



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PART. GROUND FLOOR PLAN ELEV. 'B'
- A5 OPT. 5 BEDRM. SECOND FLOOR PLAN ELEV. 'A'
- A6 PART. SEC. FLR. PLAN W/ TWIN BATH/OPT. SHOWER EL.'A'
- A7 PART. SEC. FLR. PLAN W/ TWIN BATH/OPT. SHOWER EL.'B'
- A8 PART. OPT. ENSUITE PLAN EL. 'A' & 'B'
- A9 PART. OPT. 5 BEDRM. SECOND FLOOR PLAN ELEV. 'B'
- A10 FRONT ELEVATION 'A'
- A11 RIGHT SIDE ELEVATION 'A'
- A12 REAR ELEVATION 'A' & 'B'
- A13 LEFT SIDE ELEVATION 'A'
- A14 FRONT ELEVATION 'B'
- A15 RIGHT SIDE ELEVATION 'B'
- A16 LEFT SIDE ELEVATION 'B'
- A17 REAR ELEVATION 'A' & 'B' OPT. 5 BEDROOM COND.
- A18 PARTIAL GROUND FLOOR WOD/LOB/WOB CONDITION
- A19 PARTIAL BASEMENT FLOOR WOD CONDITION
- A20 PARTIAL BASEMENT FLOOR LOB CONDITION
- A21 PARTIAL BASEMENT FLOOR WOB CONDITION
- A22 PARTIAL REAR ELEVATION 'A' & 'B' LOB CONDITION
- A23 PARTIAL REAR ELEVATION 'A' & 'B' WOB CONDITION
- A24 PARTIAL REAR ELEVATION 'A' & 'B' WOD CONDITION
- A25 TYPICAL CROSS SECTION
- A26 UPGRADED REAR ELEVATION 'B' WOB CONDITION
- A27 UPGRADED REAR ELEVATION 'A' WOB CONDITION
- A28 BASEMENT FLOOR PLAN ELEV. 'A' & 'B'(OPT. 2)
- A29 GROUND FLOOR PLAN ELEV. 'A'(OPT. 2)
- A30 UPGRADED REAR ELEVATION 'B' WOD CONDITION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

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Areas:

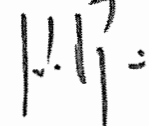
	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1320.0	122.6	1320.0	122.6
SECOND FLOOR PLAN	1692.5	157.2	1695.0	157.5
SECOND FLOOR PLAN OTB	(119.0)	(11.1)	(119.0)	(11.1)
TOTAL AREA	2893.5	268.8	2896.0	269.0
COVERAGE INC PORCH	1774.1	164.8	1774.1	164.8
COVERAGE NOT INC PORCH	1705.1	158.4	1705.1	158.4

Gold Park Homes

KLEINBURG GLEN PH-2

File C:_RN_Standards\temp\AcPublish_9464114043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By PaolaM

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 
SIGNATURE: _____

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
11	REVISED AS PER NEW O.B.C STAIR REQ 2017	16-Feb-17	LO	JP	5	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RPA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	8	REVISED PER ENG COMMENTS	XX-XXX-XX	SM	XX
1	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR		ADDED WOB CONDITION FOR REVIEW	26-JULY-16	SM	XX

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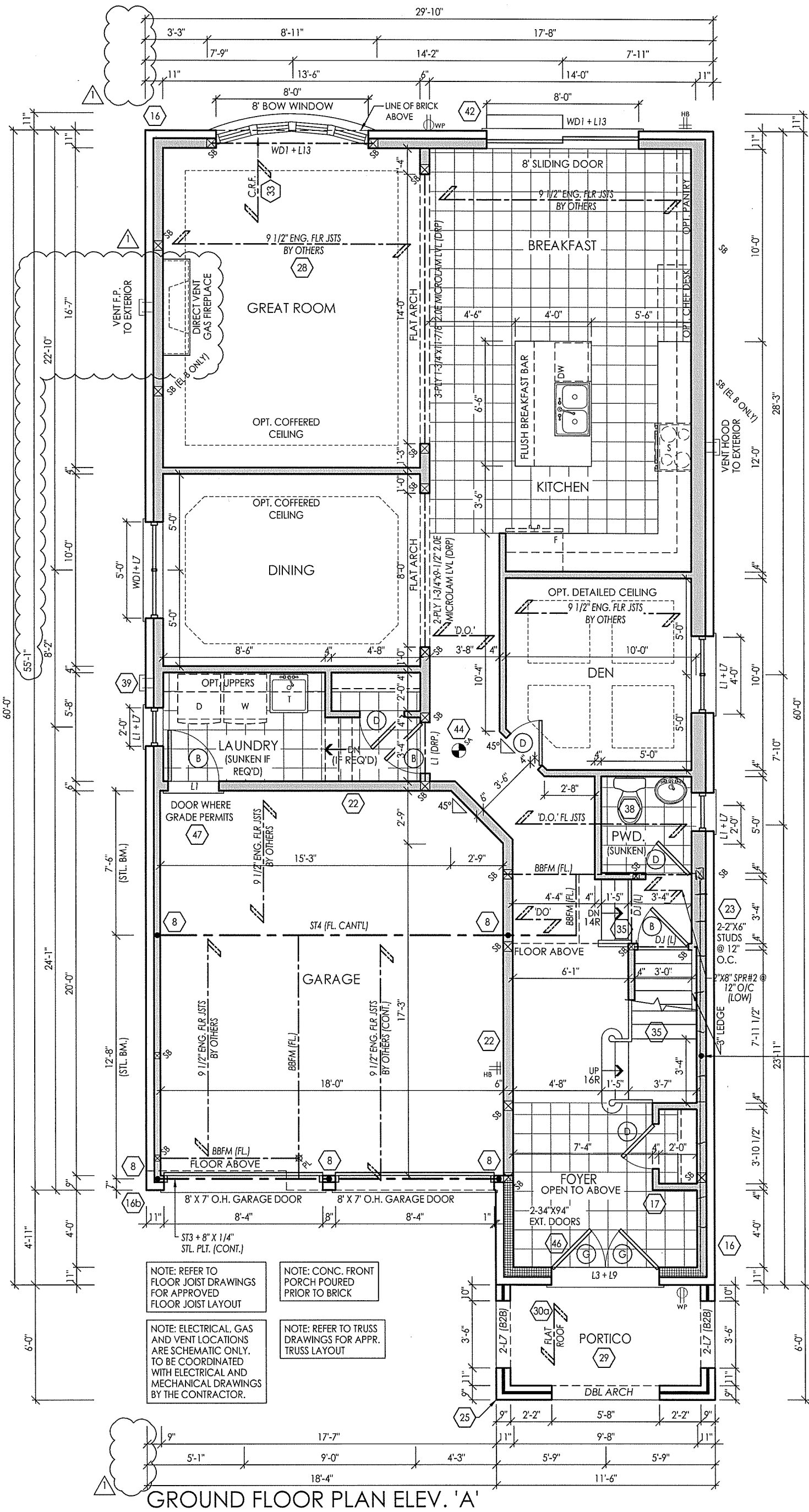


model
38-6

scale
3/16" = 1'0"

project #
14043

page
A0



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



HSS 4-1/2"x4-1/2"x3/16"
(SEE SHEET A3)

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

GROUND FLOOR PLAN ELEV. 'A'

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FIRM BCIN: 26995
DATE: 1.17.17

SIGNATURE:

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	6	REVISED AS PER ENGINEER COMMENTS	24-FEB-16	JP	JP
3	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR	8	REVISED TO ADD EXTRA RISER TO SUNKEN LAUNDRY (IF REQ'D)	10-AUG-16	JP	JP

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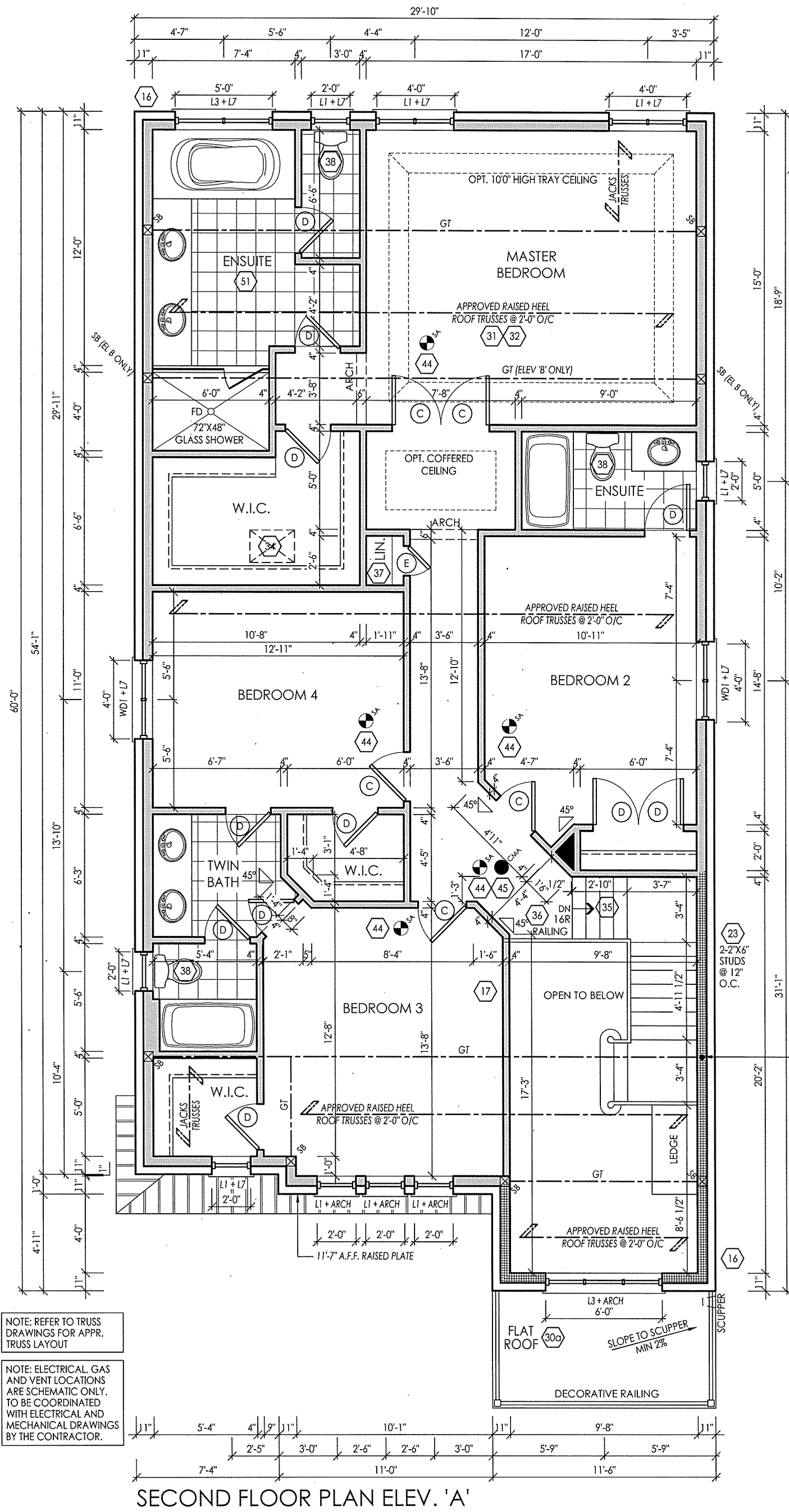
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project #
14043

page

A2



MAR 17 2017
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JOIST & FLOOR LVL BEAM DESIGNS



HSS 4-1/2"x4-1/2"x3/16" W/
SIMPSON ECC OQ COLUMN TOP
WELDED TO 3/8" TOP PLATE W/
10"x5"x1/2" BOTTOM PLATE W/
2-5/8" ANCHOR BOLTS

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John G. Williams Limited, Architect

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Gold Park Homes

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marketing name

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3	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4					8	REVISED O.B.C 2017 STAIR REQ	16-Feb-17	LO	JP

