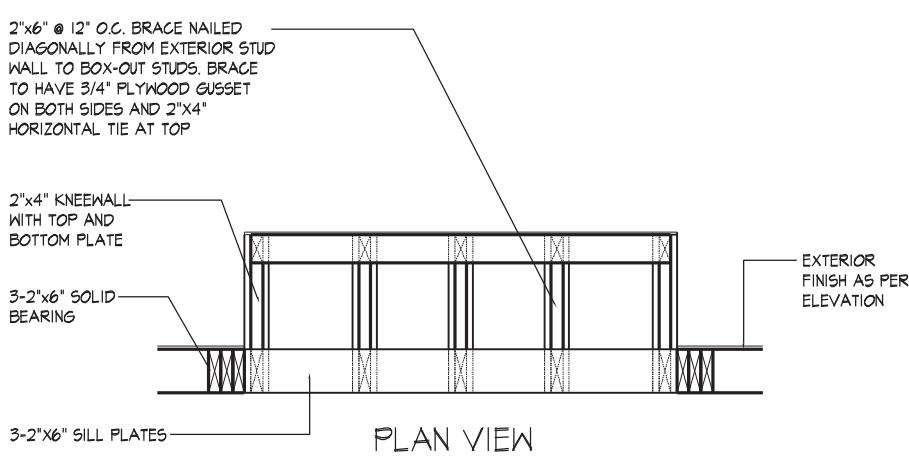


1.C1 TYP. PROJECTED WINDOW W/ BRICK WALL
1/2" = 1'-0"



6.C1 TYP. BOX-OUT PROJECTED WINDOW PLAN VIEW
1/2" = 1'-0"

AREA CALCULATIONS

	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
GROUND FLOOR AREA	1984 sq. ft.	2131 sq. ft.	2078 sq. ft.	2224 sq. ft.	1977 sq. ft.	2124 sq. ft.	2007 sq. ft.	2153 sq. ft.
SECOND FLOOR AREA	2207 sq. ft.	2207 sq. ft.	2301 sq. ft.	2301 sq. ft.	2208 sq. ft.	2208 sq. ft.	2262 sq. ft.	2262 sq. ft.
SUBTOTAL	4191 sq. ft.	4338 sq. ft.	4379 sq. ft.	4525 sq. ft.	4185 sq. ft.	4332 sq. ft.	4269 sq. ft.	4415 sq. ft.
DEDUCT ALL OPEN AREAS	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.	85 sq. ft.
TOTAL NET AREA	4106 sq. ft.	4253 sq. ft.	4294 sq. ft.	4440 sq. ft.	4100 sq. ft.	4247 sq. ft.	4184 sq. ft.	4330 sq. ft.
FINISHED BASEMENT AREA	169 sq. ft.	173 sq. ft.	169 sq. ft.	173 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.	169 sq. ft.
COVERGE W/OUT PORCH	2549 sq. ft.	2549 sq. ft.	2644 sq. ft.	2644 sq. ft.	2542 sq. ft.	2542 sq. ft.	2572 sq. ft.	2572 sq. ft.
COVERGE W/ PORCH	2598 sq. ft.	2598 sq. ft.	2693 sq. ft.	2693 sq. ft.	2601 sq. ft.	2601 sq. ft.	2635 sq. ft.	2635 sq. ft.
WINDOW / WALL AREA CALCULATIONS	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'	EL. 'C'
GROSS WALL AREA	4759.49 sq. ft.	4759.49 sq. ft.	5014.60 sq. ft.	4750.63 sq. ft.	4750.63 sq. ft.	4953.80 sq. ft.	4953.80 sq. ft.	4953.80 sq. ft.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	524.77 sq. ft.	536.11 sq. ft.	612.50 sq. ft.	539.80 sq. ft.	551.14 sq. ft.	554.51 sq. ft.	545.18 sq. ft.	545.18 sq. ft.
TOTAL WINDOW %	11.03 %	11.26 %	12.21 %	11.36 %	11.60 %	11.19 %	11.01 %	11.01 %
GROSS WALL AREA	4806.82 sq. ft.	4806.82 sq. ft.	5061.93 sq. ft.	4797.96 sq. ft.	4797.96 sq. ft.	5001.14 sq. ft.	5001.14 sq. ft.	5001.14 sq. ft.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	529.77 sq. ft.	541.11 sq. ft.	617.50 sq. ft.	544.80 sq. ft.	556.14 sq. ft.	559.51 sq. ft.	550.18 sq. ft.	550.18 sq. ft.
TOTAL WINDOW %	11.02 %	11.26 %	12.20 %	11.35 %	11.59 %	11.19 %	11.00 %	11.00 %
GROSS WALL AREA	4939.95 sq. ft.	4939.95 sq. ft.	5195.06 sq. ft.	4931.08 sq. ft.	4931.08 sq. ft.	5134.26 sq. ft.	5134.26 sq. ft.	5134.26 sq. ft.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	551.44 sq. ft.	562.77 sq. ft.	639.17 sq. ft.	566.47 sq. ft.	577.80 sq. ft.	561.18 sq. ft.	571.85 sq. ft.	571.85 sq. ft.
TOTAL WINDOW %	11.16 %	11.39 %	12.30 %	11.49 %	11.72 %	11.32 %	11.14 %	11.14 %
GROSS WALL AREA	5380.74 sq. ft.	5380.74 sq. ft.	5635.85 sq. ft.	5371.88 sq. ft.	5371.88 sq. ft.	5575.05 sq. ft.	5575.05 sq. ft.	5575.05 sq. ft.
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	627.61 sq. ft.	636.94 sq. ft.	715.33 sq. ft.	642.64 sq. ft.	653.97 sq. ft.	657.35 sq. ft.	648.01 sq. ft.	648.01 sq. ft.
TOTAL WINDOW %	11.66 %	11.87 %	12.69 %	11.96 %	12.17 %	11.79 %	11.62 %	11.62 %



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 5004 - 'THE BEAUMONT'

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

AREA CALCULATIONS

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - OPT. 5 BED. SECOND FLOOR PLAN, EL. 'A'
- 6 - BASEMENT PLAN, EL. 'A' CORNER
- 7 - GROUND FLOOR PLAN, EL. 'A' CORNER
- 8 - SECOND FLOOR PLAN, EL. 'A' CORNER
- 9 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'B'
- 10 - PART. BASEMENT, GROUND & SECOND FLOOR PLAN, EL. 'C'
- 11 - PART. FLOOR PLANS - OPT ELEVATOR CONDITION
- 12 - PART. FLOOR PLANS, OPT. LOGGIA CONDITION
- 13 - PART. FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION
- 14 - FRONT & REAR ELEVATION 'A' (REAR EL. 'B&C' SIMILAR)
- 15 - LEFT SIDE ELEVATION 'A'
- 16 - RIGHT SIDE ELEVATION 'A'
- 17 - FRONT ELEVATION 'A' CORNER
- 18 - LEFT SIDE ELEVATION 'A' CORNER
- 19 - RIGHT SIDE ELEVATION 'A' CORNER
- 20 - REAR ELEVATION 'A' CORNER
- 21 - FRONT ELEVATION 'B'
- 22 - LEFT SIDE ELEVATION 'B'
- 23 - RIGHT SIDE ELEVATION 'B'
- 24 - FRONT ELEVATION 'C'
- 25 - LEFT SIDE ELEVATION 'C'
- 26 - RIGHT SIDE ELEVATION 'C'
- 27 - ELEVATIONS LOGGIA CONDITION
- 28 - CROSS SECTIONS
- 29 - CONSTRUCTION NOTES
- W1 - WALK OUT DECK CONDITION
- W1A - WALK OUT DECK CONDITION
- W2 - LOOK OUT DECK CONDITION
- W2A - LOOK OUT DECK CONDITION
- W3 - WALK OUT BASEMENT CONDITION
- W3A - WALK OUT BASEMENT CONDITION
- W4 - DECK DETAILS 1
- W5 - DECK DETAILS 2

9. REVISED AS PER CITY COMMENTS	2018/09/04	OF
8. REVISED DESIGN AS PER CLIENT COMMENTS	2018/06/14	MC
7. REVISED AS PER ENG. COMMENTS	2018/05/31	MC
6. REVISED AS PER CLIENT COMMENTS	2018/05/14	OF
5. REVISED AS PER ENG. COMMENTS	2018/04/17	MC
4. REVISED AS PER CLIENT COMMENTS	2017/12/05	MC
3. REVISED AS PER FLOOR MANUF. LAYOUTS	2017/12/01	OF
2. REVISED AS PER CLIENT COMMENTS	2017/11/03	SSR
1. ISSUED FOR CLIENT REVIEW	2017/10/20	MC
REVISIONS	DATE (YYYYMMDD)	BY

GOLDPARK
WORTH MORE™

PINE VALLEY
FOREVERGREEN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. I AM A REGISTERED DESIGNER.
QUALIFICATION INFORMATION
Orin Fairbairn
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

20201

BCIN

19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Scale
MC OF 3/16"=1'-0"

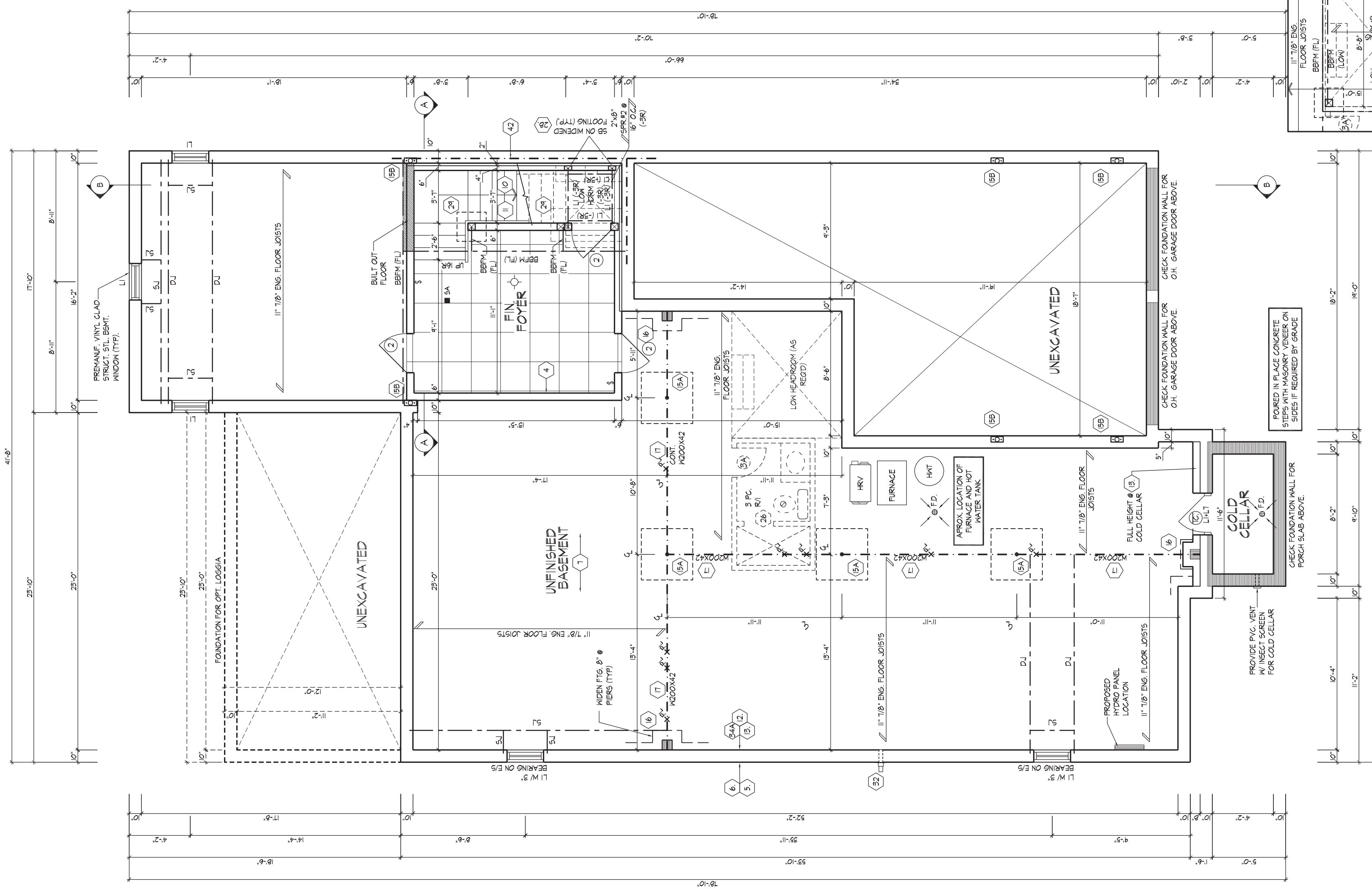
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

TITLE PAGE
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

File Number
217020WS5004

Page Number
1 of 29

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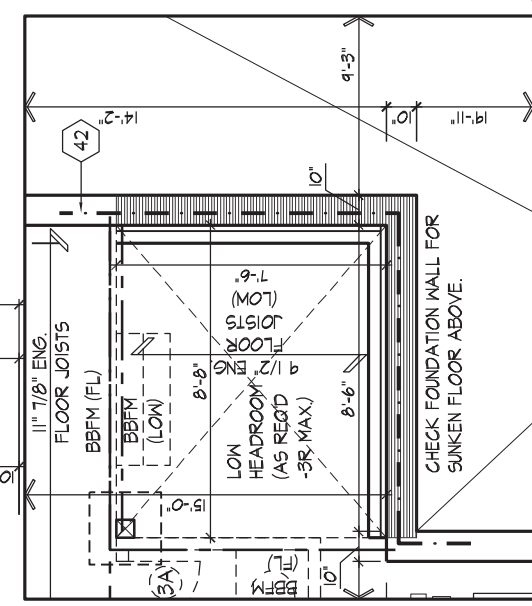


- SPACE ALL FLOOR JOISTS @ 12" OC UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID WOOD BLOCKING @ 24" OC UNDER ALL CERAMIC TILE AREAS WHEN PARALLEL TO EXTERIOR WALL.
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS.
- INSTALLATION DETAILS AND JOISTER SIZES, 1" DEPT FLOOR THICKNESS.

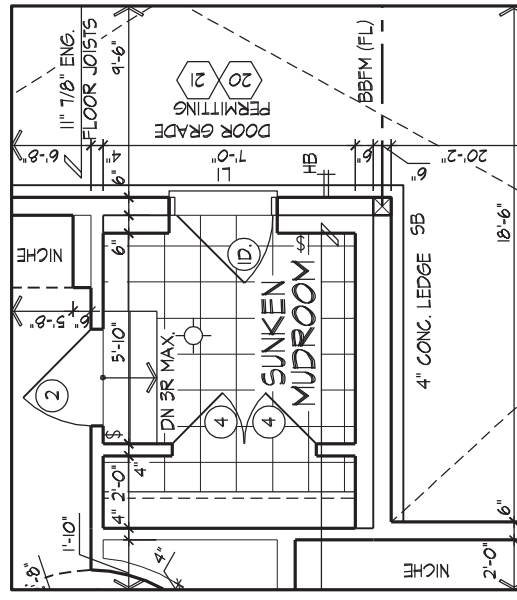
BASEMENT PLAN EL. 'A'

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, 2nd FLOOR LVL, BEAM DESIGNS.

PROFESSIONAL ENGINEER
A. KONG
100184942
SEP 20/2018
PROVINCE OF ONTARIO



PART: BASEMENT PLAN EL. 'A'
SUNKEN MUDROOM CONDITION



PART. GROUND FLOOR PLAN EL. 'A'

(B) C S M A R

SPACE ALL FLOOR JOISTS ● 12" O.C. UNDER ALL CERAMIC	TILE AREAS:
PROVIDE SOLID WOOD BLOCKING ● 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSSES, FLOOR JOISTS, FLOOR JOIST & FLOOR LVL, BEAM DESIGNS.


LICENSED PROFESSIONAL ENGINEER

A. KONG
100184942

SEPT 20/2013

PROVINCE OF ONTARIO

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:  _____
DATE: SEP 20 2018 _____

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the set of rules regarding the Control of the Setback, as applicable. Plans or examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

GROUND FLOOR PLAN EL. 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A DESIGNER.

QUALIFICATION INFORMATION	
Orin Fairbairn	2020
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	1969

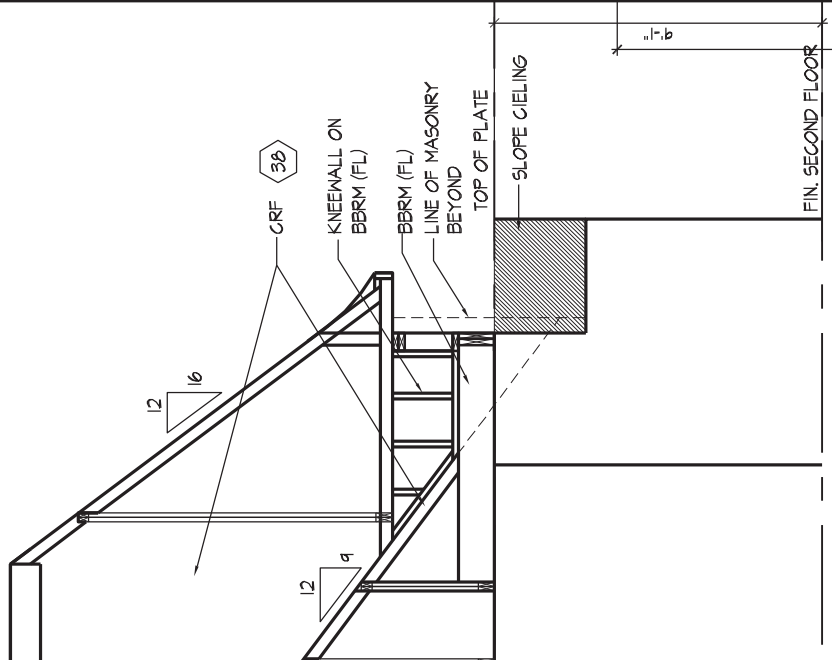
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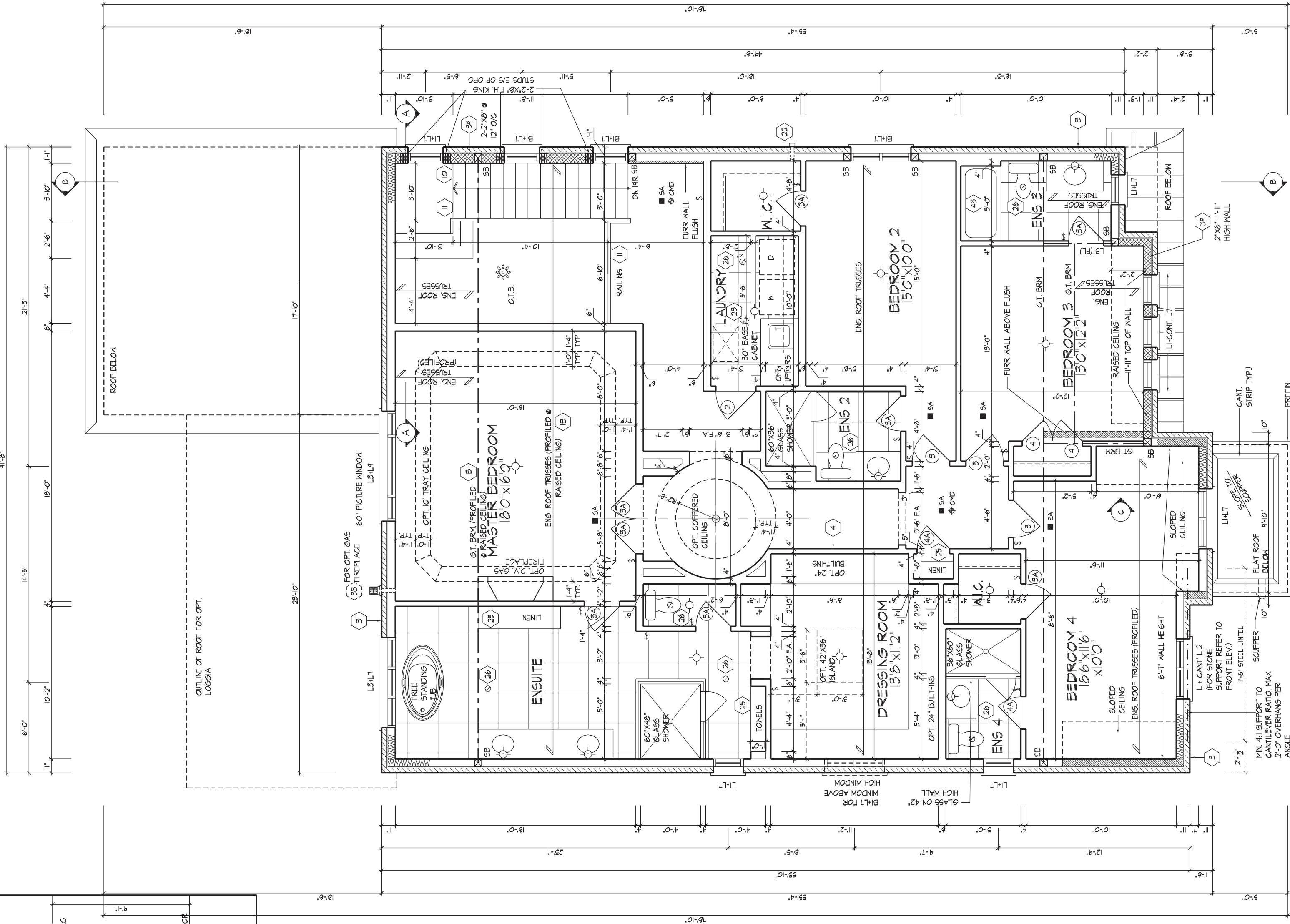
GOLDPARK HOMES - 217020 **UNIT 5004 - THE BEAUMONT**
PINE VALLEY, VAUGHAN ONT. **REV. 2018/09/18**

Drawn By	Checked By	Scale	File Number	Page Number
MC	OF	3/16"=1'-0"	217020WS5004	3 of 29

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INTERIOR SECTION C



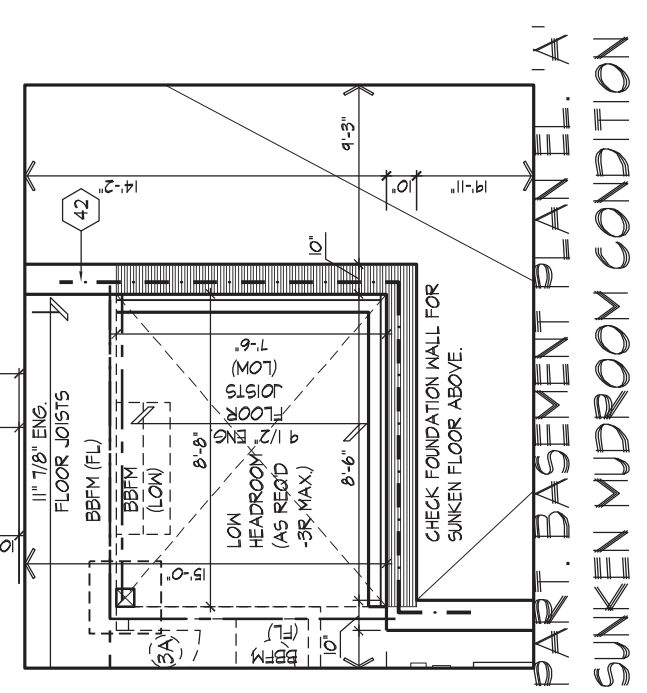
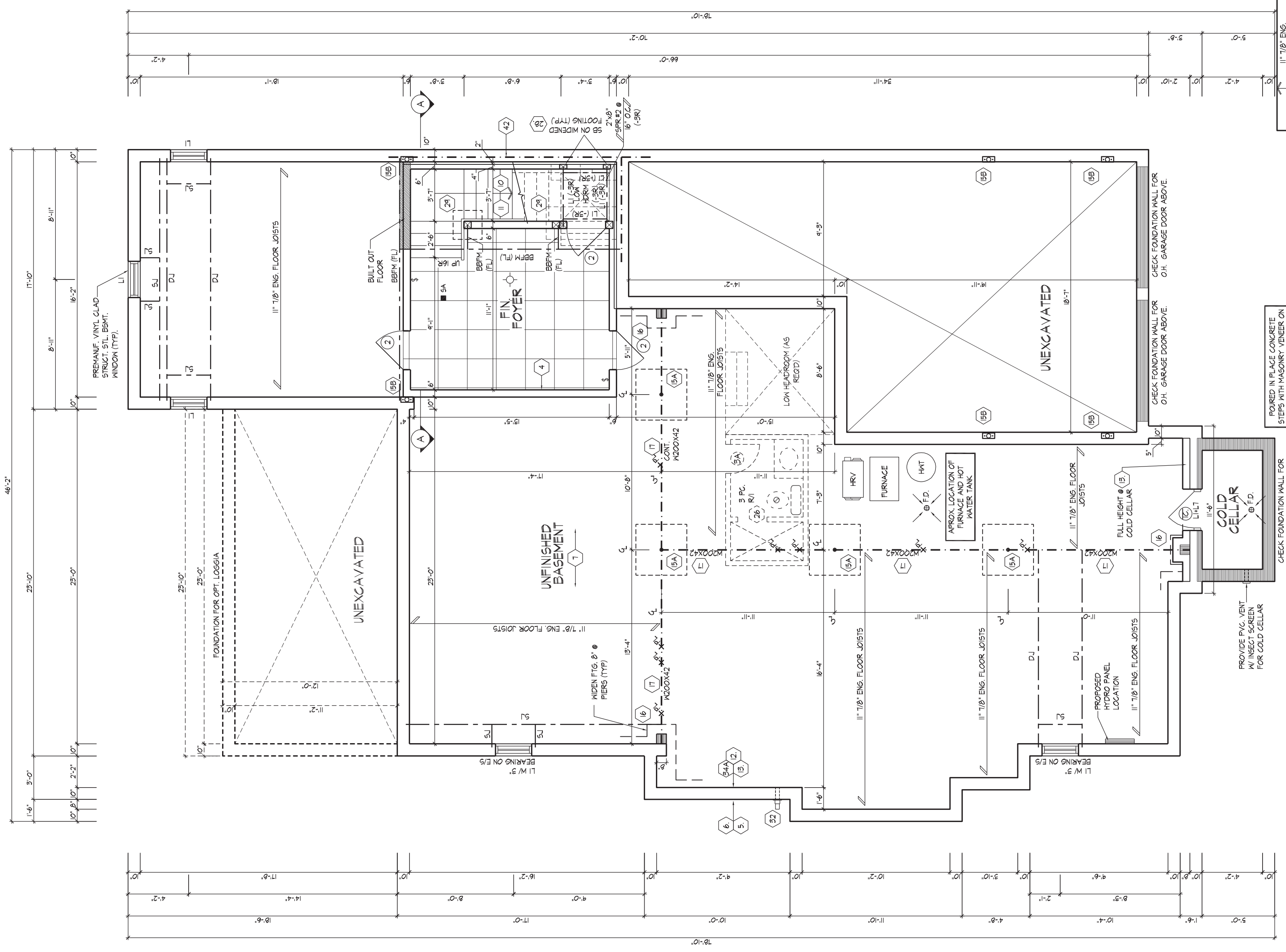
SECOND FLOOR PLAN EL. 'A'

NOTE:
STEP TRUSSES @ RAISED / (B)
REFER TO ROOF TRUSSES
MANUFACTURER'S DRAWINGS
FOR LAYOUT SPACING,
INSTALLATION DETAILS AND
HANGER SIZES



It is the Engineer's complete responsibility to ensure that all plans submitted for approval are in accordance with the Ontario Building Code and the Professional Code of Ethics. The Engineer is not responsible for any errors or omissions in the plans or for any consequences arising therefrom. This stamp certifies compliance with the applicable Ontario Building Code and the Professional Code of Ethics. It does not constitute an endorsement of the design or the professional responsibility of the Engineer.

