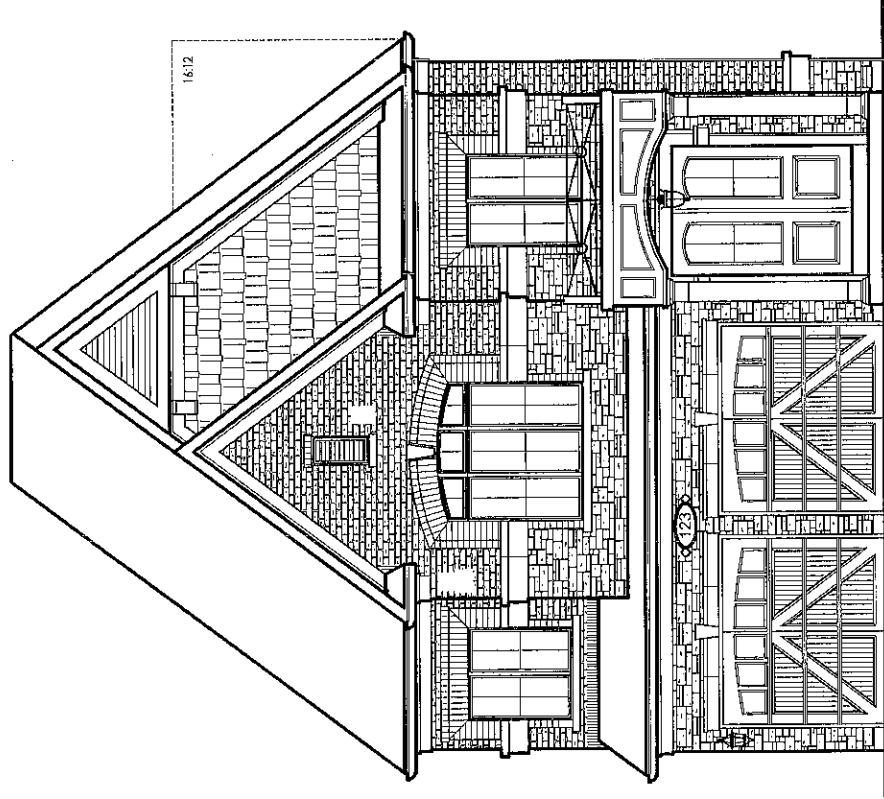
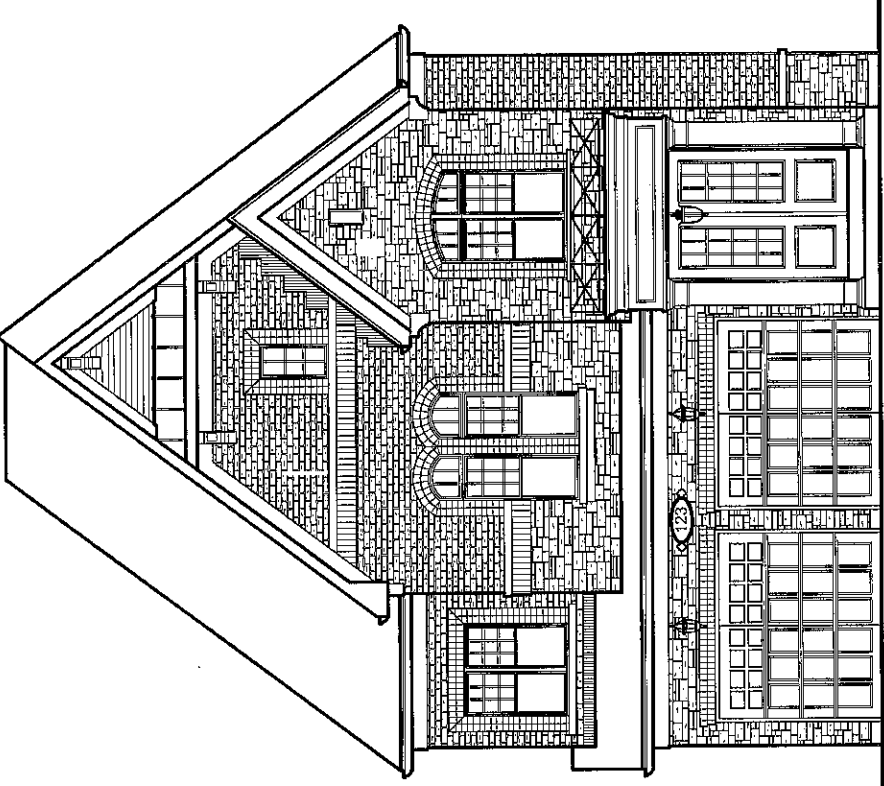




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT PLAN ELEV. 'A'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PART. BASEMENT PLAN ELEV. 'B'
- A5 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A6 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- A7 PARTIAL OPT. TWIN BATH PLAN
- A8 PART. BASEMENT PLAN W/ SUNK. FLR. COND.
- A9 FRONT ELEVATION 'A'
- A10 RIGHT SIDE ELEVATION 'B'
- A11 REAR ELEVATION 'A' & 'B'
- A12 LEFT SIDE ELEVATION 'A'
- A13 PARTIAL GROUND FLOOR (LOB/WOB)
- A14 PARTIAL BASEMENT FLOOR (LOB/WOB)
- A15 PARTIAL BASEMENT FLOOR (LOB/WOB)
- A16 PARTIAL REAR ELEVATION 'B'
- A17 TYPICAL CROSS-SECTION
- A18a PARTIAL BASEMENT FLOOR ELEV 'A' (SIDE UPGRADE)
- A17 PARTIAL GROUND FLOOR ELEV. 'A' (SIDE UPGRADE)
- A18 PARTIAL SECOND FLOOR ELEV. 'A' (SIDE UPGRADE)
- A18a FRONT ELEV 'A' (SIDE UPGRADE)
- ROOF PLAN 'A'
- A19 RIGHT SIDE ELEVATION 'A' (SIDE UPGRADE)
- A20 REAR ELEVATION 'A' (SIDE UPGRADE)
- A21 PARTIAL SECOND FLOOR (REAR UPGRADE)
- PARTIAL BASEMENT FLOOR
- PARTIAL GROUND FLOOR
- A22 UPGRADED REAR ELEVATION 'B'
- A23 REAR ELEVATION 'A' WOD UPGRADE
- A24 REAR ELEVATION 'B' WOD UPGRADE
- A25 BASEMENT PLAN ELEV. 'A' CORNER UPGRADE
- A26 GROUND FLOOR PLAN ELEV. 'A' CORNER UPGRADE
- A27 SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE
- A28 FRONT ELEVATION 'A' CORNER UPGRADE
- A29 RIGHT SIDE ELEVATION 'A' CORNER UPGRADE
- A30 REAR ELEVATION 'A' CORNER UPGRADE
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1202.1	111.7	1223.6	113.7
SECOND FLOOR PLAN	1530.1	142.1	1547.4	143.8
SECOND FLOOR PLAN OTB	(9.0)	(0.8)	(9.0)	(0.8)
TOTAL AREA	2723.2	253.0	2762.0	256.6
COVERAGE INC PORCH	1624.1	150.9	1642.0	152.5
COVERAGE NOT INC PORCH	1578.9	146.7	1598.7	148.5

Gold Park Homes

KLEINBURG GLEN PH-2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the local ordinance. The Architect is not responsible for the accuracy of the information or for the consequences of any error in the drawings or for the consequences of any error in the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

Fig. C-1, R1, Structures and Details, 54041-KC-03-03-4-FINAL.dwg, Printed: Feb 28, 2017 By: Paredi

I, JULIO PINOON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36488

FIRM BCIN: 26995

DATE:

SIGNATURE:

1.1.17

client
Gold Park Homes
location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
10	REVISED STAIR REQ AS PER O.A.C. 2017	2/15/2017	LO	JP	1	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RFA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RFA	DJH	7	ISSUED FOR PERMIT REVIEW	24-FEB-16	JP	JP
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RFA	DJH	8	ADDED SIDE UPGRADE DRAWINGS FOR REVIEW	6-JULY-16	SM	JM
1	REMOVED PRELACE JOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR	9	ADDED REAR UPG ELEV 'A' ISSUED FOR PERMIT	21-SEP-16	JR	JM

model
38-4

scale
3/16" = 1'0"