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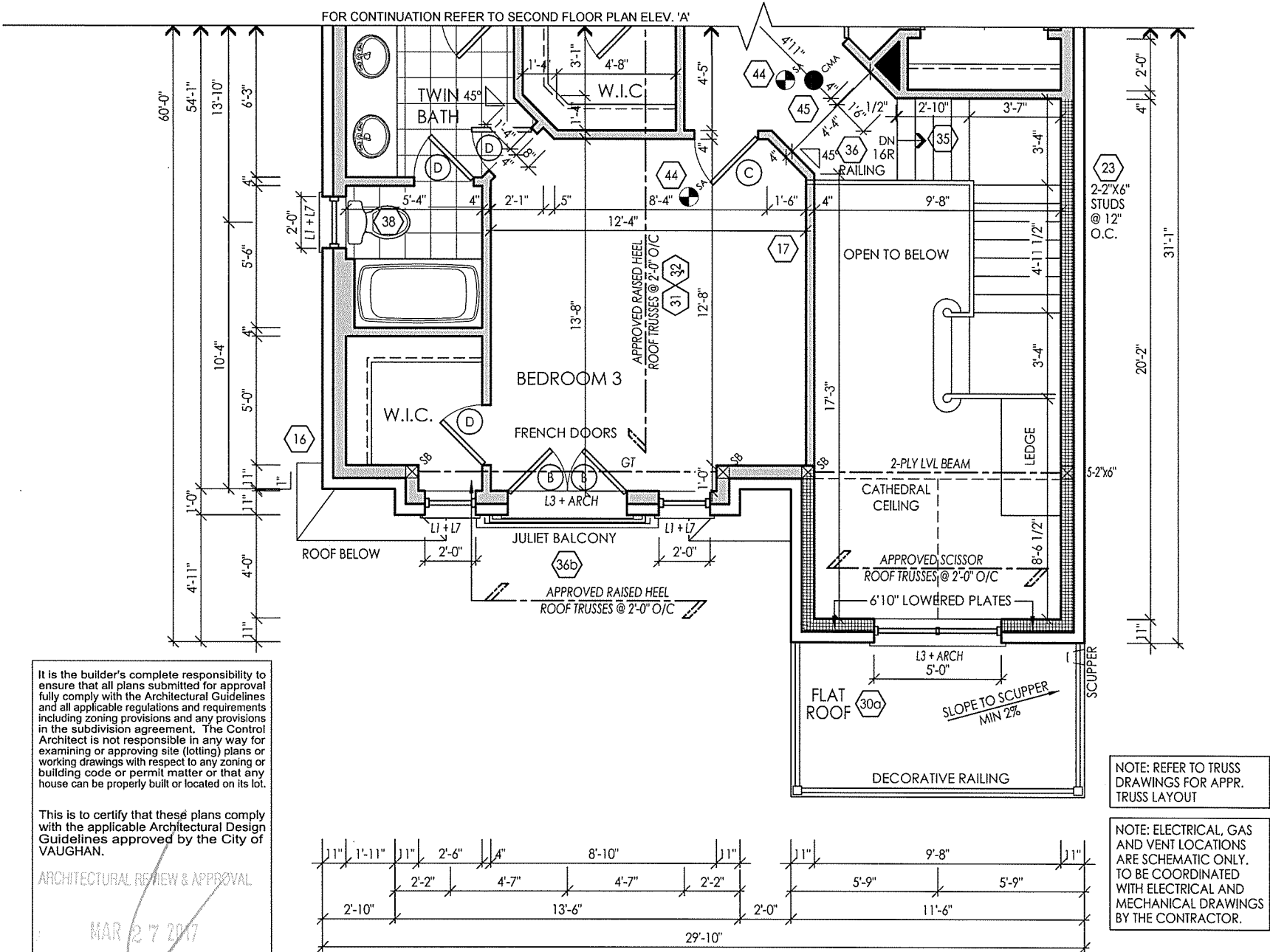
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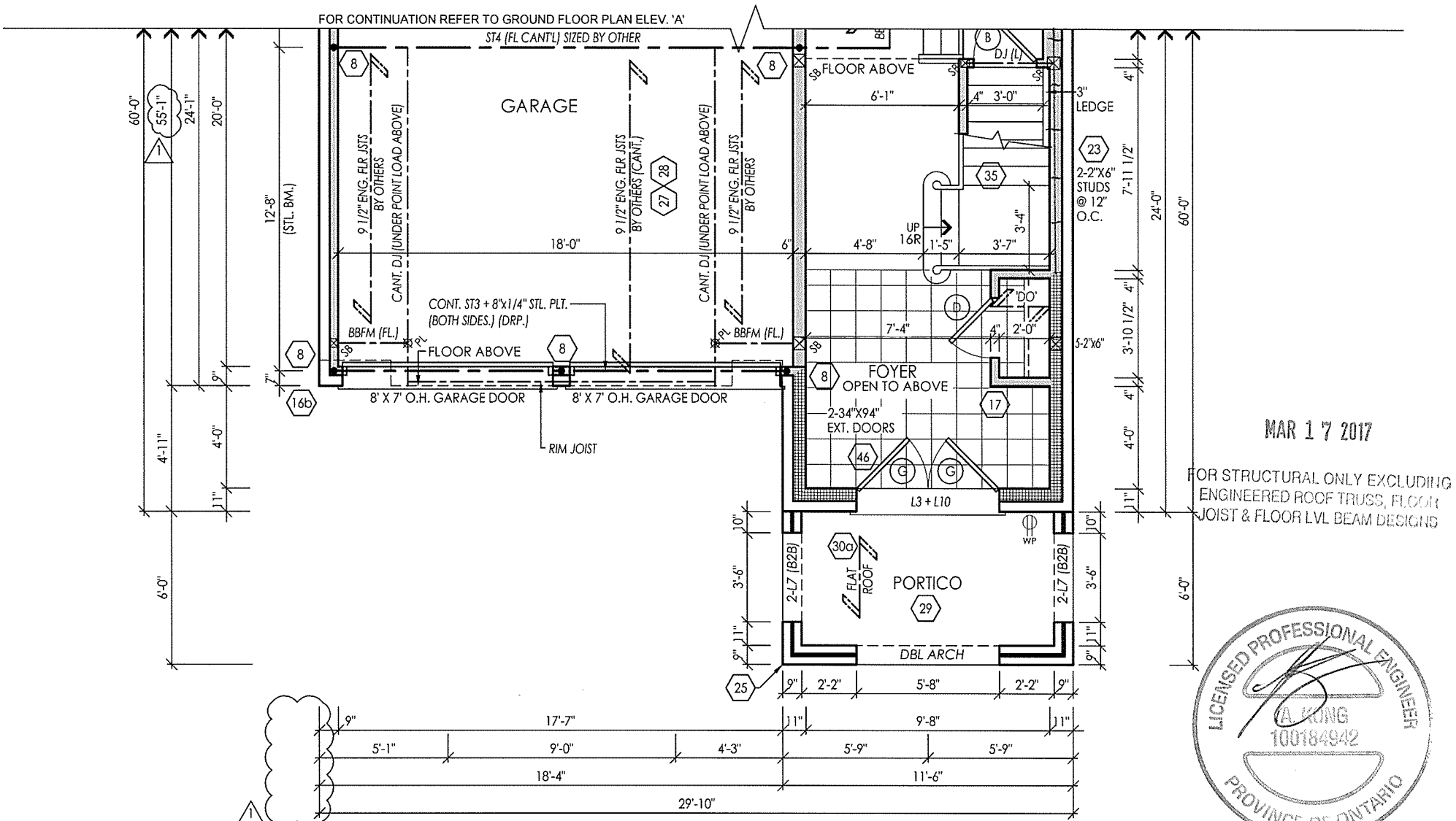
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PART. SECOND FLOOR PLAN ELEV. 'B'



PART. GROUND FLOOR PLAN ELEV. 'B'

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.1.17

SIGNATURE:

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	1	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RPA	DJH	6	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	8	REVISED STAIR REQ AS PER 2017 O.B.C	16-Feb-17	LO	JP

location
VAUGHAN, ON

marketing name

RN design
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model
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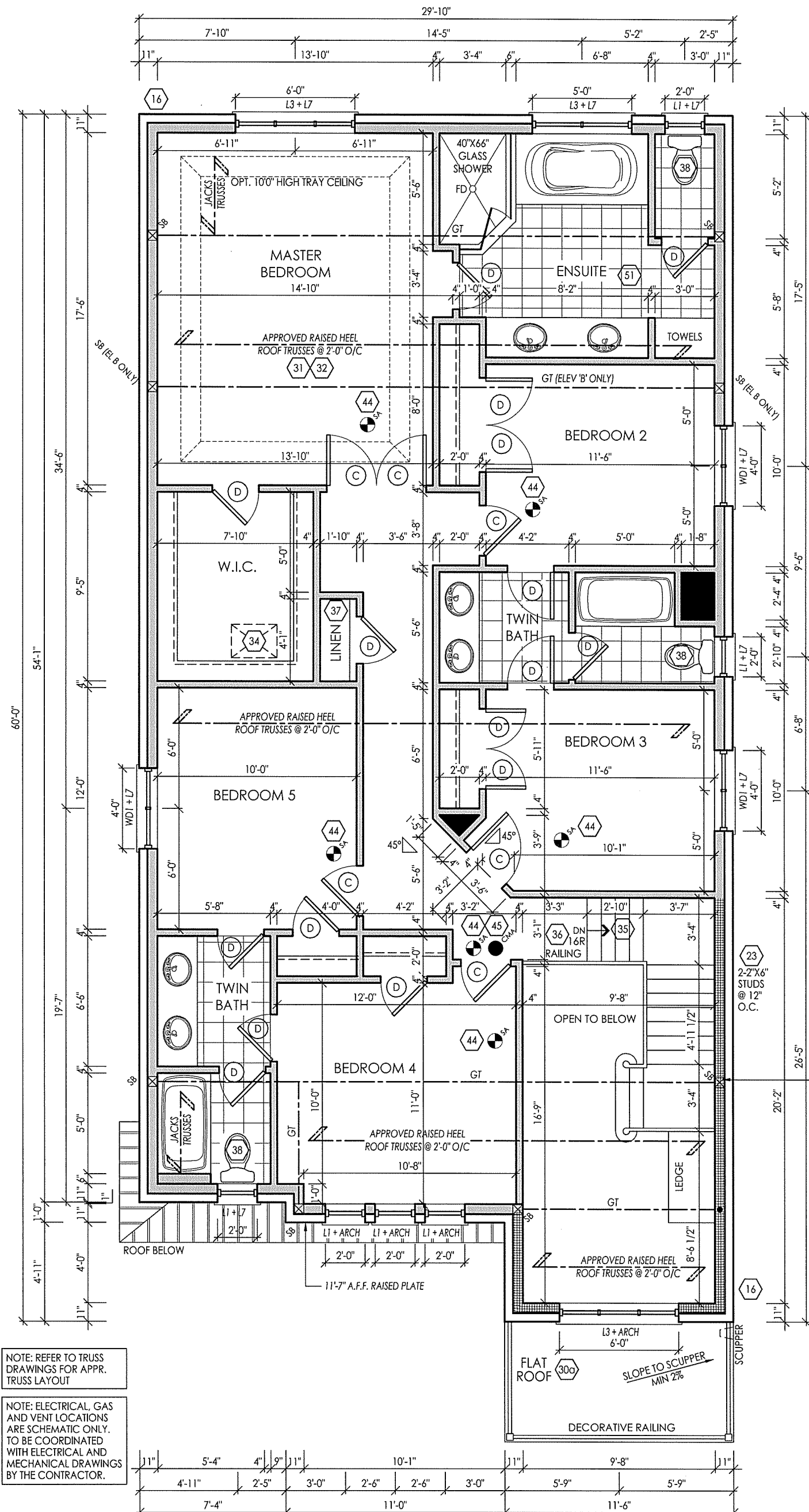
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project #
14043

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A4





MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



HSS 4-1/2"x4-1/2"x3/16" W/
SIMPSON ECC OQ COLUMN TOP
WELDED TO 3/8" TOP PLATE W/
10"x5"x1/2" BOTTOM PLATE W/
2-5/8" ANCHOR BOLTS

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

OPT. 5 BEDRM. SECOND FLOOR PLAN ELEV. 'A'

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FIRM BCIN: 26995
DATE:

SIGNATURE:

client Gold Park Homes
location VAUGHAN, ON
project KLEINBURG GLEN PH-2
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
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3	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP
4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	8	REVISED AS PER STAIR REQ O.B.C. 2017	16-Feb-17	LO	JP

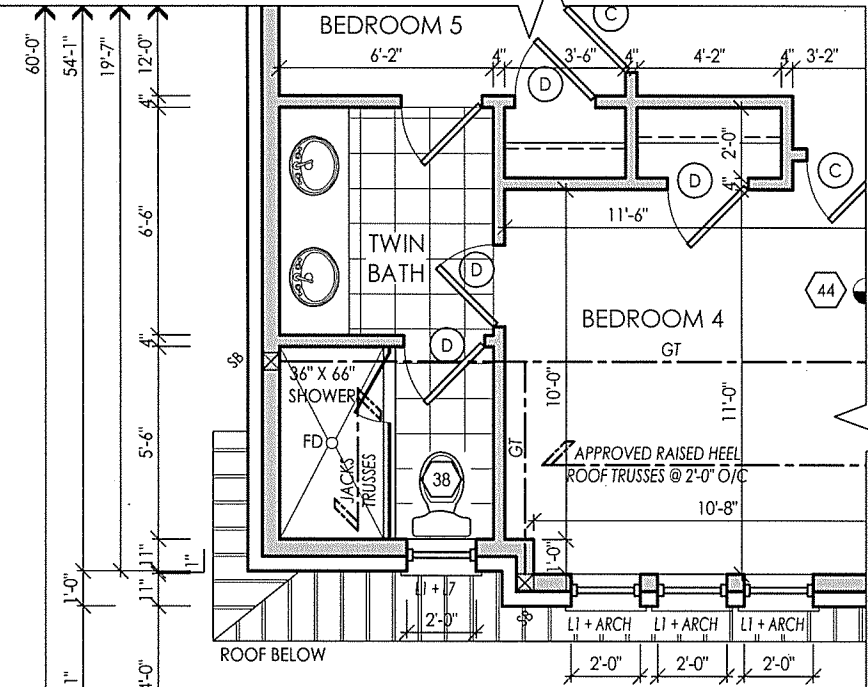
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model 38-6
scale 3/16" = 1'0"
project # 14043

page A5

FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEV. 'A'

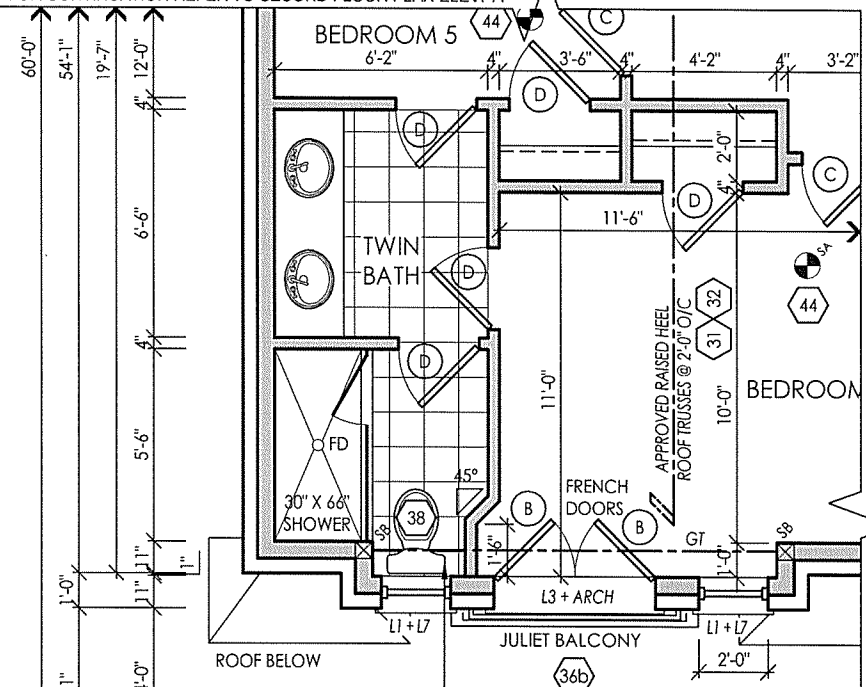


NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

PART. SEC. FLR. PLAN W/ TWIN BATH/OPT. SHOWER EL.'A'

FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEV. 'A'

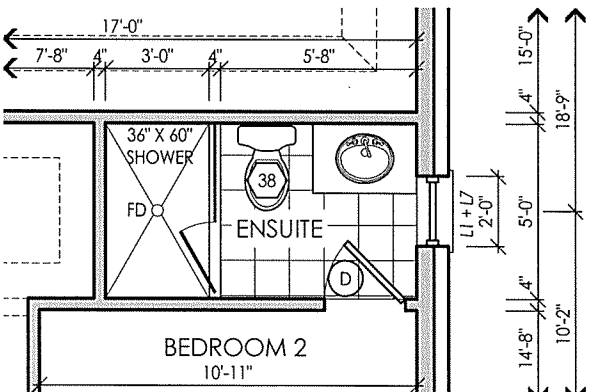


NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

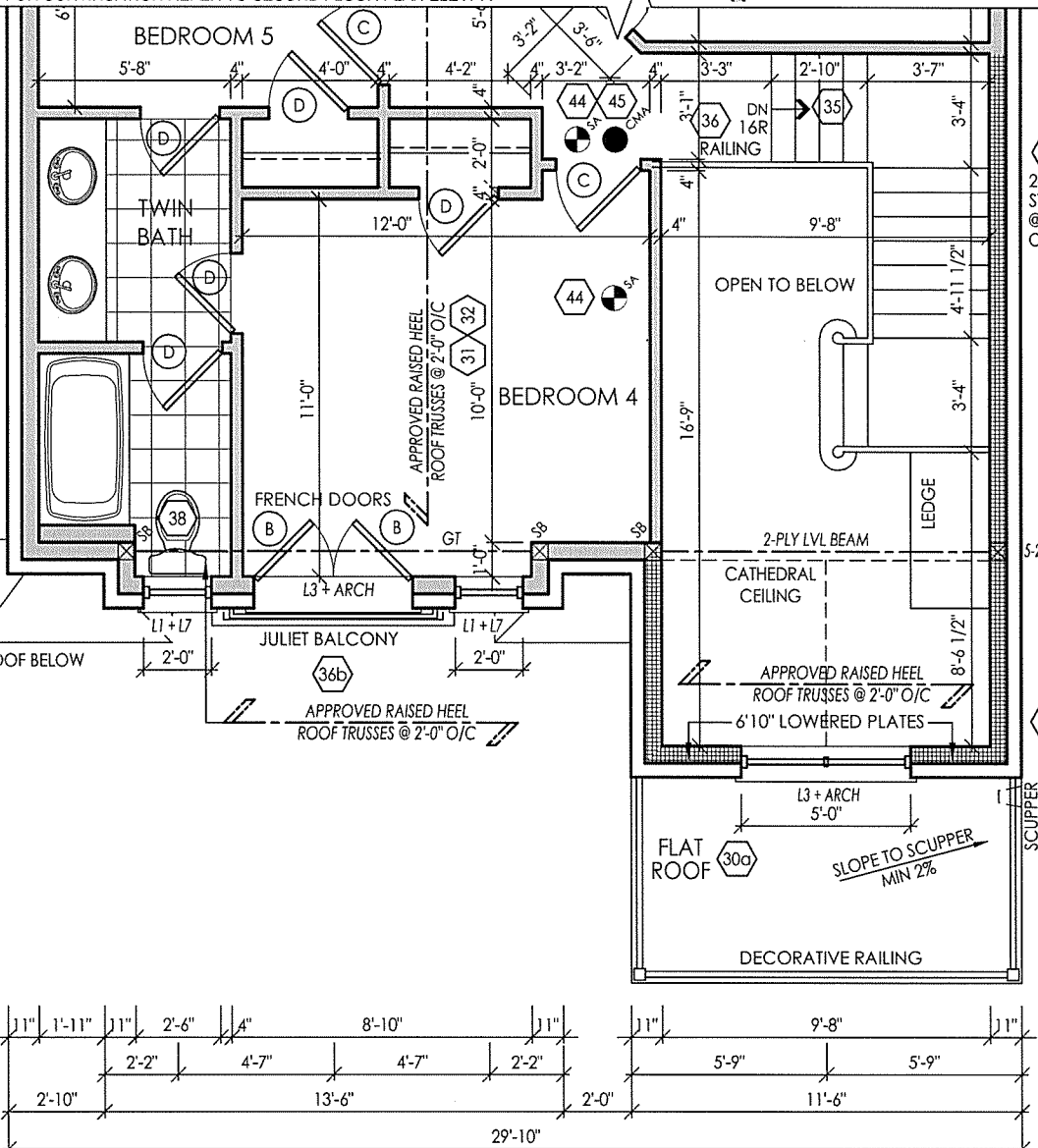
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PART. SEC. FLR. PLAN W/ TWIN BATH/OPT. SHOWER EL.'B'