APPROVED BY: _____
DATE: _____ SEP 20, 2020
This stamp certifies compliance with the applicable Ontario Building Code and the Professional Code of Ethics. It does not constitute an endorsement of the design or the professional responsibility of the Engineer.



- SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- PROVIDE SOLID MOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
- REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING BLOCKING & STRAPPING REQUIREMENTS.
- INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

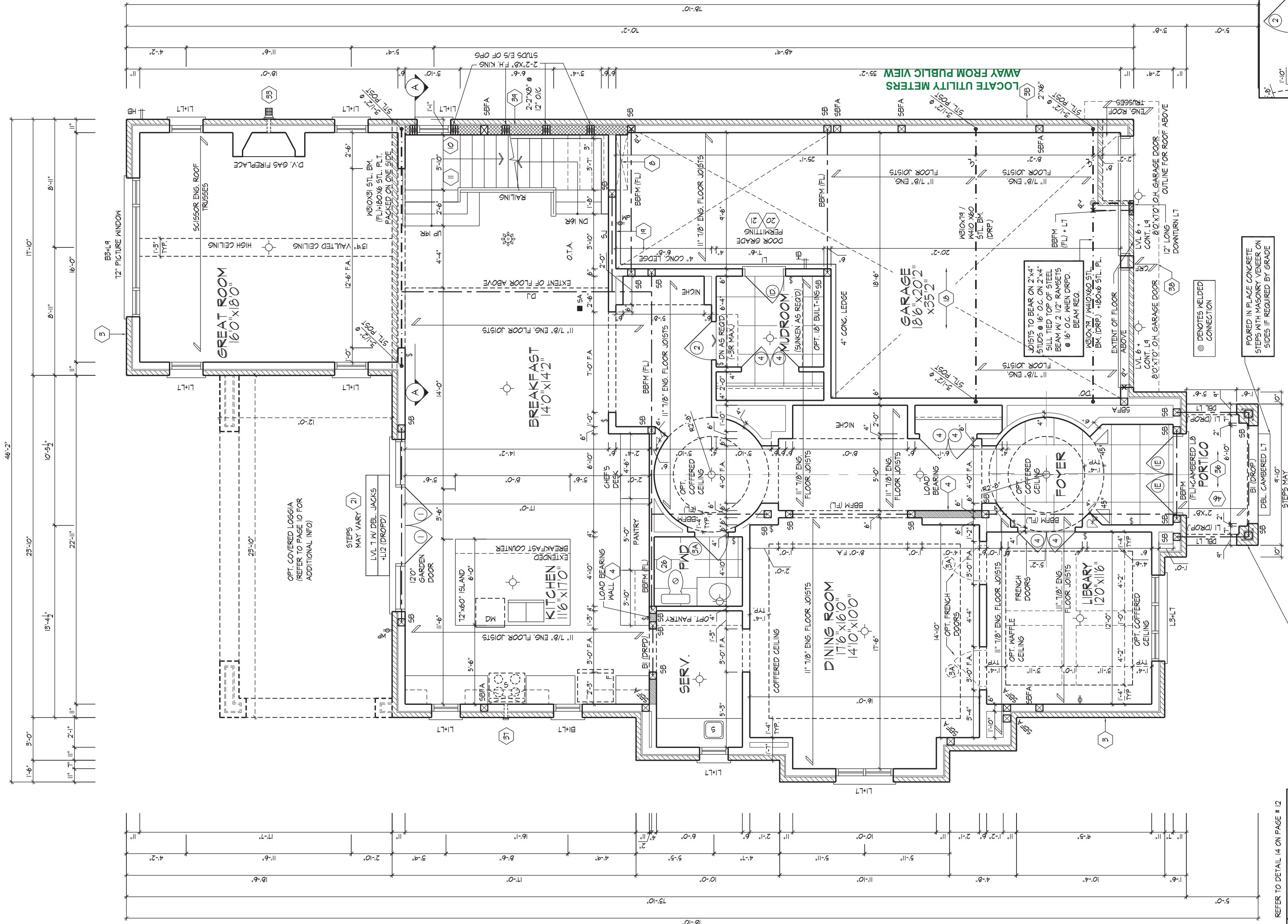
BASEMENT PLAN EL. 'A' - CORNER

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, & FLOOR LVL. BEAM DESIGNS.

PROFESSIONAL ENGINEER
A. KONG
100184942
SEP 20/2018
PROVINCE OF ONTARIO

It is the builder's complete responsibility to ensure that these plans comply with the applicable building codes and regulations in the subdivision agreement. The Control Authority shall not be responsible for examining or approving site (lotting) plans or building codes or permit matters or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable building codes and regulations. Guidelines approved by the City of VAUGHAN.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO DETAIL 14 ON PAGE # 12

SOLID MASONRY WALL W/ 4'-0" VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)

MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-5 1/2" NAILS EACH

MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL FILL VOID BETWEEN VENEER AND MASONRY TIES SOLID W/ MORTAR

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

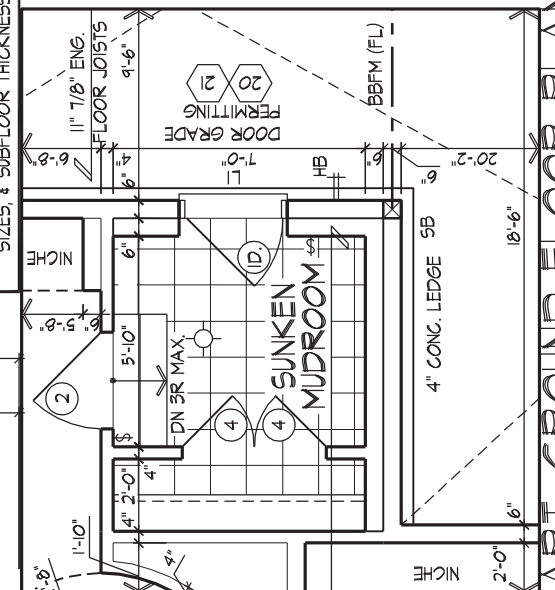
PROVIDE SOLID MOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

FOURED IN PLACE CONCRETE STEPS AND MASONRY VENEER ON SIDES IF REQUIRED BY GRADE

DEVOTES WELDED CONNECTION

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW



PART: GROUND FLOOR PLAN EL. 'A'

SUNKEN MUDROOM CONDITION

GROUND FLOOR PLAN EL. 'A' - CORNER

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, & FLOOR LVL. BEAM DESIGNS.

LICENSED PROFESSIONAL ENGINEER

A. KONG 100184942

SEP 20 2018

PROVINCE OF ONTARIO

It is the builder's complete responsibility to ensure that all plans submitted for approval are in compliance with the Ontario Building Code and any applicable regulations. The Architect is not responsible for any errors or omissions in the plans or for any consequences arising from the use of the plans. The Architect is not responsible for any building code or permit matter or that any building code or permit matter is not in compliance with the applicable Ontario Building Code. This is to certify that these plans comply with the applicable Ontario Building Code and are approved by the City of Vaughan.

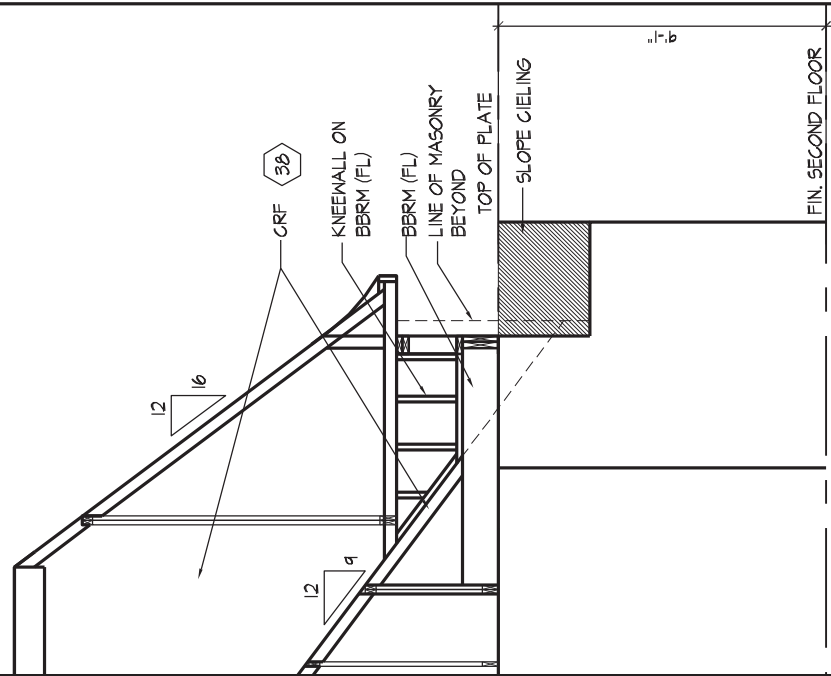
JOHN G. WILLIAMS LTD. - ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

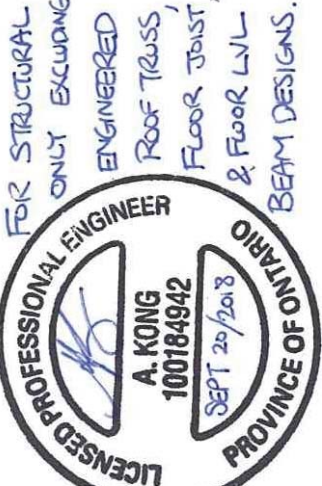
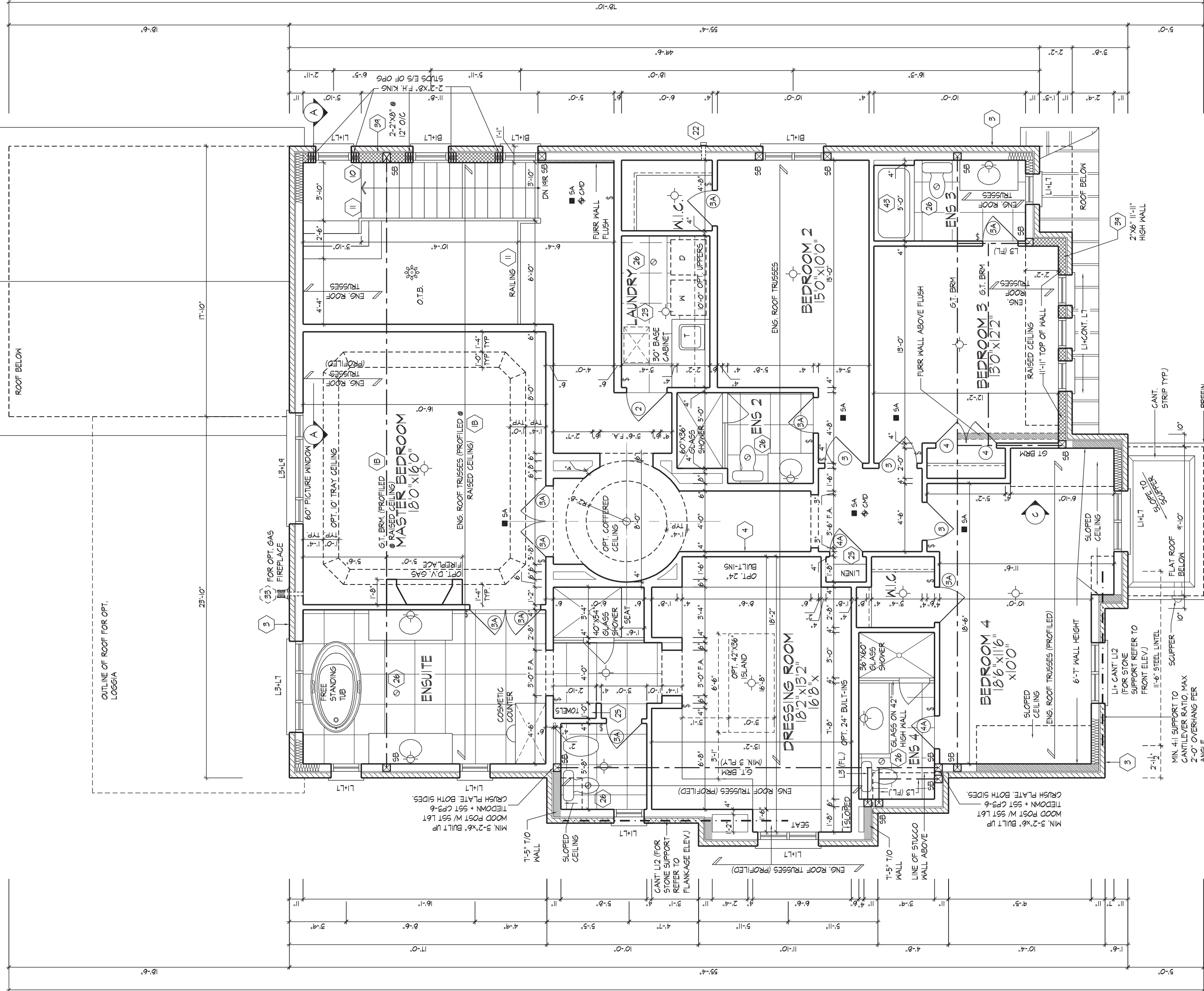
APPROVED BY: _____

DATE: SEP 20, 2018

This stamp certifies compliance with the applicable Ontario Building Code and is not a guarantee of professional responsibility.

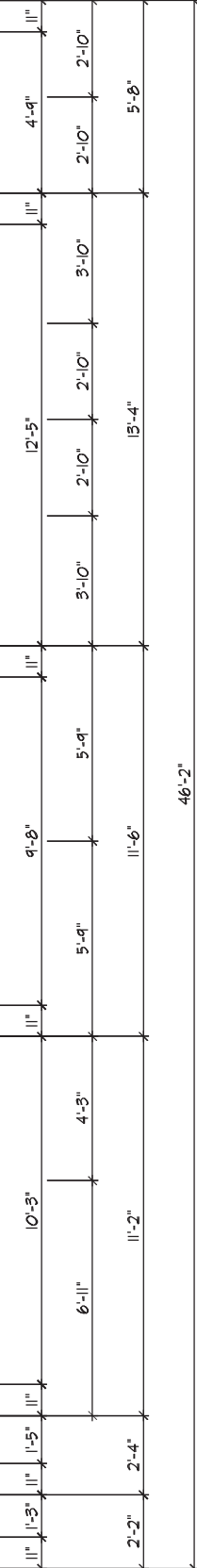


INTERIOR SECTION C



FOR STRUCTURAL ONLY EXCHANGING ENGINEERED ROOF TRUSSES, FLOOR JOIST, 2nd FLOOR LVL & BEAM DESIGNS.

NOTE:
STEP TRUSSES & RAISED / TRAY CEILING
REFER TO ROOF TRUSSES MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES



SECOND FLOOR PLAN EL. 'A' - CORNER



DEARBARN | TUE SEP 18/18 08:21 AM | K:\PROJECTS\2017\217020 GOI D\WORKING\SI\SI ES50\217020\VS5004-REAL\MOV\TWO

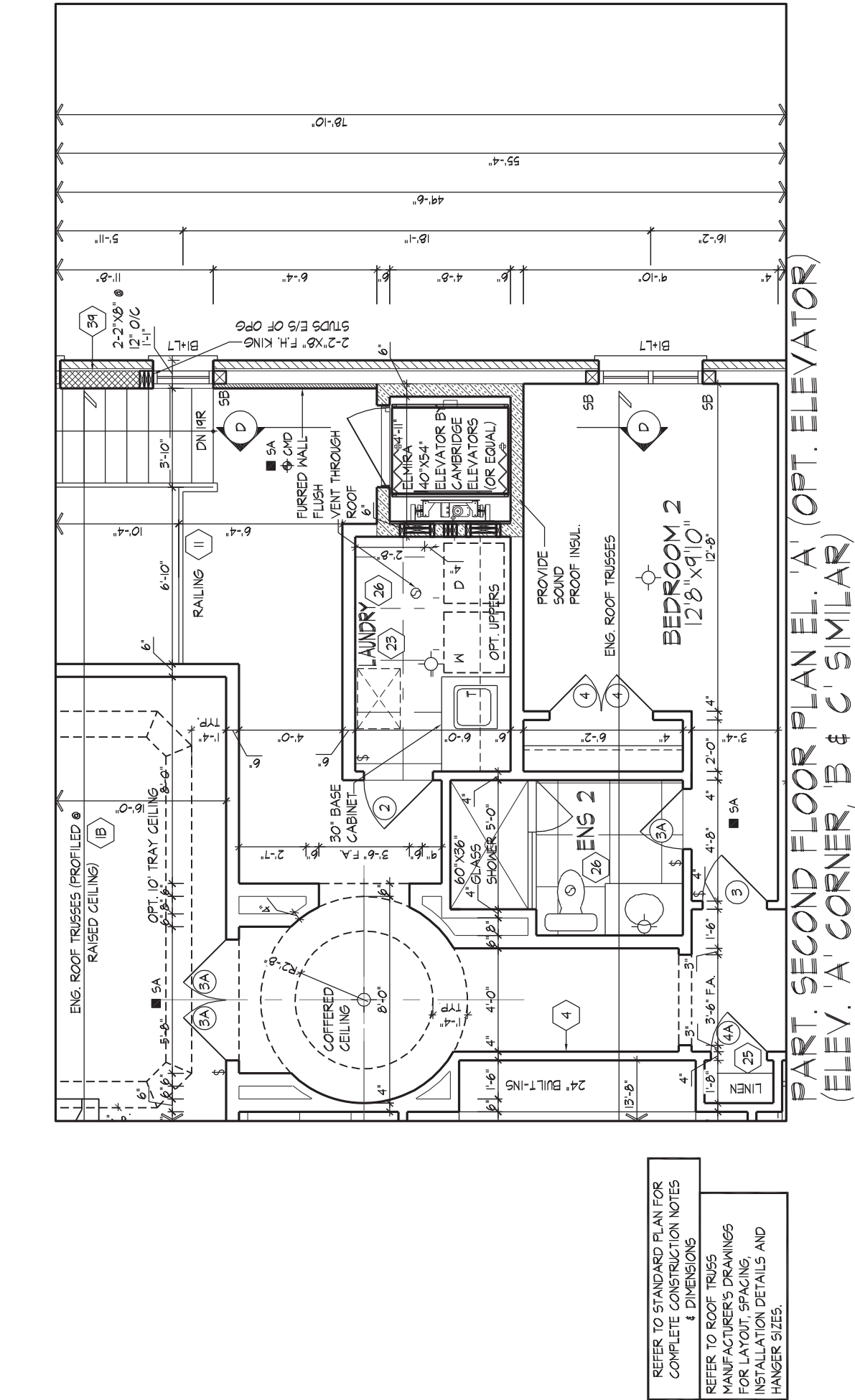
It is the builder's complete responsibility to ensure that all plans submitted for approval comply with applicable codes and regulations, including state conditions and any provisions of local codes and regulations, and all applicable regulations and requirements. The Architect is not responsible in any way for any errors or omissions in the plans, or for any working drawings not respecting any zoning or building code or permit matter, that any contractor or subcontractor may use in the construction of the project.

This is to certify that these plans comply with the applicable Architectural Design Ordinance, and have been approved by the City of VAUGHAN.

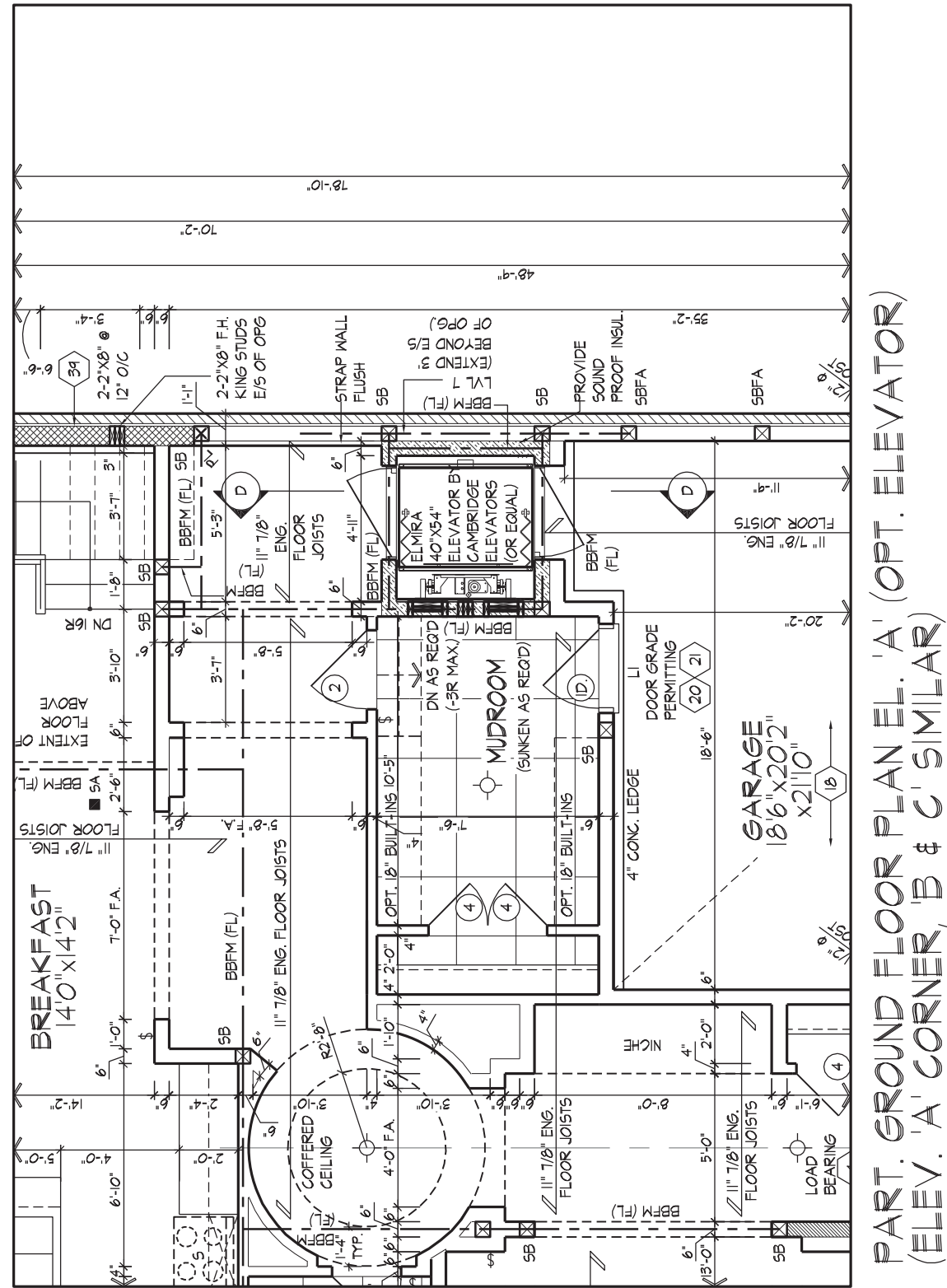
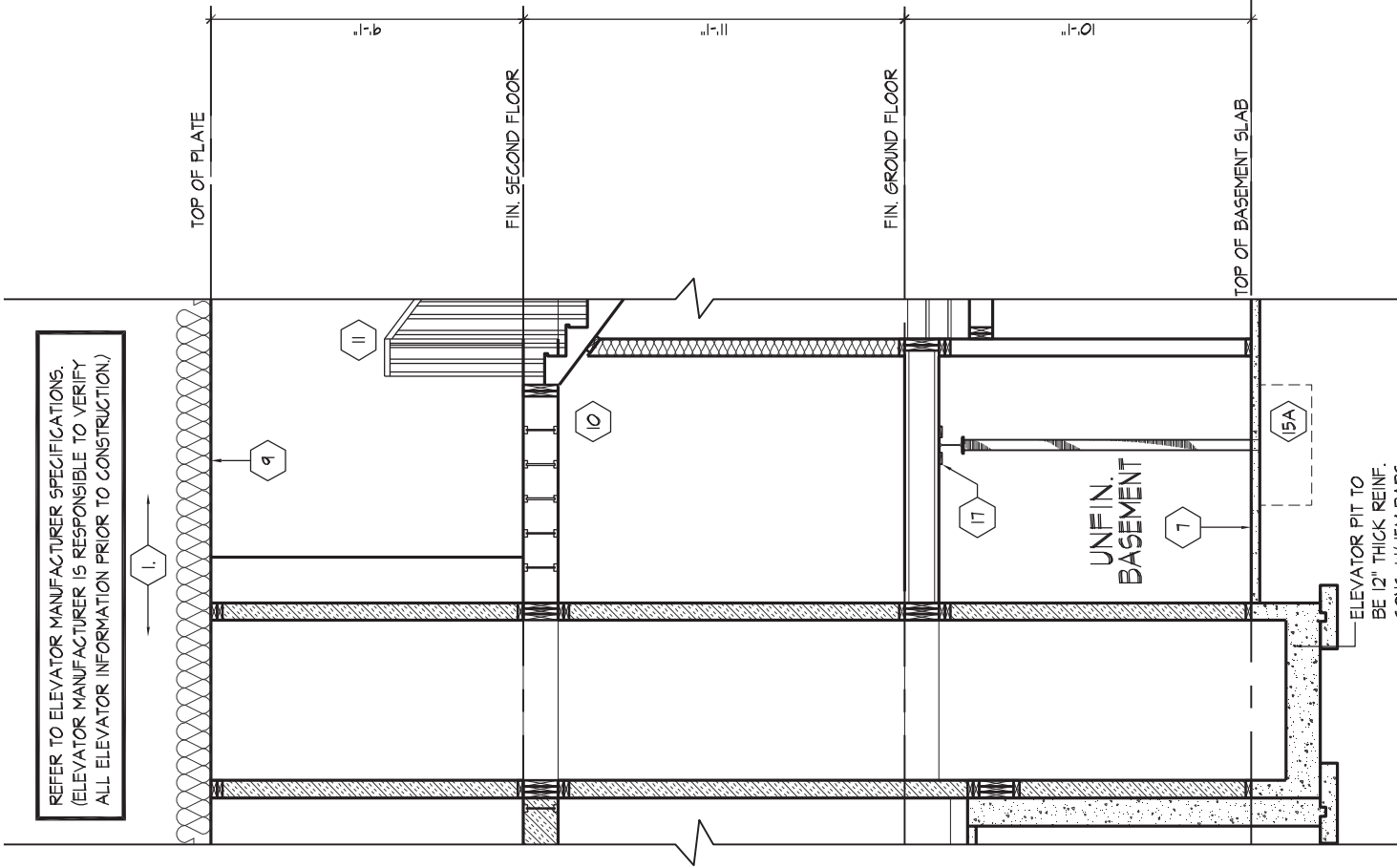
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 20, 2018

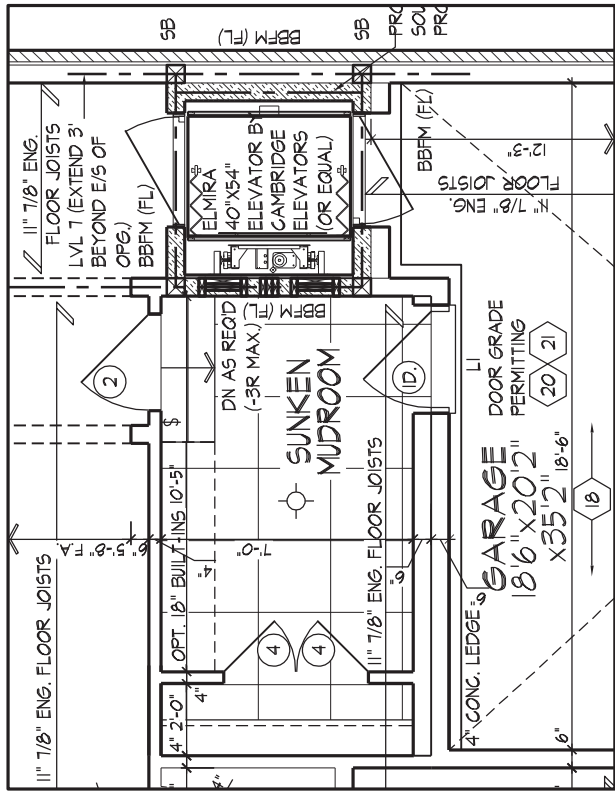
This stamp certifies compliance with the applicable City of Vaughan Building Department professional responsibility.