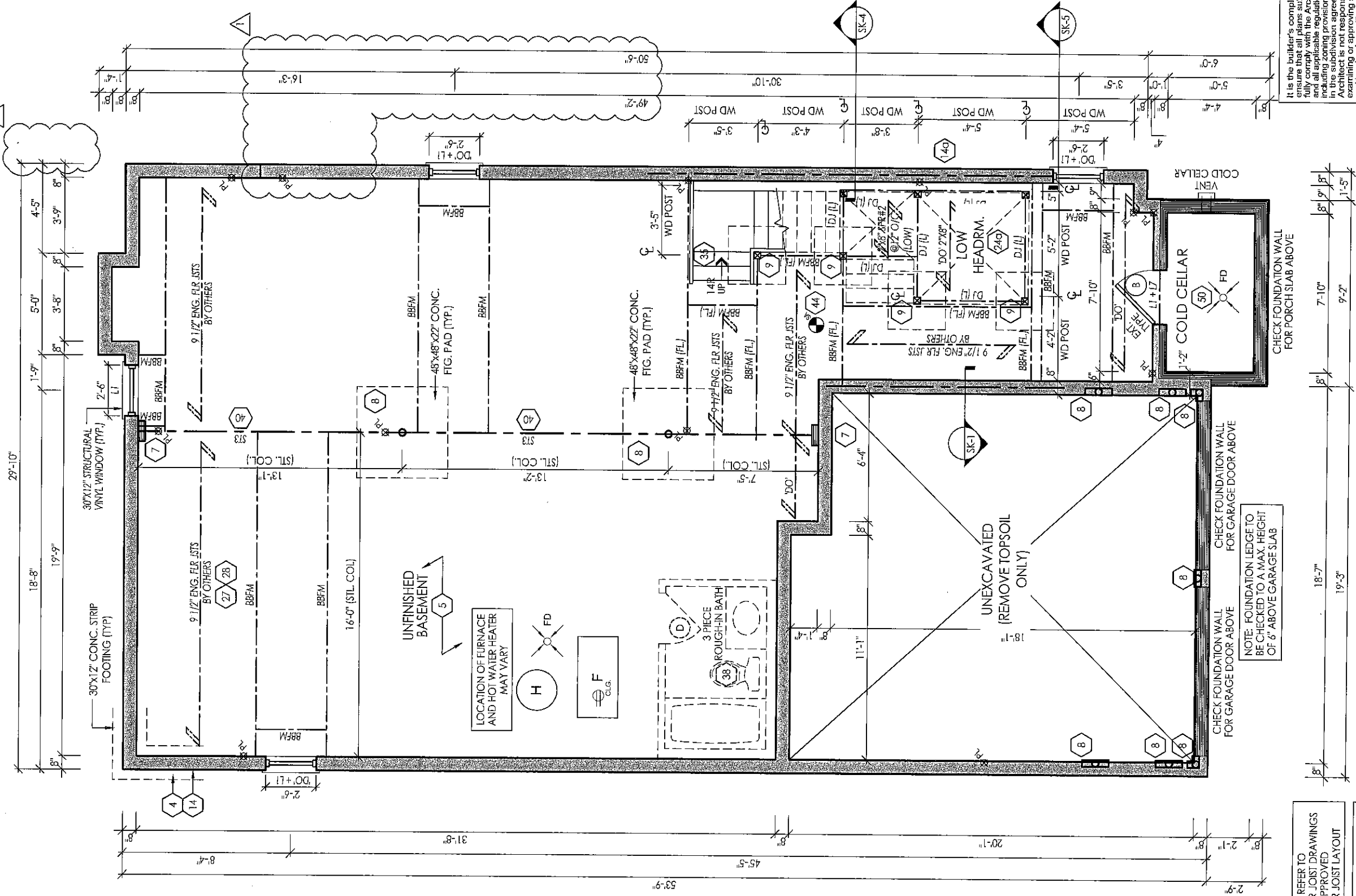
project #
14043

page

A0

RN design
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NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

BASEMENT PLAN ELEV. 'A'

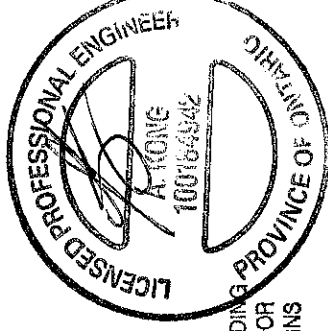
NOTE: FOUNDATION LEDGE TO BE CHECKED TO A MAX. HEIGHT OF 6' ABOVE GARAGE SLAB

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

client

Gold Park Homes

project

KLEINBURG GLEN PH-2

location

VAUGHAN, ON

marking name

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C/PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688

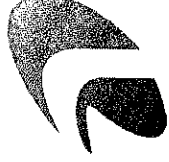
FIRM BCIN: 26995

DATE:

SIGNATURE:

11.17.17

RN design
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model

38-4

scale

3/16" = 1'0"

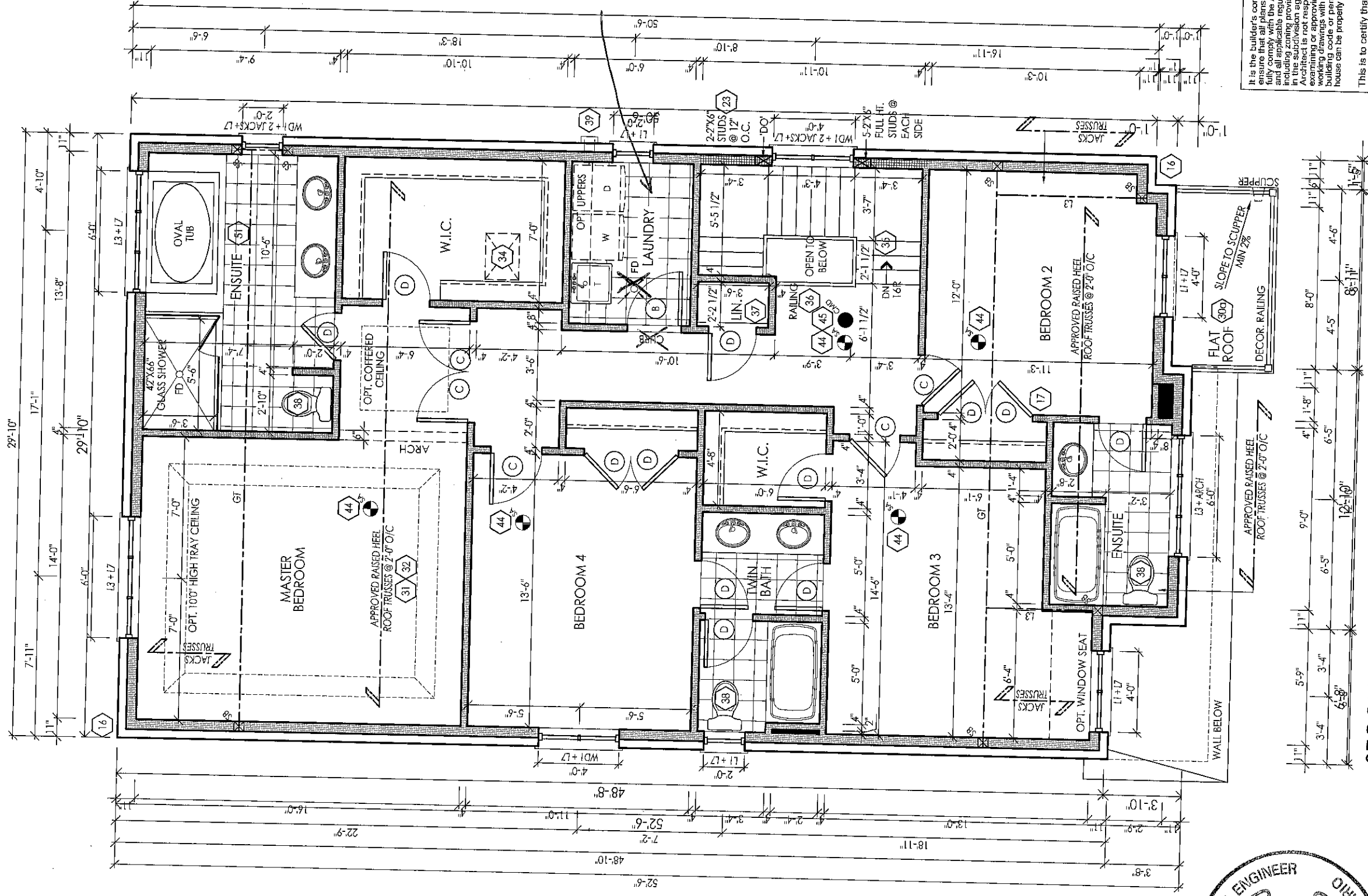
project #

14043

page

A1

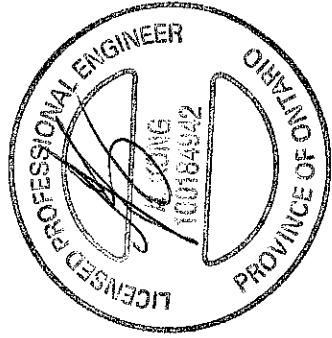
File C:\RV_Standard\template\plans\759214043-38-4_FINAL_comp_Feature_Mar20_2017_ByJulio.dwg