PART. OPT. ENSUITE PLAN EL. 'A' & 'B'



FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEV. 'A'



NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

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PART. OPT. 5 BEDRM. SECOND FLOOR PLAN ELEV. 'B'

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client				location			
Gold Park Homes				VAUGHAN, ON			
project				marketing name			
KLEINBURG GLEN PH-2							
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5	REVISED AS PER CLIENT COMMENTS	16-Dec-15
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RPA	DJH	6	ISSUED FOR PERMIT	24-FEB-16
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	7	REVISED AS PER STAIR REQ O.B.C 2017	16-Feb-17
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	8		

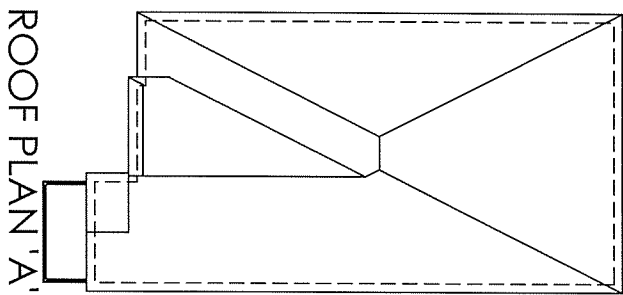
RN design
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model
38-6
scale
3/16" = 1'0"
project #
14043

page

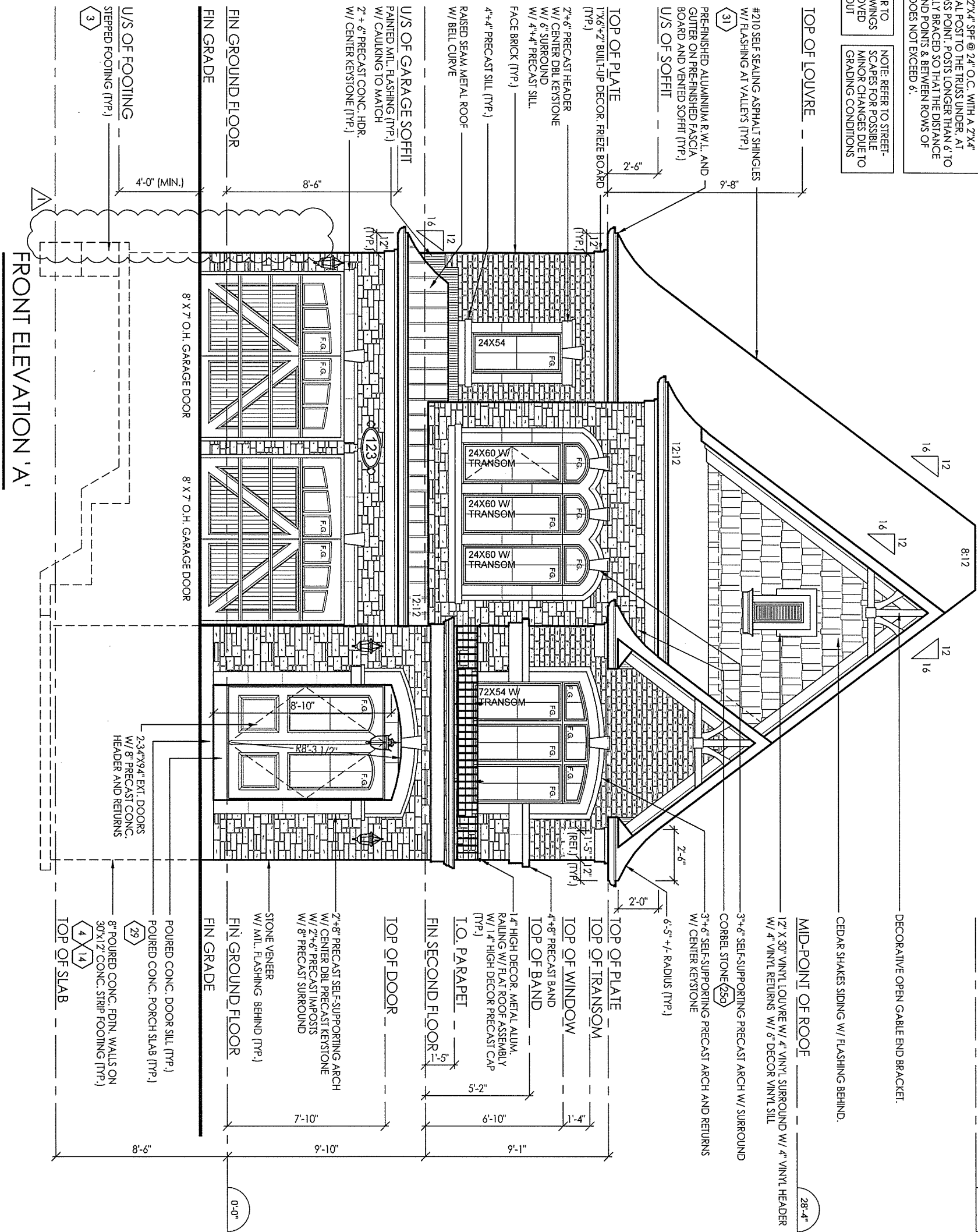
A6



NOTE: 1. CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 7"x4" SPF VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATEROALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



ANCI: JELC JOURNAL REVIEW & APPROC

~~33R 27 2817~~

John G. Williams Limited, Architects

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DATE:

SIGNATURE:

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR	6				
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	7				
4	ISSUED FOR PERMIT	24-FEB-16	JP	JP	8				

RN design
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model
38-6

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page

A7

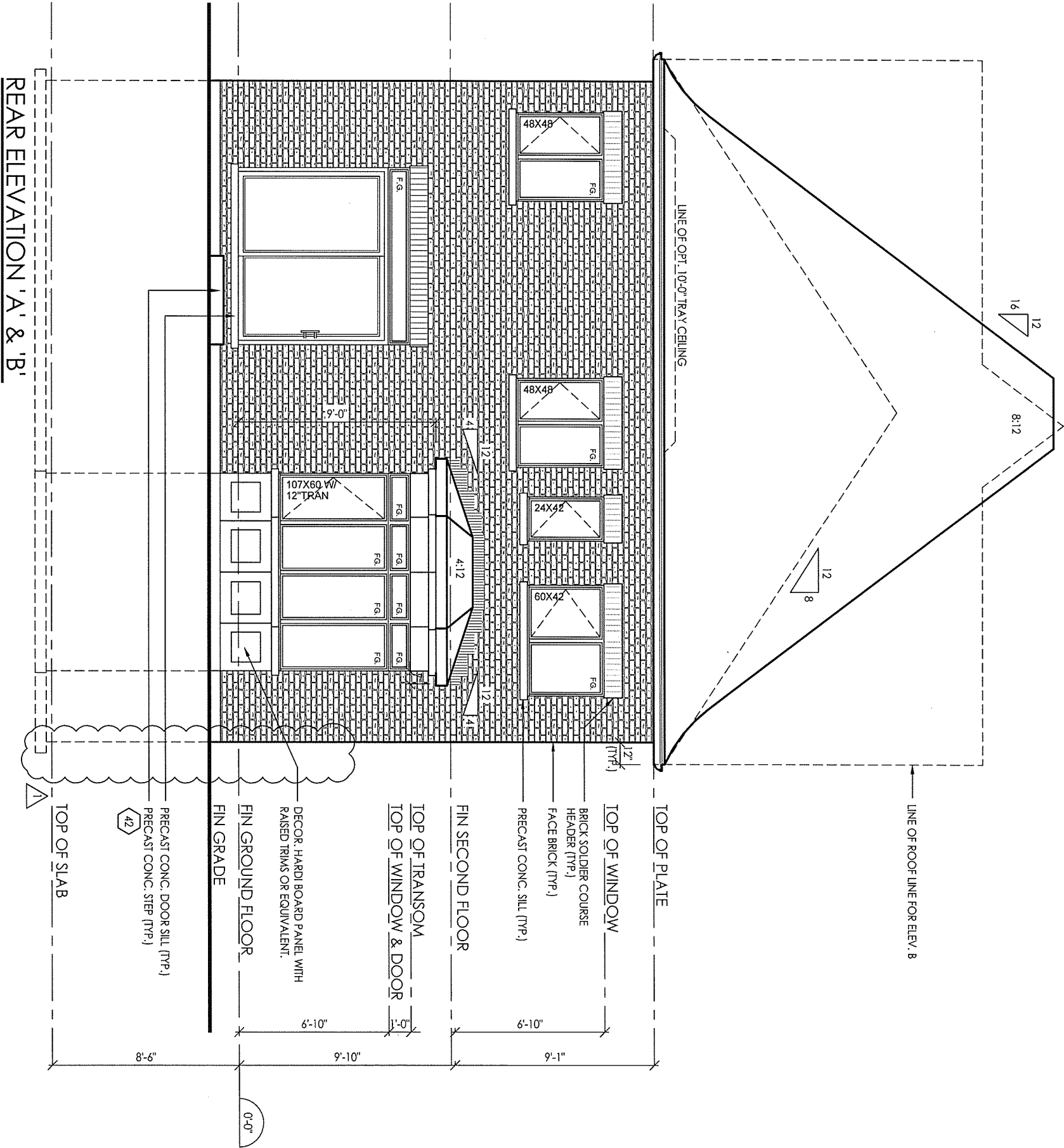
ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

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SIGNATURE:

J. Pinzon

client
Gold Park Homes

location
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project
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RN design
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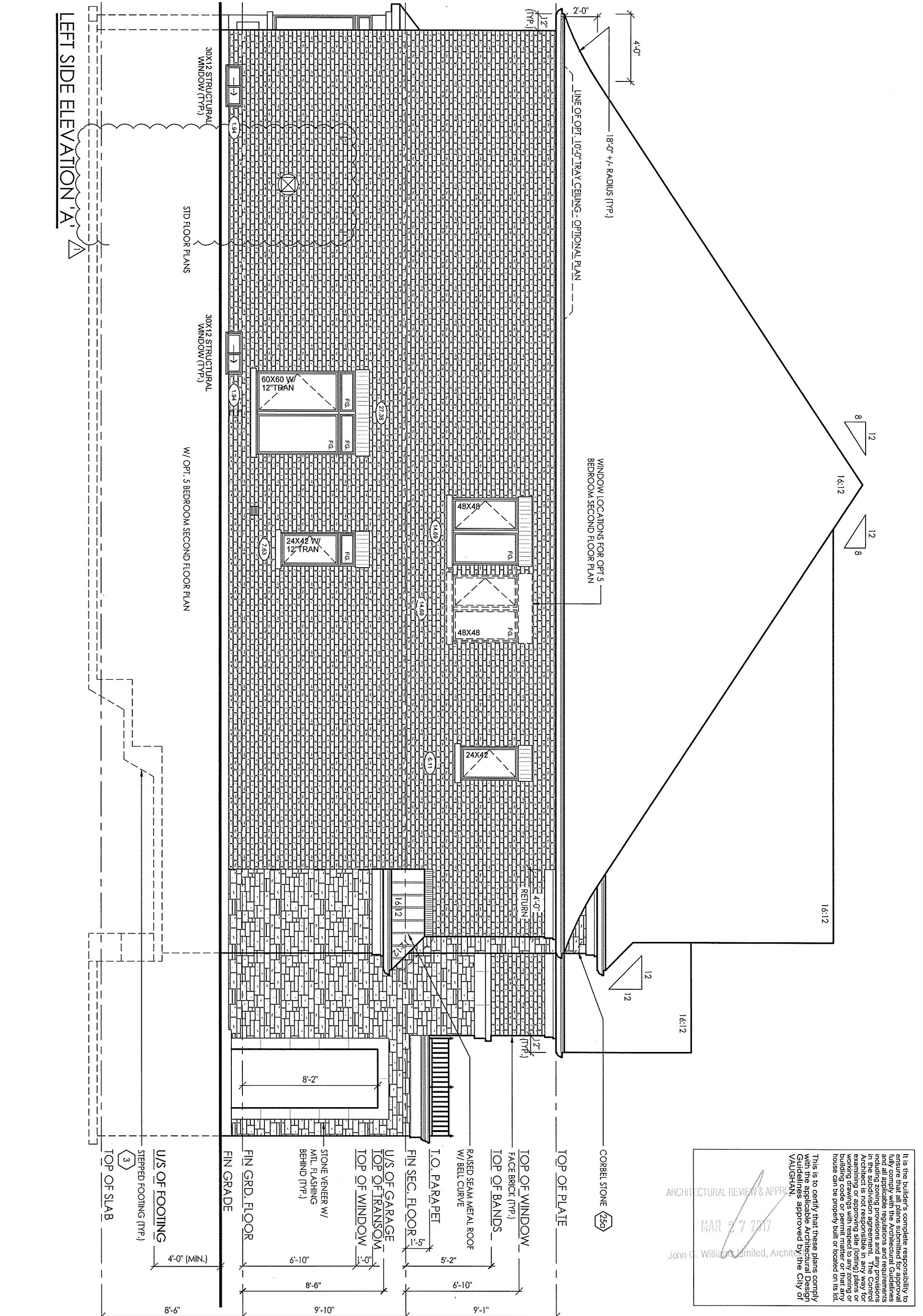
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revisions

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38688
26995

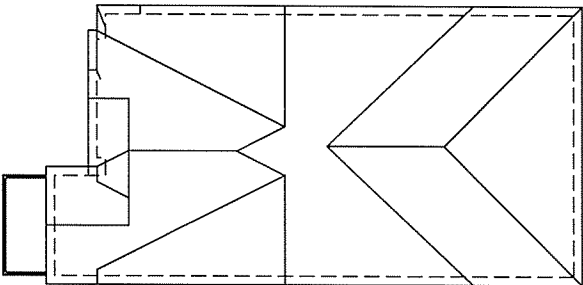
SIGNATURE:

J. Pinzon

RN design
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VAUGHAN

ROOF PLAN 'B'



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SP @ 24" O.C. WITH A 2"x4" SP VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building codes or any other regulations or building codes or permit matter or that no house can be properly built or located on its lot.

