOISTS @ 16" O.C WITH 3 4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIOULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH-JOISTS-LAY DECKING 1/4" APART

JOISTS TO BEAR ON DOUBLE 2"X8" P.T. RIM BOARD.

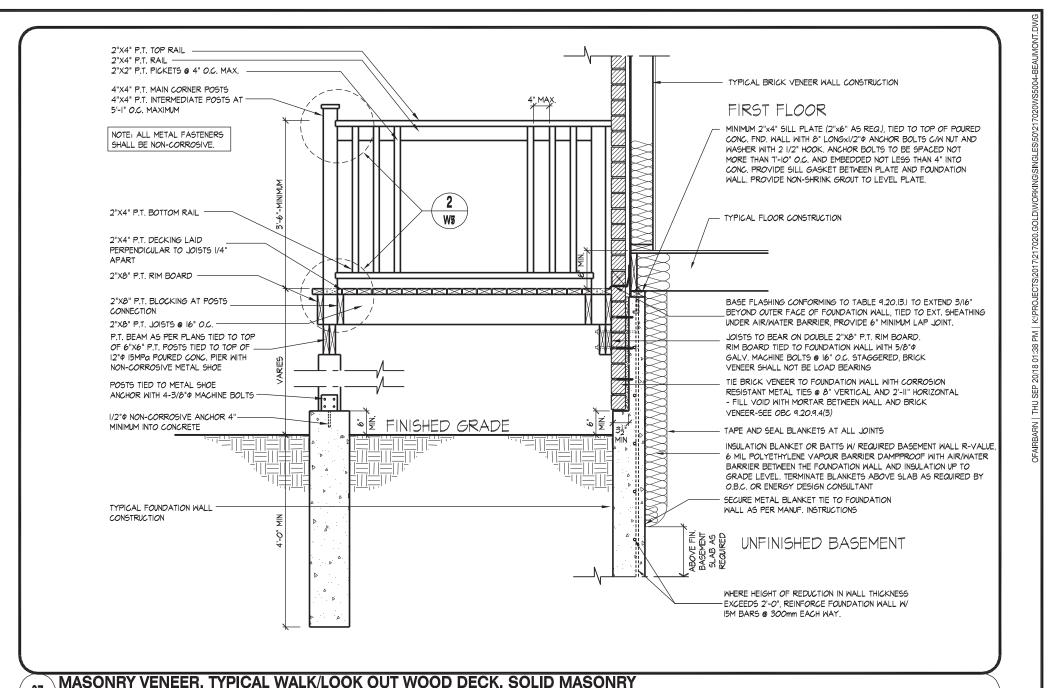
GALV. MACHINE BOLTS @ 16" O.C. STAGGERED, BRICK

RIM BOARD TIED TO FOUNDATION WALL WITH 5/8"0

CONSTRUCTION I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C. AND SB-1 OF THE SUPPLEMENTARY STANDARD 2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF.

LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR 3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

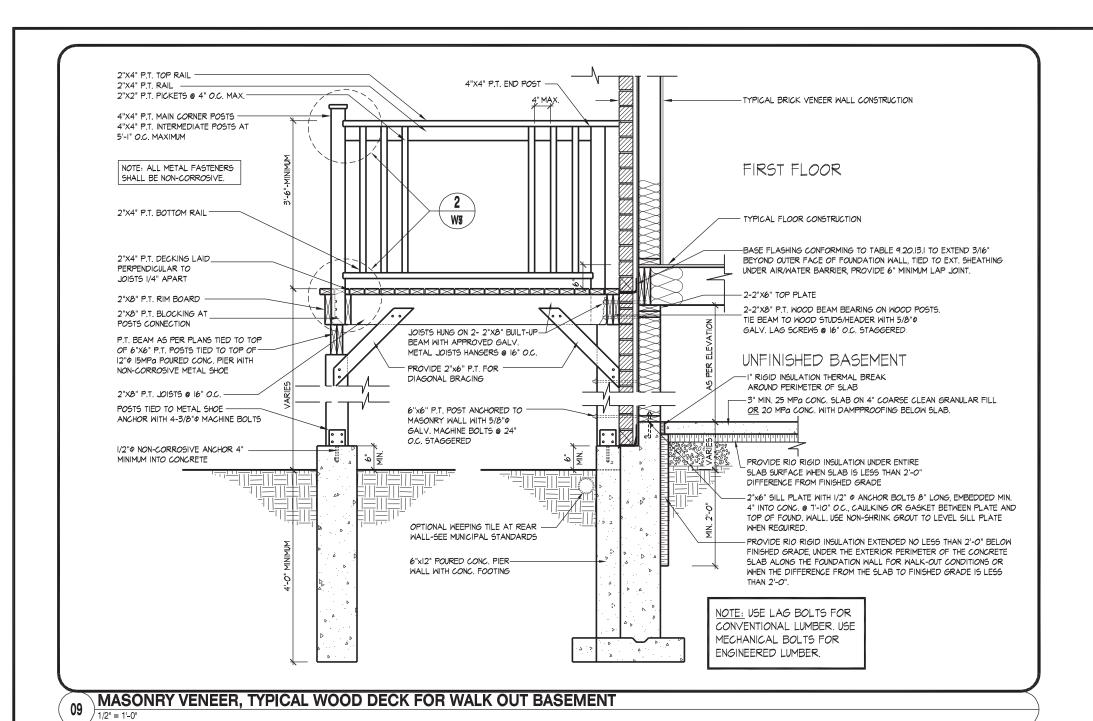
TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER 80