SECOND FLOOR PLAN ELEV. 'A'

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26975
DATE: 11.17.17

SIGNATURE:

Client: Gold Park Homes
Project: KLEINBURG GLEN PH-2
Location: VAUGHAN, ON
Marketing name:

#	REVISIONS	DATE	BY	REVISIONS	DATE	BY
1	ISSUED FOR CLIENT REVIEW.	2004-02-16	BU	1	REVISED AS PER CLIENT COMMENTS	19-Jan-16 JM
2	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	5	ISSUED FOR PERM	24-FEB-16 JP
3	REVISED AS PER ENGINEERING COORD.	2-JUL-15	RPA	7	REVISED AS PER STAIR REG O.B.C 2017	15-Feb-17 LO JP
4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	8		

PN design
Imagine - Inspire - Create



model 38-4
scale 3/16" = 1'0"
project # 14043

page

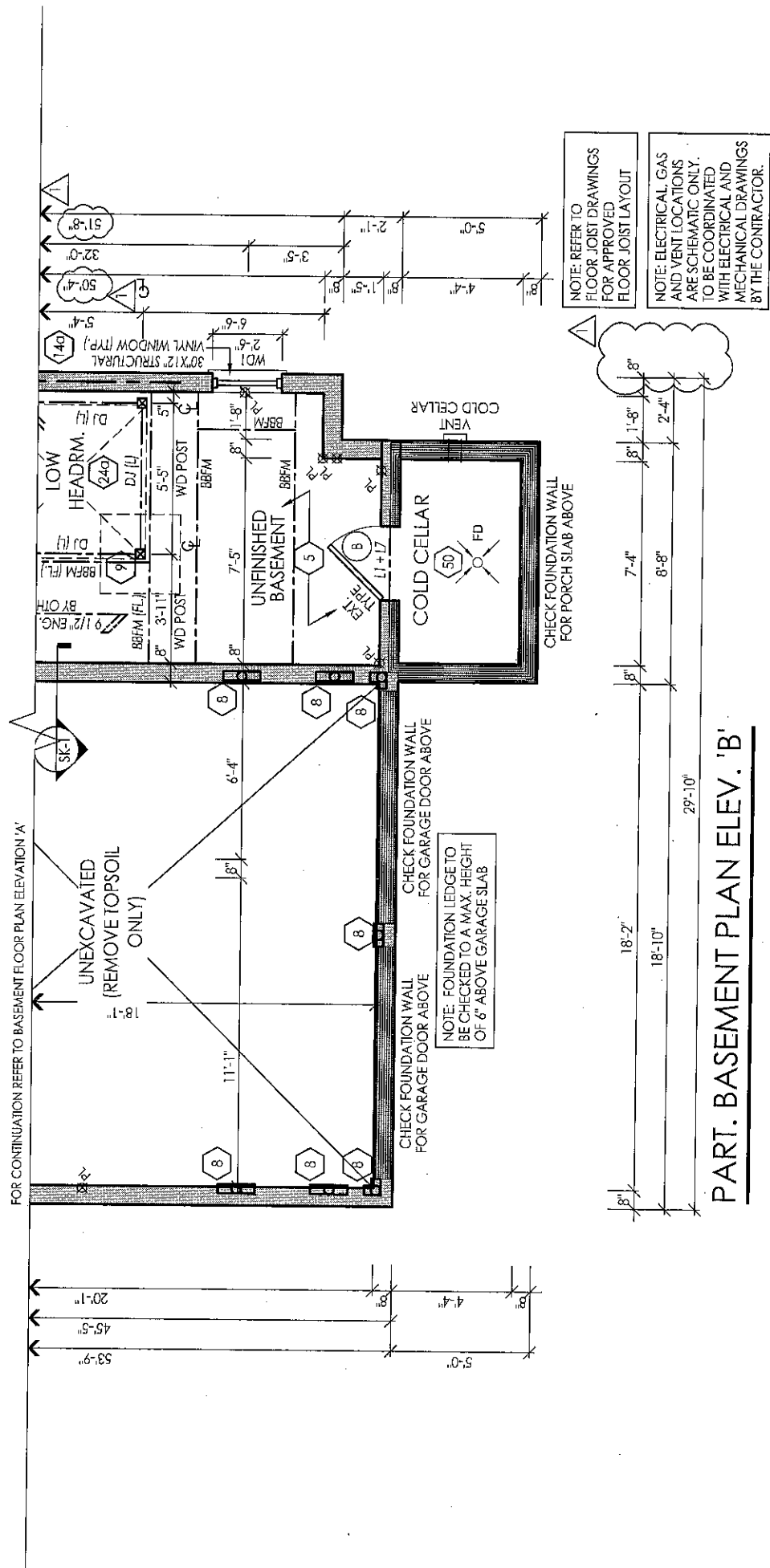
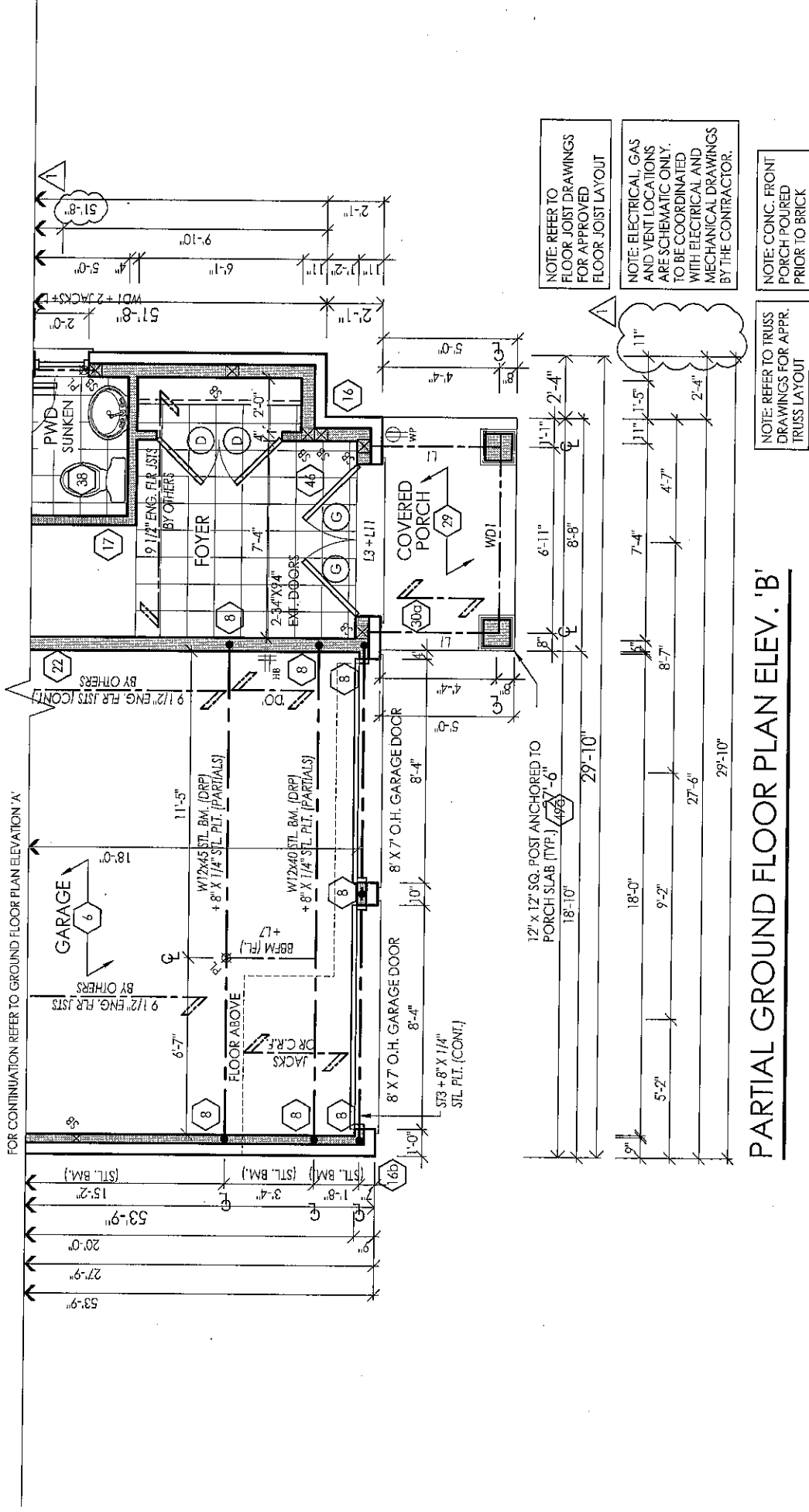
A3