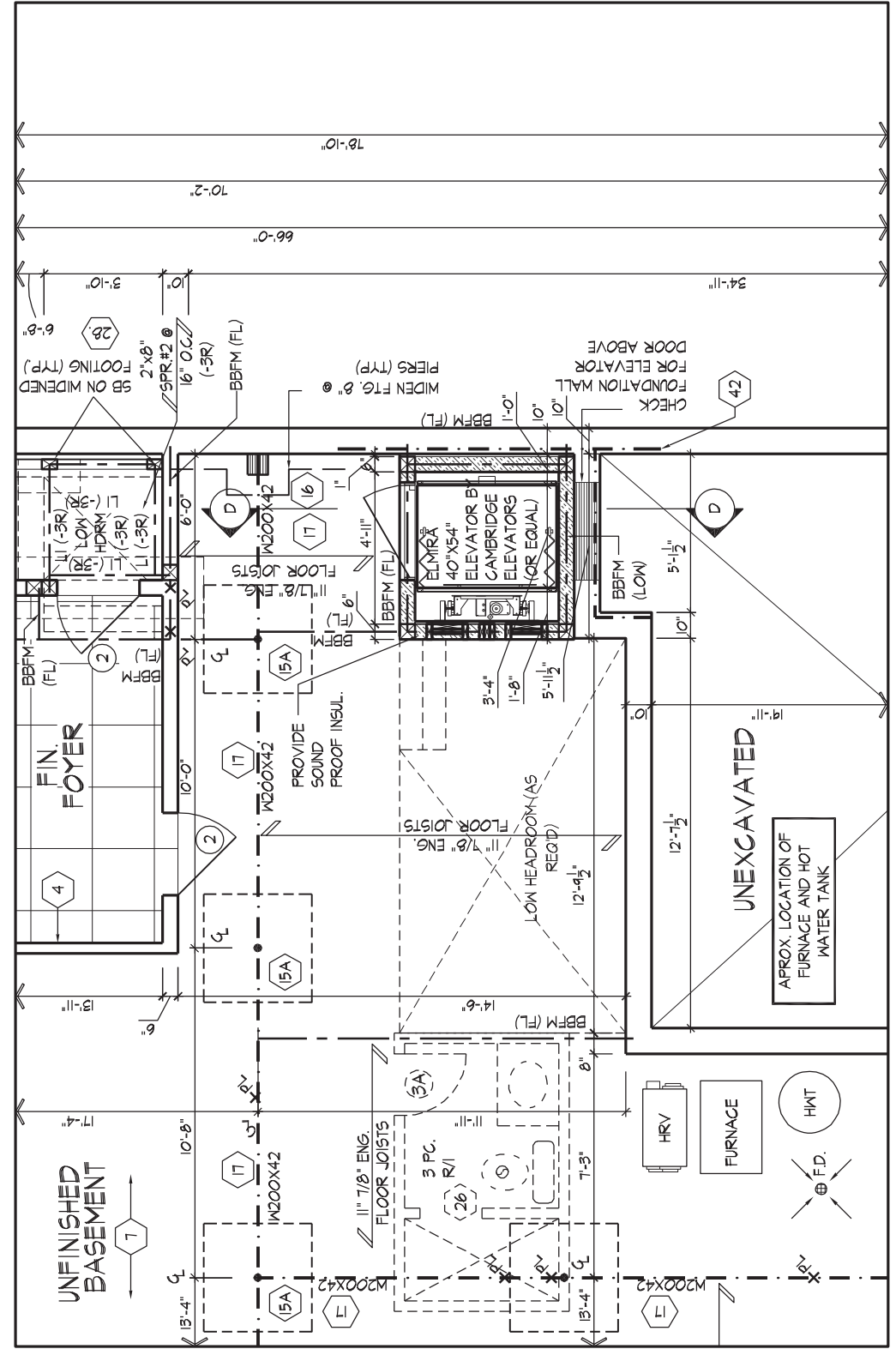
PART. SECOND FLOOR PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)



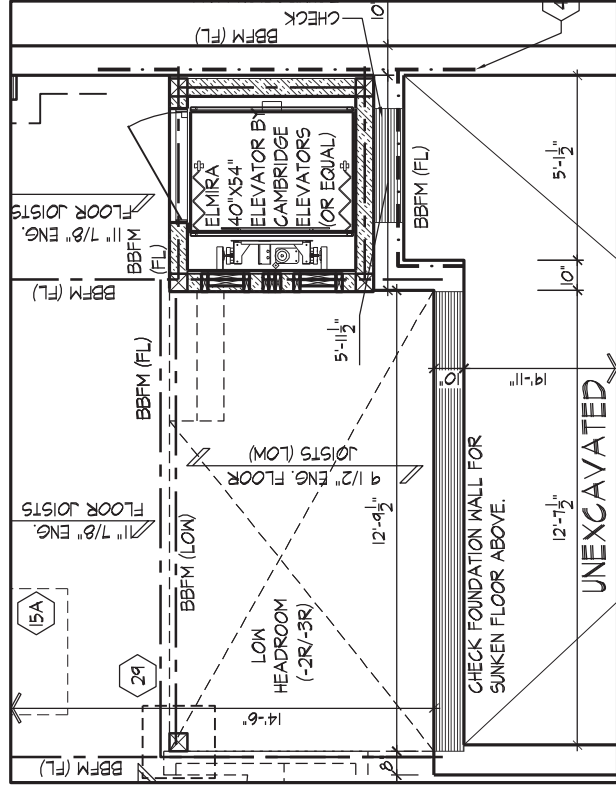
PART. GROUND FLOOR PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)



PART GROUND FLOOR PLAN EL. 'A'
SUNKEN MUDROOM (-2R/-3R COND.
ELEVATION 'A' CORNER, 'B' & 'C' SIMILAR)



PART. BASEMENT PLAN EL. 'A' (OPT. ELEVATOR)
(ELEV. 'A' CORNER, 'B' & 'C' SIMILAR)



PART BASEMENT PLAN EL. 'A'
SUNKEN MUDROOM (-2R/-3R COND.
ELEVATION 'A' CORNER, 'B' & 'C' SIMILAR)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE ACT AND REGULATION.

QUALIFICATION INFORMATION

Orin Fairbairn 20201

NAME: ORIN FAIRBAIRN

REGISTRATION INFORMATION: B.C.N.

HUNT DESIGN ASSOCIATES INC. 19695

HUNT

DESIGN ASSOCIATES INC.

www.huntdesign.ca

PART. FLOOR PLANS - OPT ELEVATOR CONDITION

GOLDPARK HOMES - 217020

UNIT 5004 - THE BEAUMONT

REV. 2018/09/18

Drawn By: MC Scale: 3/16"=1'-0" File Number: 217020WS5004 Page Number: 11 of 29

Checked By: OF Date: 8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

It is the builder's complete responsibility to ensure that all construction is in full compliance with the applicable Building Code and all applicable regulations and requirements in the subdivision agreement. The Control Officer shall not be responsible for verifying or approving any existing plans or drawings with respect to any zoning or building code requirements. The house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Building Code and all applicable regulations and requirements in the subdivision agreement. The Control Officer shall not be responsible for verifying or approving any existing plans or drawings with respect to any zoning or building code requirements. The house can be properly built or located on its lot.

Guidelines approved by the City of VAUGHAN.

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST, & FLOOR LVL. BEAM DESIGNS.

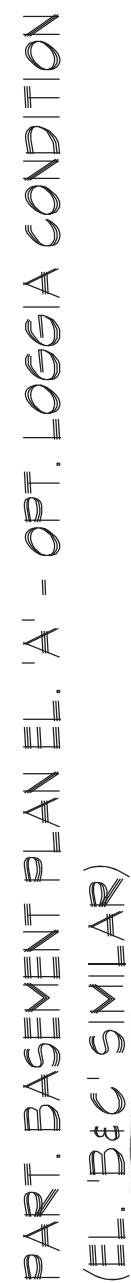
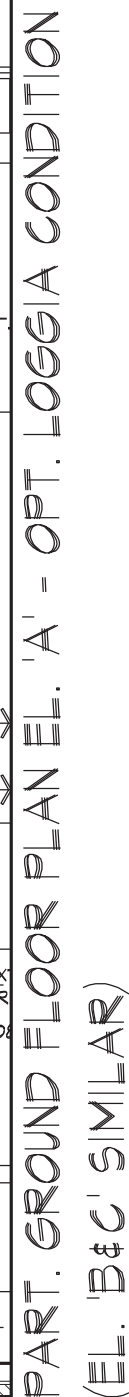
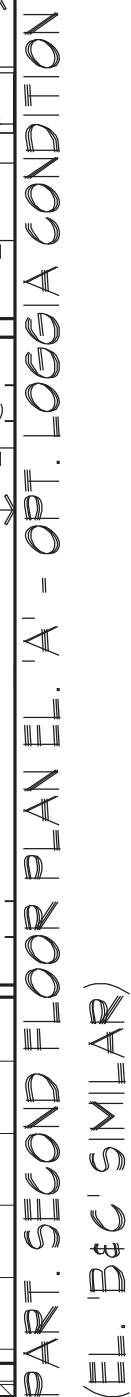
LICENSED PROFESSIONAL ENGINEER

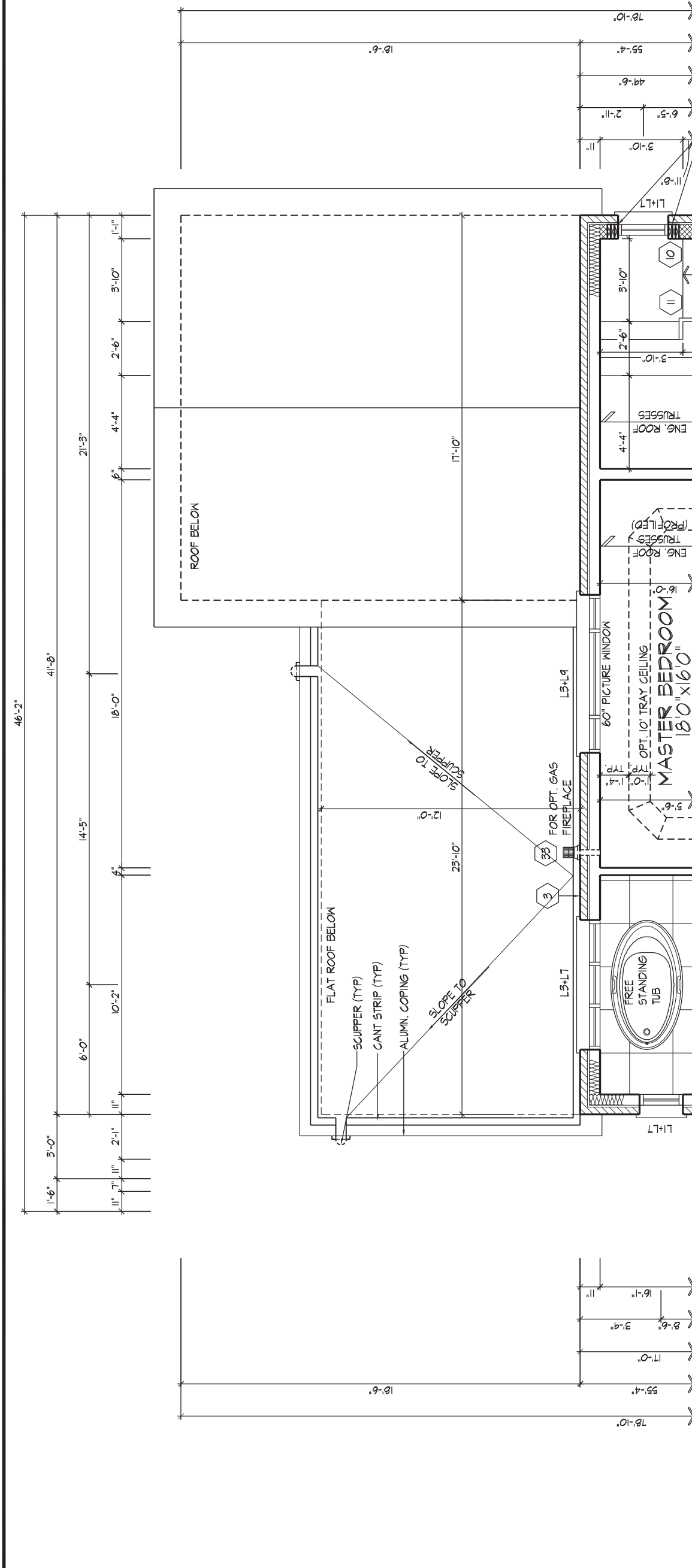
A. KONG

100764942

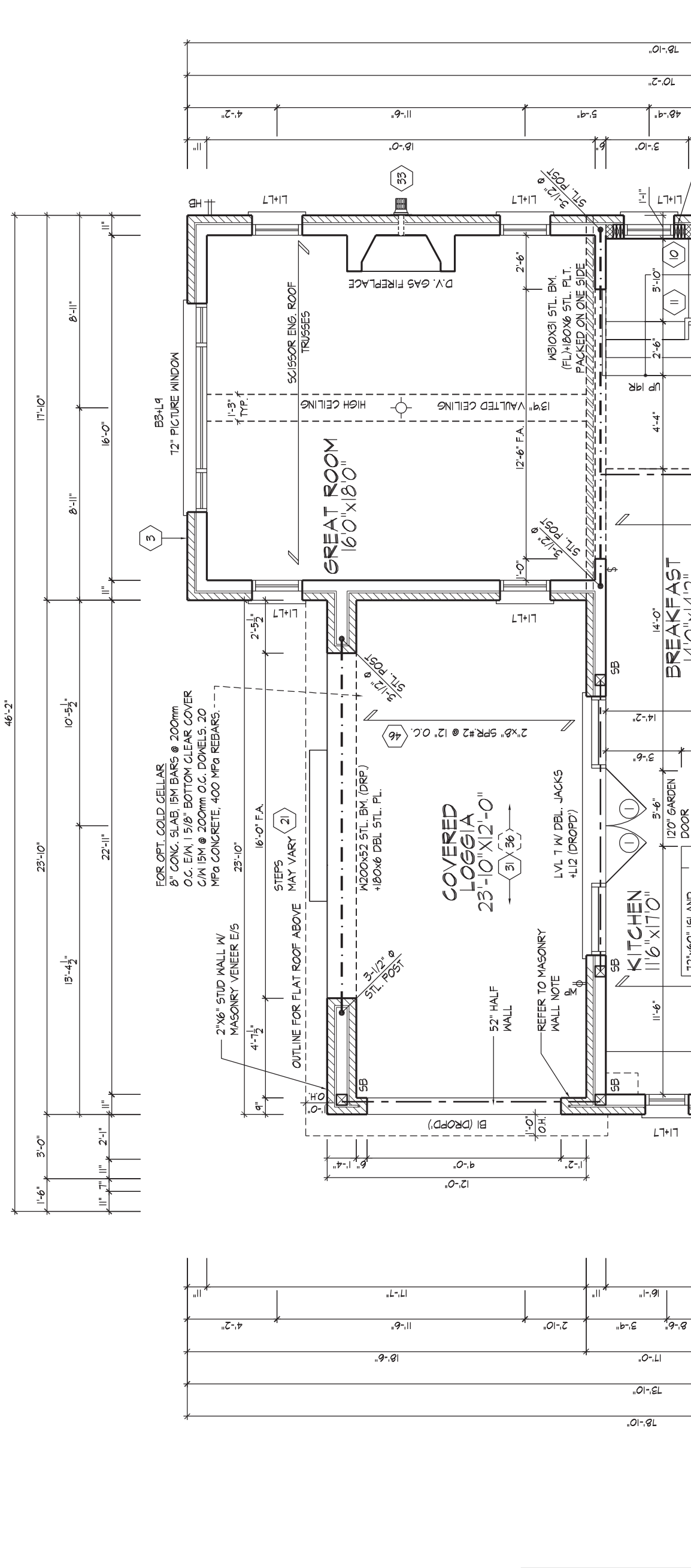
SEP 20/2018

PROVINCE OF ONTARIO

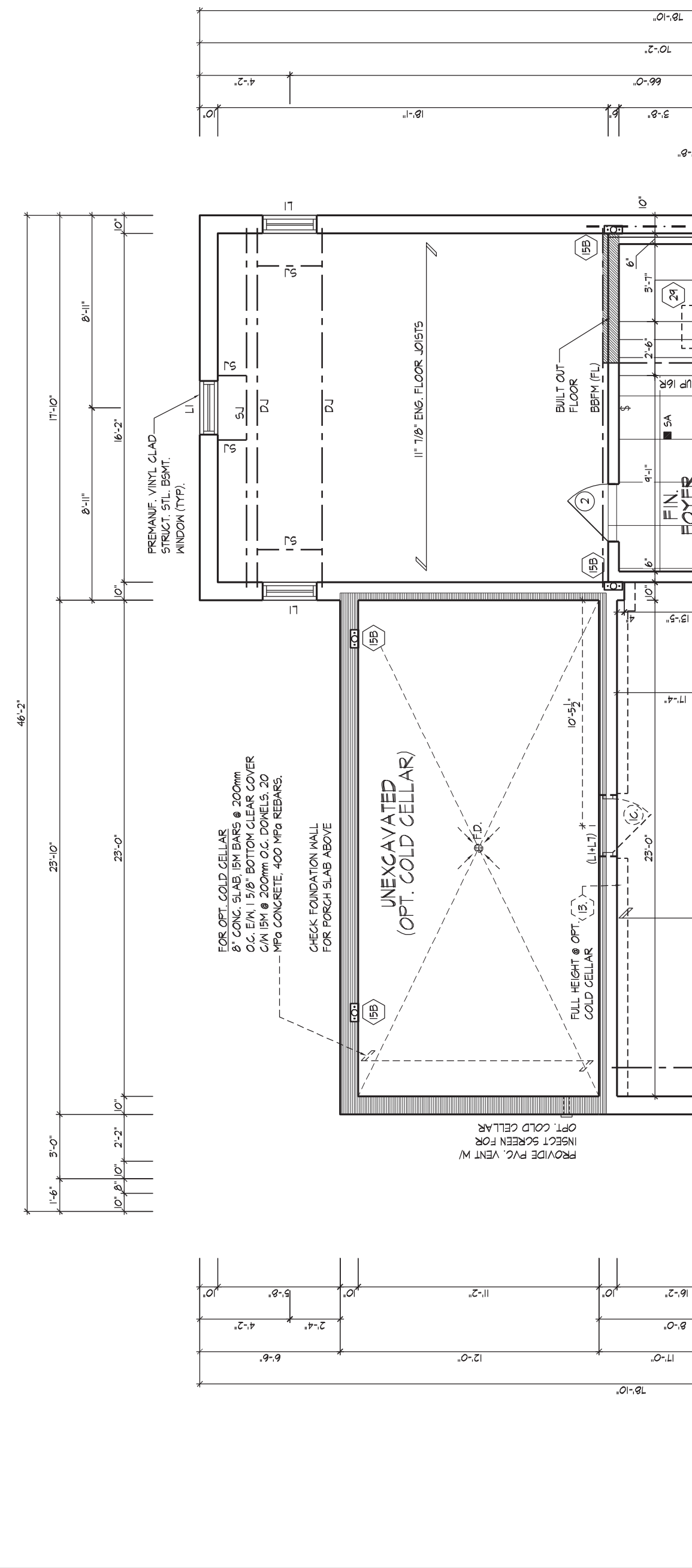




PART. SECOND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION



PART. GROUND FLOOR PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION



PART. BASEMENT PLAN EL. 'A' CORNER - OPT. LOGGIA CONDITION

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SOLID MASONRY WALL W/ 2'-10M VERT. REBARS (LAP 1'-6") GROUTED INTO BRICK JOINT

MASONRY WALL TO BE TIED TO THE BOTTOM OF PORTICO ROOF W/ CORROSION RESISTANT METAL TIES @ 24" O.C. USING 3-3 1/2" NAILS EACH

MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITHES SOLID W/ MORTAR

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND EXPERIENCE TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE ACT AND THE REGULATIONS THEREUNDER.

Drawn By: Olin Fairbairn
Checked By: [Signature]
Scale: 3/16"=1'-0"

HUNT DESIGN ASSOCIATES INC.
9896 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
www.huntdesign.ca

PART. FLOOR PLANS ELEV. 'A' CORNER, OPT. LOGGIA CONDITION
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

It is the builder's complete responsibility to ensure that all construction complies with the Ontario Building Code Act and the Regulations thereunder, and all applicable regulations and requirements and all applicable standards and codes. The undersigned is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The undersigned is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSSES, FLOOR JOISTS, & FLOOR W/L & BEAM DESIGNS.

PROFESSIONAL ENGINEER
A. KONG
100184942
SEPT 25/2018
PROVINCE OF ONTARIO



REAR ELEVATION 'A' (EL. 'B' & 'C' SIMILAR)

FRONT ELEVATION 'A'

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
REAR ELEV. A				REAR ELEV. A - OPT. 5 BDRM.				REAR ELEV. B				REAR ELEV. B - OPT. 5 BDRM.				REAR ELEV. C			
QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QVAL	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44	2	24"	56"	14.44
1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22	1	60"	56"	20.22
1	72"	56"	24.56	1	48"	56"	15.89	1	72"	56"	24.56	1	72"	56"	24.56	1	48"	56"	15.89
2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78	2	24"	68"	17.78
1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22	1	72"	68"	30.22
1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17	1	36"	16"	2.17
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50	1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	955.39	S.F.		EXPOSING BUILDING	955.39	S.F.		EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	916.67	S.F.		EXPOSING BUILDING	971.93	S.F.	
FACE AREA	88.76	S.M.		FACE AREA	88.76	S.M.		FACE AREA	85.16	S.M.		FACE AREA	85.16	S.M.		FACE AREA	90.30	S.M.	
PORTION WALL AREA	88.76	S.M.		PORTION WALL AREA	88.76	S.M.		PORTION WALL AREA	85.16	S.M.		PORTION WALL AREA	85.16	S.M.		PORTION WALL AREA	90.30	S.M.	
LIMITING DISTANCE	7.5 m			LIMITING DISTANCE	7.5 m			LIMITING DISTANCE	7.5 m			LIMITING DISTANCE	7.5 m			LIMITING DISTANCE	7.5 m		
MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%		MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	477.70	S.F.		OPENINGS ALLOWED	477.70	S.F.		OPENINGS ALLOWED	458.34	S.F.		OPENINGS ALLOWED	458.34	S.F.		OPENINGS ALLOWED	485.97	S.F.	
OPENINGS PROVIDED	213.89	S.F.		OPENINGS PROVIDED	211.22	S.F.		OPENINGS PROVIDED	213.89	S.F.		OPENINGS PROVIDED	211.22	S.F.		OPENINGS PROVIDED	211.22	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE ACT AND REGULATIONS.

NAME: Orin Fairbairn
DATE: 20201
REGISTRATION INFORMATION: BCN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

FRONT & REAR ELEVATION 'A' (REAR EL. 'B' & 'C' SIMILAR)
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

APPROVED BY:
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines and any other requirements of the City of Vaughan.

Down By: MC
Checked By: OF
Scale: 3/16"=1'-0"
File Number: 217020WS5004
Page Number: 14 of 29

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<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. I HAVE REVIEWED THE PROJECT'S QUALIFICATION INFORMATION.</p> <p>Orin Fairbairn 202021 BCIN</p> <p>NAME SIGNATURE REGISTRATION INFORMATION</p> <p>HUNT DESIGN ASSOCIATES INC. 196965</p> <p>www.hunt-design.ca</p>		<p>HUNT DESIGN ASSOCIATES INC.</p>		<p>GOLDPARK HOMES - 217020</p> <p>PINE VALLEY, VAUGHAN ONT.</p> <p>Drawn By Checked By Scale File Number Page Number</p> <p>MC QF 3/16"=1'-0" 217020WS5004 15 of 29</p>		<p>LEFT SIDE ELEVATION 'A'</p> <p>UNIT 5004 - THE BEAUMONT</p> <p>REV. 2018/09/18</p>	
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15'
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

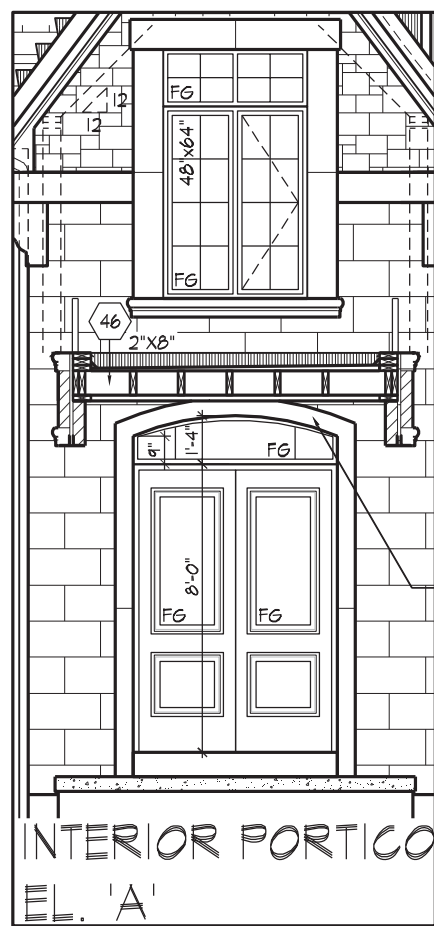


JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____

DATE: SEP 20, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



6" PRECAST CONC. ARCH ON
PRECAST CONC. SURROUND
W/ 1/2" PROJ. (TYP.)

INTERIOR PORTICO
EL. 'A'

PROFILLED PRECAST
CONC. ACCENT (TYP.)

8"x28" PRECAST CONC.
IMPOST W/ 1/2" PROJ. (TYP.)
PREMANUF. COPPER COLOURED
DECORATIVE FLU (TYP.)
2"x6" PREFIN. ALUM. CLAD
WOOD FASCIA BOARD (TYP.)
4"x12" STUCCO TRIM ON STUCCO
PANEL W/ 6" RAISED TRIM ON
CANAMOULD CAN-W5-014 (TYP.)

PREMANUF. FRIEZE BRD., CANAMOULD
CODE: CAN-W5-014 (TYP.)
PROVIDE CANT. L12 EVERY
12" TO SUPPORT STONE
OVER SLOPED CEILING

PREFIN. ALUM. GUTTER,
RNL, FASCIA BOARD &
VENTED SOFFIT (TYP.)

10" CONT. PRECAST
CONC. BAND
W/ 1/2" PROJ. (TYP.)

10" PRECAST CONC.
BAND ON 12"x21"
PRECAST CONC.
ACCENT (TYP.)

10" PRECAST CONC.
HEADER ON PRECAST
CONC. SURROUND W/
1/2" PROJ. (TYP.)

PRECAST CONC.
PANEL (TYP.)

PROFILLED PRECAST
CONC. SILL ON 10"
PRECAST CONC. BAND
W/ 1/2" PROJ. (TYP.)

POURED CONC.
PORCH SLAB AND
DOOR SILL (TYP.)