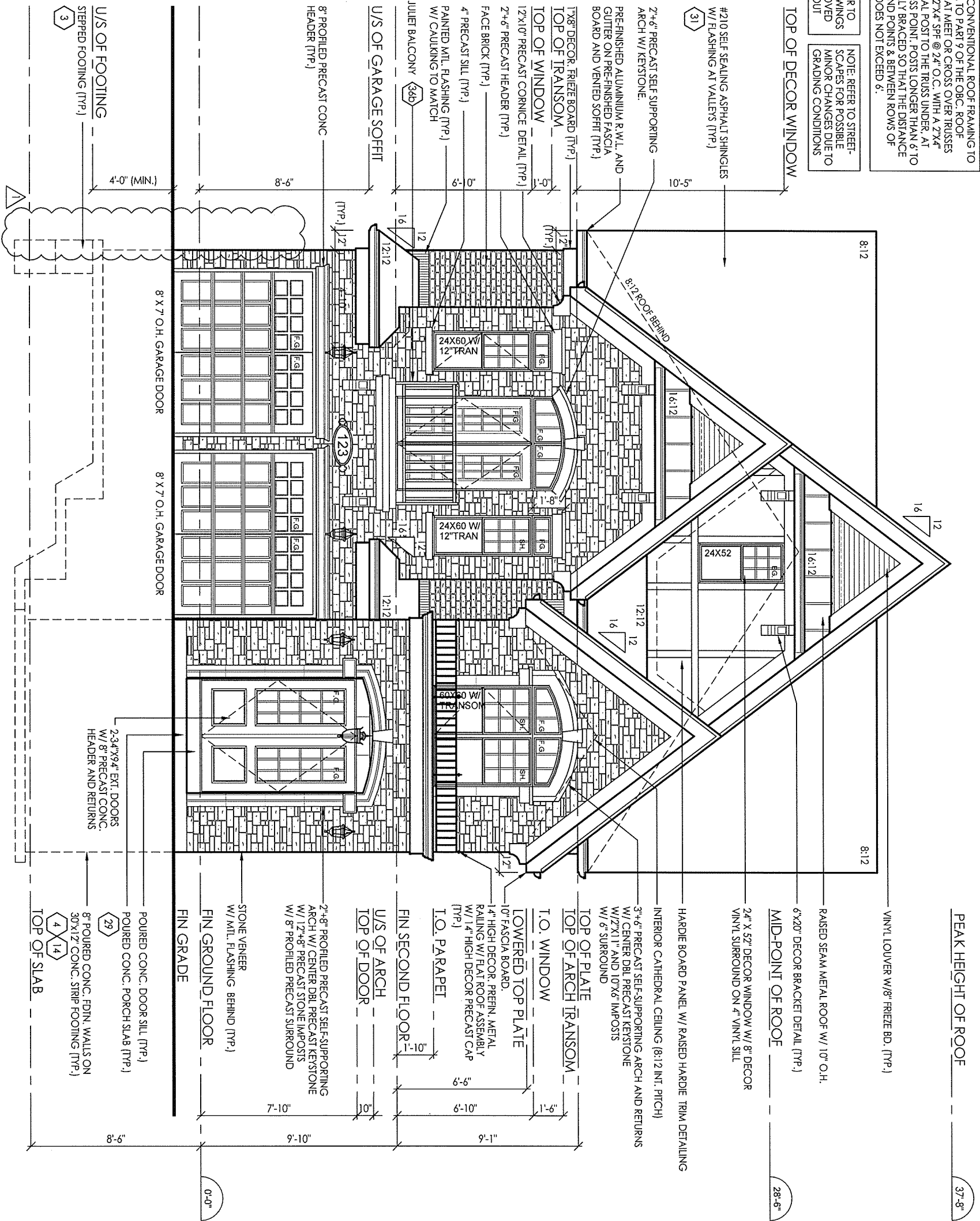
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

FRONT ELEVATION 'B'



File: C:_RN_Standards\temp\AcPublish_9464114043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By: Paola M

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
2	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR	6	ISSUED FOR PERMIT	24-FEB-16	CR	CR
3	REVISED EL 'B' GABLE STUCCO TO HARDIE BOARD AS PER CLIENT COMMENTS	15-Dec-15	CR	CR	7				
4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	JP	JP	8				

RN design
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model
38-6

scale
3/16" = 1'0"

project #
14043

page

A11

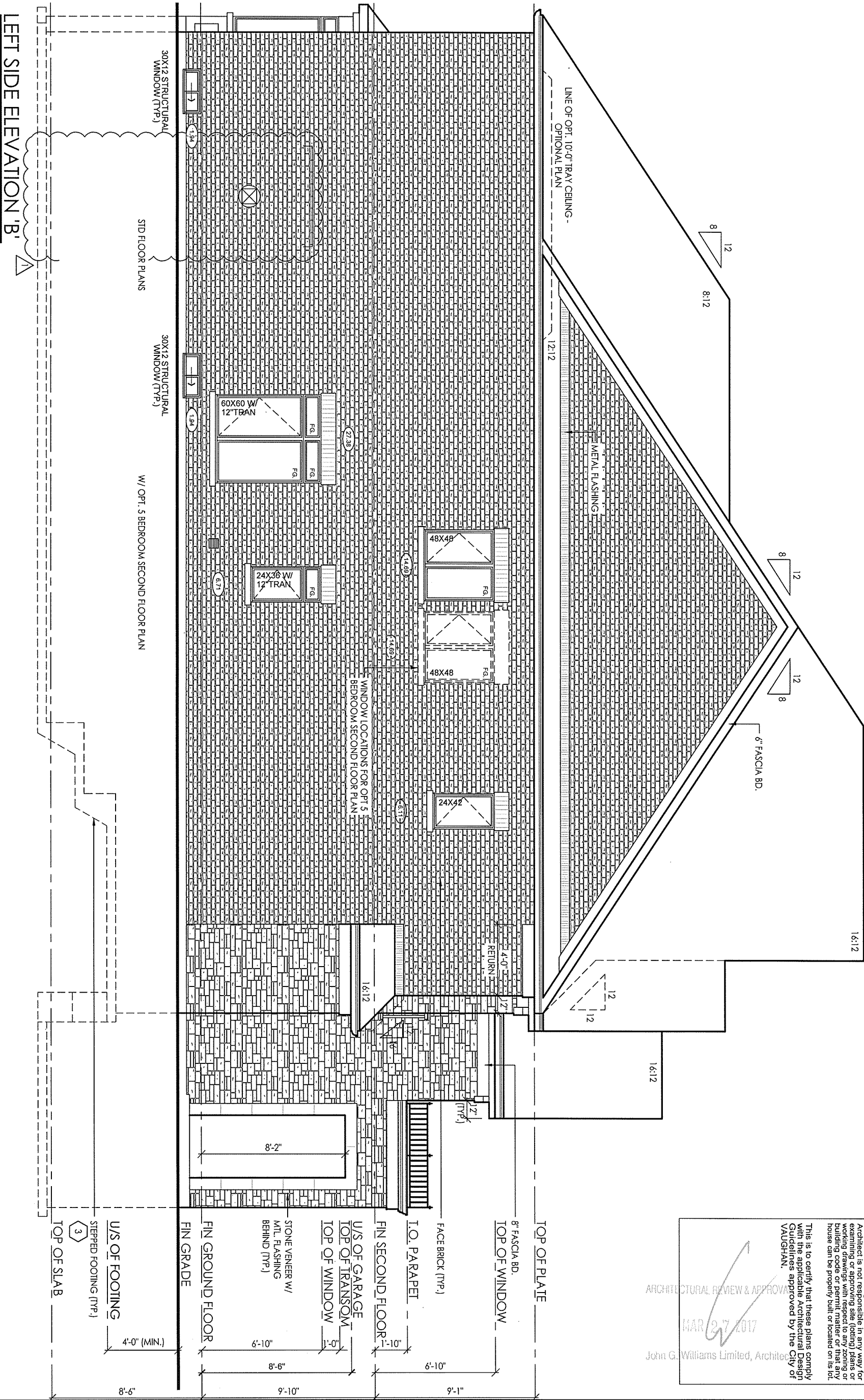
This architectural elevation drawing shows the exterior wall of a building. The drawing includes various annotations such as "VENT FOR COLD CELLAR", "STD FLOOR PLANS", "T.O. LANDING @ 3R", "W/ OPT. 5 BEDROOM SECOND FLOOR PLAN", "30X12 STRUCTURAL WINDOW (TYP.)", "FACE BRICK (TYP.)", "TOP OF WINDOW", "TOP OF TRANSOM", "TOP OF SLAB", "FIN GROUND FLOOR", "FIN GRADE", "8'-6\"", "9'-10\"", "9'-1\"", "6'-10\"", "1'-0\"", "ROOF OVERHANG", "LINE OF OPT. 10'-0\" TRAY CEILING - STD PLAN", "WINDOW LOCATIONS FOR OPT. 5 BEDROOM SECOND FLOOR PLAN", "METAL FLASHING", "12:12", "5'-11\"", "16:12", "8'-2\"", "7'-0\"", "24X42 W/ 12\" TRAN", "48X48", "48X60 W/ 12\" TRAN", "BRICK SOLDIER COURSE HEADER (TYP.)", "PRECAST CONC. SILL (TYP.)", "8' FRIEZE BD.", "RETURN", "12\" (TYP.)", "4'-0\"", "12:12", "6\" FASCIA BD.", "8:12", "12:12", "12'-6 1/2\"", "12", "8", "ARCHITECTURAL REVIEW & APPROVAL", "MAR 27 2017", "John G. Williams Limited, Architect", and "This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN."

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with applicable codes, regulations and all applicable building regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code requirements. The Control house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of GAUGHAN.

SIGNATURE:

A12



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for any errors or omissions in any plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

File: C:_RN_Standards\temp\AcPublish_9454114043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By PaolaM

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
2	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR	6				
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	7				
4	ISSUED FOR PERMIT	24-FEB-16	JP	JP	8				

RN design
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model
38-6

scale
3/16" = 1'0"

project #
14043

page

A13

John G. Williams Limited, Architects

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of GAUGHAN.



SIGNATURE:

147.

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	15-Dec-15	CR	CR	6				
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	7				
4	ISSUED FOR PERMIT	24-FEB-16	JP	JP	8				