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and any by-laws in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site (lotting) plans or building code or planning codes that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect



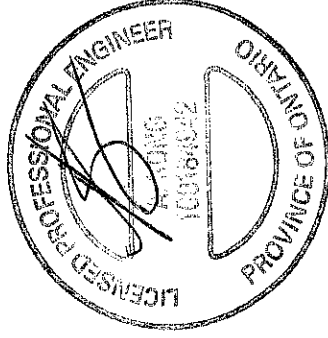
It is the builder's complete responsibility to ensure that all construction complies with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for working on drawings or plans or for any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

client: Gold Park Homes
location: VAUGHAN, ON
project: KLEINBURG GLEN PH-2
marketing name: KLEINBURG GLEN PH-2

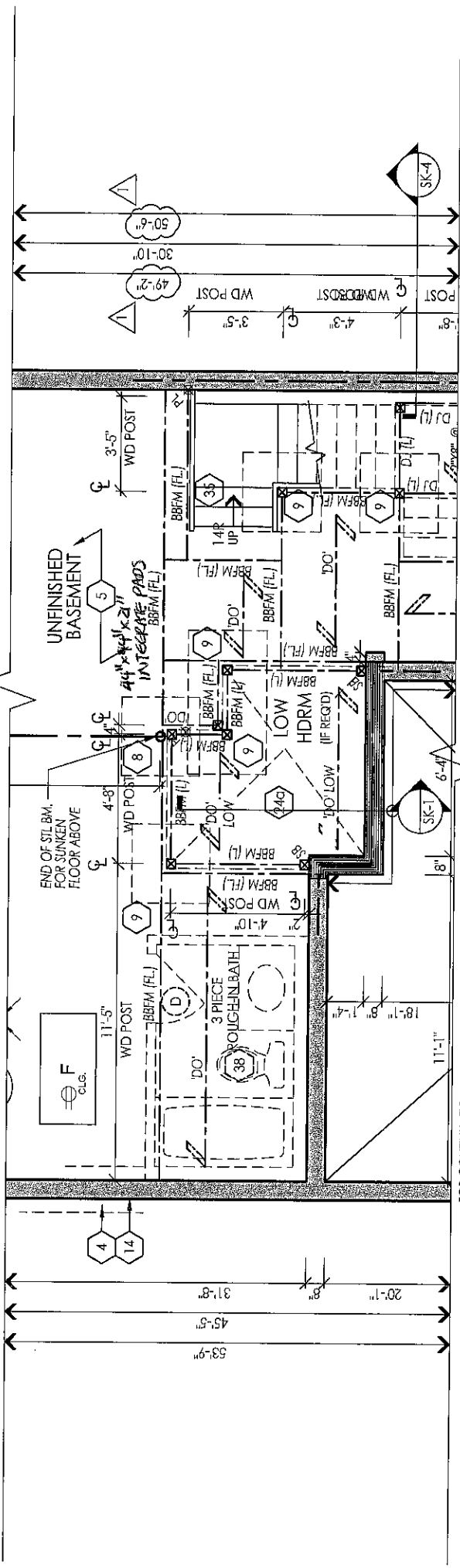
1 JULIO PINTON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.7.
SIGNATURE: [Signature]

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	2024-03-15	BU	RPA	4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	5	REVISED AS PER CLIENT COMMENTS	19-Jun-16	JM	JM
3	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH		ISSUED FOR PERMIT	24-Feb-16	JP	JP
4	REMOVED REPLACE DOOR PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR					



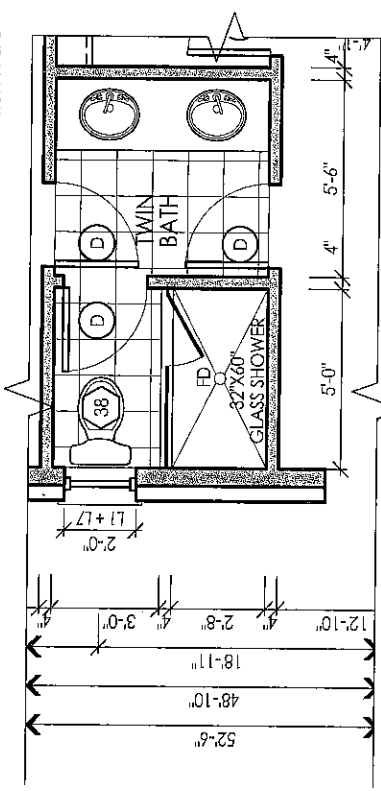
FOR CONTINUATION REFER TO BASEMENT FLOOR PLAN ELEVATION 'A'



FOR CONTINUATION REFER TO BASEMENT FLOOR PLAN ELEVATION 'A'

PART. BASEMENT PLAN W/ SUNK. FLR. COND.

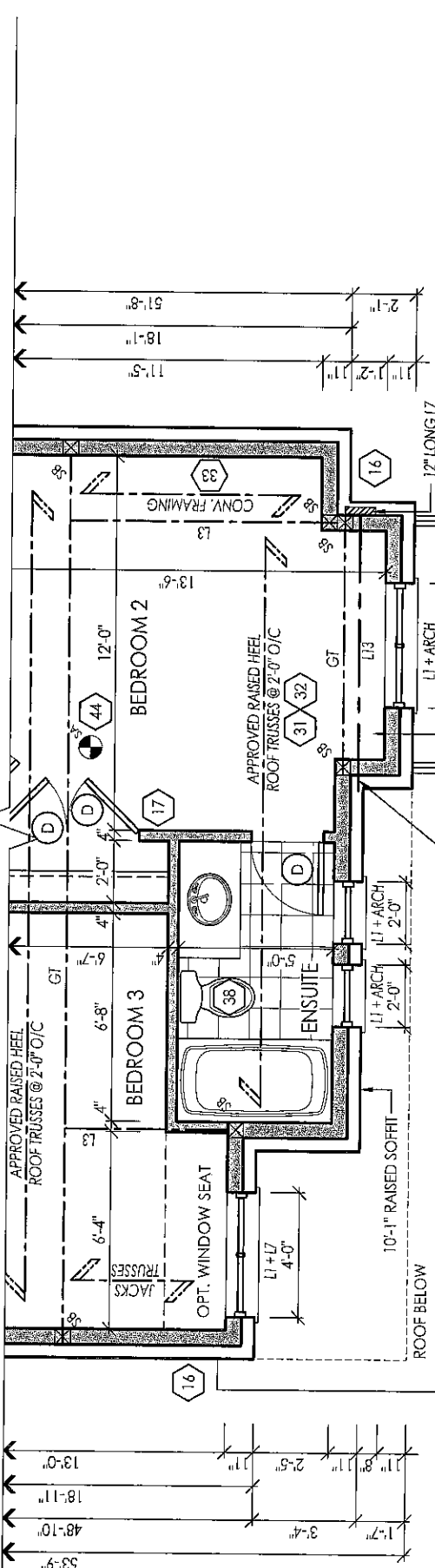
FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEVATION 'A' & 'B'



FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEVATION 'A'

PARTIAL OPT. TWIN BATH PLAN

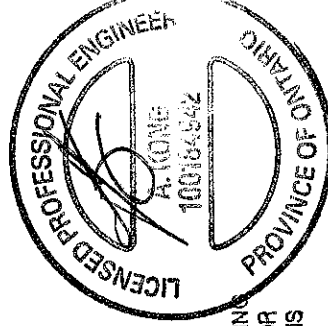
FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEVATION 'A'



NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

PARTIAL SECOND FLOOR PLAN ELEV. 'B'



MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John C. Williams Limited, Architect

FILED: C:_RN_Standard\map&columns_768234045-38-47\FINAL.dwg Plotter: Mar 20, 2017 By: JueP