VENEER SHALL NOT BE LOAD BEARING VARIES - REFER TO FLOOR PLAN POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POSTS WITH 4-#9X3" SCREWS PER SIDE RO TYPICAL) (O.B.C. 5B-7 DETAIL EB-2) TYPICAL FLOOR CONSTRUCTION TYPICAL BRICK VENEER WALL

NOTE: ALL METAL FASTENERS

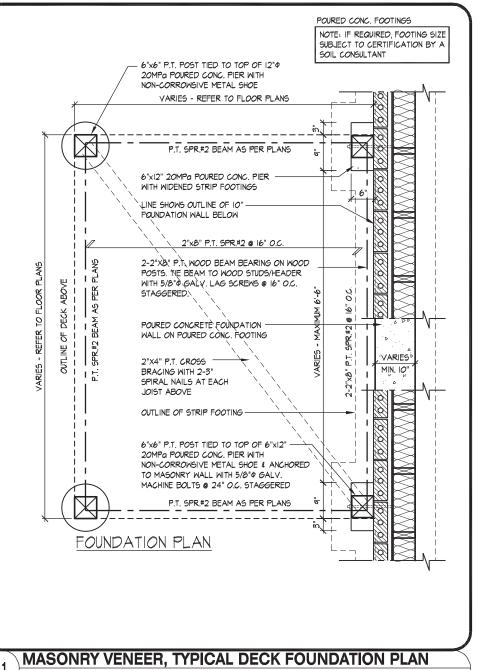
DECK DETAILS 1 HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS **UNIT 5004 - THE BEAUMONT GOLDPARK HOMES - 217020** UT IN THE ONTARIO BUILDING PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18 **HUNT LU** 217020WS5004 HDAI 3/16"=1'-0" HDA W4 of W5 STRATION INFORMATION 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 HUNT DESIGN ASSOCIATES INC www.huntdesign.ca



NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE. PROVIDE 2"x6" P.T. FOR -DIAGONAL BRACING TIED TO THE RIM JOIST VARIES - REFER TO FLOOR PLANS POST SPACING AS PER PLANS 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T POSTS WITH 4-#9X3" SCREWS PER SIDE (PO TYPICAL) (O.B.C. SB-7 DETAIL EB-2) -APRROVED GALV. METAL JOISTS HANGERS -2"X4" P.Y. CROSS BRACING WITH 2-3" SPIRAL NAILS AT EACH JOIST 2-2"X8" WOOD BEAM 2"X8" P.T. BLOCKING 4-#9X3" SCREWS EACH SIDE (O.B.C. SB-7 DETAIL EB-2)\ · 4"X4" P.T. INTERMEDIATE POSTS 2"X8" P.T. RIM JOIST TIED TO "X"X8" P.T FLOOR JOISTS @ 16" O.C WITH 3-4" SPIRAL NAILS (DO TYPICAL) 2"X4" P.T. DECKING NAILED PERPENDIQULAR TO JOISTS WITH 2-3" SPIRAL NAILS AT EACH TYPICAL FLOOR CONSTRUCTION PLAN I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE O.B.C AND SB-T OF THE SUPPLEMENTARY STANDARD 2. LUMBER GRADES SHALL NOT BE LESS THAN NO. 2 SPF. LUMBER SHALL BE FREE OF LOOSE KNOTS AND ALL CUT ENDS OF PRESERVATIVE TREATED LUMBER SHALL BE TREATED TO PREVENT DECAY SPECIES FOR POSTS, PICKETS AND RAILS SHALL BE DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR

3. ALL FASTENERS, SCREWS AND NAILS SHALL BE RESISTANT TO CORROSION - NAILS TO BE COMMON SPIRAL

MASONRY VENEER, TYPICAL DECK FRAMING PLAN



2"X4" P.T. TOP RAIL TIED TO POST NOTE: ALL METAL FASTENERS WITH 2-2 I/2" SPIRAL NAILS SHALL BE NON-CORROSIVE. 2"X2" P.T. PICKETS TIED TO RAIL WITH 1-#7 2 1/2" SCREWS $2"\mathrm{X4"}$ P.T. BOTTOM RAIL TIED TO POST 2"X2" P.T. PICKETS TIED TO RAIL WITH WITH 3-2 I/2" SPIRAL NAILS 2-#7 2 1/2" SCREWS - 2"X8" P.T. BLOCKING 2"X8" P.T. RIM JOIST TIED TO 4"X4" P.T. POST NOTE: ALL METAL FASTENERS SHALL BE NON-CORROSIVE. WITH 4-#9X3" SCREWS PER SIDE (DO TYPICAL) 2"X4" P.T. BOTTOM RAIL TIED TO POST OF 6"X6" P.T. POST WITH 3-2 I/2" SPIRAL NAILS SIMPSON'S STRONG TIE "LPCZ" POST 2"X8" P.T. BLOCKING CAP TO BE PAIRED UP AND FASTENED 2"X&" P.T. RIM JOIST TIED TO 4"X4" P.T. POST WITH 3" LONG NAILS WITH 4-#9X3" SCREWS PER SIDE (DO TYPICAL) 2"X6" P.T. LEDGER TIED TO STAIR STRINGER SIDE ELEVATION WTH 2-#9X3" SCREWS PER SIDE, LEDGER TIED TO BEAM WITH 2-#9X3" SCREWS @ 12" O.C. 3-2"XIO" P.T. BEAM TIED TO TOP OF 6"X6" P.T. POST 2"X2" P.T. PICKETS TIED TO RAIL WITH 1-#7 2 1/2" SCREW 2"X4" P.T. TOP RAIL TIED TO RAIL WITH 1-3 1/4" SPIRAL NAIL @ 12" O.C - 2"X8" P.T. RIM JOIST TIED TO 2"X4" RAIL TIED TO 4"x4" P.T. -3-2"XIO" P.T. BEAM TIED TO TOP 2"X6" P.T. STAIR TREADS NAILED TO OF 6"X6" P.T. POST STAIR STRINGER 2-3" SPIRAL NAILS, LAY TREADS @ 1/4" APART 4"x4" P.T. INTERMEDIATE POST AT 5'-1" O.C. MAXIMUM CAP TO BE PAIRED UP AND FASTENED WITH 3" LONG NAILS 2 - I/2" DIAMETER THRU BOLTS C/W | 1/4" O.D. WASHERS 2"X4" P.T. W'D. BLOCKING TIED TO STAIR STRINGER WITH 2-#7 2 1/2" SCREWS FRONT ELEVATION 2"X2" P.T. PICKETS TIED TO STAIR STRINGER WITH 2-#7 2 1/2" SCREWS ELEVATION PLAN TYP. MAIN AND INTERMEDIATE POST ANCHORAGE TYP. POST & BEAM CONNECTION

MAXIMUM 4" OPENING BETWEEN

4"x4" P.T. INTERMEDIATE POST AT

5'-1" O.C. MAX.

14" MAX.

/SECTION

W3

PICKETS & NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'-II' SHALL FACILITATE CLIMBING.

5'-1" O.C. MAXIMUM

2"X4" P.T. TOP RAIL

2"X2" P.T. PICKETS

2"xIO" P.T. STAIR STRINGER

WITH 2-#7 2 1/2" SCREWS

W3

4"x4" PT

INTERMEDIATE

POSTS AT 5'-I"

2"X6" P.T. STAIR

STRINGER 2-3"

LAY TREADS @

PRECAST CONCRETE PATIO -

2"xIO" P.T. STAIR STRINGER

NUMBER OF RISERS VARY AS

SLAB ON COMPACTED FINISHED

SPIRAL NAILS.

TREADS NAILED

O.C. MAXIMUM

TO STAIR

I/4" APART

PER GRADE

2"X4" P.T. TOP RAIL TIED TO RAIL

WITH 1-3 1/4" SPIRAL NAIL @ 12" O.C

PREMANU. P.T. WOOD CAP FASTENED

WITH 3-2 I/2" SPIRAL NAILS

WITH I-2 I/2" SPIRAL NAIL

2"X4" RAIL TOE NAILED TO POST

SHOWN BEYOND 2"X4" P.T. WD.

BLOCKING TIED TO STAIR STRINGER

2"X4" P.T. RAIL

NOTE: ALL METAL FASTENERS

TYPICAL WOOD DECK STAIR

['] 1/2" = 1'-0"

SHALL BE NON-CORROSIVE.



DECK DETAILS 2 UNIT 5004 - THE BEAUMONT GOLDPARK HOMES - 217020 PINE VALLEY, VAUGHAN ONT. REV. 2018/09/18 HDAI 3/16"=1'-0"

HDA

217020WS5004

W5 of W5

4"X4" P.T. MAIN CORNER POST

2"X8" P.T. RIM BOARD

CONNECTION

2 - 1/2" DIAMETER THRU BOLTS

C/W I I/4" O.D. WASHERS

2"X4" P.T. WD. BLOCKING

WITH 2-#7 2 1/2" SCREWS

FINISHED GRADE

2"X8" P.T. BLOCKING AT POST

2"X8" P.T. JOISTS @ 16" O.C.

3-2"XIO" P.T. BEAM TIED TO TOP OF

NON-CORROSIVE METAL ANCHOR

BRACKET TO TOP OF 10" \$ 15 MPa

POURED CONC. PIER W/ 5%-8% AIR ENTRAINMENT

ANCHOR WITH 4-3/8" MACHINE

1/2" P NON-CORROSIVE ANCHOR 4"

MINIMUM INTO CONCRETE

NAIL DECK TO RIM BOARD

2-#7 2 1/2" SCREWS

2"X2" P.T. PICKETS TIED TO RAIL WITH