POURED CONC. FOUNDATION
WALL AND FOOTING (TYP.)

PEEL & STICK ICE +
WATER SHIELD FOR
ADDITIONAL WATER
PROTECTION (TYP.)

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

OUTLINE FOR SLOPED
CEILING BEYOND

PREFMANUF. FIREZE
BOARD
(CANAMOULD,
CAN-BAN-015) (TYP.)

10" PRECAST CONC.
HEADER ON PRECAST
CONC. SURROUND W/
1/2" PROJ. (TYP.)

STONE VENEER (TYP.)
PROFILLED PRECAST CONC.
SILL W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.) FIN. SECOND
FLOOR (TYP.)

PREFIN. SEAMED METAL
ROOF (TYP.)

COACH LAMP (TYP.)

ADDRESS PLAQUE

PROFILLED PRECAST
CONC. BAND ON 10"
PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

SMOOTH STONE
VENEER (TYP.)

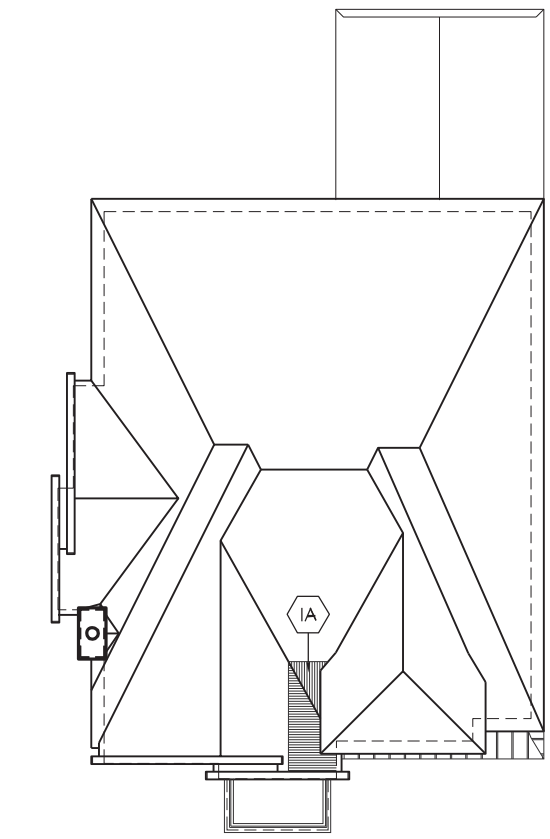
POURED IN PLACE CONCRETE
STEPS WITH MASONRY VENEER ON
SIDES IF REQUIRED BY GRADE

30" STEPPED
FOOTINGS (TYP.)

U/S OF GARAGE
FOOTING

TOP OF BASEMENT SLAB

FRONT ELEVATION 'A' - CORNER



ROOF PLAN
ELEV. 'A' CORNER
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. I AM THE DESIGNER.
QUALIFICATION INFORMATION
NAME: Orlin Fairbairn
SIGNATURE: [Signature]
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Down By: MC
Checked By: OF
Scale: 3/16"=1'-0"

FRONT ELEVATION 'A' CORNER
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

File Number: 217020WS5004
Page Number: 17 of 29

[illegible]

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VALICAN.

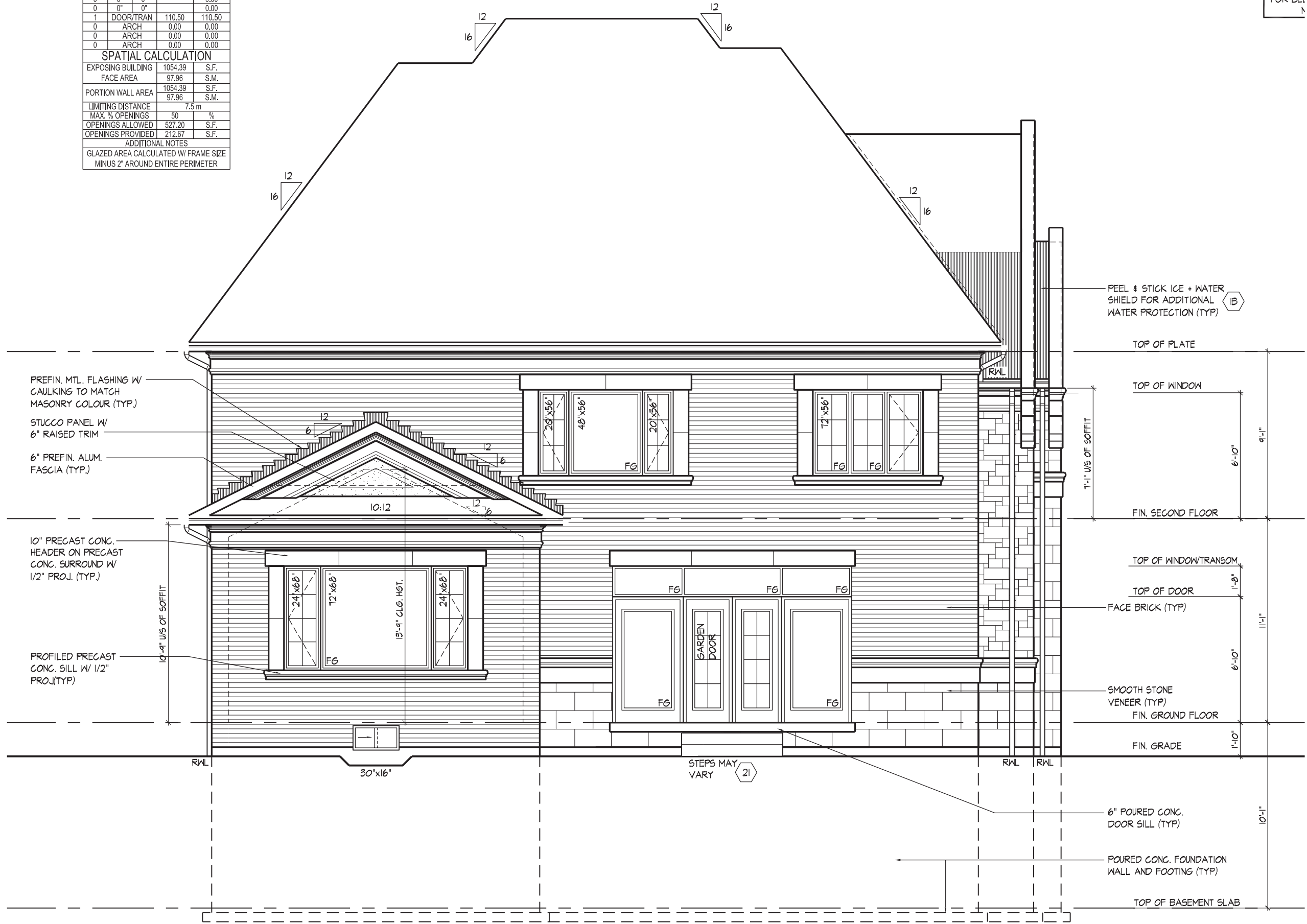
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 20, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

WINDOW SUMMARY			
PER O.B.C. TABLE 3.10.15.4			
REAR ELEV. A CORNER			
QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)
2	20"	56"	11.56
1	48"	56"	15.89
1	72"	56"	24.56
2	24"	68"	17.76
1	72"	68"	30.22
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
1	DOOR/TRAN	110.50	110.50
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1054.39	S.F.	
FACE AREA	97.96	S.M.	
PORTION WALL AREA	1054.39	S.F.	
	97.96	S.M.	
LIMITING DISTANCE	7.5 m		
MAX. % OPENINGS	50	%	
OPENINGS ALLOWED	527.20	S.F.	
OPENINGS PROVIDED	212.67	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



REAR ELEVATION 'A' - CORNER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. DESIGNER
QUALIFICATION INFORMATION:
Orin Fairbairn 20201
NAME: ORIN FAIRBAIRN
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

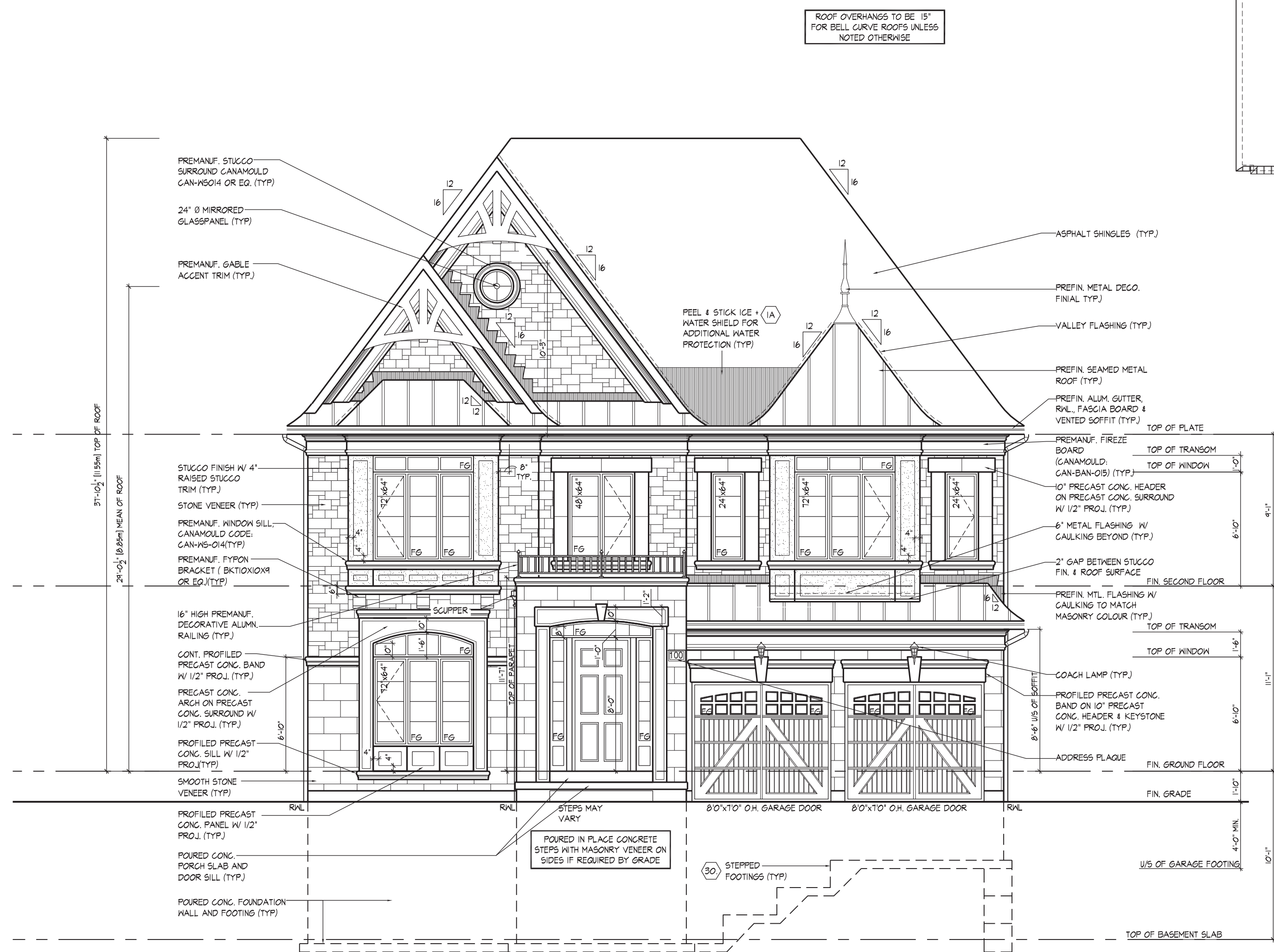
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Drawn By: MC
Checked By: OF
Scale: 3/16"=1'-0"
File Number: 217020WS5004
Page Number: 20 of 29

REAR ELEVATION 'A' CORNER
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

ROOF PLAN
ELEV. 'B'
N.T.S.



INTERIOR PORTICO



FRONT ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 20, 2018

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER.

QUALIFICATION INFORMATION

Orin Fairbairn 201

NAME SIGNATURE

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

HUNT 
DESIGN ASSOCIATES INC.
www.hunt-design.com

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

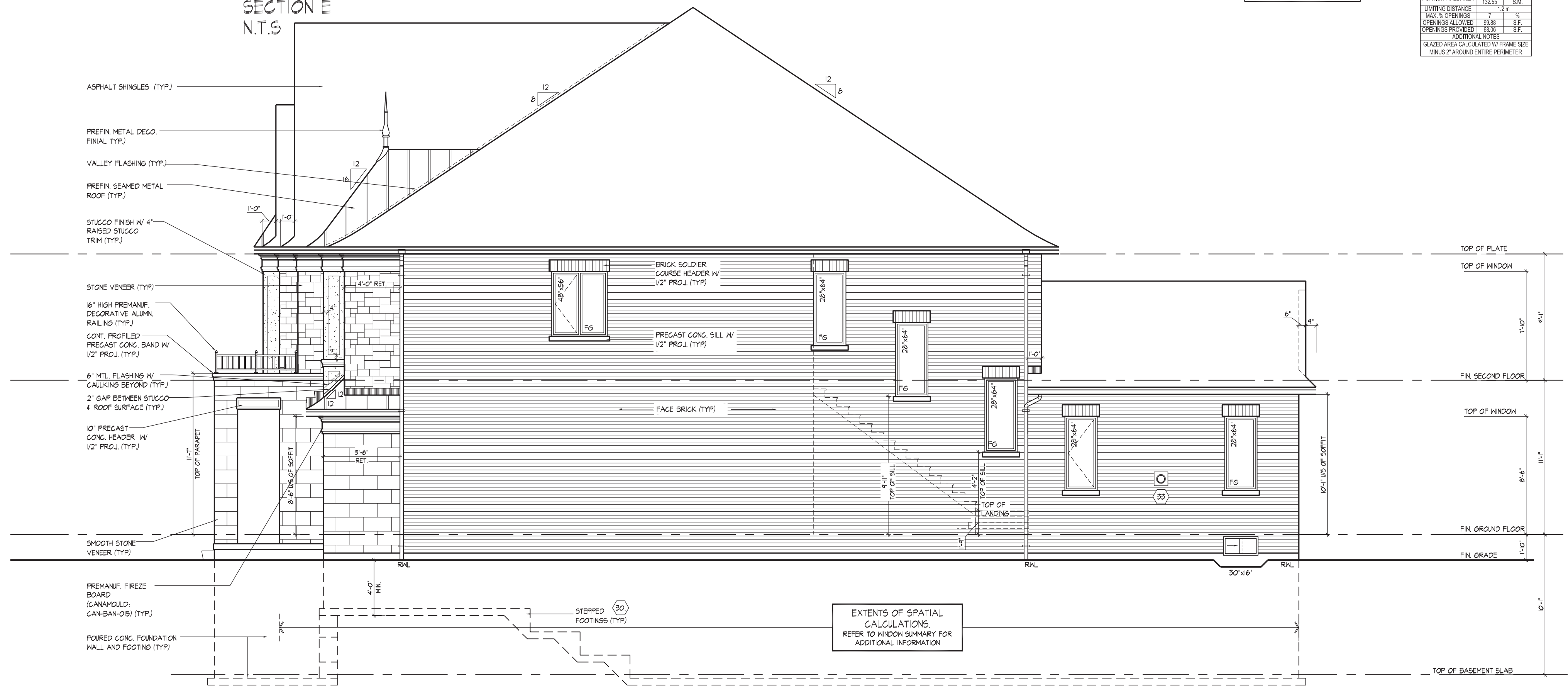
Drawn By	Checked By	Scale	File Number
MC	OF	3/16"=1'-0"	217020WS5004
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

FRONT ELEVATION 'B'
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

WINDOW SUMMARY			
PER O.R.C. TABLE 919.1.5.4			
RIGHT SIDE ELEVATION B			
QUAN.	UNIT	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	48"	56"	15.8
5	28"	64"	50.00
1	30"	16"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1426.79	S.F.	
FACE AREA	132.55	S.F.	
PORTION WALL AREA	132.55	S.F.	
LIMITING DISTANCE	7' 1.2 m		
MAX. GLASS			
OPENINGS ALLOWED	98.88	S.F.	
OPENINGS PROVIDED	68.06	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED IN FRAME SIZE			
MINUS 2' X 40" ENTIRE PERIMETER			



RIGHT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 20, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS THE DESIGNER.

QUALIFICATION INFORMATION

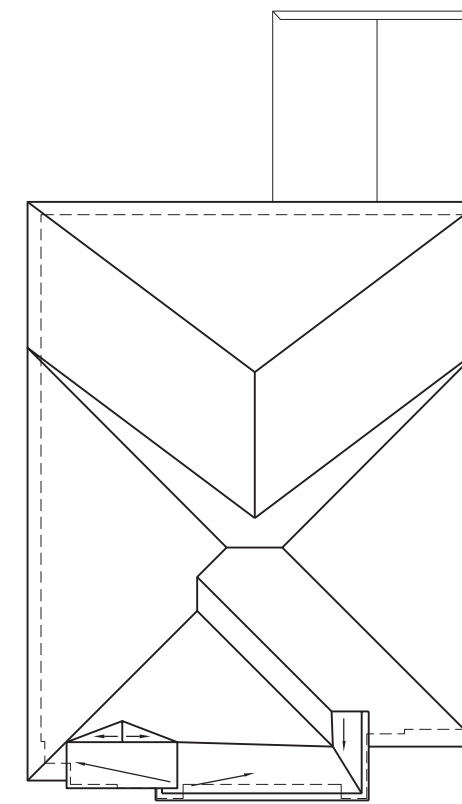
Orin Fairbairn	2012
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	1987

HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

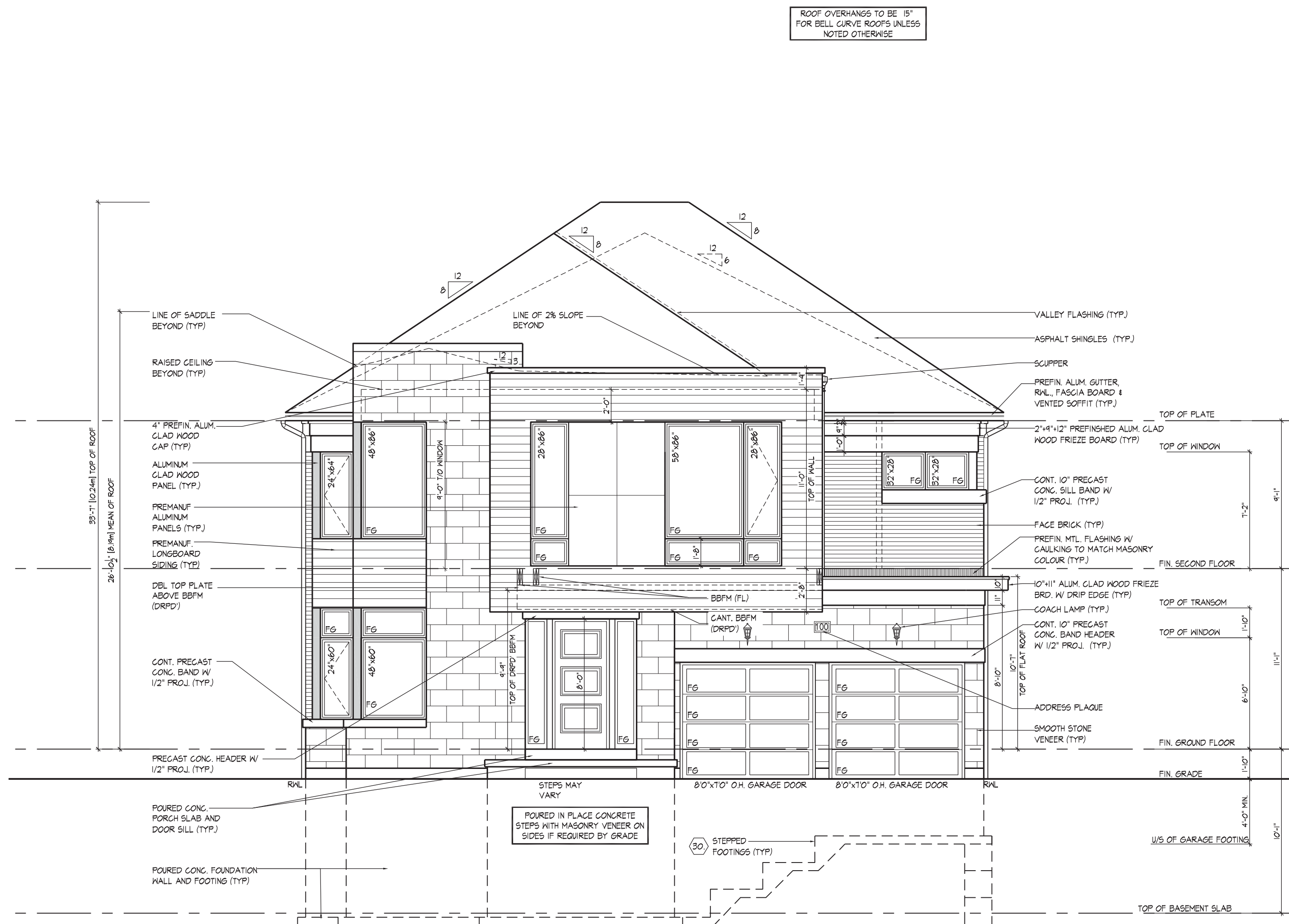
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By MC	Checked By OF	Scale 3/16"=1'-0"	File Number 217020WS5004	Page Number 23 of 29
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326				

RIGHT SIDE ELEVATION 'B'
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18



ROOF PLAN
ELEV. 'C'
N.T.S.

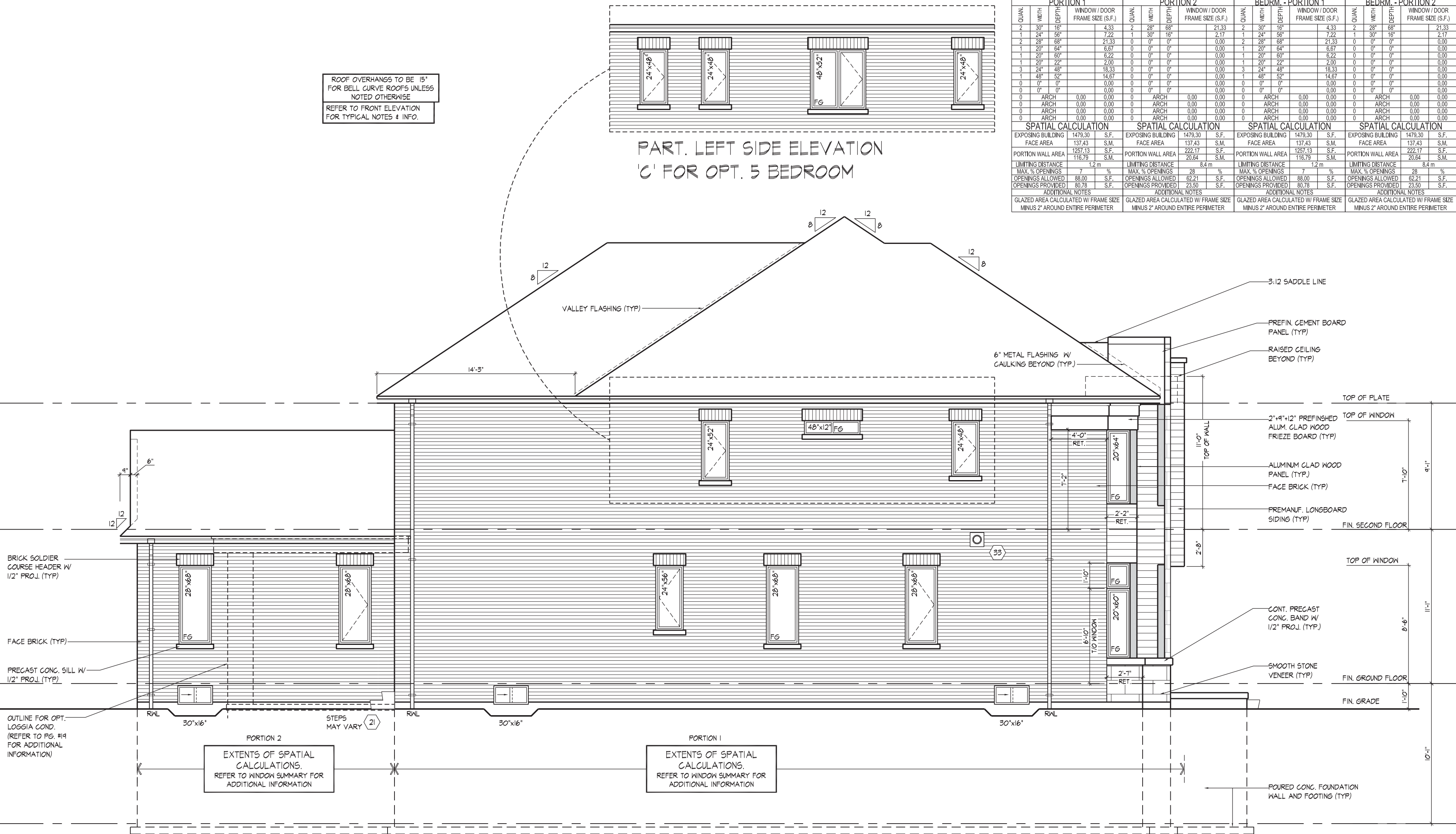


FRONT ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY				WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION C -				LEFT SIDE ELEVATION C -				LEFT SIDE ELEVATION C - OPT. 5				LEFT SIDE ELEVATION C - OPT. 5			
PORTION 1				PORTION 2				BEDRM. - PORTION 1				BEDRM. - PORTION 2			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)	QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	16"	4.33	2	28"	68"	21.33	2	30"	16"	4.33	2	28"	68"	21.33
1	24"	58"	7.22	1	30"	16"	2.17	1	24"	58"	7.22	1	30"	16"	2.17
2	28"	68"	21.33	0	0"	0"	0.00	2	28"	68"	21.33	0	0"	0"	0.00
1	20"	64"	6.67	0	0"	0"	0.00	1	20"	64"	6.67	0	0"	0"	0.00
1	20"	60"	6.22	0	0"	0"	0.00	1	20"	60"	6.22	0	0"	0"	0.00
1	20"	22"	2.00	0	0"	0"	0.00	1	20"	22"	2.00	0	0"	0"	0.00
3	24"	48"	18.33	0	0"	0"	0.00	3	24"	48"	18.33	0	0"	0"	0.00
1	48"	52"	14.67	0	0"	0"	0.00	1	48"	52"	14.67	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00	0	0"	0"	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00	0	ARCH	0.00	0.00
SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.		EXPOSING BUILDING	1479.30	S.F.	
FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.		FACE AREA	137.43	S.M.	
PORTION WALL AREA	1257.13	S.F.		PORTION WALL AREA	222.17	S.F.		PORTION WALL AREA	116.79	S.M.		PORTION WALL AREA	222.17	S.F.	
LIMITING DISTANCE	7	1.2 m	%	LIMITING DISTANCE	28	%		LIMITING DISTANCE	7	1.2 m	%	LIMITING DISTANCE	28	%	
MAX. % OPENINGS	88.00	S.F.		MAX. % OPENINGS	62.21	S.F.		MAX. % OPENINGS	88.00	S.F.		MAX. % OPENINGS	62.21	S.F.	
OPENINGS ALLOWED	80.78	S.F.		OPENINGS PROVIDED	23.50	S.F.		OPENINGS PROVIDED	80.78	S.F.		OPENINGS PROVIDED	23.50	S.F.	
ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES				ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE ELEVATION 'C'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. I AM A REGISTERED PROFESSIONAL ENGINEER.
QUALIFICATION INFORMATION
Orin Fairbairn 20201
NAME SIGNATURE BCIN
HUNT DESIGN ASSOCIATES INC. 19695
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8966 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Drawn By MC OF 3/16"=1'-0" Scale
File Number 217020WS5004
Page Number 25 of 29

LEFT SIDE ELEVATION 'C'
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

ROOF OVERHANGS TO BE 15"
FOR BELL CURVE ROOFS UNLESS
NOTED OTHERWISE

WINDOW SUMMARY			
PER O.R.C. TABLE 9.01.15.4			
RIGHT SIDE ELEVATION C			
QUAN.	WIDTH	DEPTH	WINDOW DOOR FRAME SIZE (S.F.)
1	48"	64"	18.33
5	28"	64"	50.00
0	30"	65"	2.17
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
SPATIAL CALCULATION			
EXPOSING BUILDING	1482.03	S.F.	
FACE AREA	137.69	S.M.	
PORTION WALL AREA	137.69	S.M.	
LIMITING DISTANCE		7' 1.2 m	
OPENINGS ALLOWED	103.74	S.F.	
OPENINGS PROVIDED	70.50	S.F.	
EDUCATIONAL NOTES			
GLAZED AREA CALCULATED IN FRAME SIZE			
MINUS 2' AROUND ENTIRE PERIMETER			



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: SEP 20, 2018

his stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE AN ENGINEER.