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	REVISIONS	date	dwn	chk	#	REVISIONS	date	dwn	chk
11	REVISED STAIR REG AS PER O.B.C. 2017	16-Feb-17	LO	JP	1	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RFA	DJH	5	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RFA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
4	REVISED AS PER ENGINEERING CONSULTANT	2-Mar-15	RFA	DJH		ISSUED FOR PERMIT	24-Feb-16	JP	JP

model
38-4

scale
3/16" = 1'0"

project #
14043

page

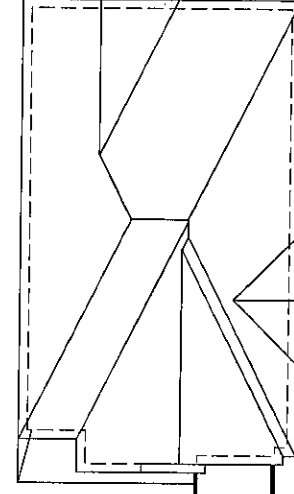
A5

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

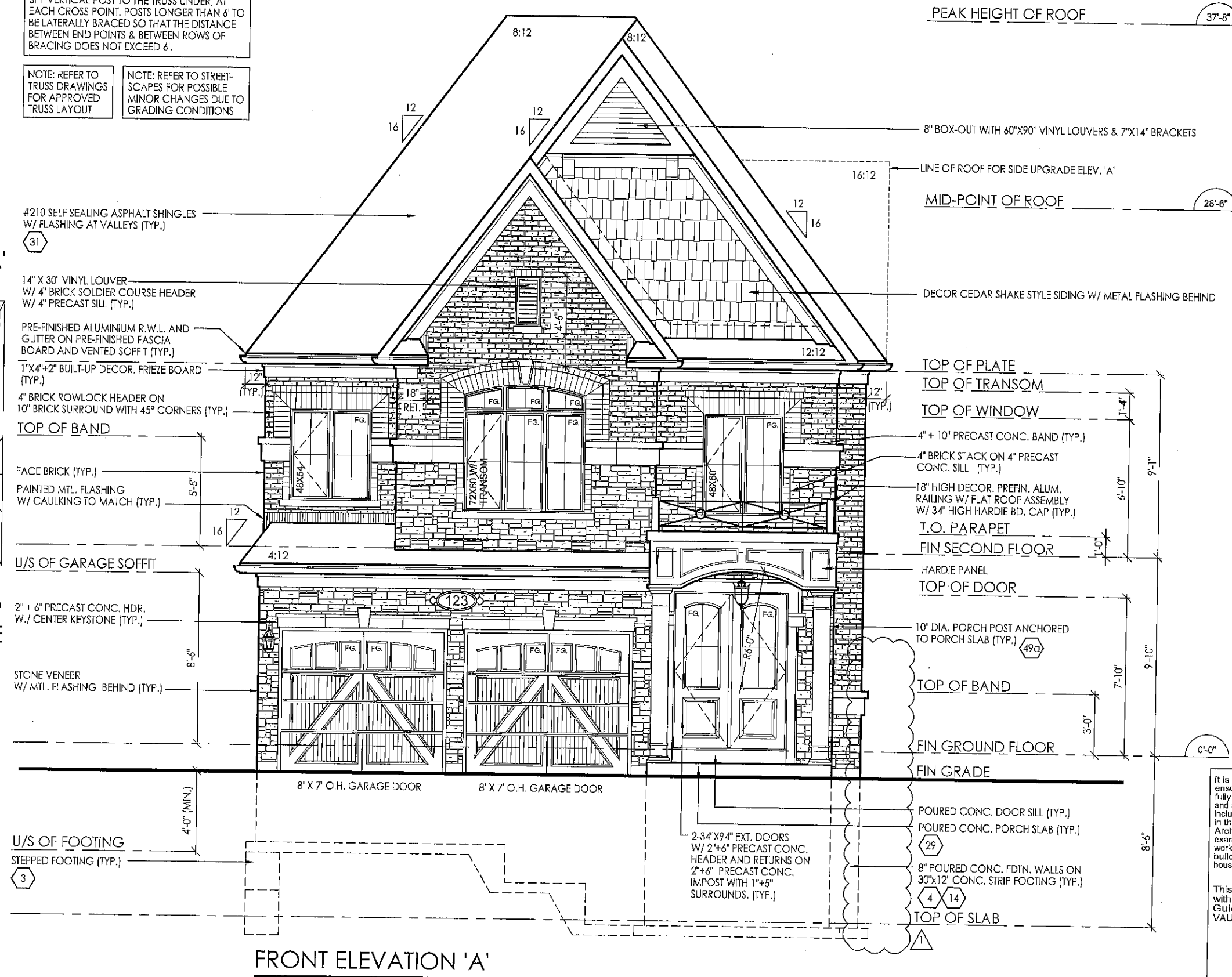
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN 'A'



ROOF PLAN 'A' SIDE UPGRADE



FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF 37'-8"

MID-POINT OF ROOF 28'-6"

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW
MAR 27 2017

John G. Winans Limited
Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26975
DATE: 11/17/17

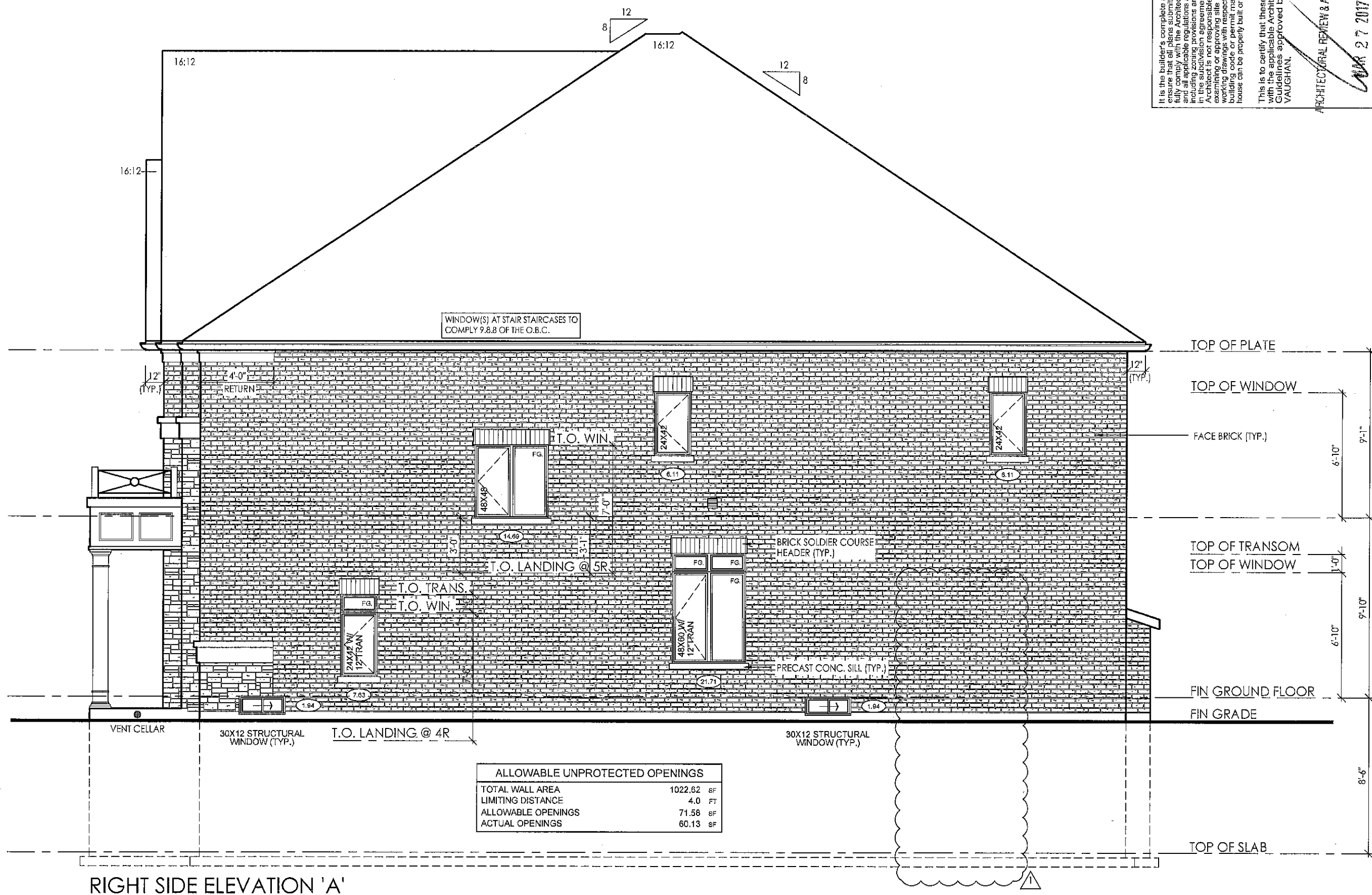
SIGNATURE:

client: Gold Park Homes
project: KLEINBURG GLEN PH-2
location: VAUGHAN, ON
marketing name: KLEINBURG GLEN PH-2

model: 38-4
scale: 3/16" = 1'0"
project #: 14043
page: A6



#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	2004-03-15	BU	RFA	3	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
2	REMOVED PRELACE JGS PROJECTION ON SIDE OF HOUSE	14-Dec-15	CS	CR	4	ISSUED FOR PERMIT	24-FEB-16	CE	CR
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	JF	JF	5	ISSUED FOR CLIENT REVIEW	4-JUL-16	JM	JM