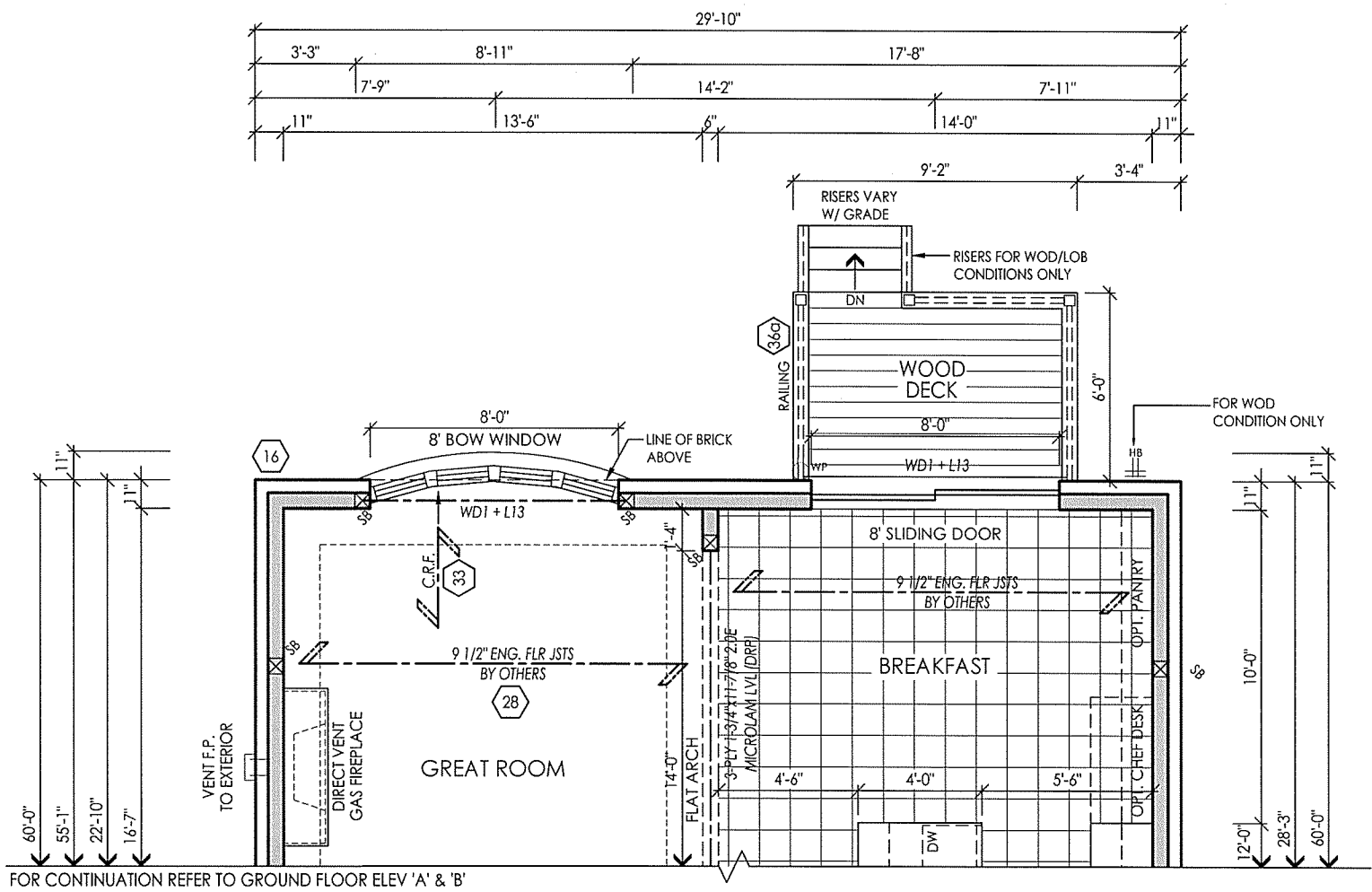
marketing name



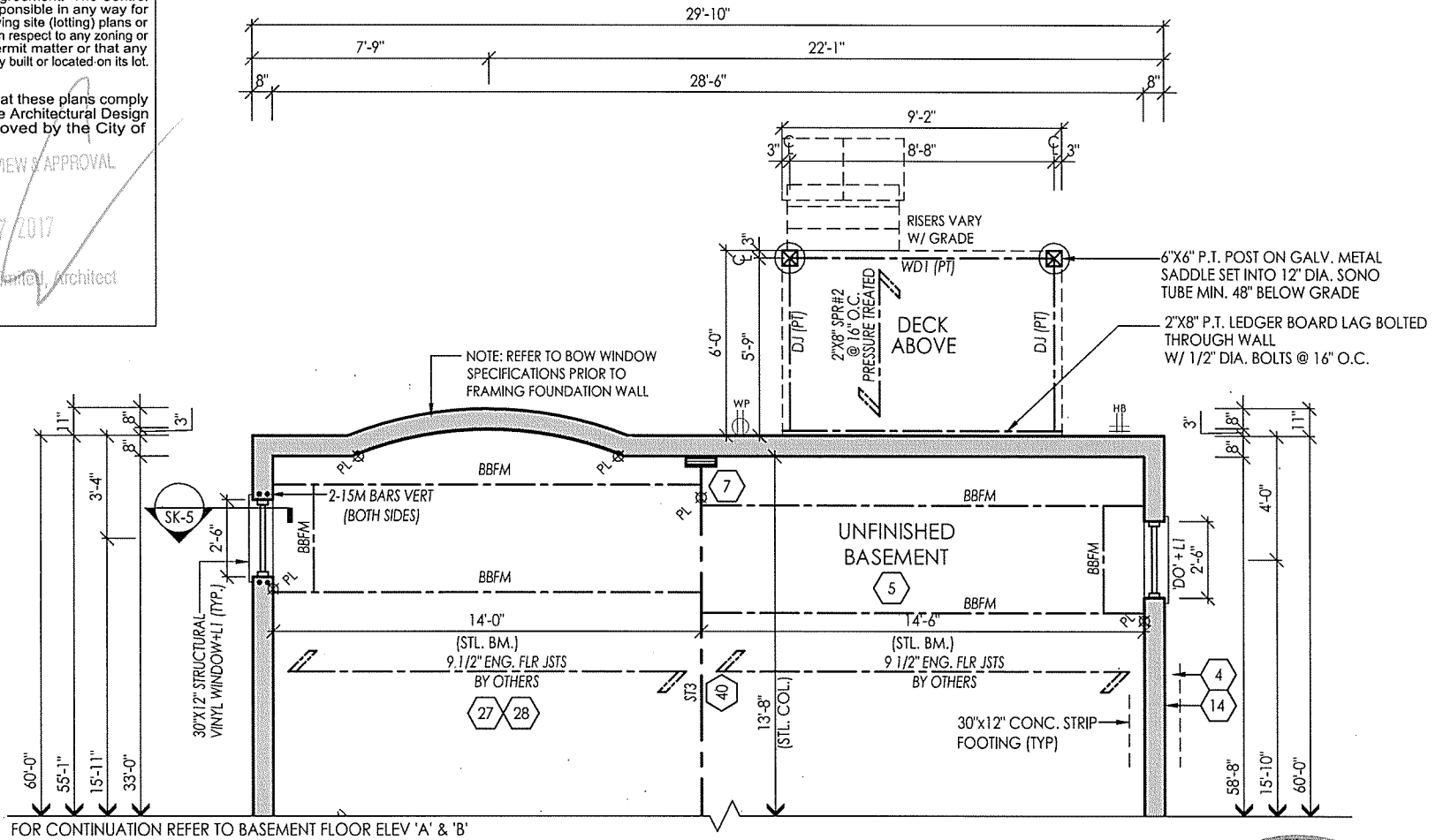
page

A14

PARTIAL GROUND FLOOR
WOD/LOB/WOB CONDITION



PARTIAL BASEMENT FLOOR
WOD CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



File: C:_RN_Standard\temp\AcPublish_9464114043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By: Paola M

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.1.17

SIGNATURE:

client Gold Park Homes
location VAUGHAN, ON
project KLEINBURG GLEN PH-2
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD/LOB/WOB CONDITIONS	29-Apr-16	JR	JM					
2	REVISED PER ENG COMMENTS	16-JUN-16	SM	ES					

RN design
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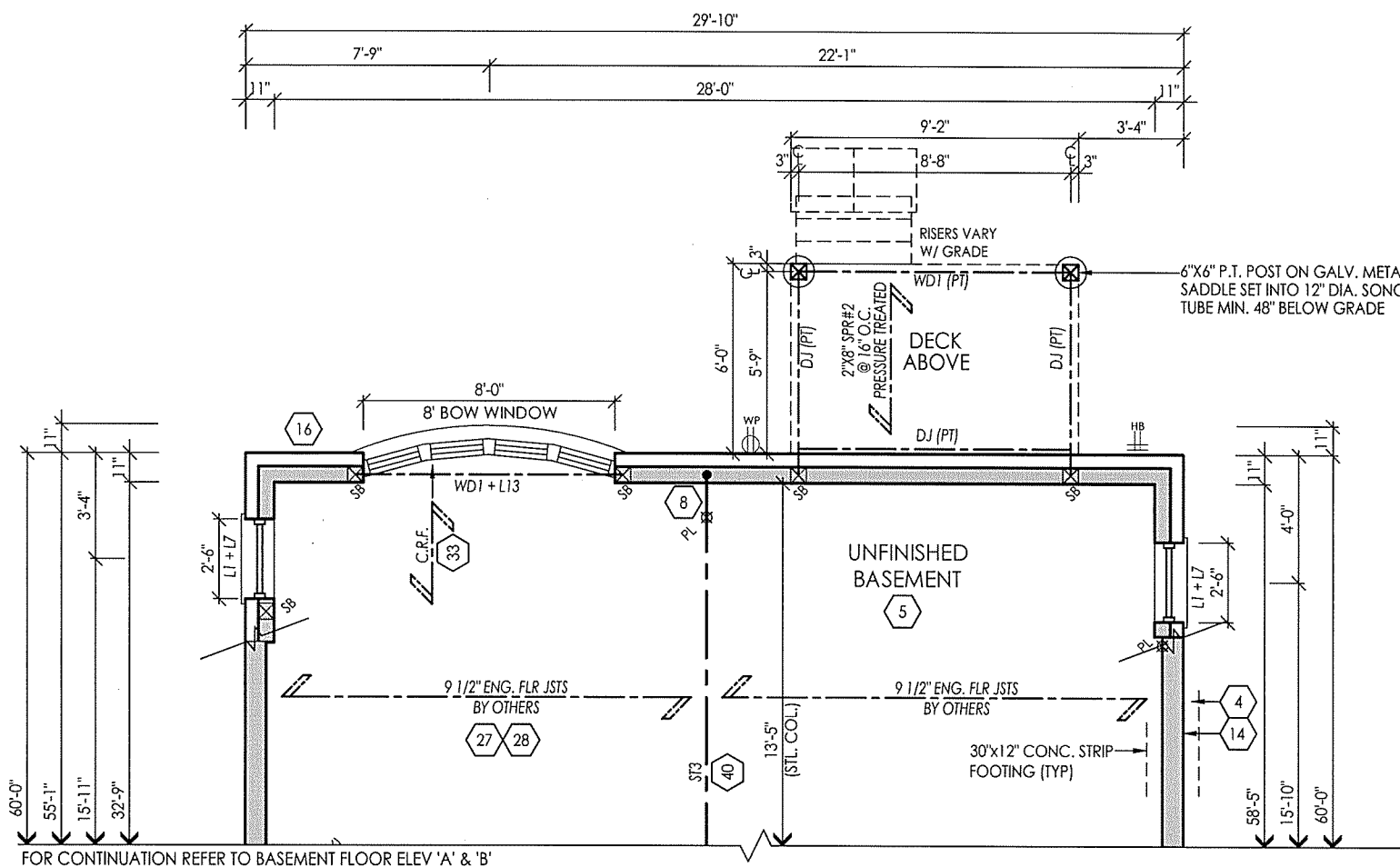


model 38-6
scale 3/16" = 1'0"
project # 14043

page

A15

PARTIAL BASEMENT FLOOR
LOB CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

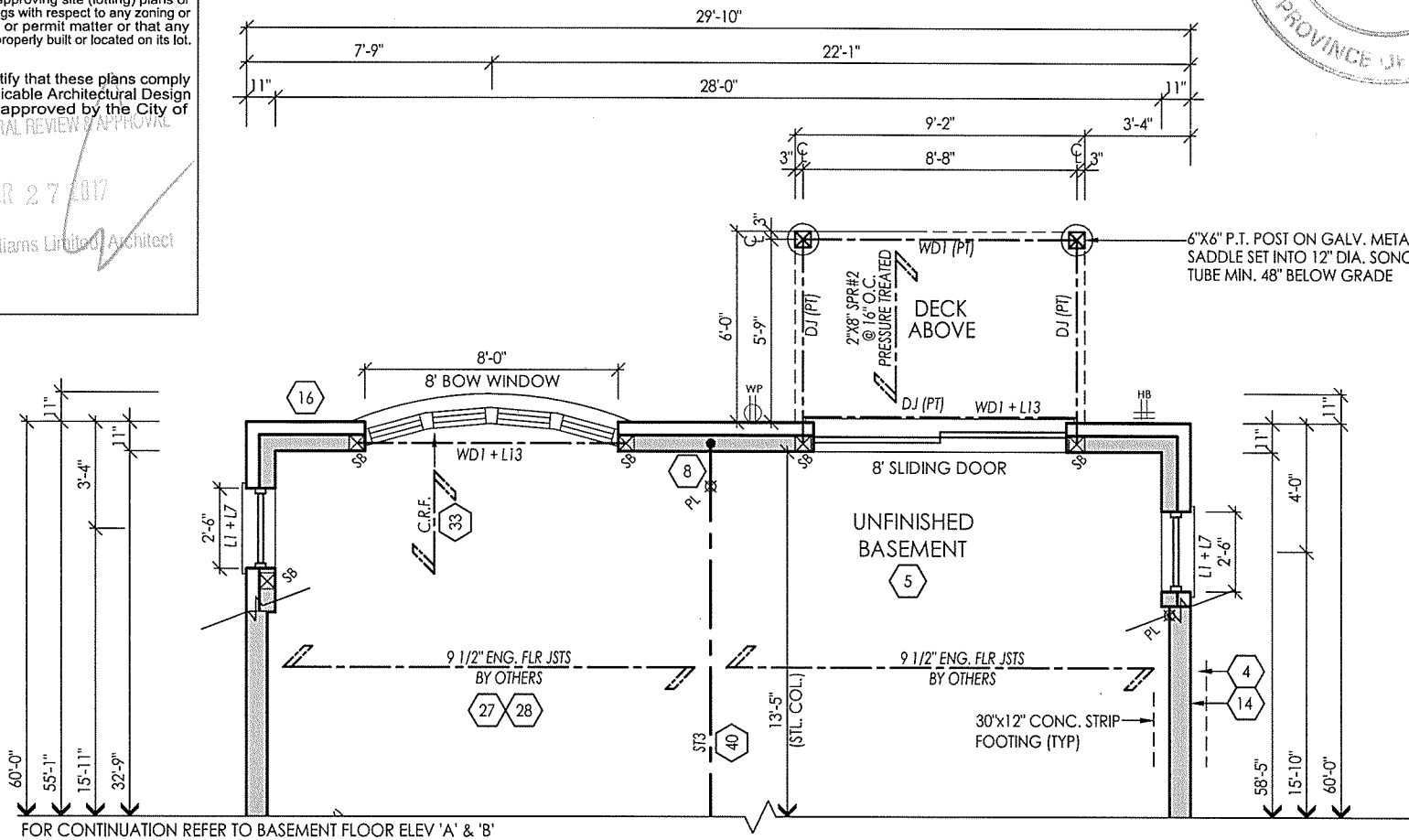
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

MAR 27 2017

John G. Williams Limited Architect

PARTIAL BASEMENT FLOOR
WOB CONDITION

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOB/LOB/WOB CONDITIONS	29-Apr-16	JR	JM					
2	REVISED PER ENG COMMENTS	16-JUN-16	SM	ES					

RN design
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model
38-6

scale
3/16" = 1'0"

project #
14043

page

A16

FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



PARTIAL REAR ELEVATION 'A' & 'B'
WOD CONDITION

FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



PARTIAL REAR ELEVATION 'A' & 'B'
LOB CONDITION

FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



PARTIAL REAR ELEVATION 'A' & 'B'
WOB CONDITION

ARCHITECTURAL REVIEW & APPROVAL

10 APR 27 2017

John G. Williams Limited, Architect

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or other drawings submitted to the City of Vaughan for approval. The City of Vaughan or building code or permit matter or that any house can be properly built or located on its lot.

File: C:_RN_Standards\temp\AcPublish_946414043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By: Paola M

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD/LOB/WOB CONDITIONS	29-Apr-16	JR	JM					

RN design
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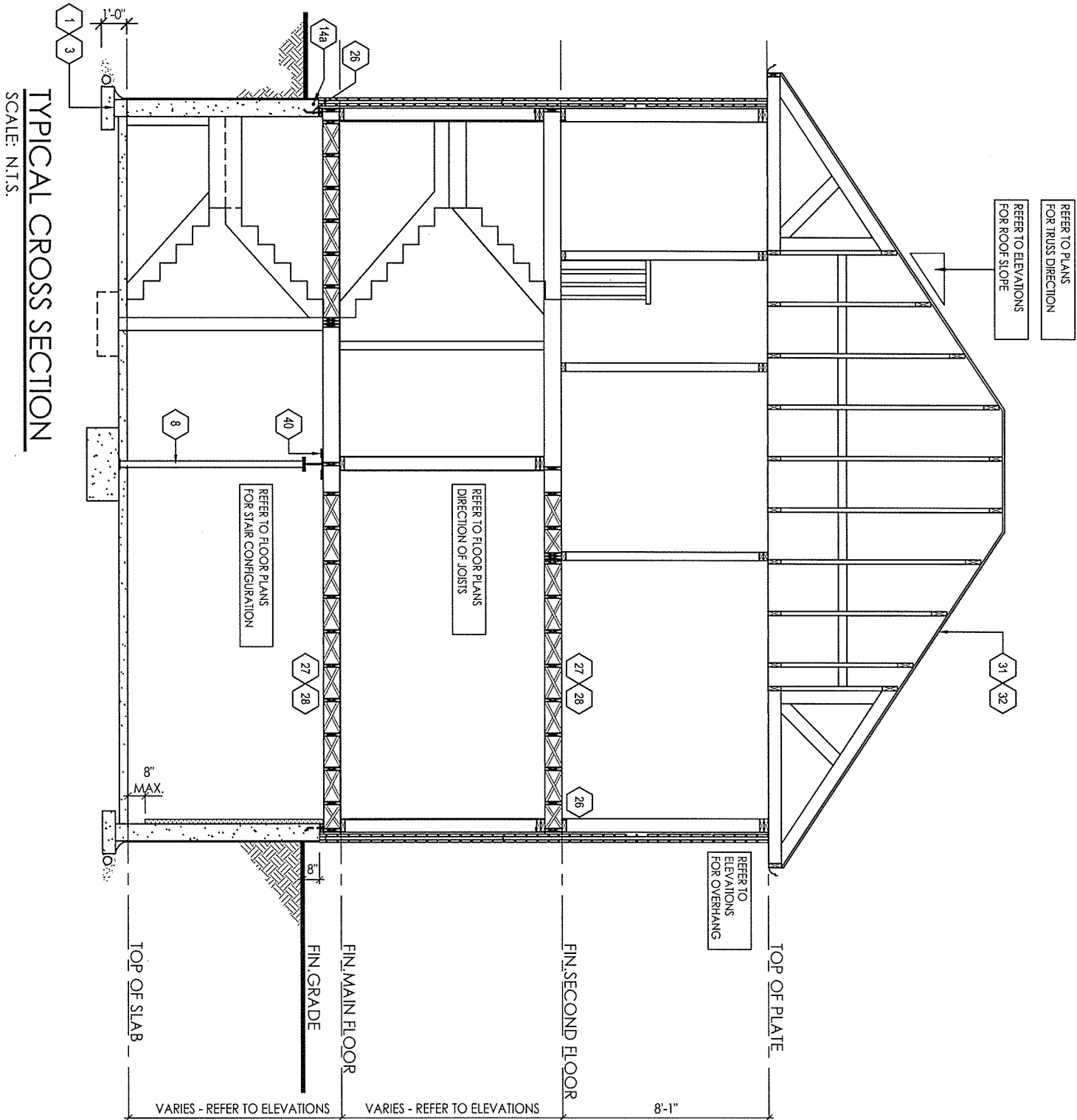
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scale
3/16" = 1'0"

project #
14043

page

A17



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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
2	ISSUED FOR PERMIT	24-FEB-16	JP	JP	6				
3					7				
4					8				