QUALIFICATION INFORMATION

Orin Fairbairn 202

NAME SIGNATURE

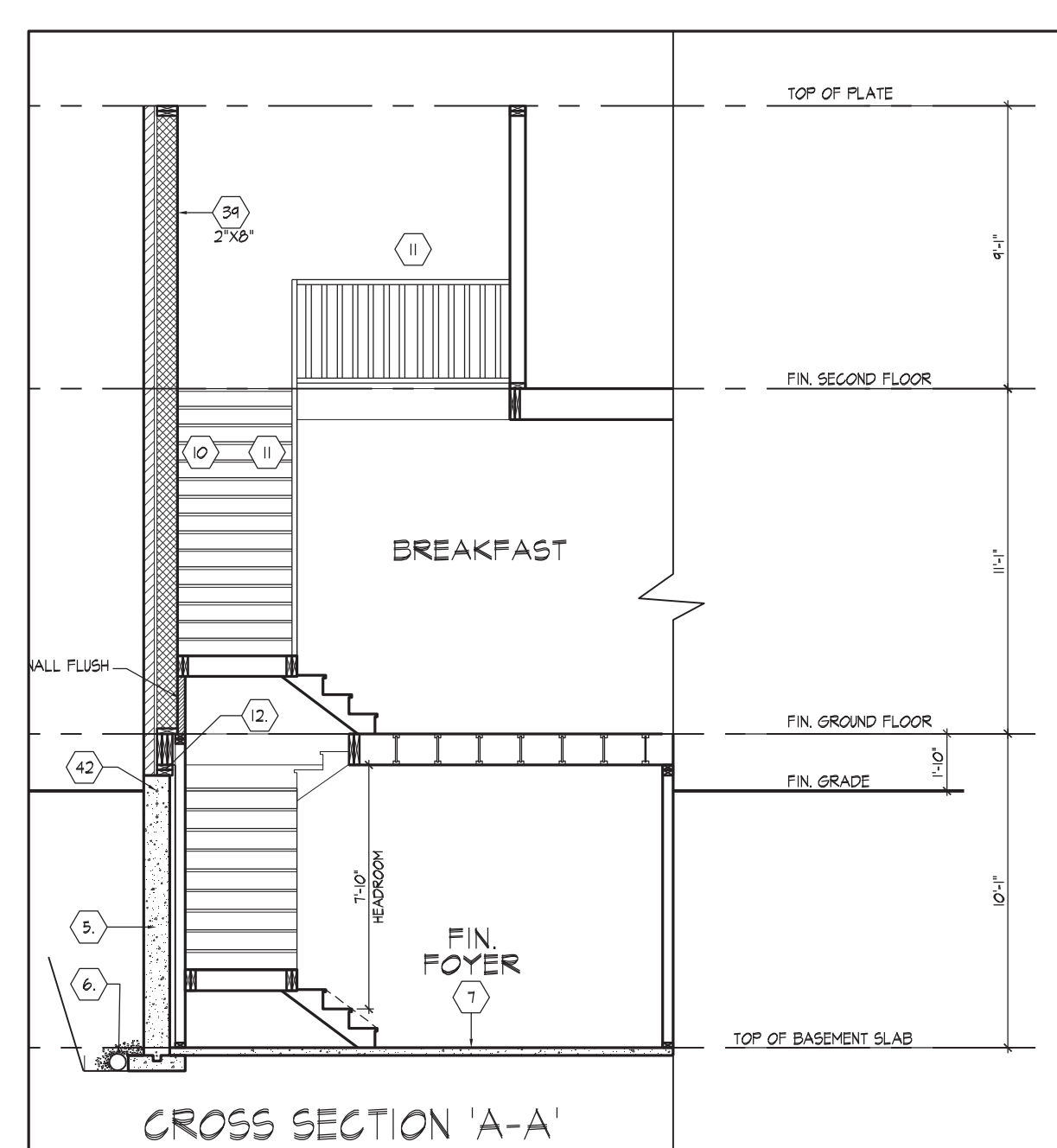
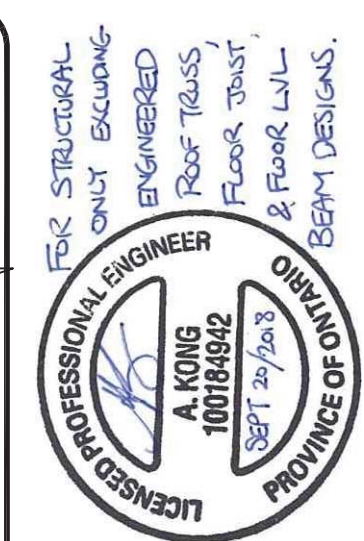
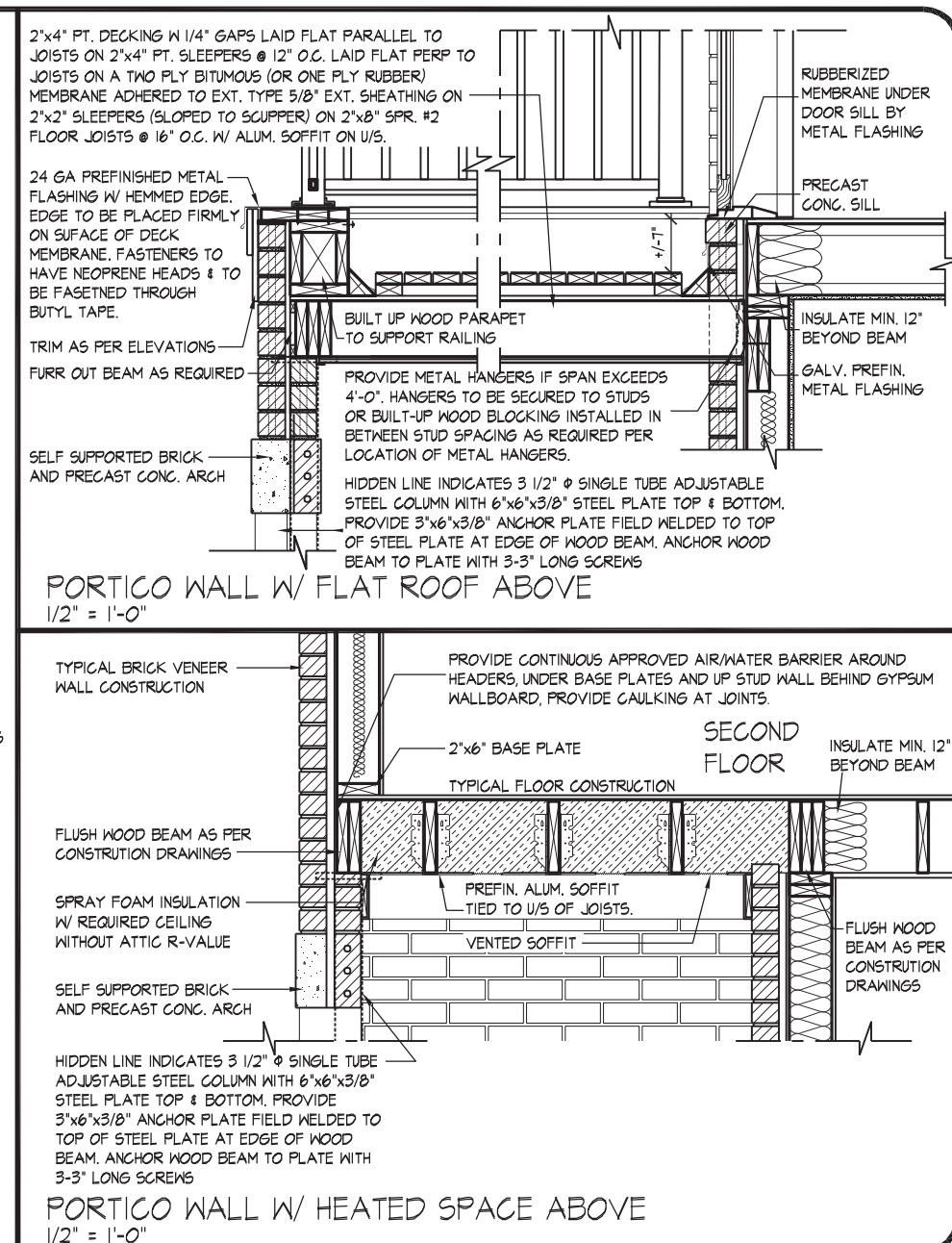
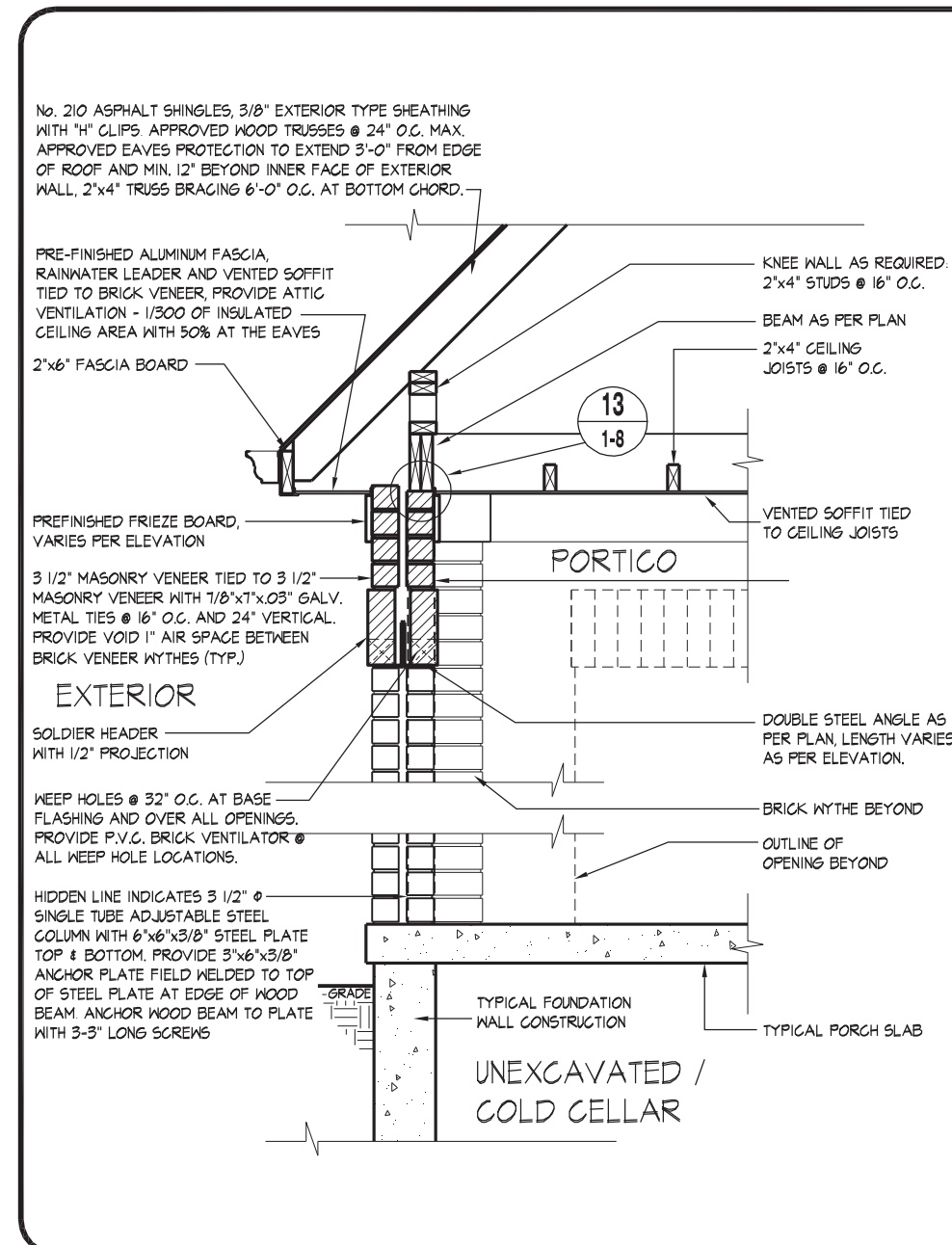
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19

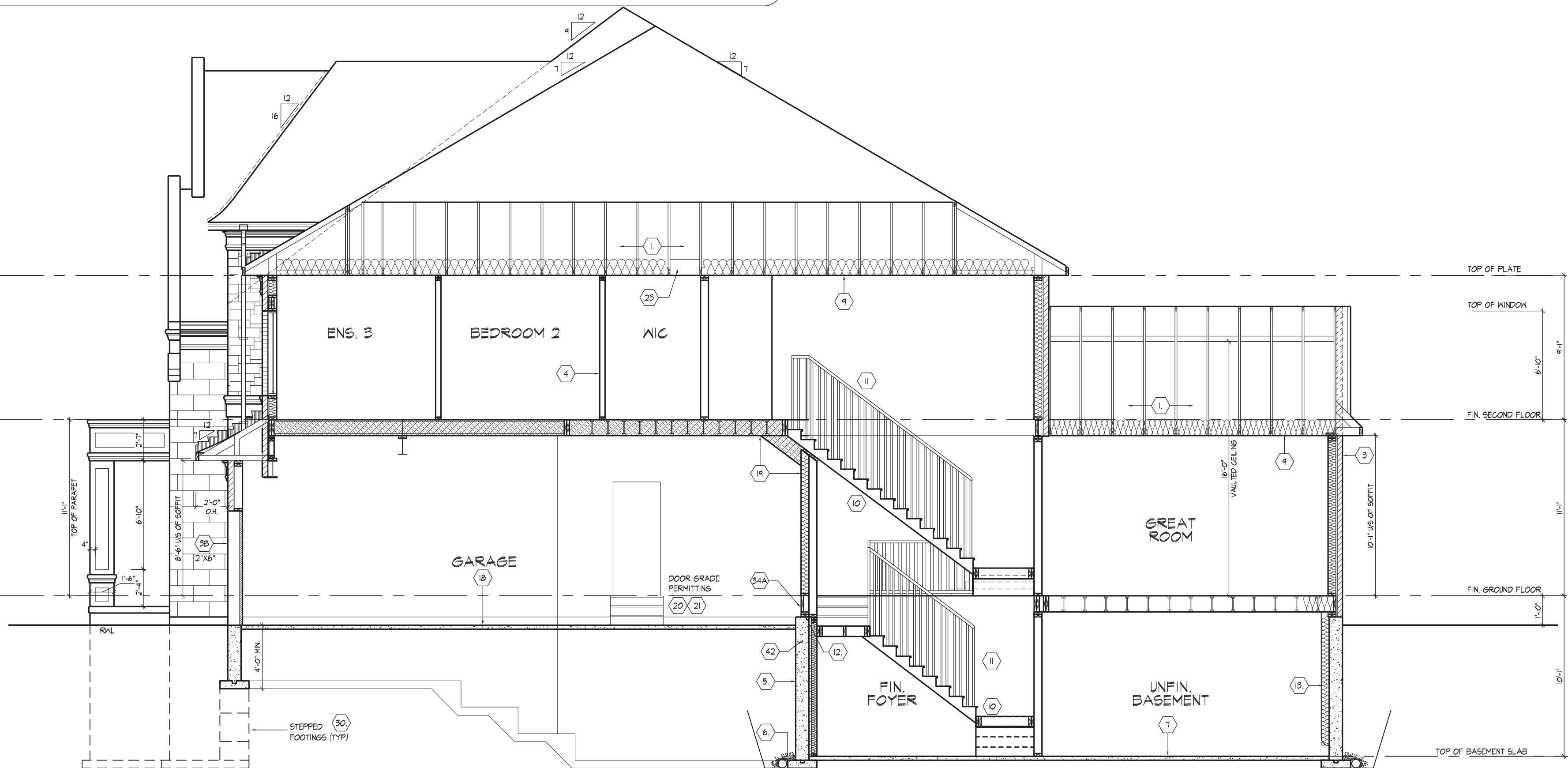
HUNT 
DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

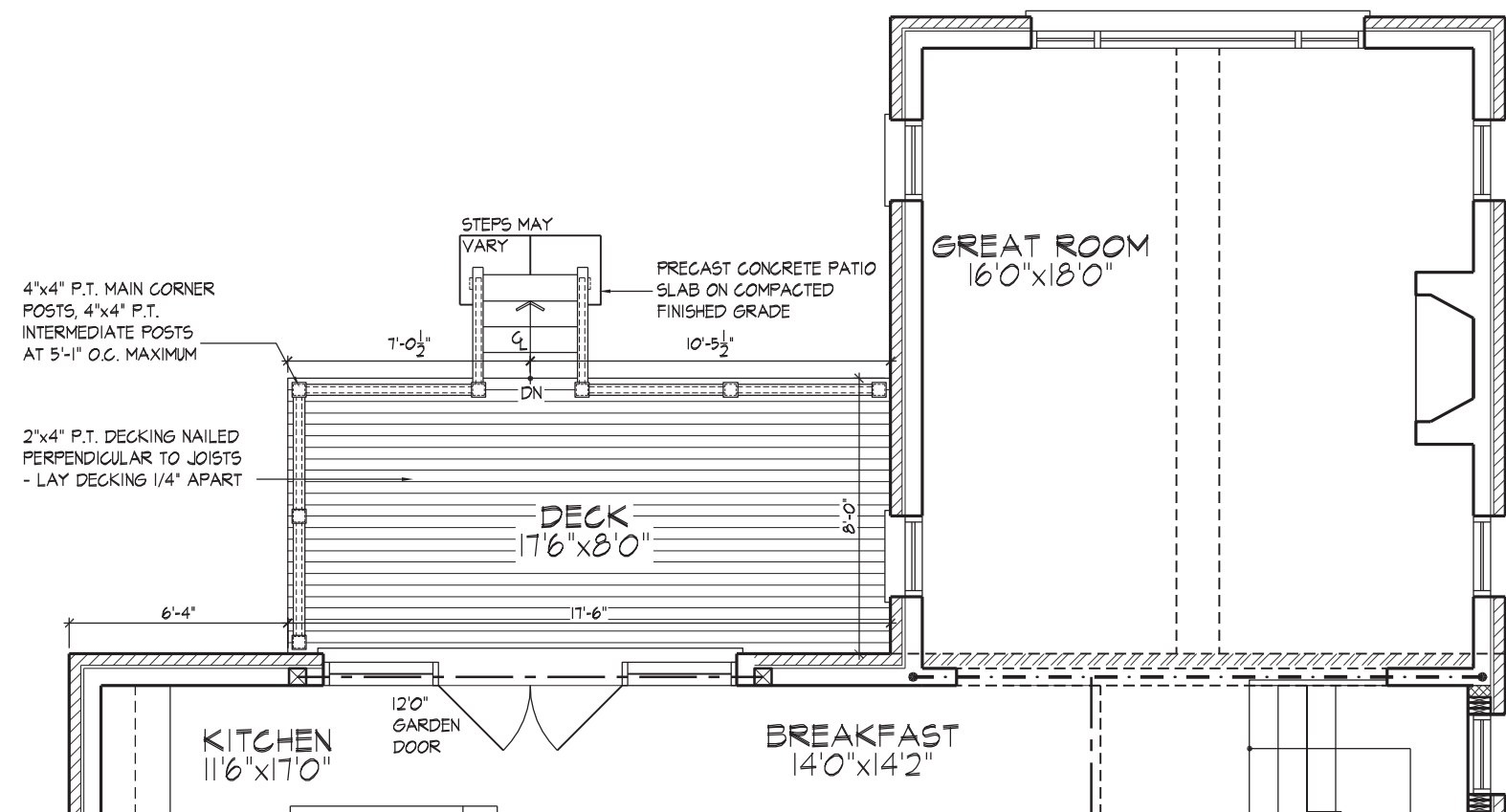
RIGHT SIDE ELEVATION 'C'
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18



14 TYPICAL BRICK PORTICO WALL (DOUBLE BRICK VENEER WYTHE WALL)
1/2\" = 1'-0"



CROSS SECTION 'B-B'



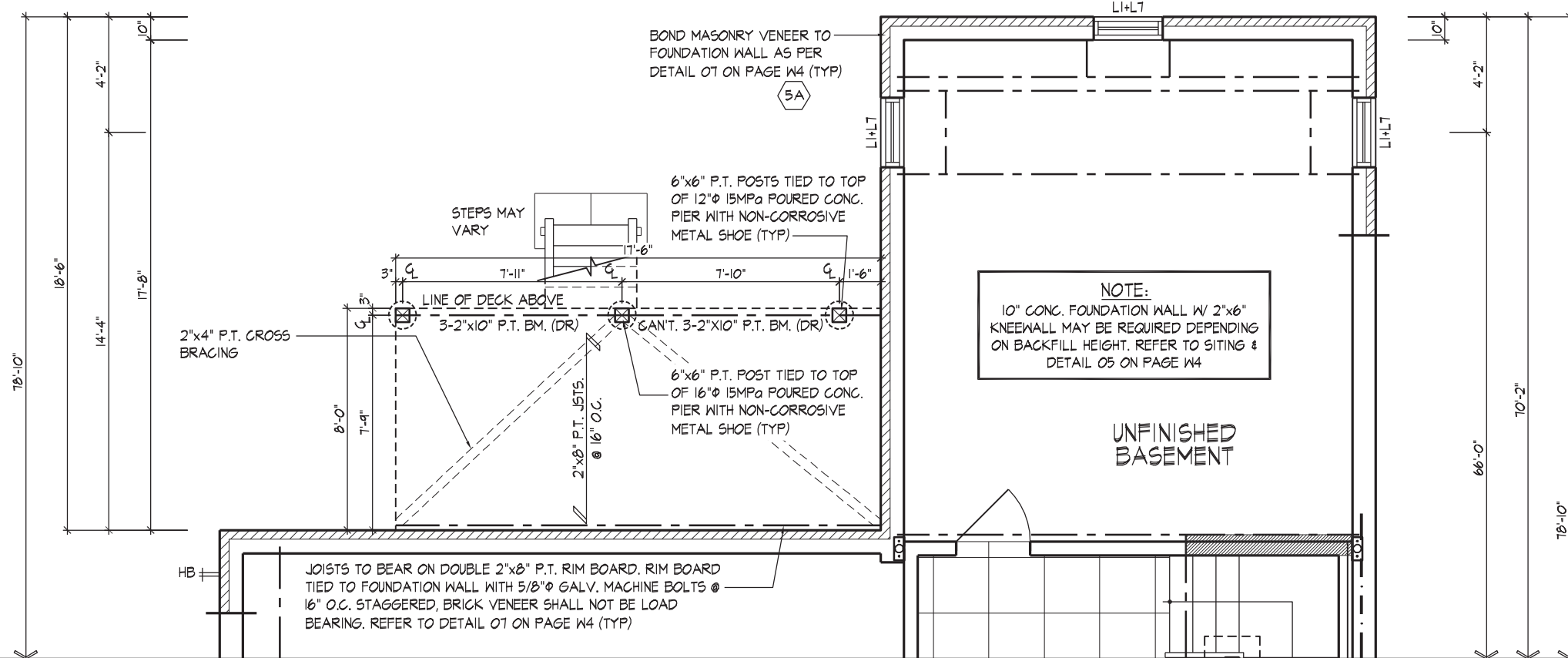
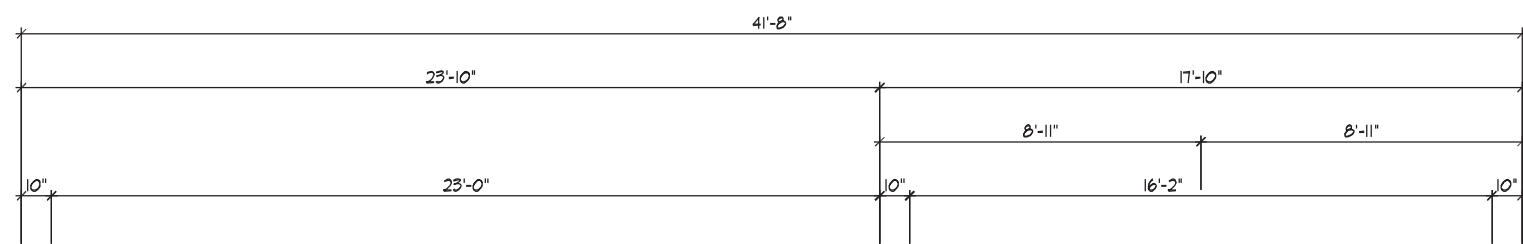
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



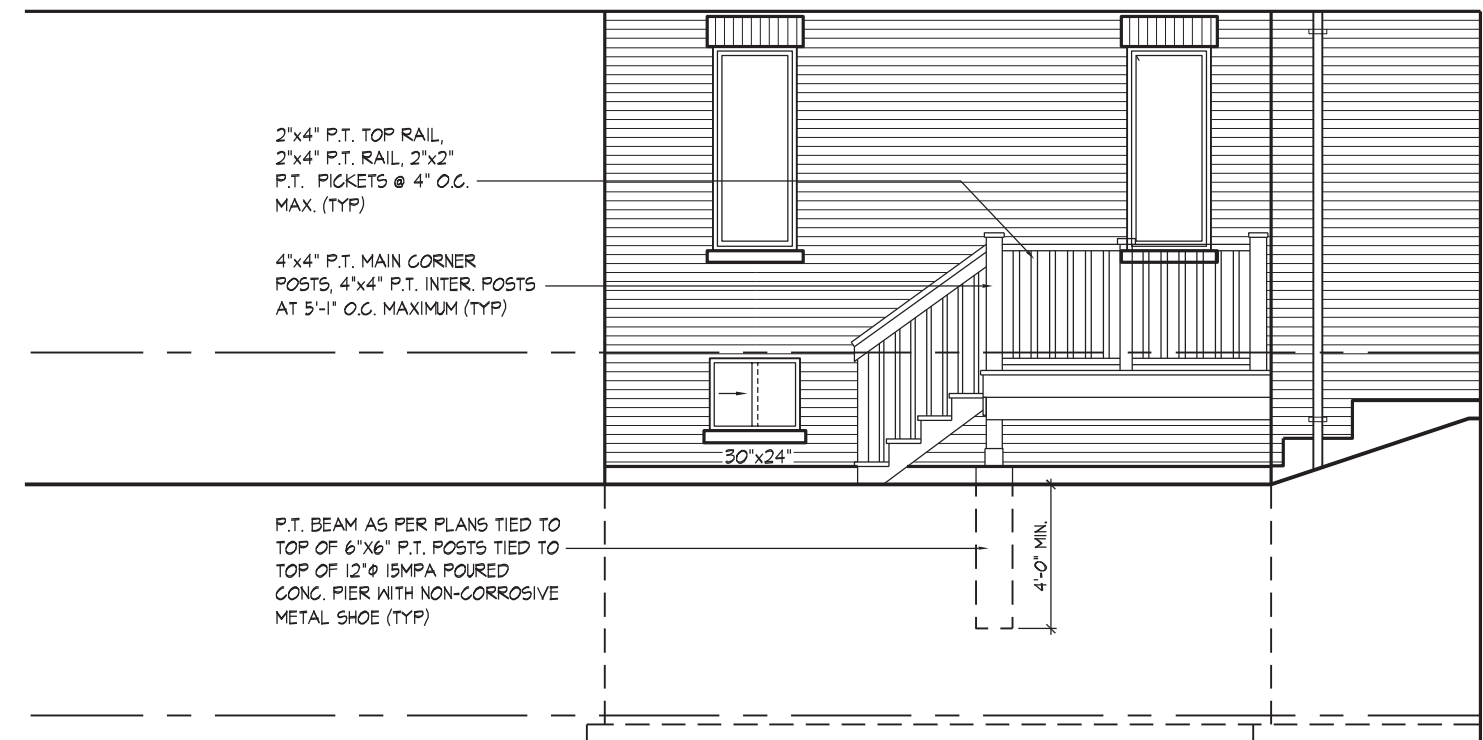
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