RIGHT SIDE ELEVATION 'A'

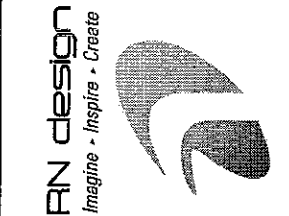
It is the builder's complete responsibility to ensure that all construction complies with the applicable Building Code and all applicable regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the construction of the building or for the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

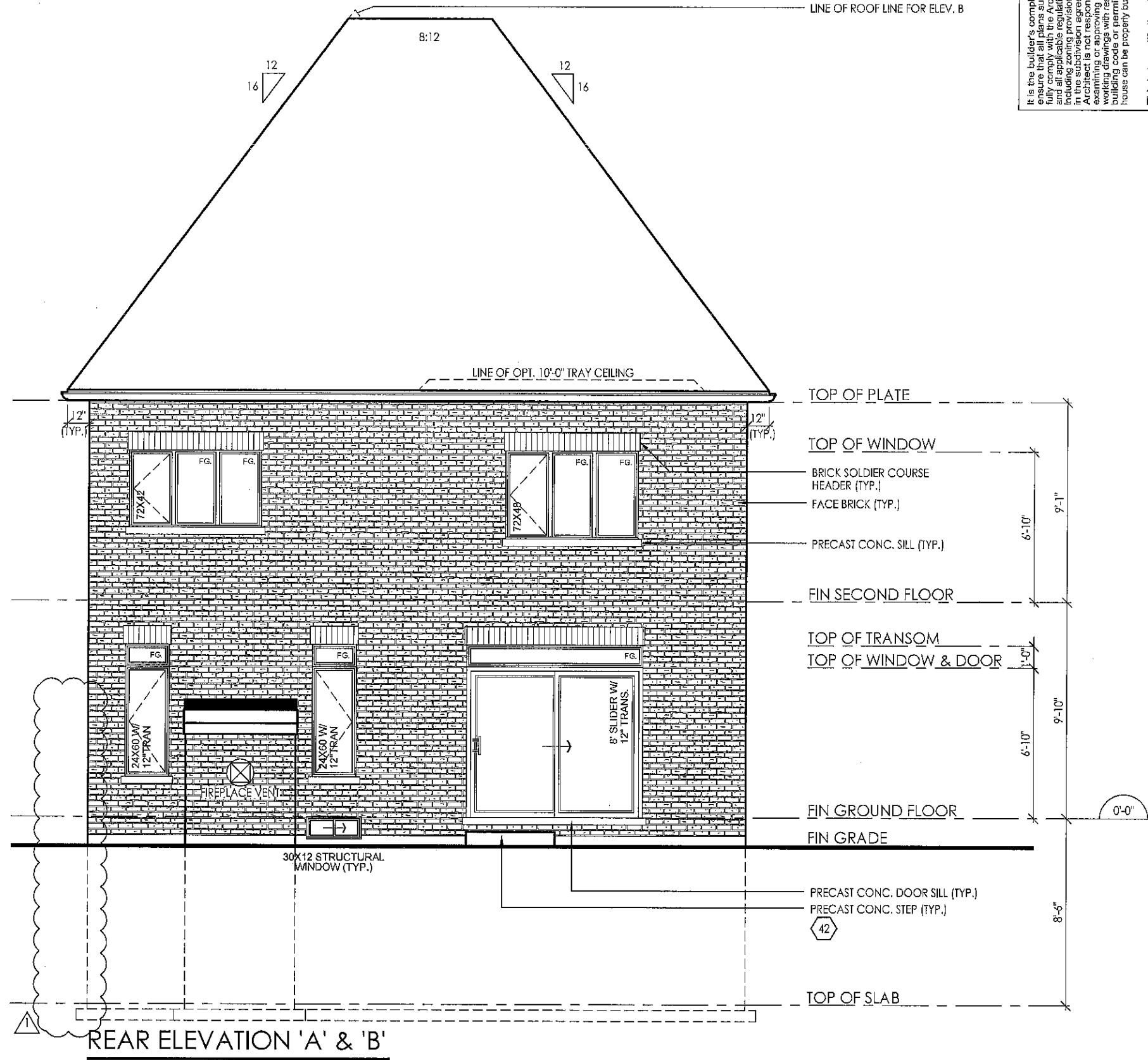
John G. Williams Limited, Architect



client		location		marketing name					
Gold Park Homes		VAUGHAN, ON							
project		KLEINBURG GLEN PH-2							
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2004-03-15	BU	RFA	3	REVISED AS PER CLIENT COMMENTS	19-JAN-16	JM	JM
2	REMOVED REPEATING PROJECTION ON SIDE OF HOUSE	14-DEC-15	CR	CR	4	ISSUED FOR PERMIT	24-FEB-16	CR	CR
3	REVISED AS PER CLIENT COMMENTS	16-MAR-15	JP	JP					

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.16
SIGNATURE: _____



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable zoning bylaws. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A8



client		location	
Gold Park Homes		VAUGHAN, ON	
project		marketing name	
KLEINBURG GLEN PH-2			
#	revisions	date	chk
1	ISSUED FOR CLIENT REVIEW.	2004-03-15	BU
2	REMOVED FIREPLACE LOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR
3	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
4	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
5	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
6	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
7	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
8	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