RN design
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model
38-6

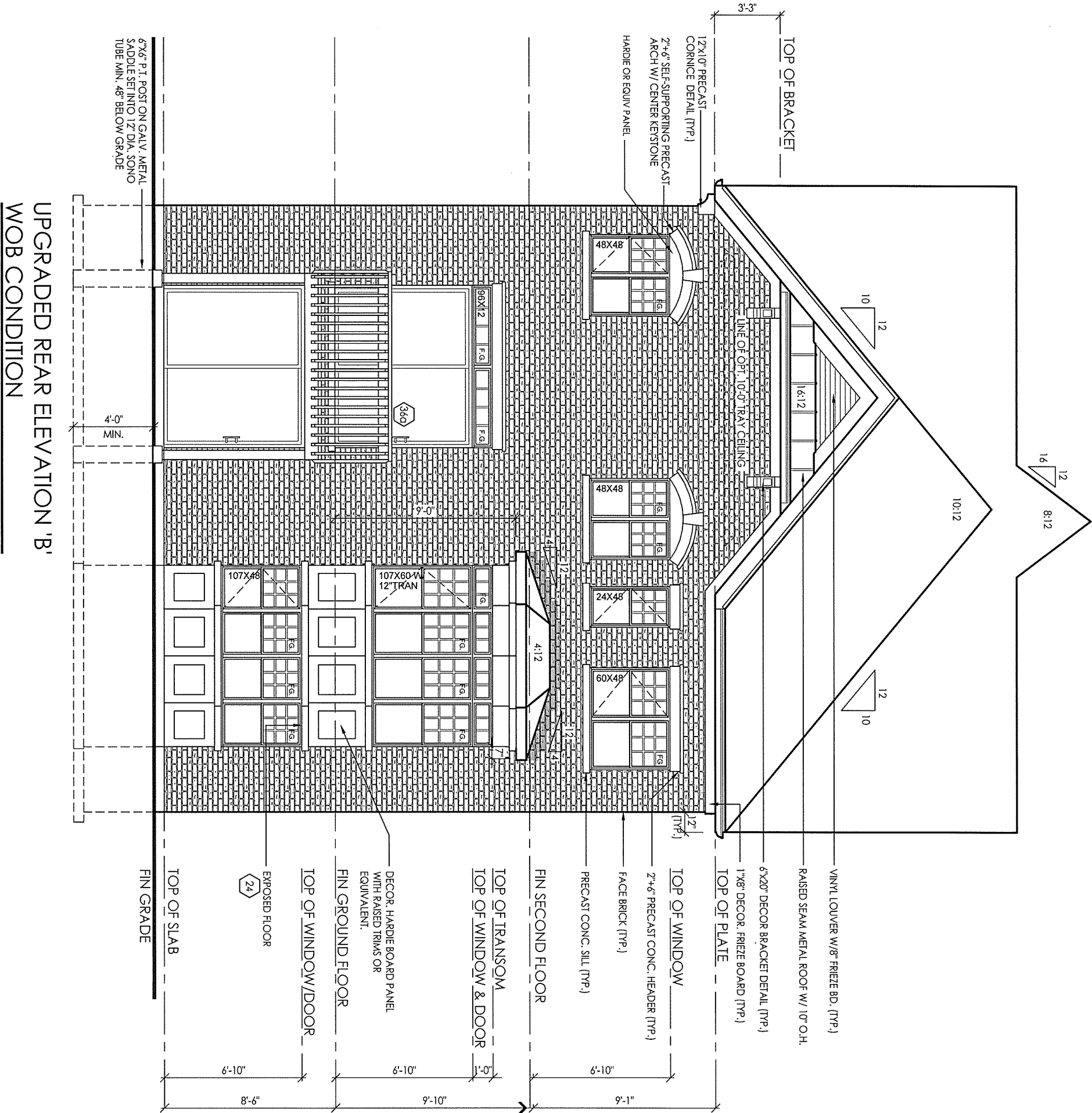
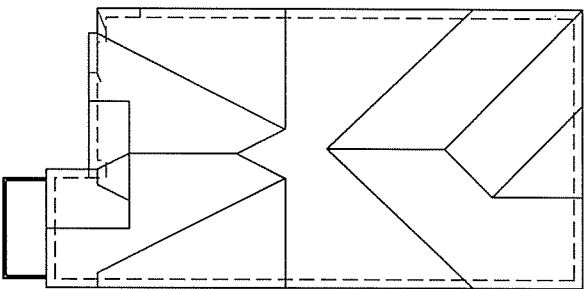
scale
3/16" = 1'0"

project #
14043

page

A18

ROOF PLAN 'B'
(LOT 66)



ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or for any other matters relating to the building code or permit matter or that any house can be properly built or located on its lot.

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: **11.11.17**
SIGNATURE: _____

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2-AUG-16	SM	JM					

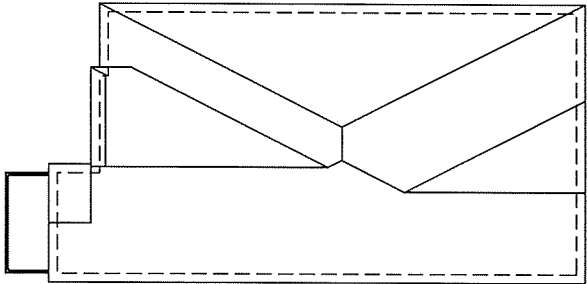
model
38-6

scale
3/16" = 1'0"

project #
14043

page
A19

RN design
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ROOF PLAN 'A'
(LOT 63 & 67)

GROSS GLAZING AREA 'A'
WOB CONDITION (LOT 63 & 67)

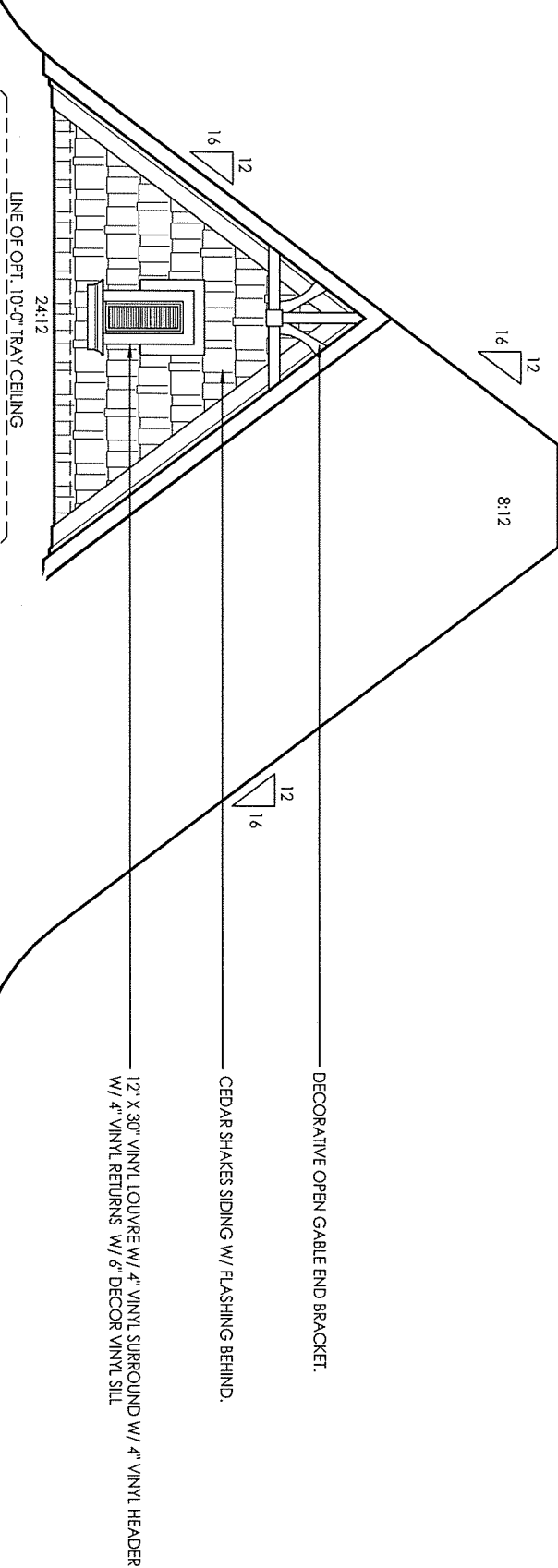
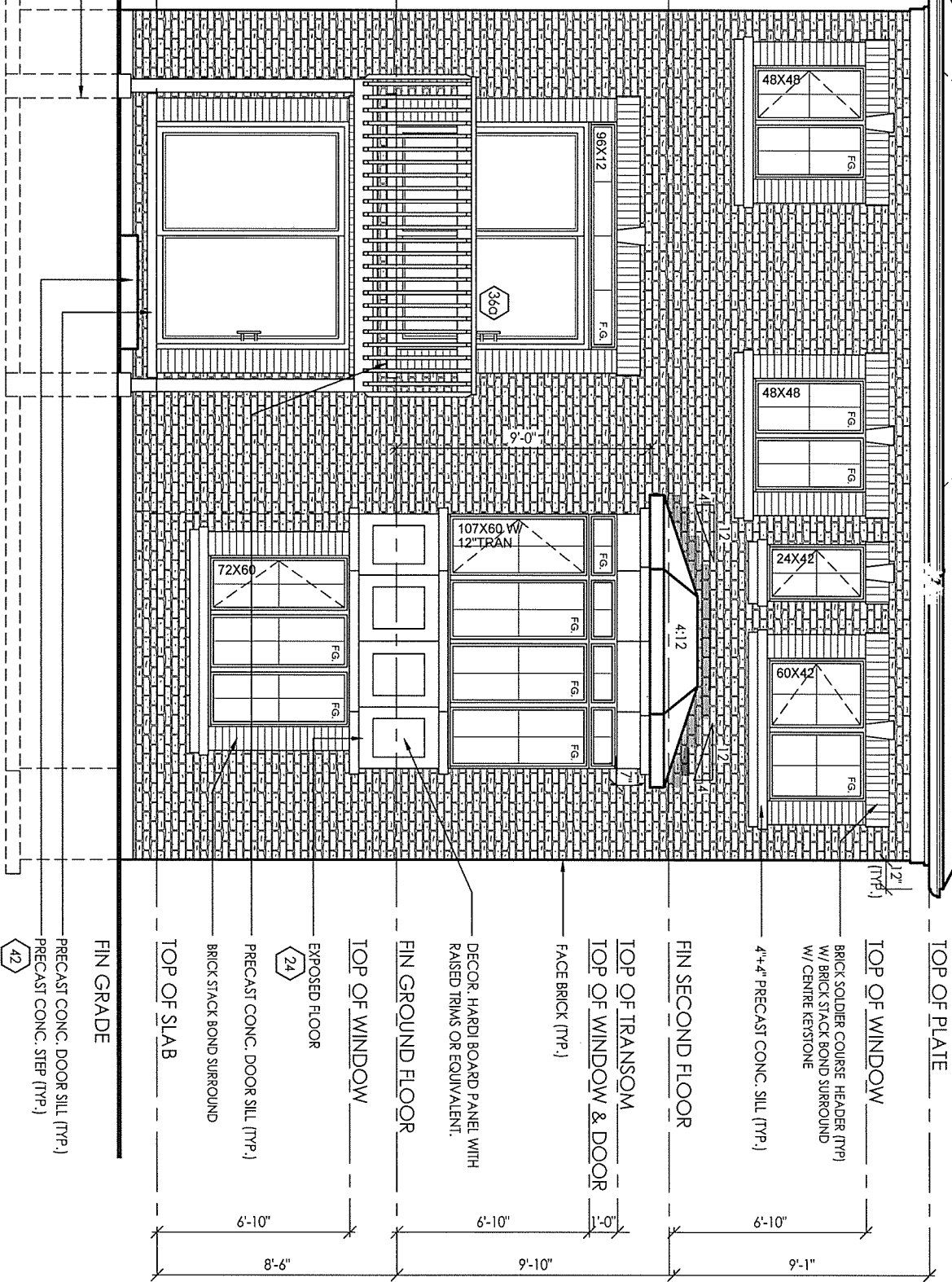
TOTAL PERIPHERAL WALL AREA	4243.26 SF	394.20 m ²
FRONT GLAZING AREA	76.04 SF	7.06 m ²
LEFT SIDE GLAZING AREA	59.72 SF	5.55 m ²
RIGHT SIDE GLAZING AREA	54.06 SF	5.02 m ²
REAR GLAZING AREA	257.33 SF	23.91 m ²
TOTAL GLAZING AREA	447.15 SF	41.54 m ²
TOTAL GLAZING PERCENTAGE	10.54 %	

GROSS GLAZING AREA 'A' - OPT
WOB CONDITION (LOT 63 & 67)

TOTAL PERIPHERAL WALL AREA	4243.26 SF	394.20 m ²
FRONT GLAZING AREA	76.04 SF	7.06 m ²
LEFT SIDE GLAZING AREA	53.61 SF	4.98 m ²
RIGHT SIDE GLAZING AREA	68.75 SF	6.39 m ²
REAR GLAZING AREA	257.33 SF	23.91 m ²
TOTAL GLAZING AREA	455.73 SF	42.34 m ²
TOTAL GLAZING PERCENTAGE	10.74 %	

6"x6" P.I. POST ON GALV. METAL
SADDLE SET INTO 1/2" DIA. SONO
TUBE MIN. 48" BELOW GRADE

UPGRADED REAR ELEVATION 'A'
WOB CONDITION



It is the builder's complete responsibility to ensure that all construction complies with the applicable Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or subdivision provisions. The Control Architect's house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

MAR 27 2017

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2-AUG-16	SM	JM					
2	ISSUED FOR PERMIT	11-AUG-16	SM	JM					