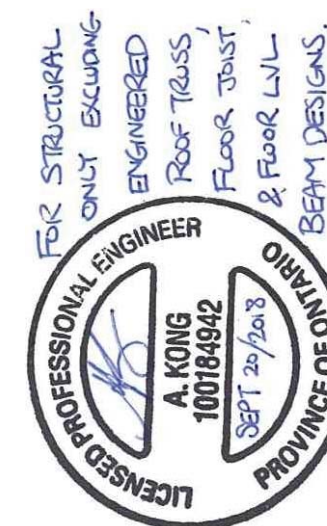
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

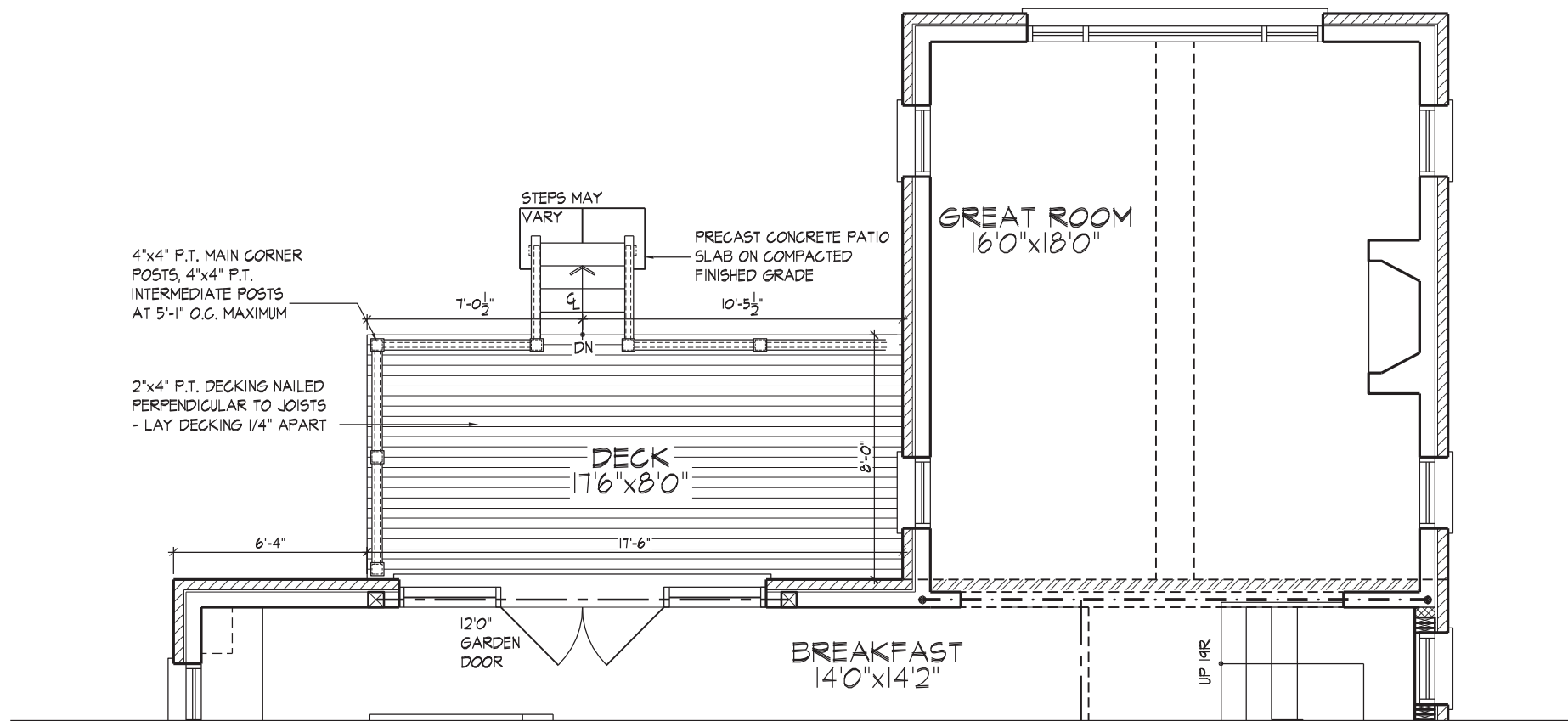
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (OBC) FOR THE DESIGNER.
QUALIFICATION INFORMATION
Olin Fairbairn 20201
NAME: Olin Fairbairn
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Drawn By: OF
Checked By: OF
Scale: 3/16"=1'-0"
File Number: 217020WS5004
Page Number: W1 of W5

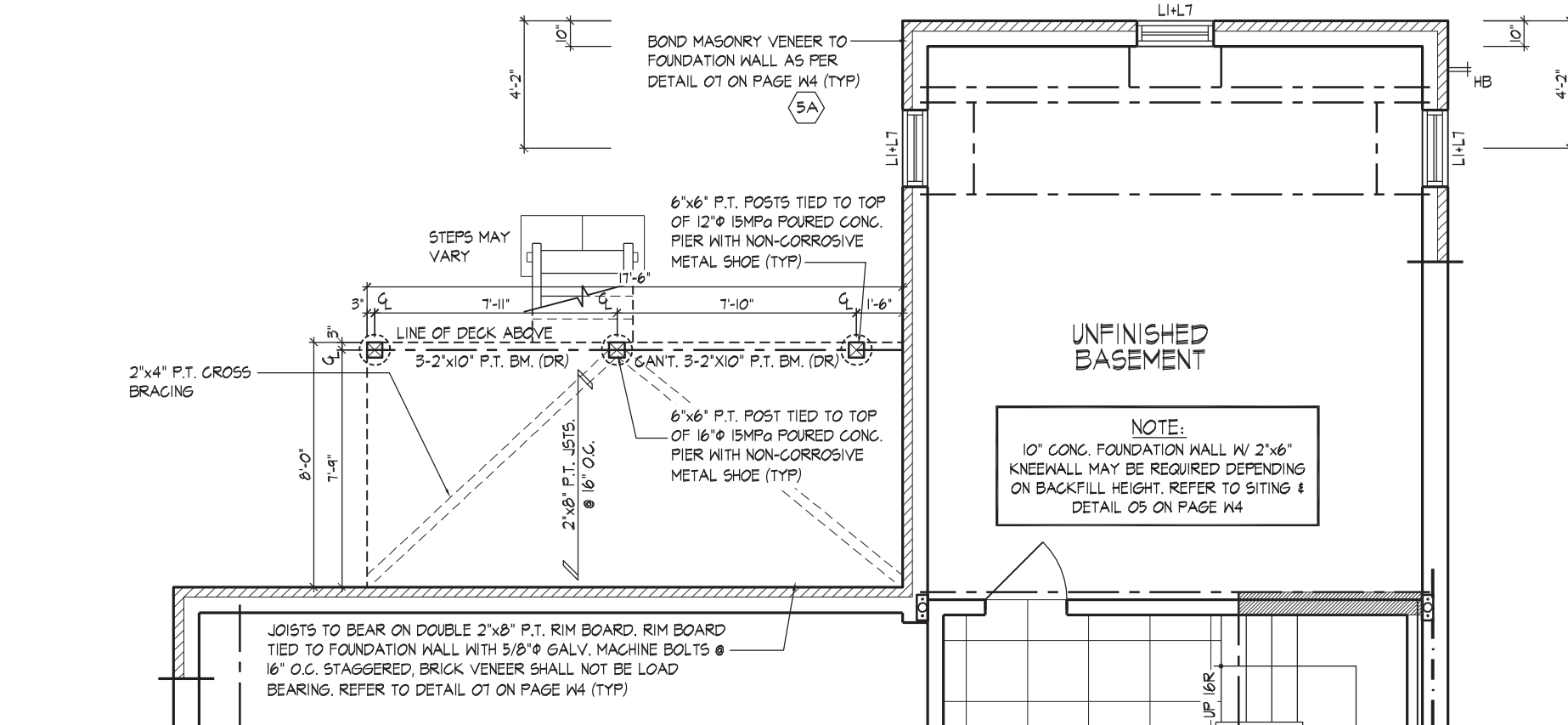
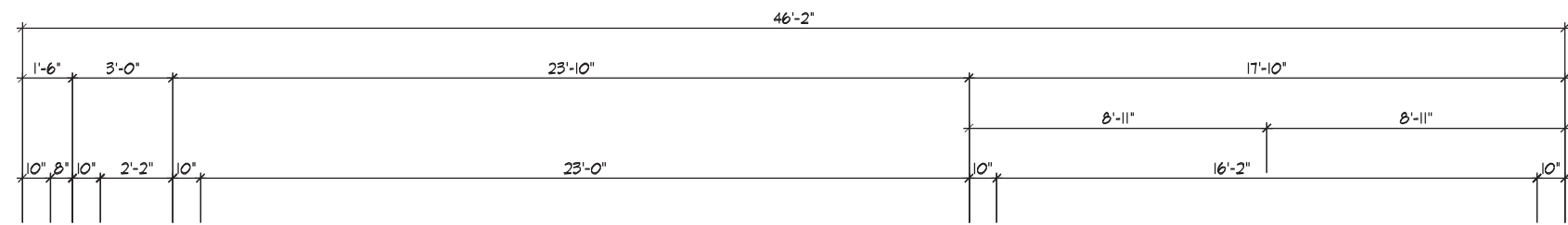
WALK OUT DECK CONDITION
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

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PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - W.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.D. COND.

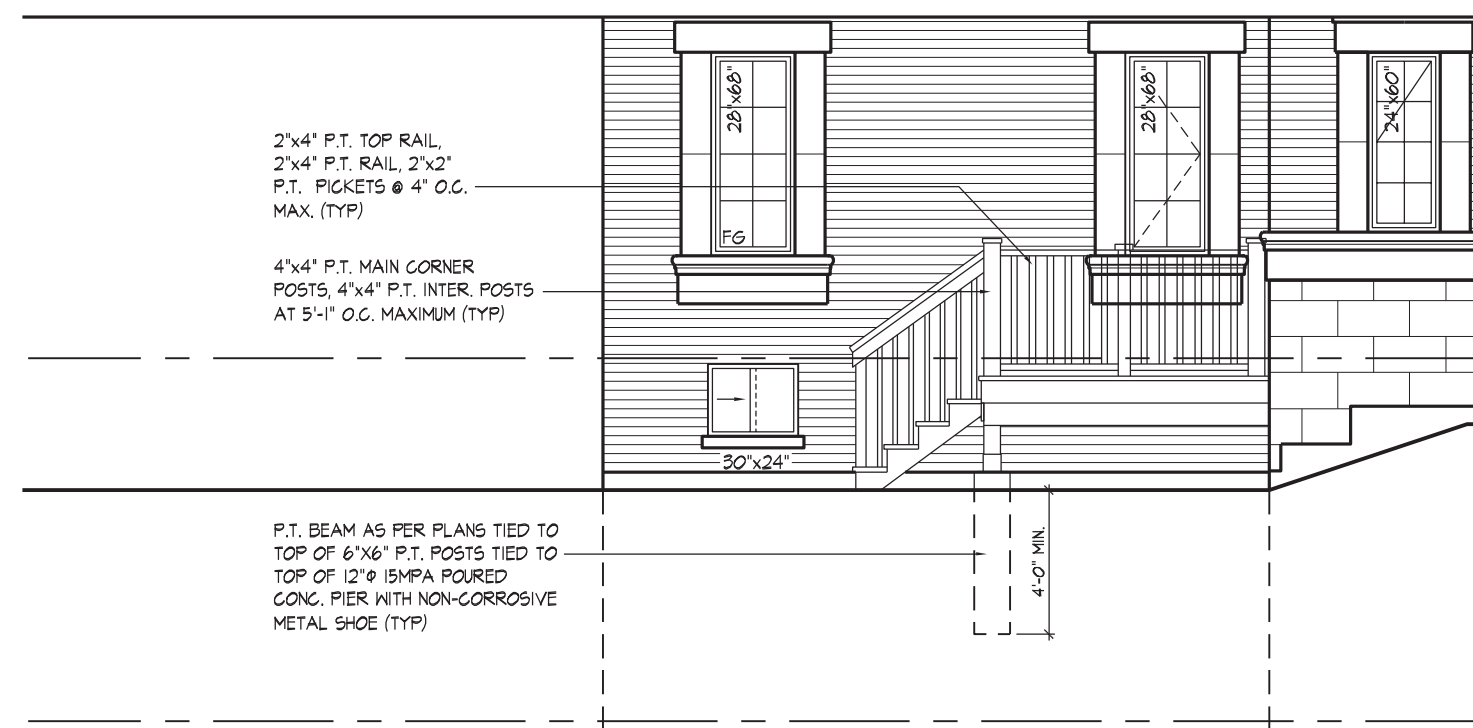
NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A' CORNER - W.O.D. CONDITION

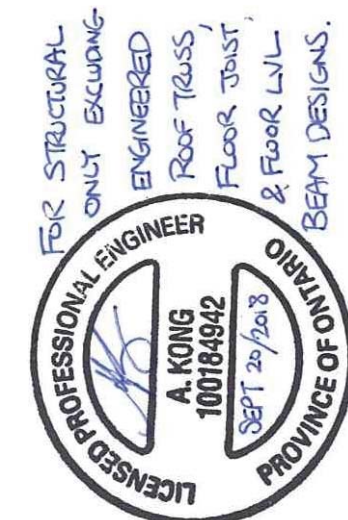
REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

P.T. BEAM AS PER PLANS TIED TO TOP OF 6"x6" P.T. POST TIED TO TOP OF 16"Ø 15MPa POURED CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)



PART. LEFT SIDE ELEV. 'A' CORNER - W.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: SEP 20, 2018
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QUALIFICATION INFORMATION
Orin Fairbairn 20201
NAME
HUNT DESIGN ASSOCIATES INC.
REGISTRATION INFORMATION
SIGNATURE
BCIN
19695

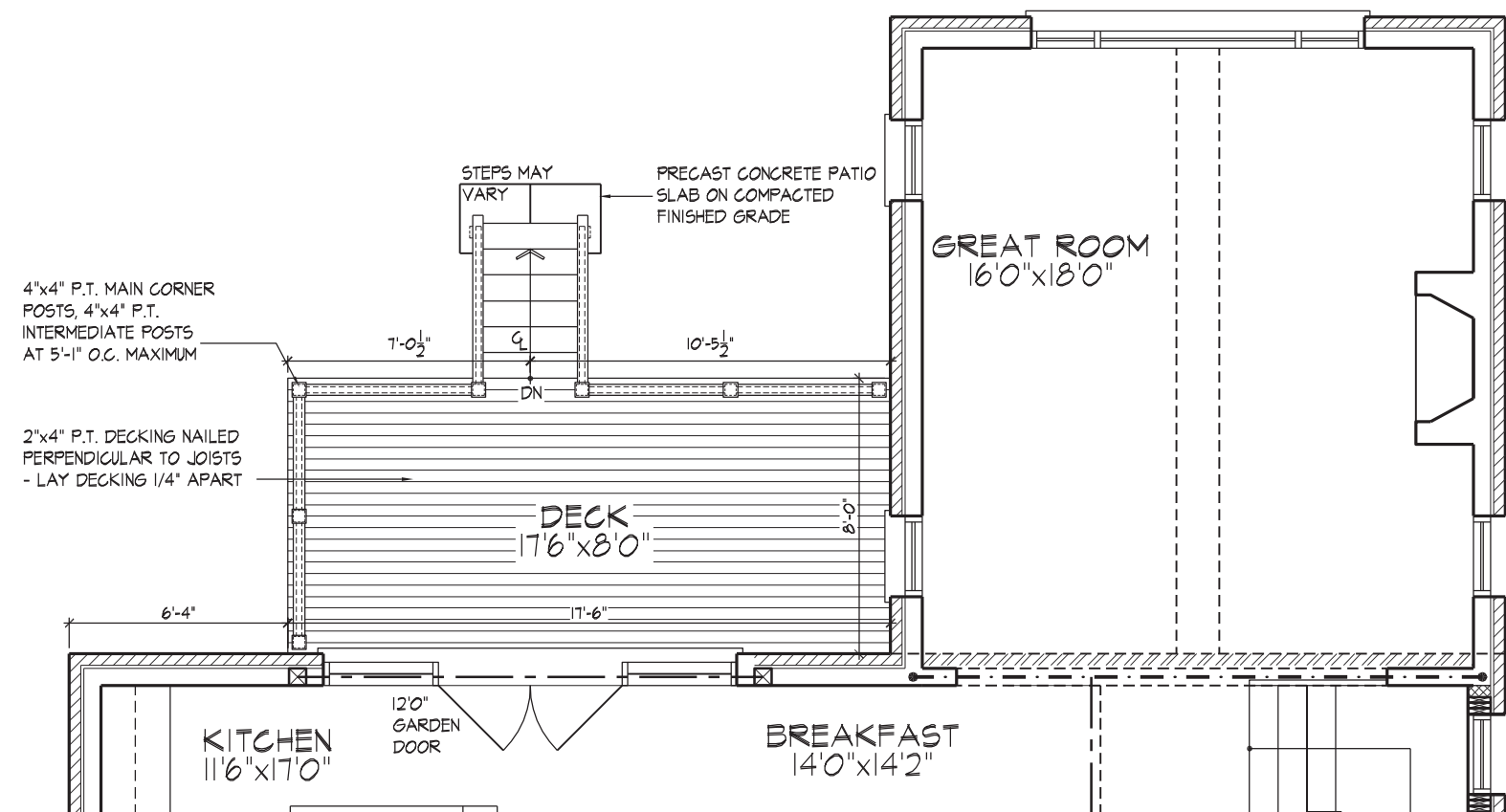
HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Drawn By OF
Scale 3/16"=1'-0"
Checked By OF
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

WALK OUT DECK CONDITION
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18
File Number 217020WS5004
Page Number W1A of W5

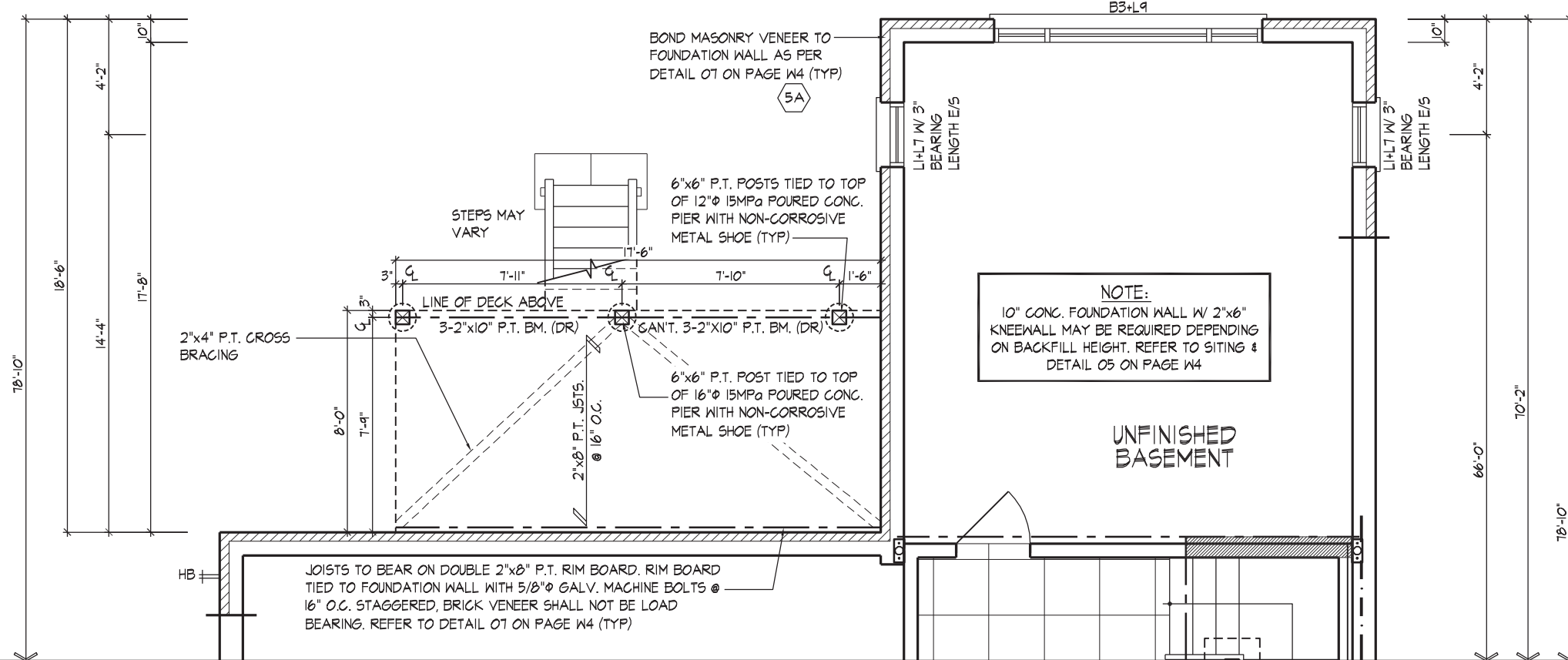
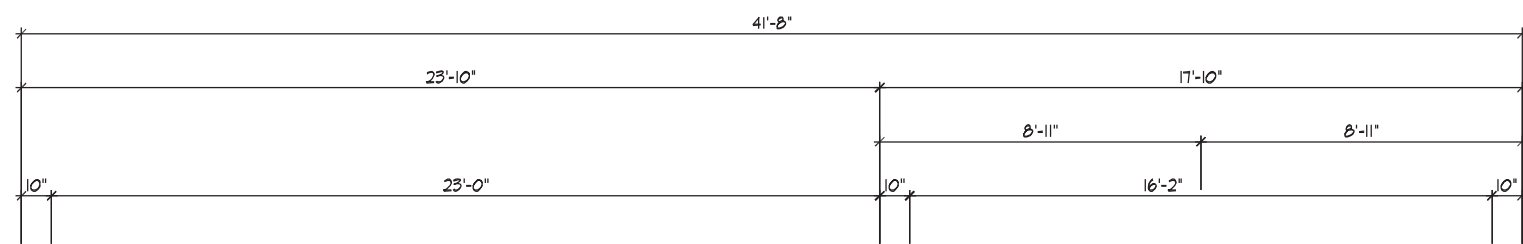
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CHAREBARN | THU SEP 2018 01:38 PM | K:\PROJECTS\2017\217020\GOLDPARK HOMES\5004\BEAUMONT.DWG



PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



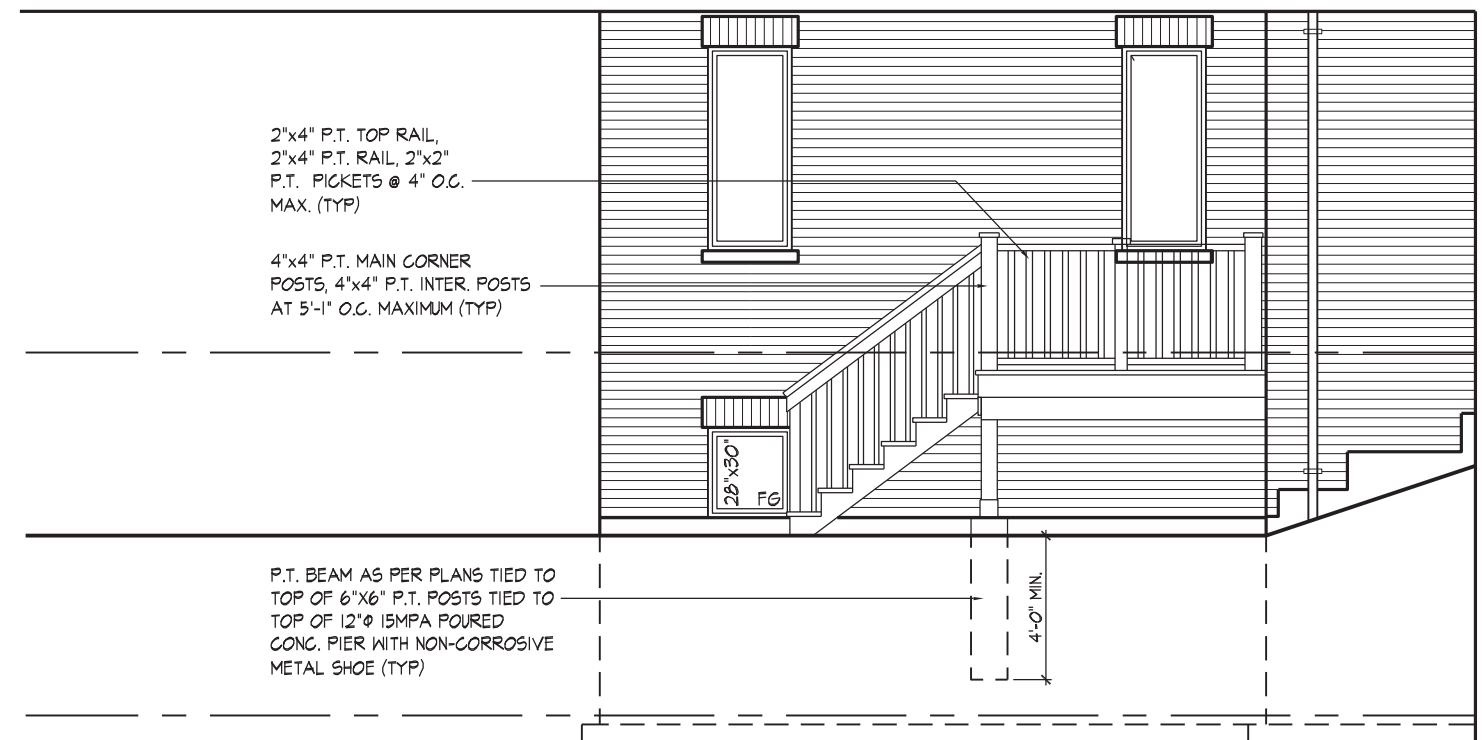
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



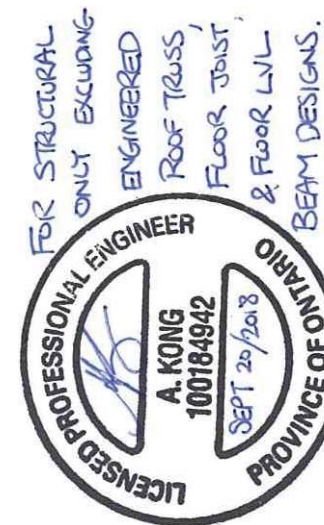
PART. REAR ELEVATION 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