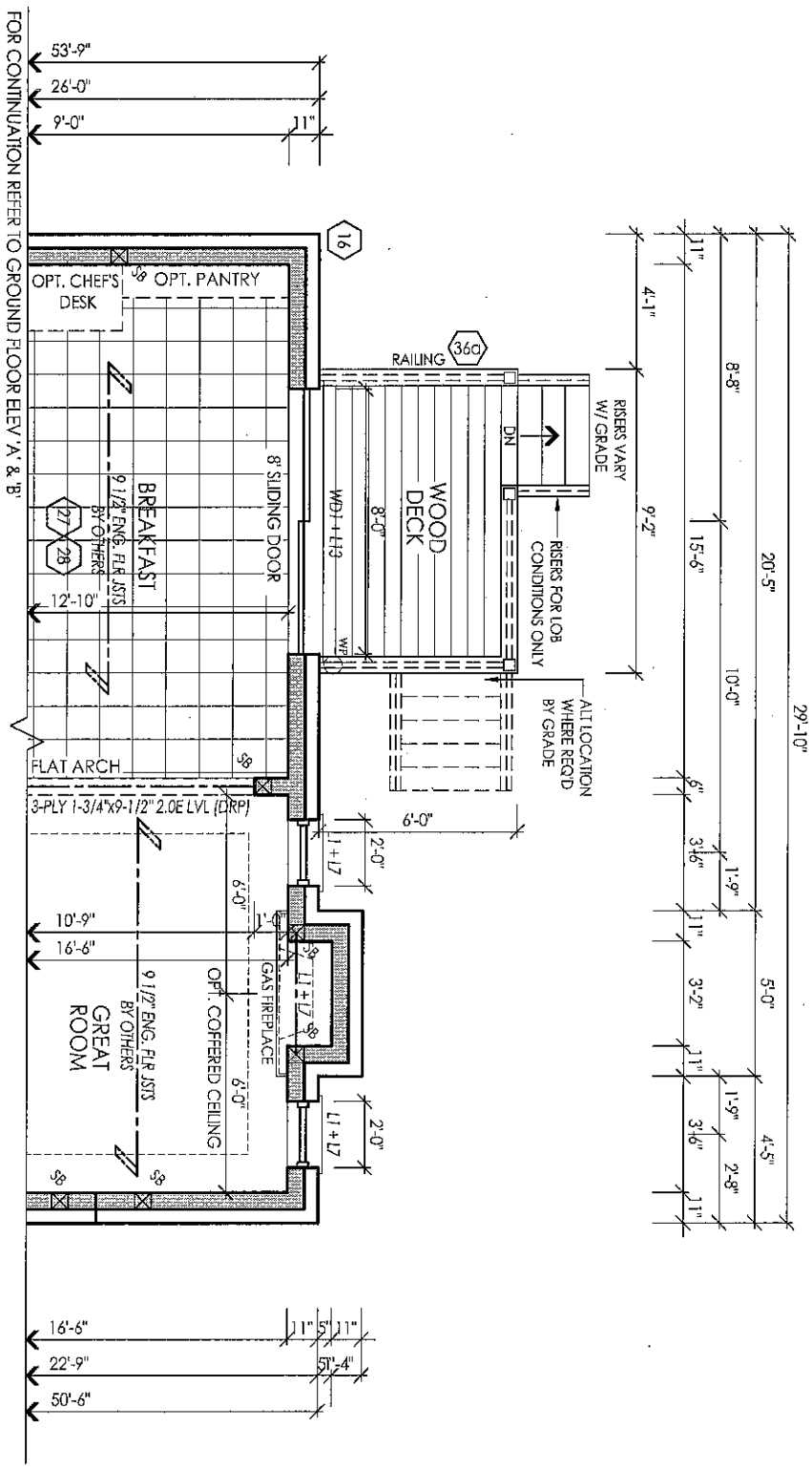
QUALIFIED DESIGNER BCIN: 36688

FIRM BCIN: 26995

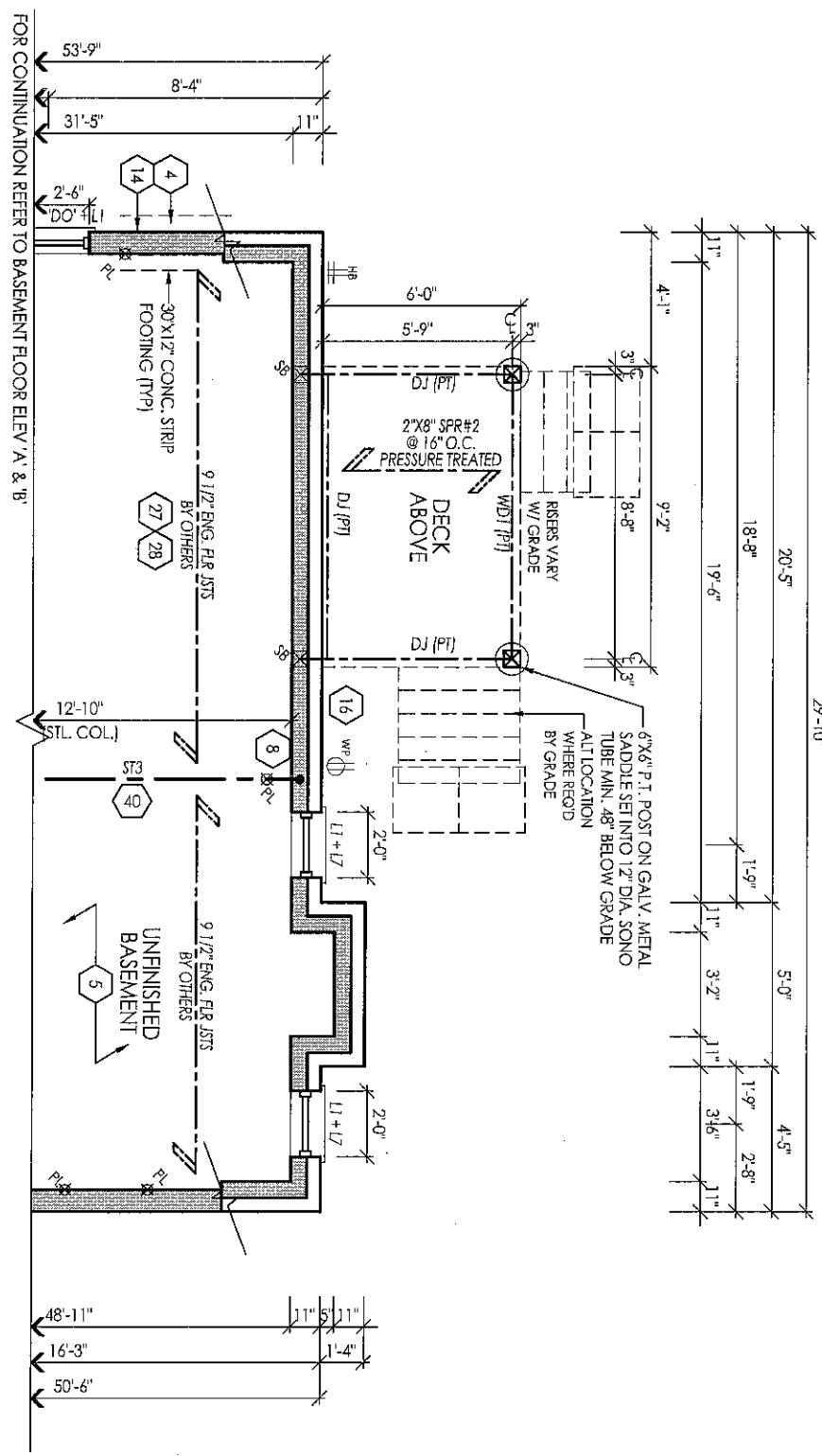
DATE: 11/17/15

SIGNATURE: _____

PARTIAL GROUND FLOOR (LOB/WOB)

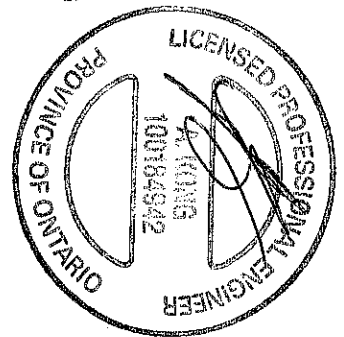


PARTIAL BASEMENT FLOOR (LOB/WOB)



FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSSES, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

MAR 17 2017



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ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

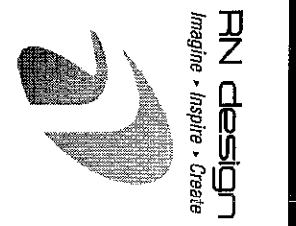
I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD. UNDER DIVISION C-PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26795

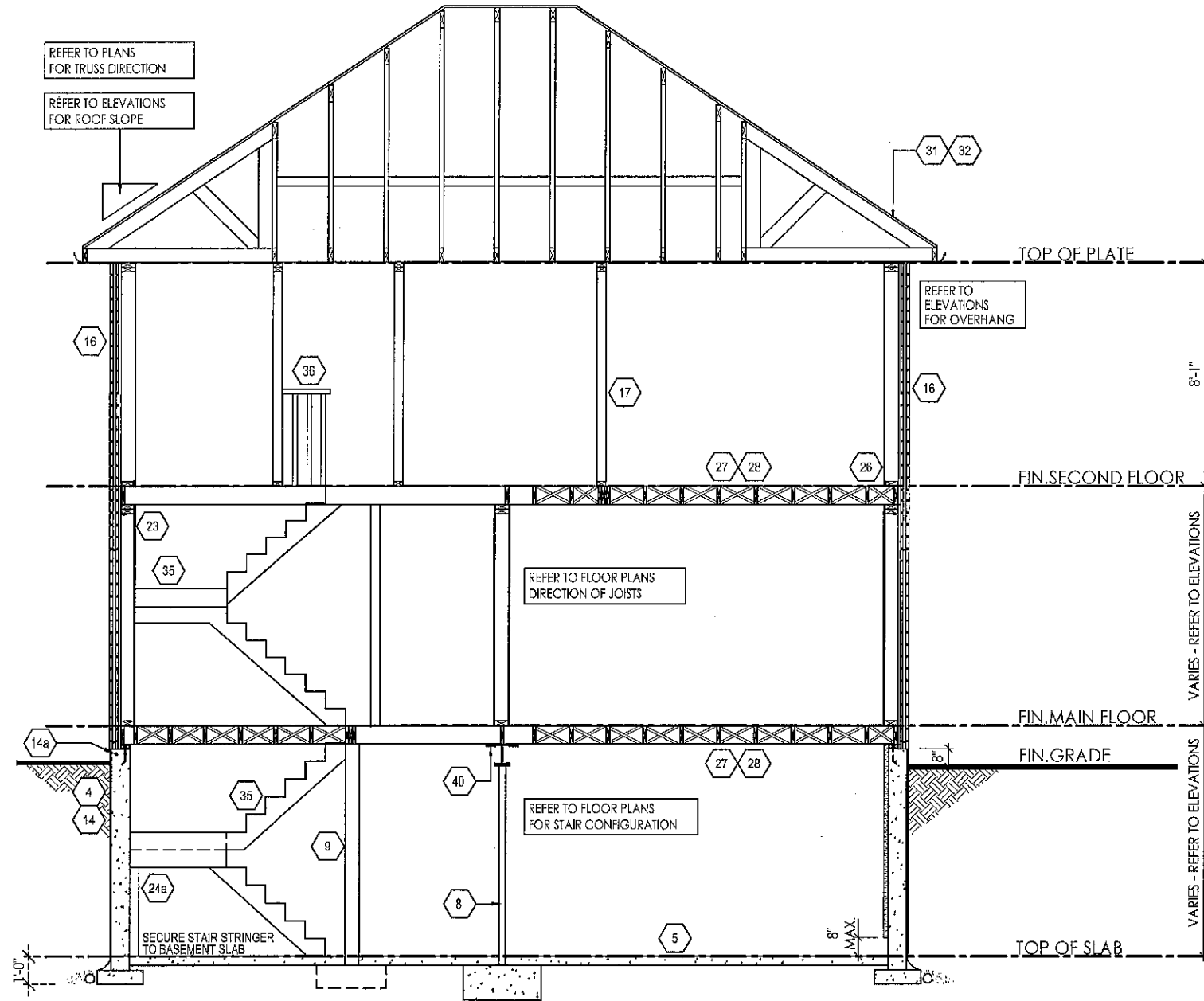
DATE: 11/7/17

SIGNATURE: [Signature]