RN design
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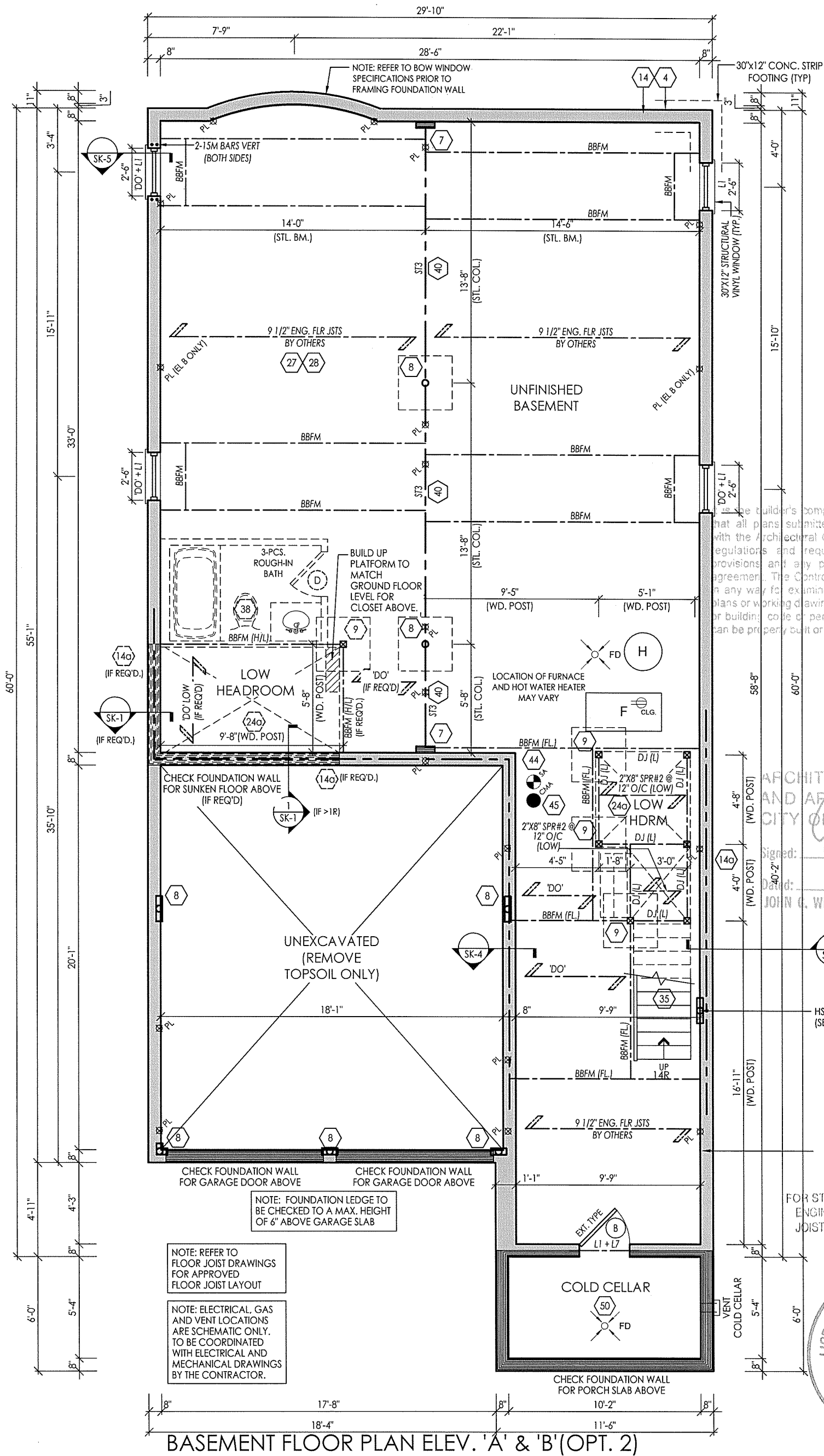
model
38-6

scale
3/16" = 1'0"

project #
14043

page

A20



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed:
Date:
JOHN C. WILLIAMS LIMITED, ARCHITECT

MAR 27 2017

HSS 4-1/2"x4-1/2"x3/16"
(SEE SHEET A3)

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



BASEMENT FLOOR PLAN ELEV. 'A' & 'B' (OPT. 2)

File: C:_RNL_Slancard\Temp\AcPub\sh_7464\14043-38-6-FINAL.dwg Plotted: Feb 29, 2017 By: Paulam

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.17

SIGNATURE:

client **Gold Park Homes** location **VAUGHAN, ON**
project **KLEINBURG GLEN PH-2** marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR ENG. REVIEW	08-DEC-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	13-DEC-16	AD	JP					
3	REVISED AS PER STAIR REQ. O.B.C 2017	16-FEB-17	LO	JP					

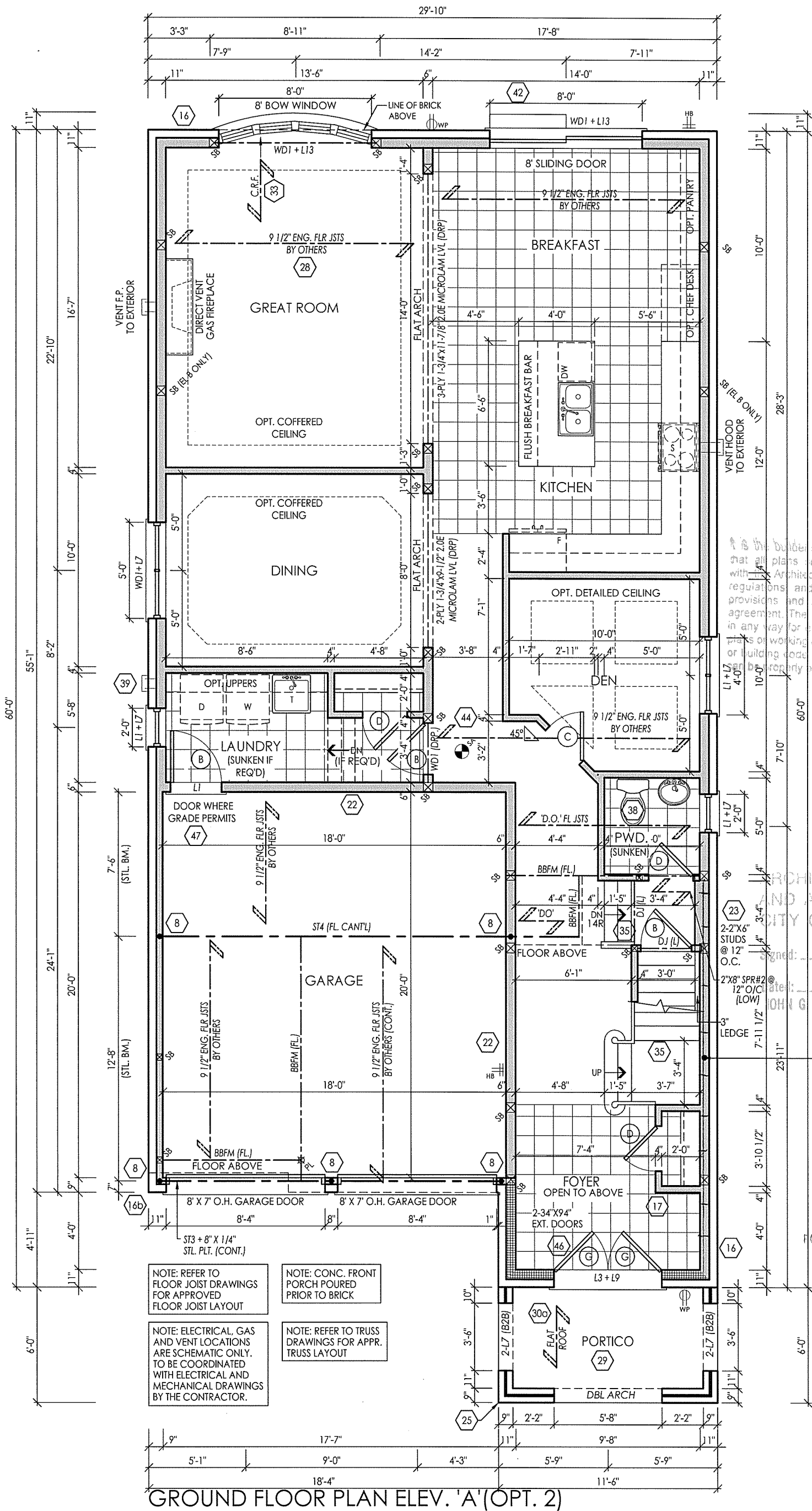
RN design
Imagine • Inspire • Create



model **38-6**
scale **3/16" = 1'-0"** project # **14043**

page

A21



I, the Designer, accept complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

MAR 27 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

HSS 4-1/2"x4-1/2"x3/16"
(SEE SHEET A3)

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.1.17

SIGNATURE: [Signature]

client				location			
Gold Park Homes				VAUGHAN, ON			
project				marketing name			
KLEINBURG GLEN PH-2							
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR ENG. REVIEW	08-DEC-16	AD	JP			
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	13-DEC-16	AD	JP			
3	REVISED AS PER STAIR REQ O.B.C 2017	16-FEB-17	LO	JP			

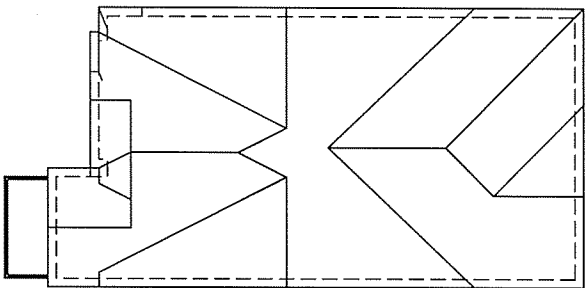


model
38-6

scale
3/16" = 1'0"

project #
14043

page
A22



ROOF PLAN
UPGRADED
ELEV. 'B'



ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: MAR 27 2017
Dated: JOHN G. WILLIAMS LIMITED, ARCHITECT

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.17
SIGNATURE: [Signature]

client				location			
Gold Park Homes				VAUGHAN, ON			
project				marketing name			
KLEINBURG GLEN PH-2							
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	10-FEB-17	PM	JP			

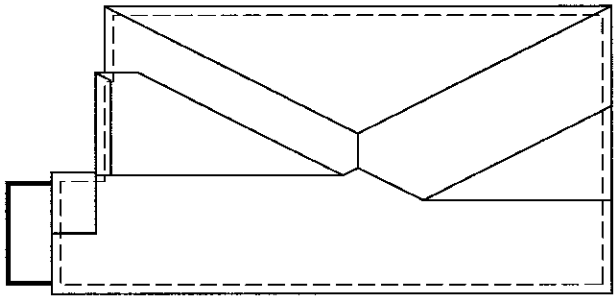
RN design
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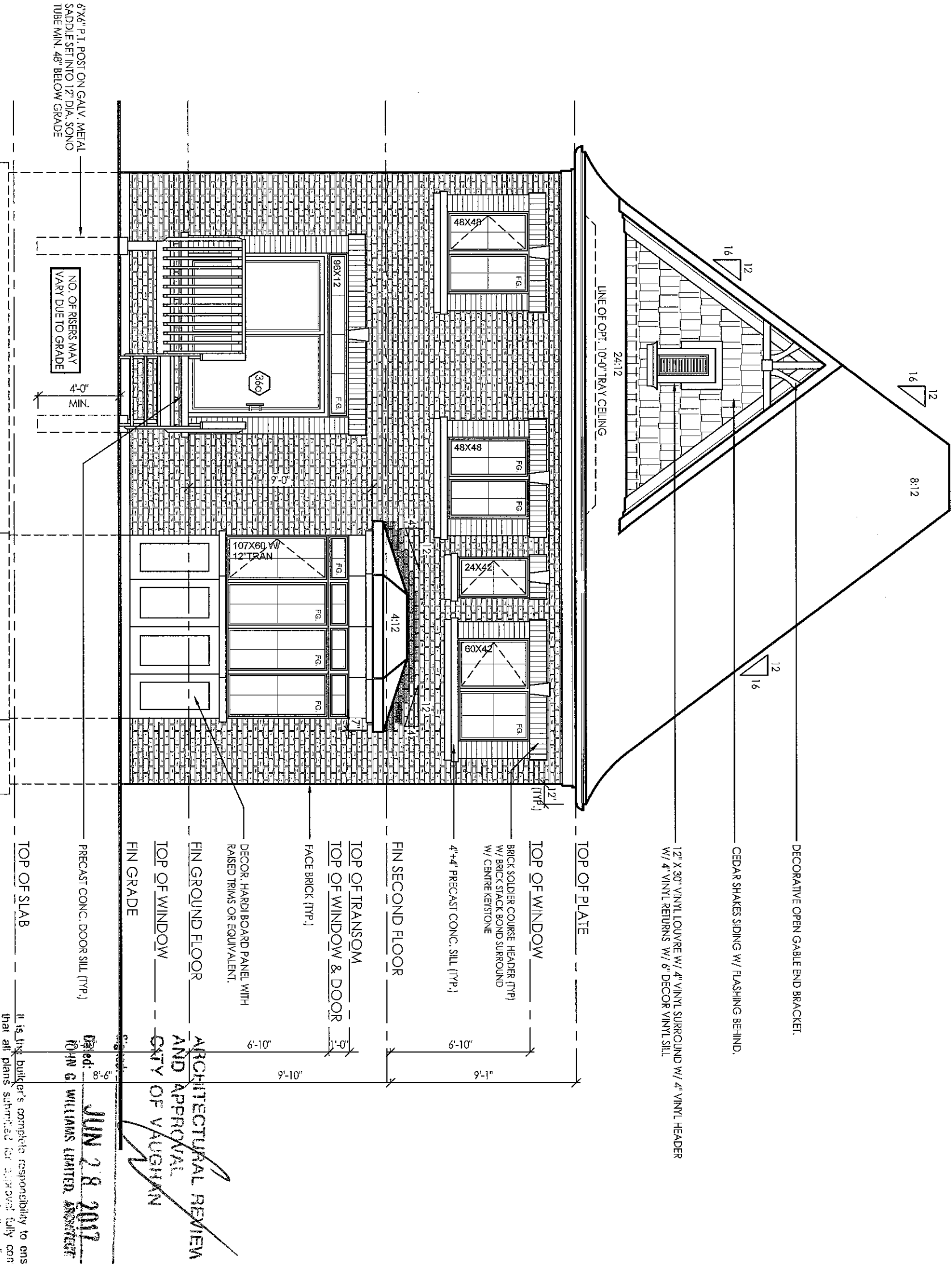
model 38-6
scale 3/16" = 1'0"
project # 14043

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ROOF PLAN 'A'



UPGRADED REAR ELEVATION 'A'
WOD CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Specifications and all applicable regulations and local codes including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any building can be properly built or located on its lot.