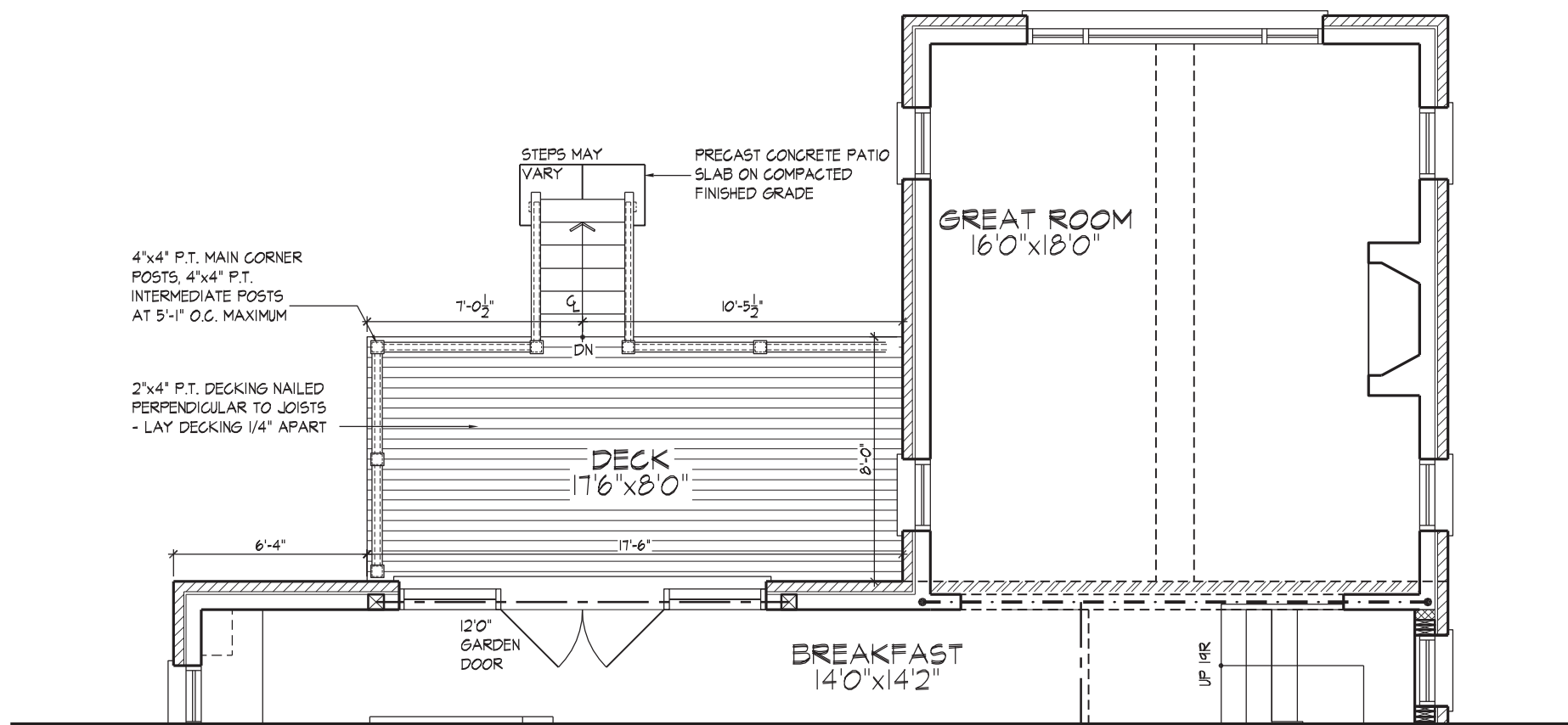
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND EXPERIENCE TO MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE ACT AND THE REGULATIONS THEREUNDER.
QUALIFICATION INFORMATION
Orin Fairbairn 20201
NAME SIGNATURE BCIN
HUNT DESIGN ASSOCIATES INC. 19695
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
www.huntdesign.ca

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
Drawn By OF 20201
Checked By OF 3/16"=1'-0"
Scale
File Number 217020WS5004
Page Number W2 of W5

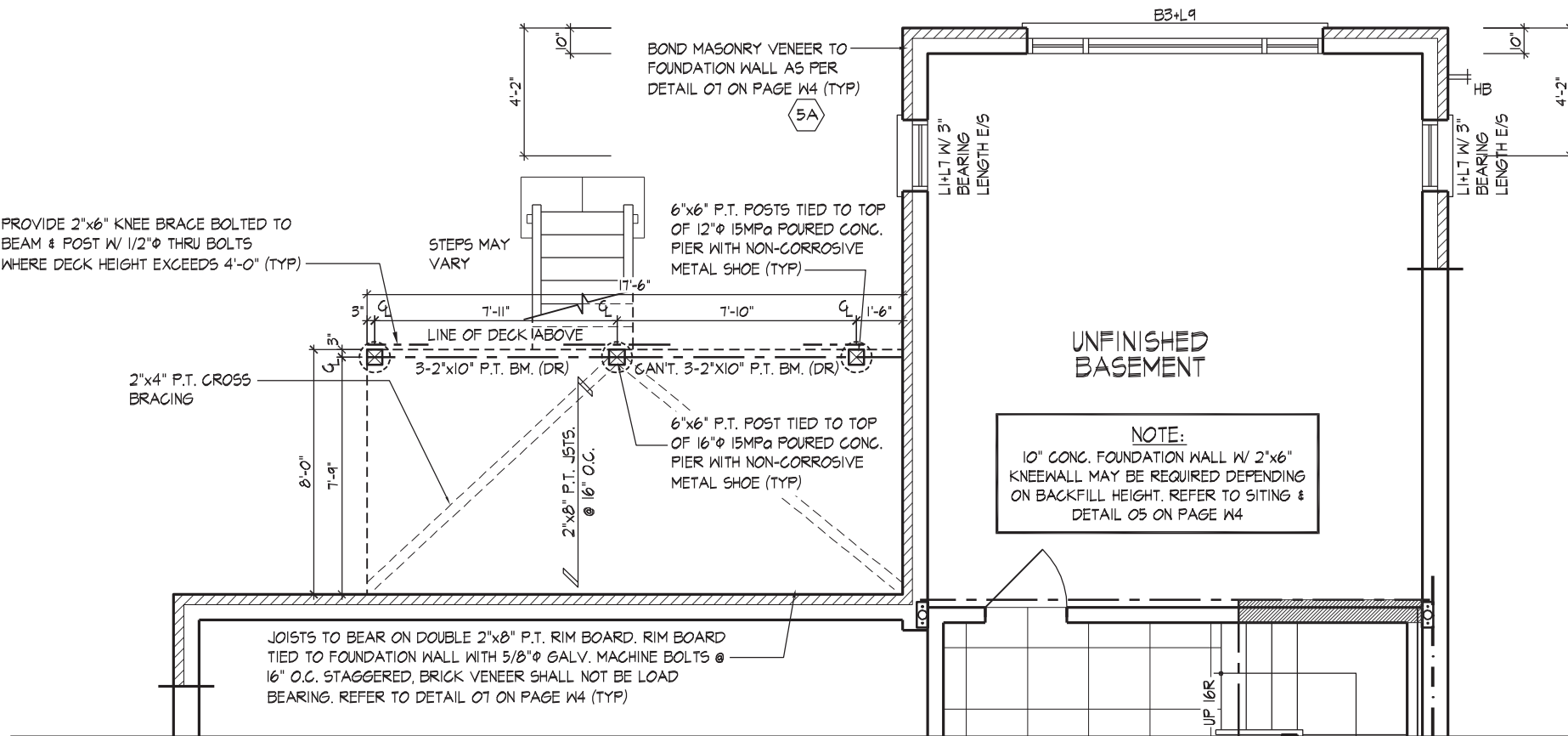
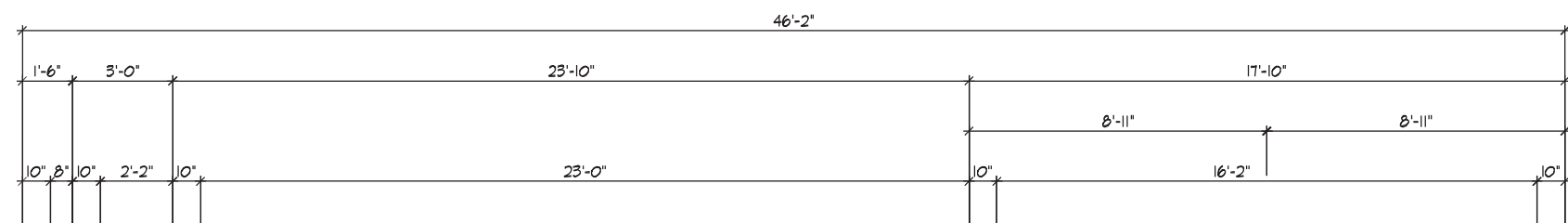
LOOK OUT DECK CONDITION
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

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PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



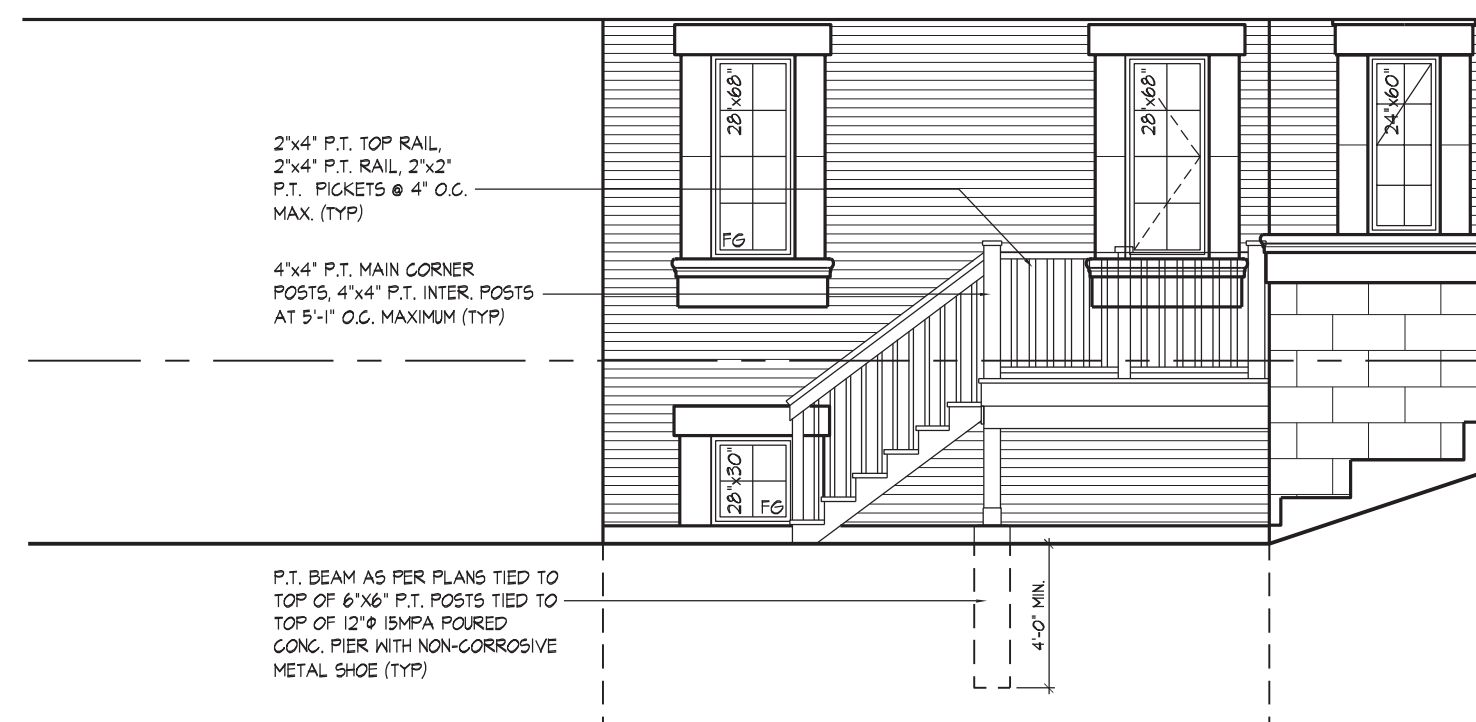
PART. BASEMENT PLAN ELEV. 'A' CORNER - L.O.D. COND.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION



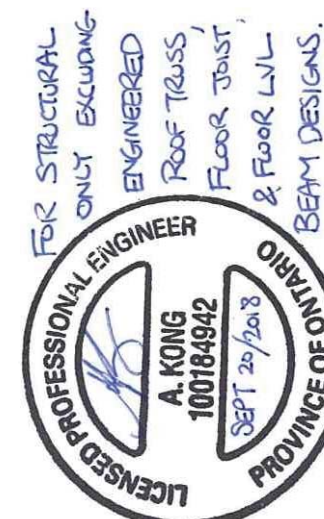
PART. REAR ELEVATION 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A' CORNER - L.O.D. CONDITION

REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE (OBC) AND THE OBC QUALIFICATION INFORMATION

Orin Fairbairn 20201

NAME: Orin Fairbairn
REGISTRATION INFORMATION: BCN
HUNT DESIGN ASSOCIATES INC. 19695

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www.huntdesign.ca

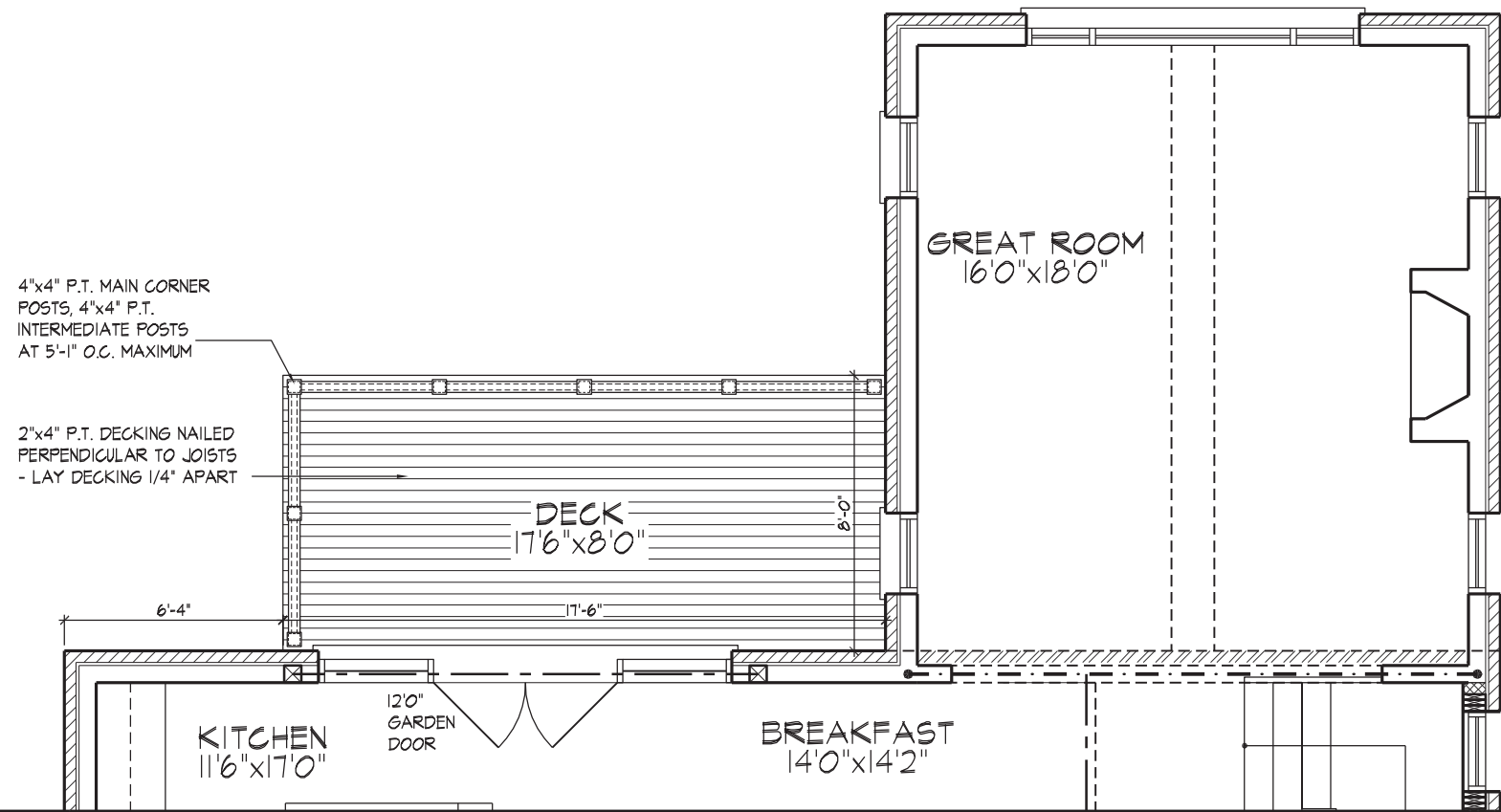
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.

Down By: OF
Checked By: OF
Scale: 3/16"=1'-0"

LOOK OUT DECK CONDITION
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18

File Number: 217020WS5004
Page Number: W2A of W5

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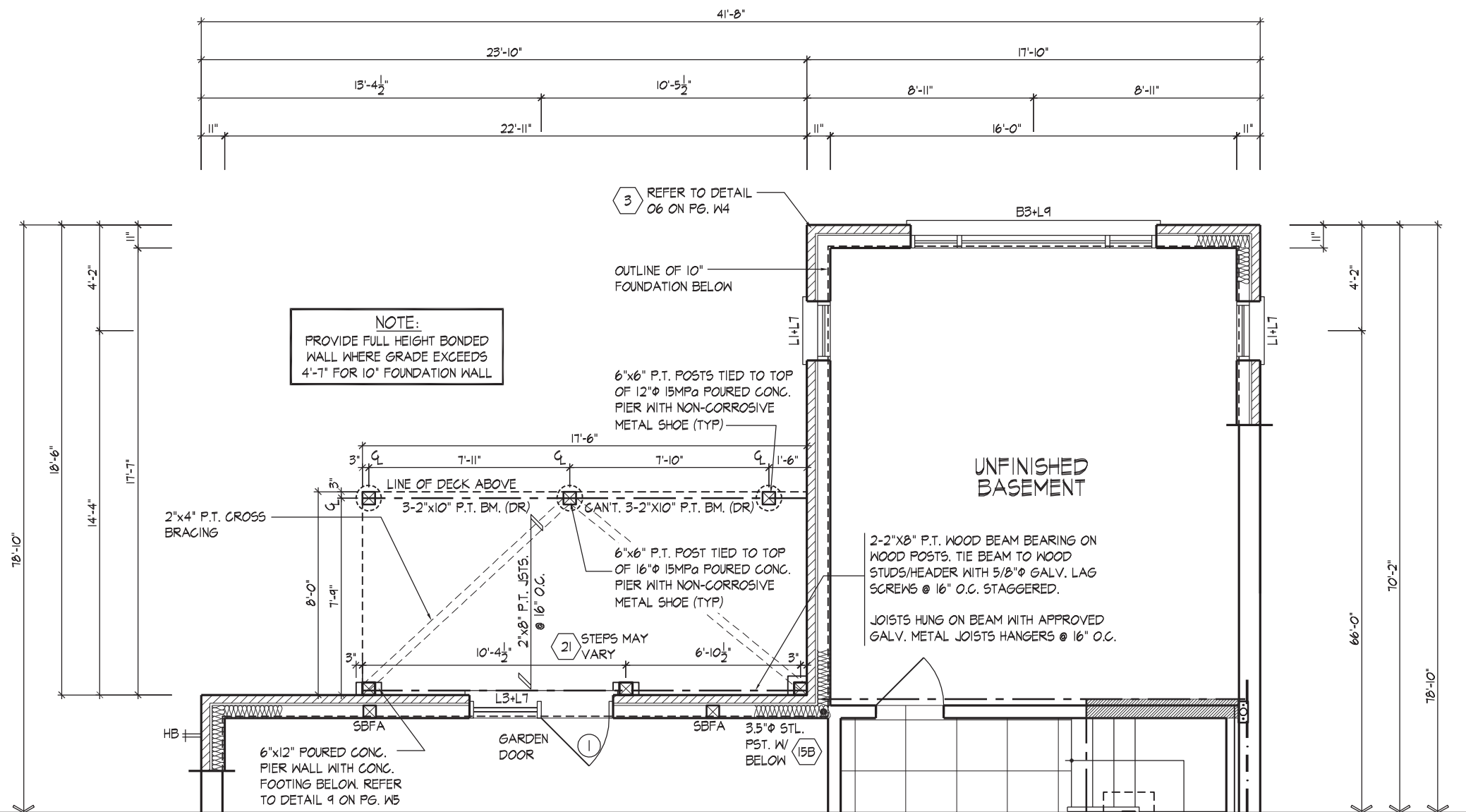
PART. GROUND FLOOR PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



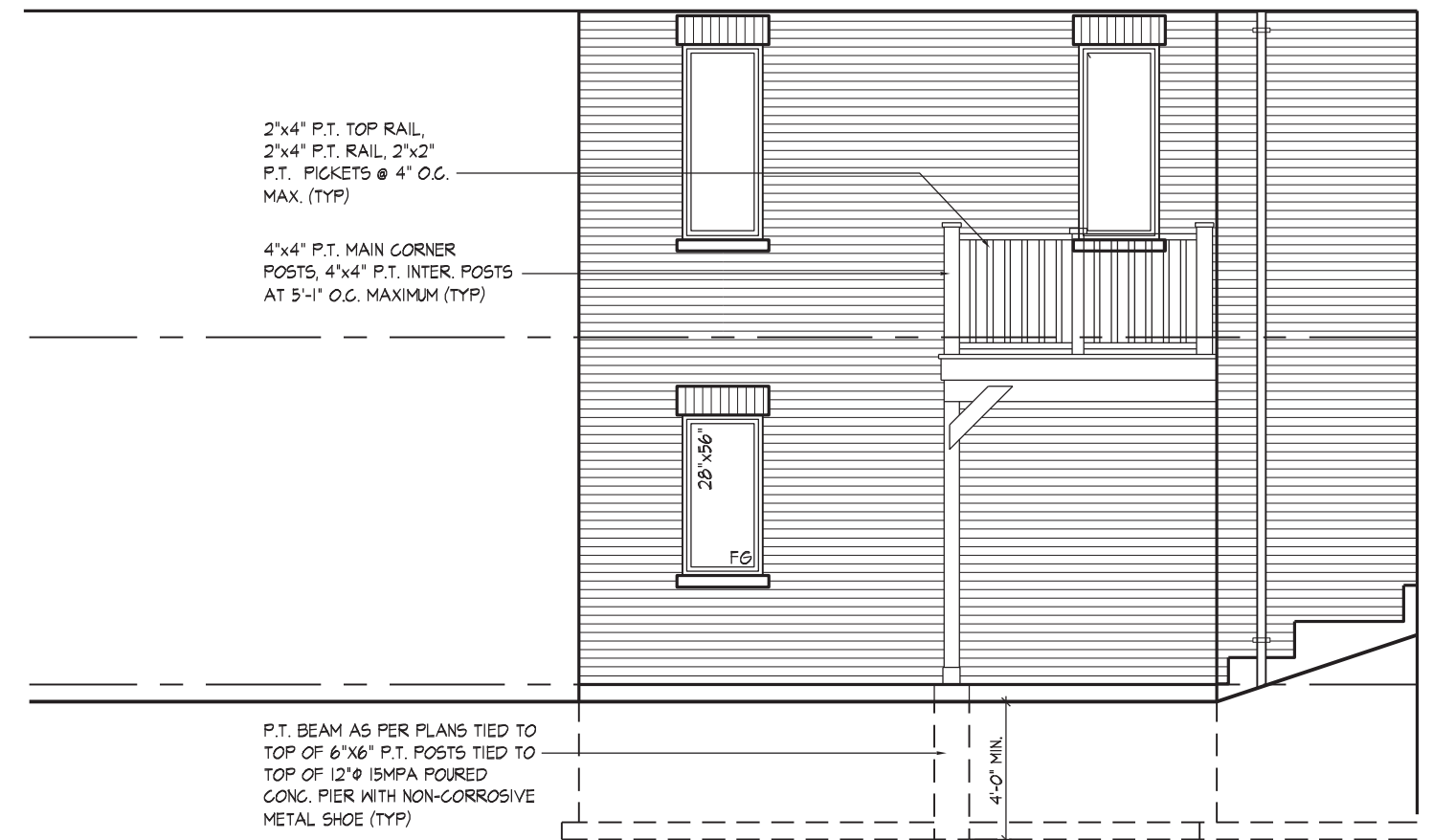
PART. REAR ELEVATION 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



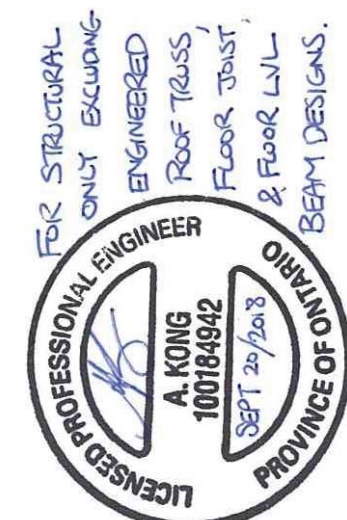
PART. BASEMENT PLAN ELEV. 'A', 'B' & 'C' - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



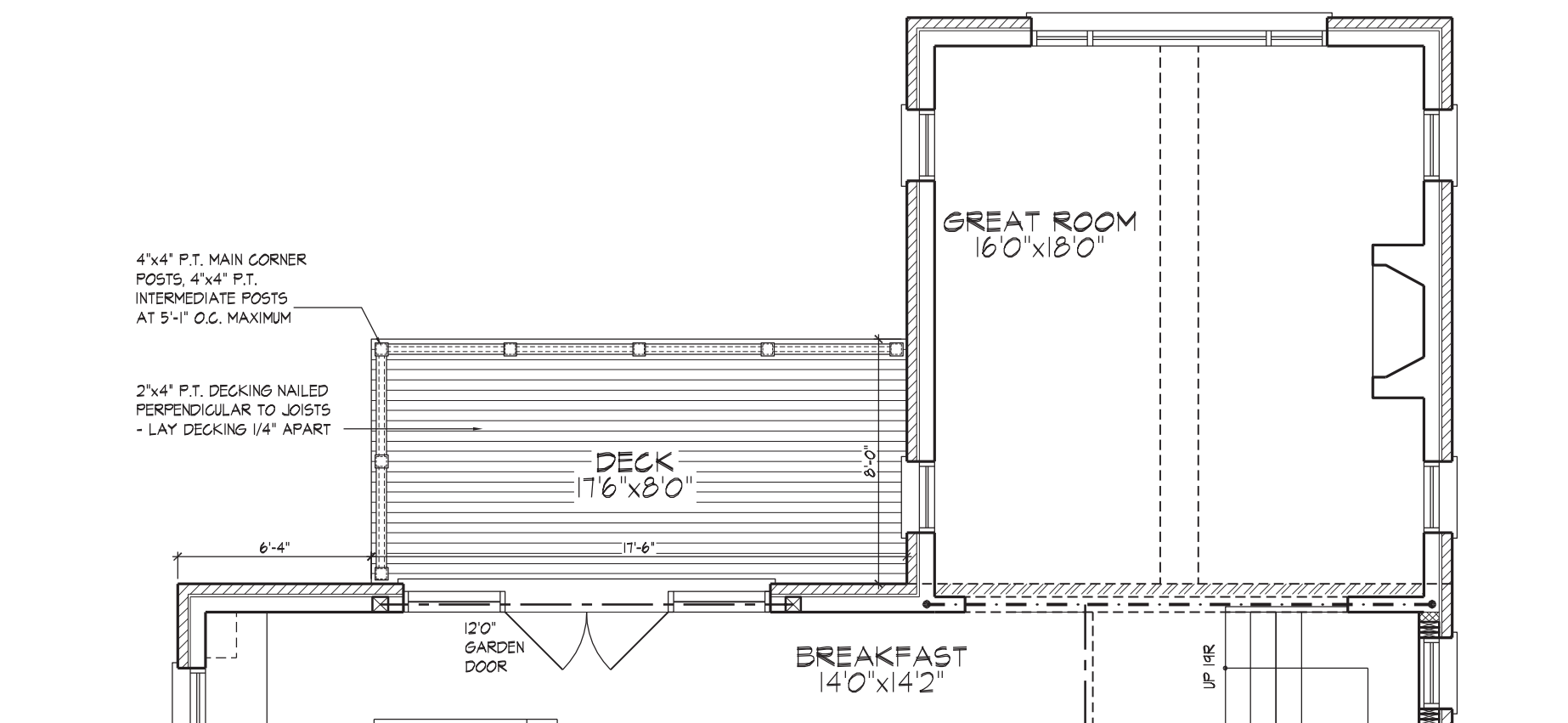
PART. LEFT SIDE ELEV. 'A', 'B' & 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



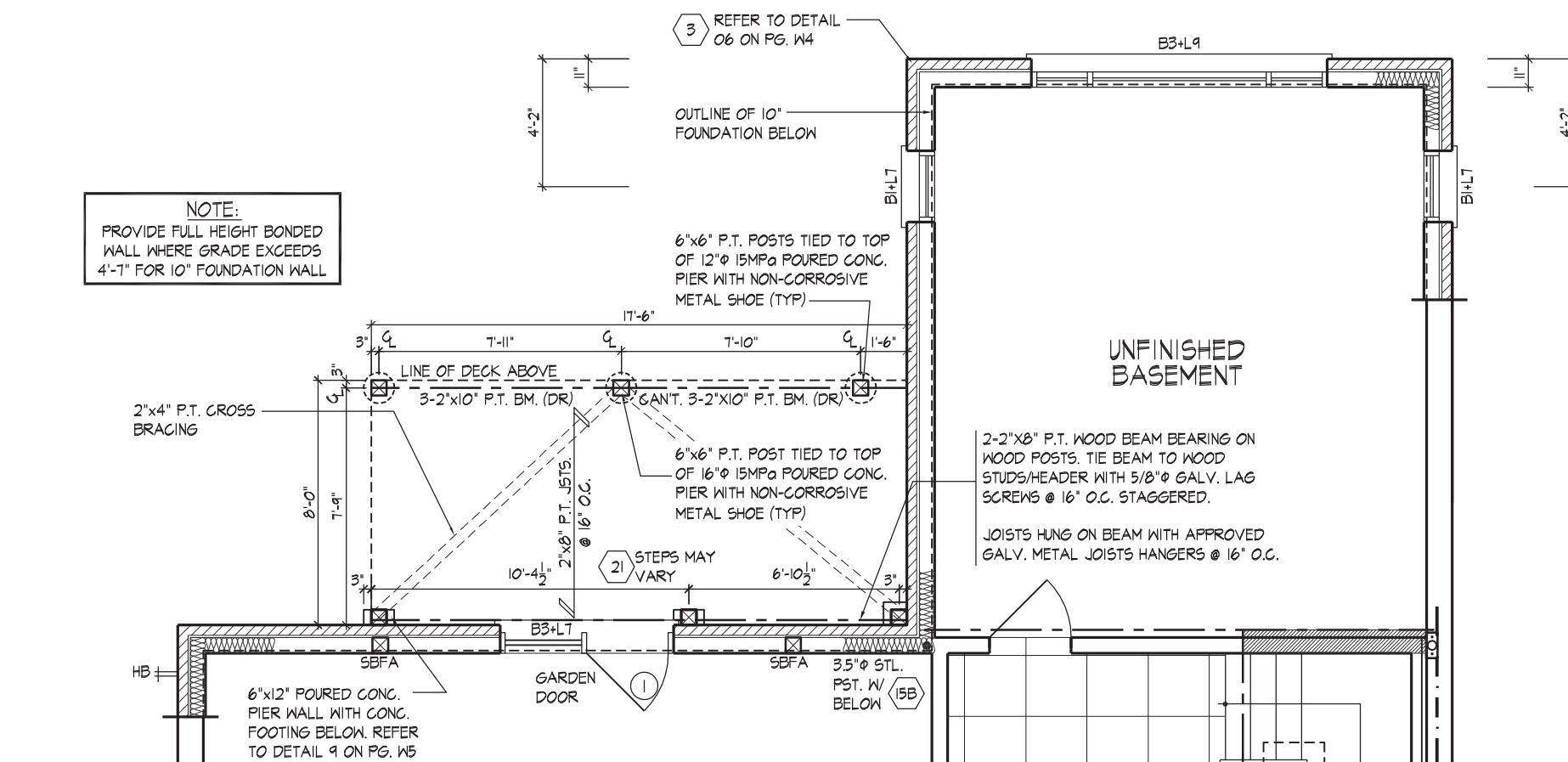
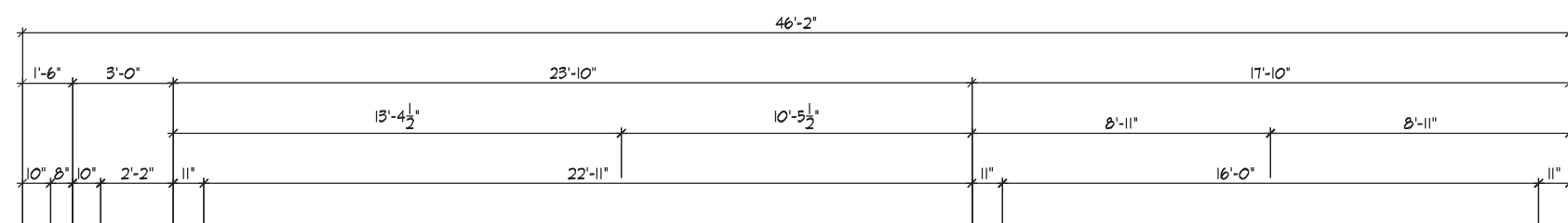
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PART. GROUND FLOOR PLAN ELEV. 'A' CORNER - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



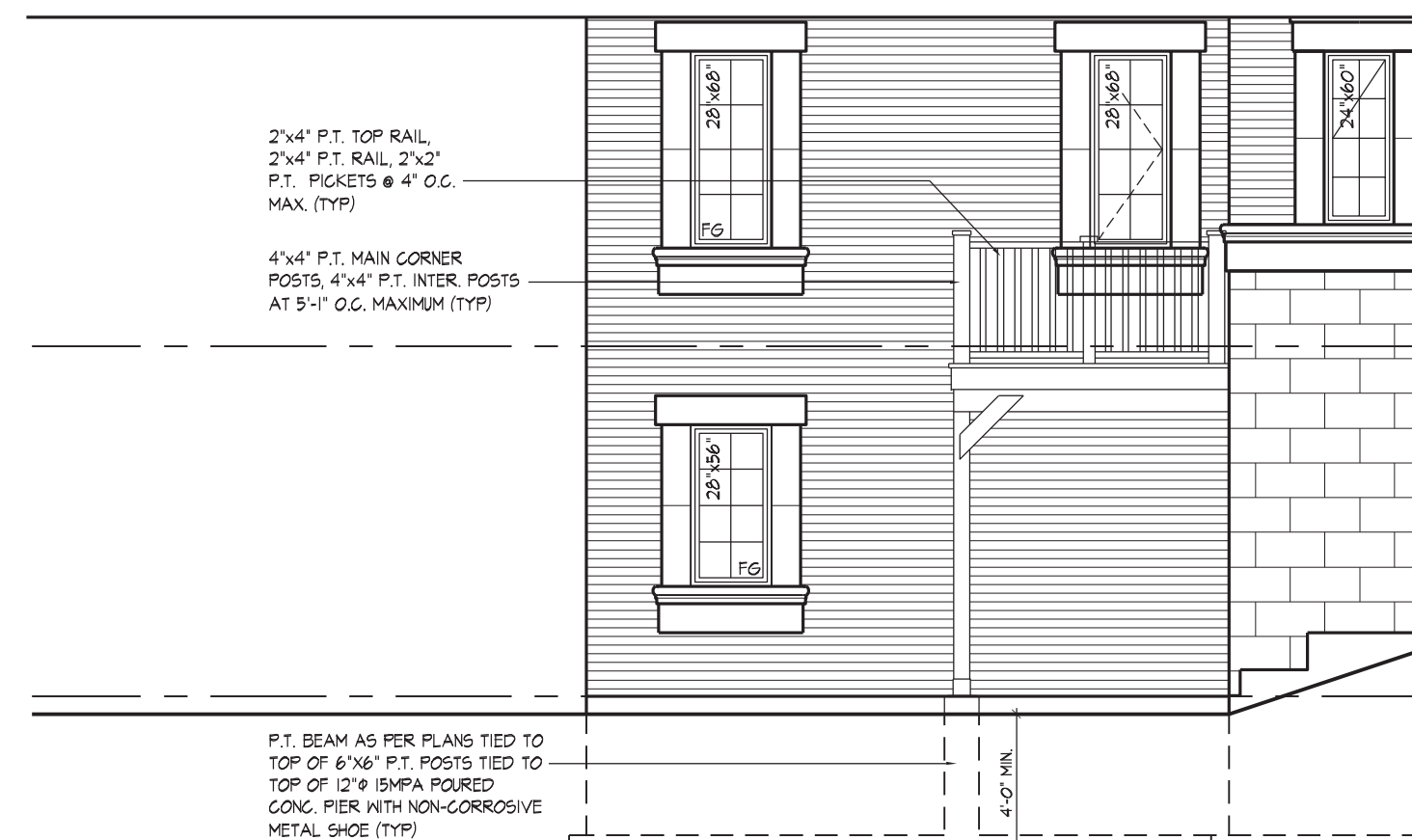
PART. BASEMENT PLAN ELEV. 'A' CORNER - W.O.B. COND.

NOTE:
REFER TO STANDARD FLOOR
PLANS FOR COMPLETE DIMENSIONS
& STRUCTURAL INFORMATION



PART. REAR ELEVATION 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



PART. LEFT SIDE ELEV. 'A' CORNER - W.O.B. CONDITION

REFER TO FRONT ELEVATION & STANDARD
REAR FOR TYPICAL NOTES & INFO.



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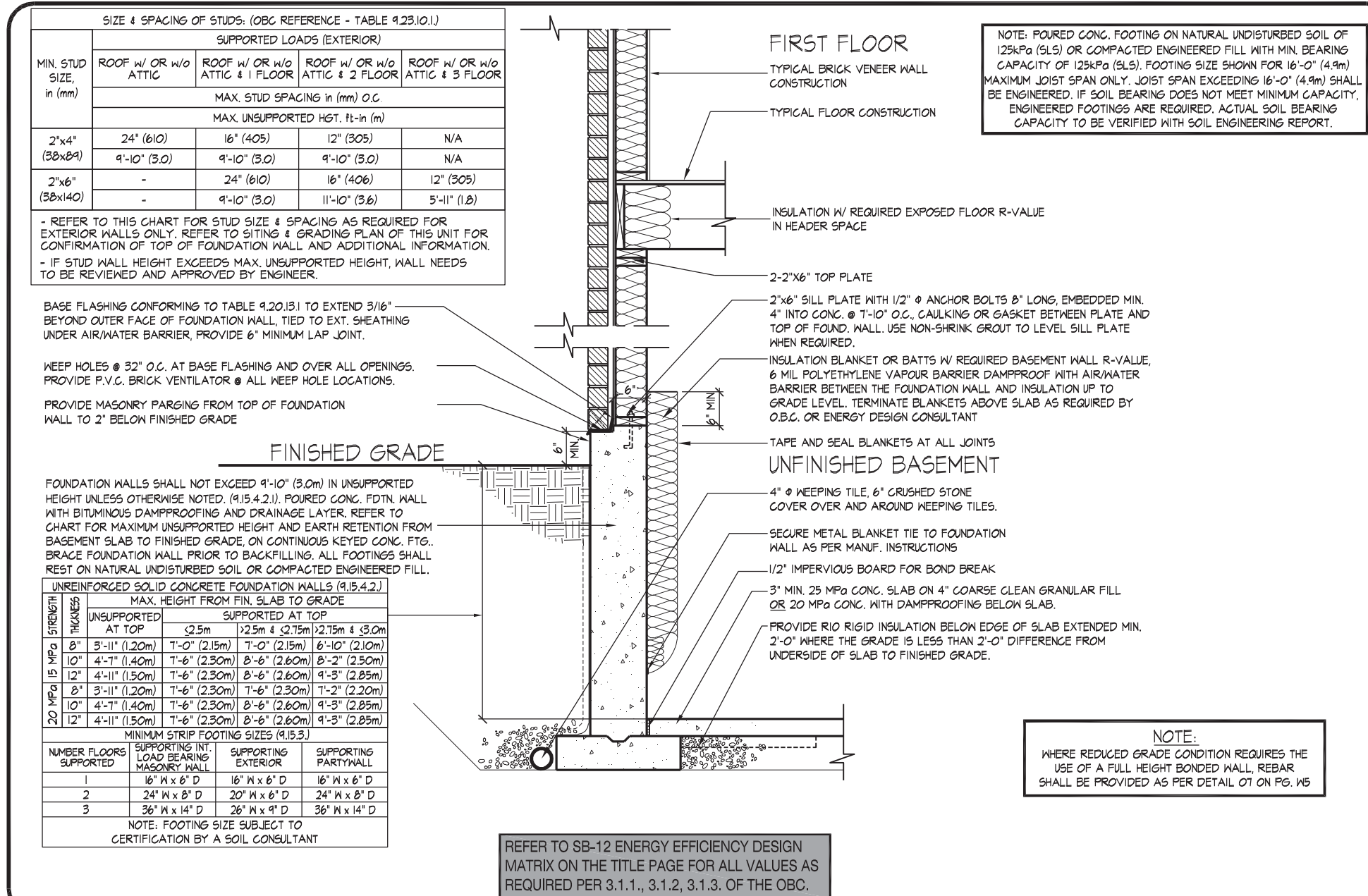
JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: SEP 20, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE. I AM A MEMBER OF THE PROFESSION OF ARCHITECTS.
NAME: Olin Fairbairn
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

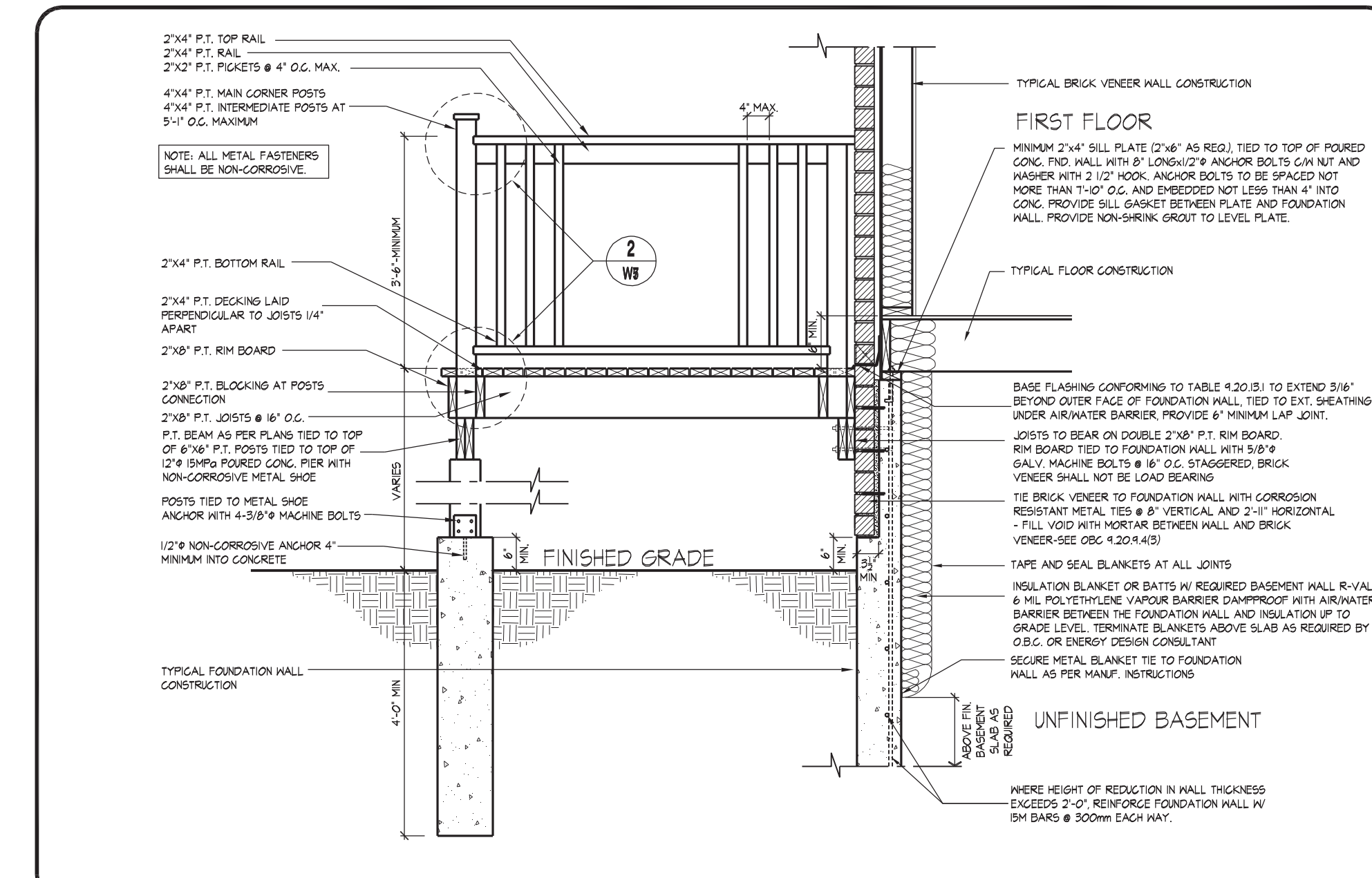
HUNT DESIGN ASSOCIATES INC.
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WALK OUT BASEMENT CONDITION
GOLDPARK HOMES - 217020
PINE VALLEY, VAUGHAN ONT.
UNIT 5004 - THE BEAUMONT
REV. 2018/09/18
Drawn By: OF
Checked By: OF
Scale: 3/16"=1'-0"
File Number: 217020WS5004
Page Number: W3A of W5
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326

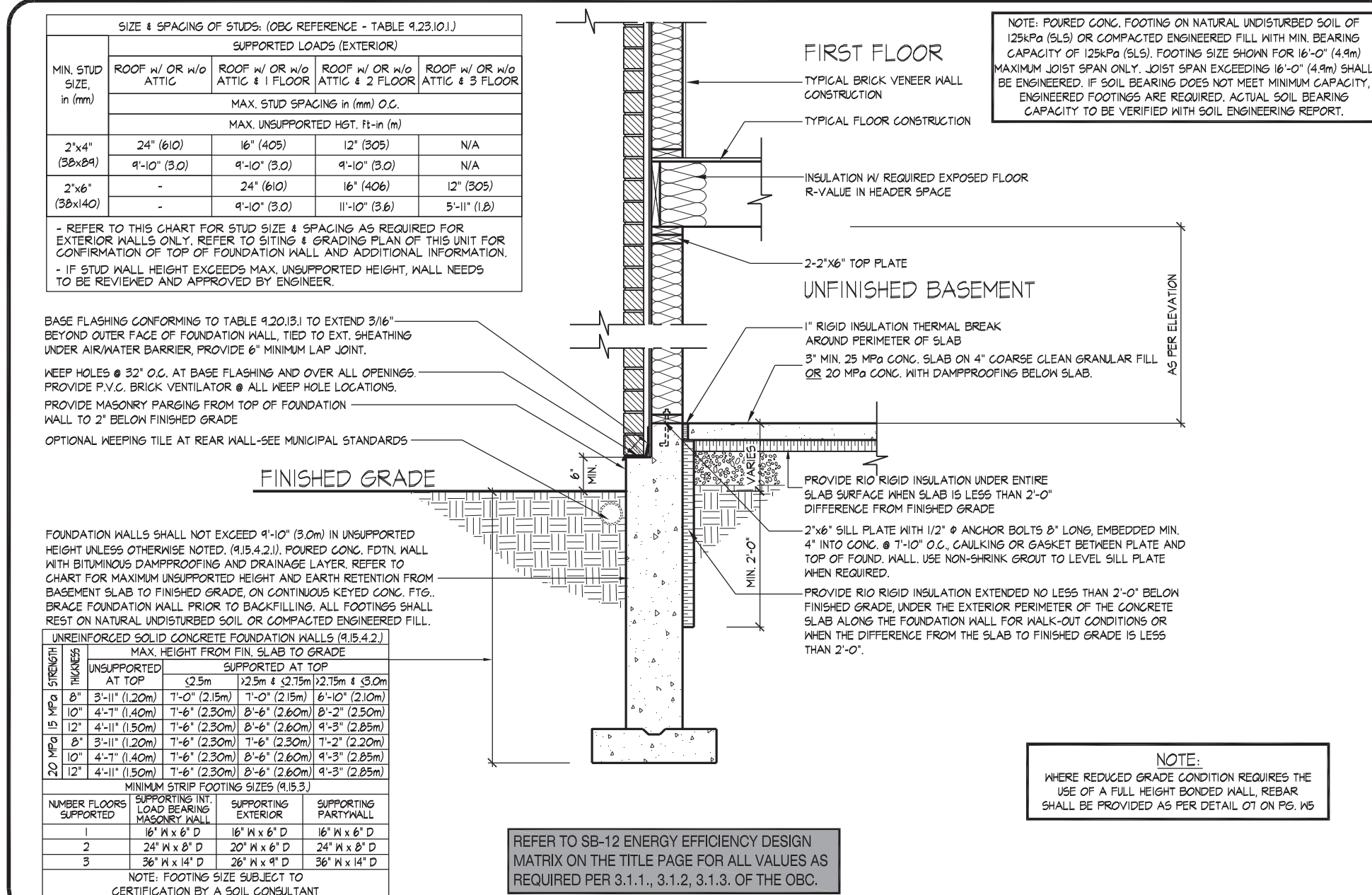
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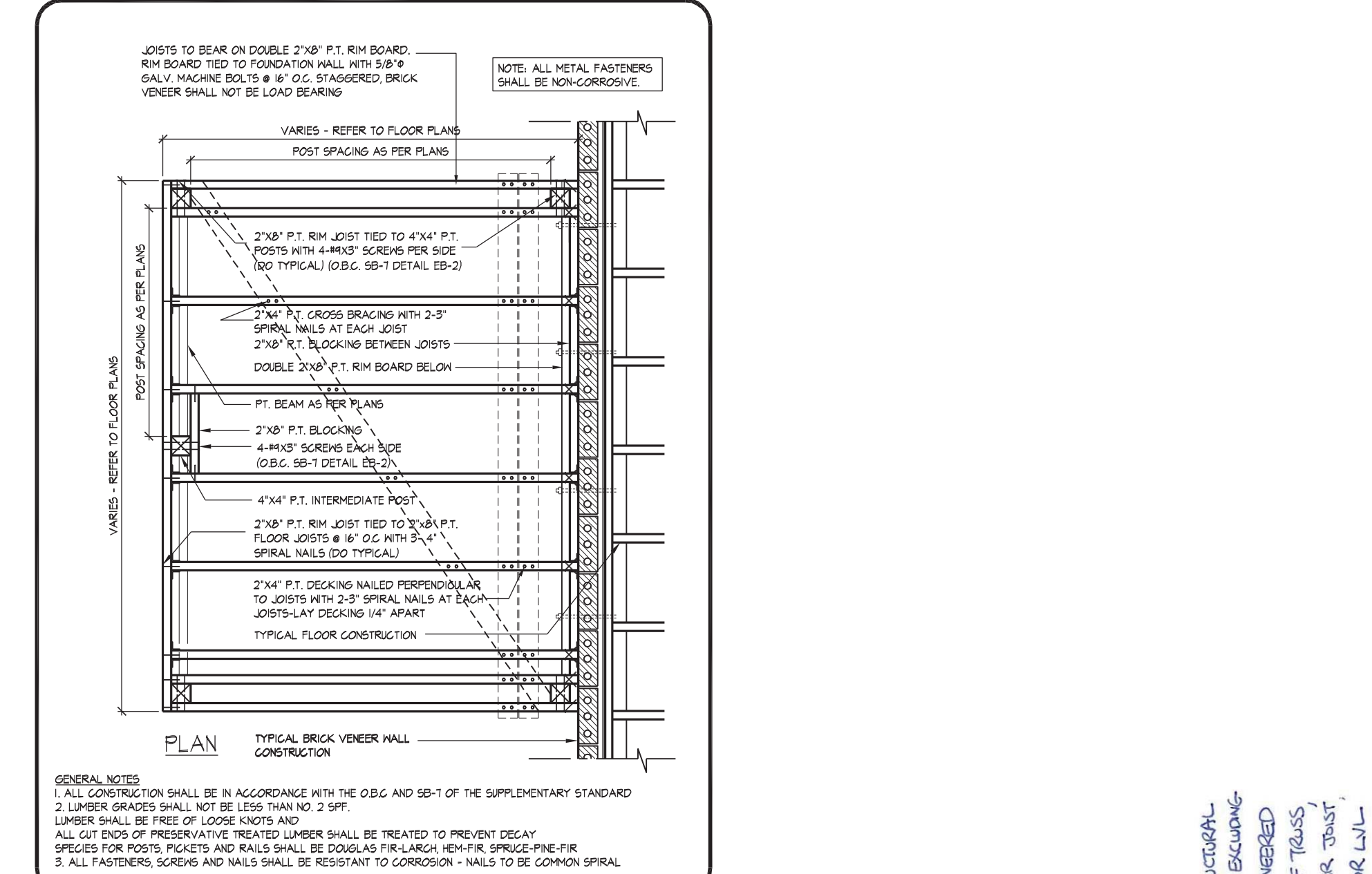
05 MASONRY VENEER, 2"x6" STUDS, 10' FOUNDATION WALL Laterally UNSUPPORTED
1/2" = 1'-0"



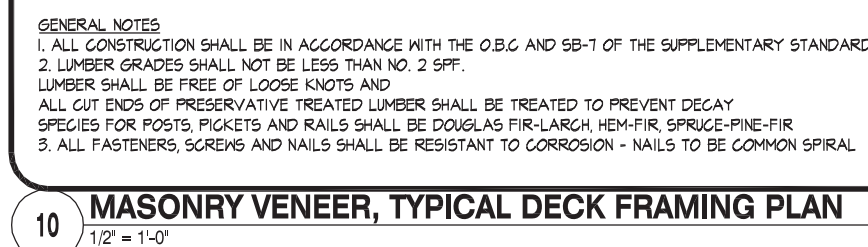
07 MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY
1/2" = 1'-0"



06 MASONRY VENEER, 2"x6" STUDS, SLAB ON GRADE / WALK OUT BASEMENT CONDITION
1/2" = 1'-0"



08 TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER
1/2" = 1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND KNOWLEDGE OF THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 Orin Fairbairn 202
 NAME SIGNATURE
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19

REGISTRATION INFORMATION	202021	HUNT	FINE VALLEY, VACATION RENT.	REV. 2019/05/10
NAME	BRUNATI	OWNER	HDAL	File Number
REGISTRATION INFORMATION	19695	DESIGN ASSOCIATES INC.	3/16"=1'-0"	217020WS5004
HUNT DESIGN ASSOCIATES INC.		www.huntdesign.ca	5966 Woodbine Ave, Markham, ON L3R 0J7	W5 of W5
			T 905.737.5133 F 905.737.7326	