File:D:\ncardm\project\14043\Architectural\Model\38-6\14043-38-6-FRNL.dwg Plotted: Jun 22, 2017 6/Lauren O

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: *Eric Schneider*

SIGNATURE:

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD COND. FOR REAR UPG. ELEV A	13-MAR-17	PM	ES					
2	ISSUED FOR PERMIT	22-JUNE-17	LO	JM					

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model
38-6

scale
3/16" = 1'0"

project #
14043

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.
-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-FTG. TO HAVE CONTINUOUS KEY
-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

1 TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER -1 STOREY -13" X 4" (330mm X 100mm)
-2 STOREY -19" X 6" (485mm X 155mm)
-3 STOREY -26" X 9" (660mm X 230mm)

SIDING- -1 STOREY -10" X 4" (255mm X 100mm)
-2 STOREY -14" X 4" (360mm X 100mm)
-3 STOREY -18" X 5" (460mm X 130mm)

2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY -16" X 4" (410mm X 100mm)
-1 STOREY STUD -12" X 4" (305mm X 100mm)
-2 STOREY MASONRY -26" X 9" (650mmX 230mm)
-2 STOREY STUD -18" X 5" (450mm X 130mm)
-3 STOREY MASONRY -36" X 14" (900mm X 360mm)
-3 STOREY STUD -24" X 8" (600mm X 200mm)

3 STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

4 DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.
-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT SLAB:

O.B.C. 9.13. & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPOOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPOOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 - 3.1.1.7 (5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

5a SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPOOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPOOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. [OBC SB-12 3.1.1.7.(6)]
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

6 GARAGE SLAB / EXTERIOR SLAB:

-4" (100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

7 PILASTERS:

O.B.C. 9.15.5.3.
PILASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.
OR
BEAM POCKET
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)
STRUCTURAL COLUMNS

-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS. WHERE THE WEIGHT OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

8 STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.8mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mmx 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4"x4"x1/4" (100mmX 100mmX 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CSG-712-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 kN (O.B.C. 9.17.3.4.1)
COL. SPACING:
2 STOREY
-MAX. 9'-10" (2997mm)
-MAX. 16'-0" (4880mm)
3 STOREY
-MAX. 9'-10" (2997mm)
-MAX. 16'-0" (4880mm)
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

CLIENT SPECIFIC REVISIONS

WOOD COLUMN:

OBC 9.17.4.1 , 9.17.4.2. & 9.17.4.3.
-5 1/2" x 5 1/2" (140mm x 140mm) SOLID WOOD COLUMN - OR
-3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 6 MIL POLY
-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9'-10" COL SPACING)
-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/ 9'-10" COL SPACING)

10 BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2"x8"x12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"x11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally supported height.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN Laterally supported height.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76)RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL
REDUCTION OF THICKNESS:
O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPOOFING & WATERPROOFING:
-DAMPPOOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

14a FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.
-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

15 FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLW OOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4..
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

15a ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-BRACE W/ CONT. 16 GAUGE STEEL T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD.
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

15b FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

16 BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

16a ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR
-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

16b BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

File: C:_RN_Standards\temp\AcPublish_9464114043-39-6-FINAL.dwg Plotted: Feb 28, 2017 By: Paola M

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.17.17

SIGNATURE:

client

Gold Park Homes

location

VAUGHAN, ON

project

KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
2	ISSUED FOR PERMIT	24-FEB-16	JP	JP	6				
3					7				
4					8				

RN design
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model
38-6

scale
3/16" = 1'0"

project #
14043

page

D1

- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- INTERIOR STUD WALLS:**
- O.B.C. T.9.23.10.1.
- 2' X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2' X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2' X 4" OR 2' X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- BEARING STUD WALL (BASEMENT):**
- 2' X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2' X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL. 2' X 4" OR 2' X 6" TOP PLATE.
- 2' X 4" OR 2' X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB
- PARTY WALL - BLOCK:**
- O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2' X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PARTY WALL - BLOCK (AGAINST GARAGE):**
- O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2' X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REQ. INSULATION VALUES:**
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- | | |
|-----------------------------|---------|
| -RIGID INSULATION | = 20.00 |
| -LOW DENSITY CONCRETE BLOCK | = 1.70 |
| -WOOD FRAME W/ GYPSUM | = 2.72 |
| -AIR FILM - MOVING | = 0.68 |
| -AIR FILM - STILL | = 0.17 |
| TOTAL "R" VALUE | = 25.27 |
- FIREWALL:**
- O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. T.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2' X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PROTRUDE PAST FASCIA @ EAVES W/ #RICK CORBELLING
- EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)
- PARTY WALL - FOUNDATION:**
- O.B.C. 9.15.4.2.
- 7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- 2 ROWS 2'X4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2' X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2' X 4" (38mmX 89mm) TOP PLATES
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2' X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2' X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- GARAGE WALL & CEILING:**
- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS.
- R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.. FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
- WALLS ADJACENT TO ATTIC SPACE:**
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2' X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.
- DOUBLE VOLUME WALLS:**
- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
- SOLID BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

◆ CLIENT SPECIFIC REVISIONS

- EXPOSED FLOOR:**
- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT
- SUNKEN FINISHED AREAS:**
- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.
- DOUBLE MASONRY WYTHE WALL:**
- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.
- CORBEL MASONRY VENEER:**
- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)
- FLOOR ASSEMBLIES:**
- SILL PLATE:**
- O.B.C. 9.23.7.
- 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.
- BRIDGING & STRAPPING:**
- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- d) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.
- FLOOR ASSEMBLY:**
- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS
- PORCH SLAB:**
- O.B.C. 9.39.1.4.
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
- IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
- EXTERIOR BALCONY ASSEMBLY:**
- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2'X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2'X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2'X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- EXTERIOR GUARD AS PER #36a
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
- REQUIRED FOR OVER HEATED SPACES:**
- ADD 2'x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)
- EXTERIOR FLAT ROOF ASSEMBLY:**
- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT
- INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
- 2'X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:**
- ADD 2'x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)
- ROOF ASSEMBLIES**
- TYPICAL ROOF:**
- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES JOIST & FLOOR LVL BEAM DESIGNS
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT SOFFIT
- CEILING:**
- R60 (RSI 10.56) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)
- VAULTED OR CATHEDRAL CEILING:**
- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2'x8" (38mm x 184mm) @ 16" O.C. W/ 2'x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR

-2'x10" (38mm x 235mm) @ 16" O.C. W/ 2'x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)

-R31 (RSI 5.46) INSULATION

-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD

CONVENTIONAL FRAMING:

O.B.C. TABLE A6 OR A7

-2' X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)

-2'X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS

-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

ATTIC ACCESS HATCH:

OBC 9.19.2.1. & SB-12 3.1.1.8.(1)

-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

GENERAL:

PRIVATE STAIRS:

O.B.C. 9.8.4.

-MAX. RISE = 7-7/8" (200mm)

-MIN. RUN = 8-1/4" (210mm)

-MIN. TREAD = 9-1/4" (235mm)

-MAX. NOSING = 1" (25mm)

-MIN. HEADROOM = 6'-5" (1950mm)

-MIN. WIDTH = 2'-10" (860mm)

(BETWEEN WALL FACES)

-MIN. WIDTH = 2'-11" (900mm)

(EXIT STAIRS, BETWEEN GUARDS)

ANGLED TREADS:

-MIN. RUN = 5 7/8" (150mm)

-MIN. AVG. RUN = 7 7/8" (200mm)

-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS

-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

PUBLIC STAIRS:

O.B.C. 9.8.4.

-MAX. RISE = 7-3/32" (180mm)

-MIN. RUN = 11" (280mm)

-MIN. TREAD = 11" (280mm)

-MAX. NOSING = 1" (25mm)

-MIN. HEADROOM = 6'-9" (2050mm)

-MIN. WIDTH = 2'-11" (900mm)

(EXIT STAIRS, BETWEEN GUARDS)

-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS

-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2

-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH

-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS)

-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

O.B.C. 9.8.7.3

- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FINISH:

O.B.C. 9.8.9.6

-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)

- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCAT E THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

INTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3.

-GUARDS TO BE 3'-6" (1070mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

EXTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3.

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).

-GUARDS TO BE 3'-6" (1070mm)

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

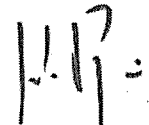
-PROVIDE MID-SPAN POSTS AS PER SB-7.

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

File: C:_RN_Standards\temp\AcPublish_9464114043-39-6-FINAL.dwg Plotted: Feb 28, 2017 By:PaolaM

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 
SIGNATURE: _____

client						location					
Gold Park Homes						VAUGHAN, ON					
project						marketing name					
KLEINBURG GLEN PH-2											
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk		
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5						
2	ISSUED FOR PERMIT	24-FEB-16	JP	JP	6						
3					7						
4					8						



model
38-6
scale
3/16" = 1'0"
project #
14043

page

D2

- 36b) EXTERIOR GUARDS @ JULIET BALCONY:**
-FOR RAILING SPANNING MAXIMUM OF 6'-0".
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37)** -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38)** -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39)** -CAPPED DRYER VENT
- 40)** -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.
- 41)** -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42)** -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44)** SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45)** CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46)** -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47)** -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C.- 9.10.13.15.
-R4 (RSI 0.70)
- 48)** -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49)** **EXTERIOR COLUMN W/ MASONRY PIER:**
-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
-3/4" AIR SPACE AROUND POST.
OR
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.
- 49a)** **EXTERIOR COLUMN:**
-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.
- 50)** **COLD CELLARS:**
FOR COLD CELLARS PROVIDE THE FOLLOWING:
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
-COVER VENT W/ BUG SCREEN
-WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

- 51)** **STUD WALL REINFORCEMENT:**
O.B.C. 9.5.2.3.
-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)
- FRAME CONSTRUCTION:**
-ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WINDOWS:
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

GROSS GLAZING AREA EL. 'A' - STD.

TOTAL PERIPHERAL WALL AREA	3392.35 SF	315.15 m²
FRONT GLAZING AREA	76.04 SF	7.06 m²
LEFT SIDE GLAZING AREA	59.72 SF	5.55 m²
RIGHT SIDE GLAZING AREA	54.06 SF	5.02 m²
REAR GLAZING AREA	162.38 SF	15.09 m²
TOTAL GLAZING AREA	352.20 SF	32.72 m²
TOTAL GLAZING PERCENTAGE	10.38 %	

GROSS GLAZING AREA EL. 'B' - STD.

TOTAL PERIPHERAL WALL AREA	3410.51 SF	316.84 m²
FRONT GLAZING AREA	91.48 SF	8.50 m²
LEFT SIDE GLAZING AREA	59.72 SF	5.55 m²
RIGHT SIDE GLAZING AREA	54.06 SF	5.02 m²
REAR GLAZING AREA	162.38 SF	15.09 m²
TOTAL GLAZING AREA	367.64 SF	34.15 m²
TOTAL GLAZING PERCENTAGE	10.78 %	

GROSS GLAZING AREA EL. 'A' - OPT.

TOTAL PERIPHERAL WALL AREA	3392.35 SF	315.15 m²
FRONT GLAZING AREA	76.04 SF	7.06 m²
LEFT SIDE GLAZING AREA	53.61 SF	4.98 m²
RIGHT SIDE GLAZING AREA	68.75 SF	6.39 m²
REAR GLAZING AREA	155.35 SF	14.43 m²
TOTAL GLAZING AREA	353.75 SF	32.86 m²
TOTAL GLAZING PERCENTAGE	10.43 %	

GROSS GLAZING AREA EL. 'B' - OPT.

TOTAL PERIPHERAL WALL AREA	3410.51 SF	316.84 m²
FRONT GLAZING AREA	91.48 SF	8.50 m²
LEFT SIDE GLAZING AREA	53.61 SF	4.98 m²
RIGHT SIDE GLAZING AREA	68.75 SF	6.39 m²
REAR GLAZING AREA	155.35 SF	14.43 m²
TOTAL GLAZING AREA	369.19 SF	34.30 m²
TOTAL GLAZING PERCENTAGE	10.83 %	

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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CLIENT SPECIFIC REVISIONS

SCHEDULES

DOORS 46 47

- A 865x2030x45 (2'10"x6'8"x1-3/4")
B 815x2030x35 (2'8"x6'8"x1-3/8")
C 760x2030x35 (2'6"x6'8"x1-3/8")
D 710x2030x35 (2'4"x6'8"x1-3/8")
E 460x2030x35 (1'6"x6'8"x1-3/8")
F 610x2030x35 (2'0"x6'8"x1-3/8")
G OVER SIZED EXTERIOR DOOR

STEEL BEAMS

- ST1 W 6 X 15
ST2 W 6 X 20
ST3 W 8 X 18
ST4 W 8 X 21
ST5 W 8 X 24

WOOD BEAMS

- WD1 3/2" X 8" SPR
WD2 4/2" X 8" SPR
WD3 5/2" X 8" SPR
WD4 3/2" X 10" SPR
WD5 4/2" X 10" SPR
WD6 5/2" X 10" SPR
WD7 3/2" X 12" SPR
WD8 4/2" X 12" SPR
WD9 5/2" X 12" SPR

LINTELS

- L1 2/2" X 8" SPR
L3 2/2" X 10" SPR
L5 2/2" X 12" SPR
L7 3-1/2" X 3-1/2" X 1/4" L
L8 4-7/8" X 3-1/2" X 1/4" L
L9 4" X 3-1/2" X 1/4" L
L10 4-7/8" X 3-1/2" X 5/16" L
L11 4-7/8" X 3-1/2" X 3/8" L
L12 4-7/8" X 3-1/2" X 1/2" L
L13 5-7/8" X 3-1/2" X 3/8" L
L14 5-7/8" X 3-1/2" X 1/2" L
L15 5-7/8" X 4" X 1/2" L
L16 7-1/8" X 4" X 3/8" L
L17 7-1/8" X 4" X 1/2" L

- SMOKE ALARM 44
WATERPROOF DUPLEX OUTLET
VENTS AND INTAKES
HOSE BIB
EXHAUST FAN 38
COLD CELLAR VENT 50
STOVE VENT
FIRE PLACE VENT
DRYER VENT

PLAN/ELEVATION LEGEND

- CARBON MONOXIDE ALARM (CMA) 45
DOUBLE JOIST
PRESSURE TREATED LUMBER
GIRDER TRUSS
ABOVE FINISHED FLOOR
BEAM BY FLOOR MANUF
FLUSH
DROPPED
REPEAT SAME JOIST SIZE
UNDER SIDE
FIXED GLAZING
GLASS BLOCK
BLACK GLASS

- FLOOR DRAIN
SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED MEMBER)
POINT LOAD
FLAT ARCH
2 STORY WALL
EXT. LIGHT FIXTURE (WALL MOUNTED)
HYDRO METER
GAS METER

File C:_RN_Standardstemp\AePublish_946414043-38-6-FINAL.dwg Plotted: Feb 28, 2017 By Paola M

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/5/2015	BU	RPA	5				
2	ISSUED FOR PERMIT	24-FEB-16	JP	JP	6				
3					7				
4					8				

RN design
Imagine • Inspire • Create



model
38-6
scale
3/16" = 1'0"
project #
14043

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D3

31 TYPICAL ROOF:

- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

WALL TO CEILING & WALL TO FLOOR AIR/VAPOUR BARRIER JOINT
-OVERLAP BARRIER BY 4" MIN AND MECHANICALLY SEALED
-or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT

SEALANT

16 BRICK VENEER CONSTRUCTION (TYPICAL):

- O.B.C. 9.23.
- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.

A/B MECHANICALLY SEALED or PROVIDE CONTINUOUS SEALANT AT OVERLAPPED JOINTS IN AIR/VAPOUR BARRIER (TYP)

SEALANT

HEADER WRAP IS TO EITHER OVERLAP AIR/VAPOUR BARRIER BY 4" or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT (TYP)

26 SILL PLATE:

- O.B.C. 9.23.7.
- 2" X 6" (38mm X 140mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS
- SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN. WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER OF MINERAL WOOL NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

METAL FLASHING TO EXTEND UP BEHIND BRICK MIN 6"

2 TYPICAL STRIP FOOTING: (EXTERIOR BEARING WALLS)

- O.B.C. 9.15.3. & 9.15.3.6
- 3 STOREY STUD - 26" X 9" (660mmX 230mm)
- BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 29psi (200kPa) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

32 CEILING:

- R50 (RSI 8.8) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

28 FLOOR ASSEMBLY:

- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

REFER TO FLOOR PLANS FOR FLOOR JOIST SIZE, SPACING & BRIDGING

14 FOUNDATION WALL:

- O.B.C. 9.15.4.2.
- FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.
- 8" (200mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT.
- 10" (250mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
- FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
- WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
- INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1. O.B.C. T.2.1.1.2.A.)
- BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

- O.B.C. 9.15.4.7.
- WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
- TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY
- O.C. & 2'-11" (900mm) HORIZONTALLY.
- FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
- WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK
- DAMPPOOFING & WATERPROOFING:
- DAMPPOOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
- WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
- FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
- WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
- WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.
- SEALANT

5 BASEMENT SLAB :

- O.B.C. 9.13. & 9.16.
- 3" (75mm) CONCRETE SLAB
- 2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
- DAMPPOOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
- DAMPPOOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C.9.31.4.4.
- R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12 - 2.1.1.6 (5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)
- PROVIDE CONTINUOUS SEALANT BETWEEN CONC SLAB AND FOUNDATION WALL

TYPICAL EXTERIOR WALL SECTION- BRICK

SCALE: 3/4"= 1'-0"

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.17

SIGNATURE:

client				location			
Gold Park Homes				VAUGHAN, ON			
project				marketing name			
KLEINBURG GLEN PH-2							
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR PERMIT	24-FEB-16	JP	JP			

RN design
Imagine • Inspire • Create



model
38-6
scale
3/16" = 1'0"
project #
14043

page

D4