client		Gold Park Homes		location		VAUGHAN, ON	
project		KLEINBURG GLEN PH-2		marking name			
#	revisions	date	dwn	chk	#	revisions	date
1	MODIFIED CONDITIONS	29-10-16	JR	AM			



model 38-4
scale 3/16" = 1'0"
project # 14043
page A13



TYPICAL CROSS-SECTION
SCALE: N.T.S.

model
38-4

scale
3/16" = 1'0"

project #
14043

page

A16

PN design
Imagine • Inspire • Create

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

revisions

date dwn chk

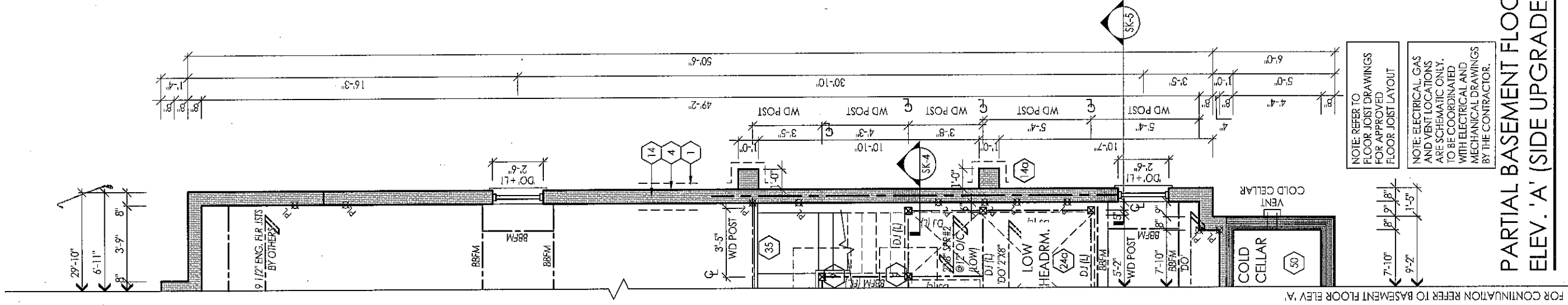
date dwn chk

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2004-03-15	BJ	BPA	5				
2	REVISED AS PER CLIENT COMMENTS	19-JUN-16	JM	JM	6				
3	ISSUED FOR PERMIT	24-FEB-16	JP	JP	7				
4					8				

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:
SIGNATURE:

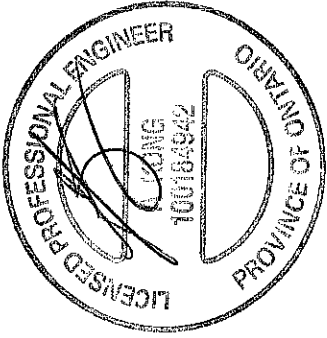
36698
26995



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2 2017
John G. Williams Limited, Architect



MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

PARTIAL BASEMENT FLOOR ELEV. 'A' (SIDE UPGRADE)

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marking name

revisions

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	6 MAY 16	SM	JM					
2	ISSUED FOR PERMIT	9 DEC 16	JM	JM					
3	REVISED AS PER STAR REG O.B.C. 2017	15 FEB 17	LO	JP					

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11/17/2017

SIGNATURE: [Signature]

RN design
Imagine • Inspire • Create

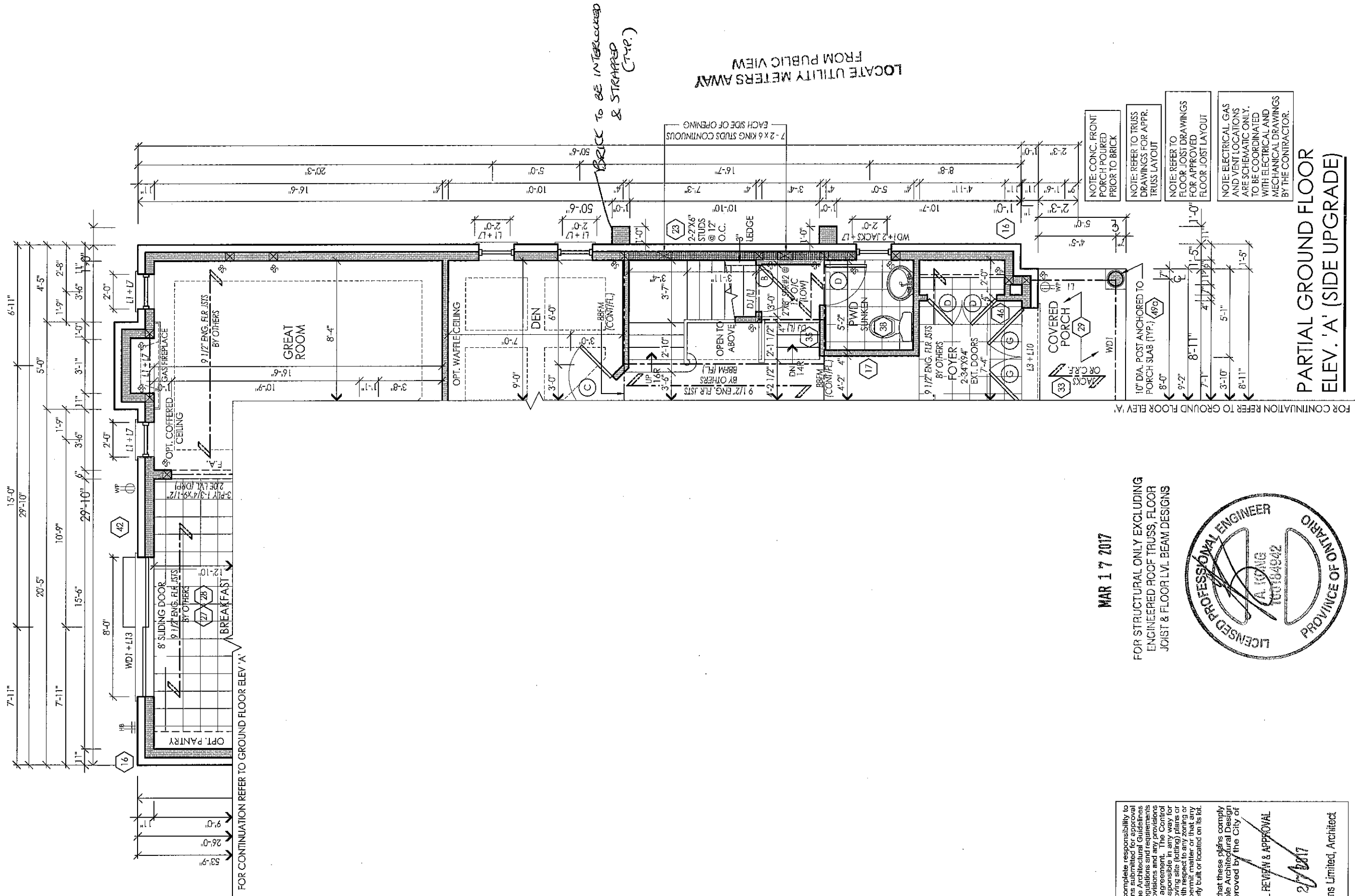
model
38-4

scale
3/16" = 1'0"

page
14043

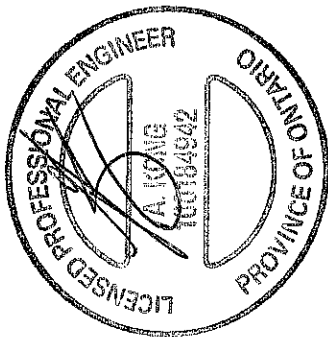
project #
14043

A16 A



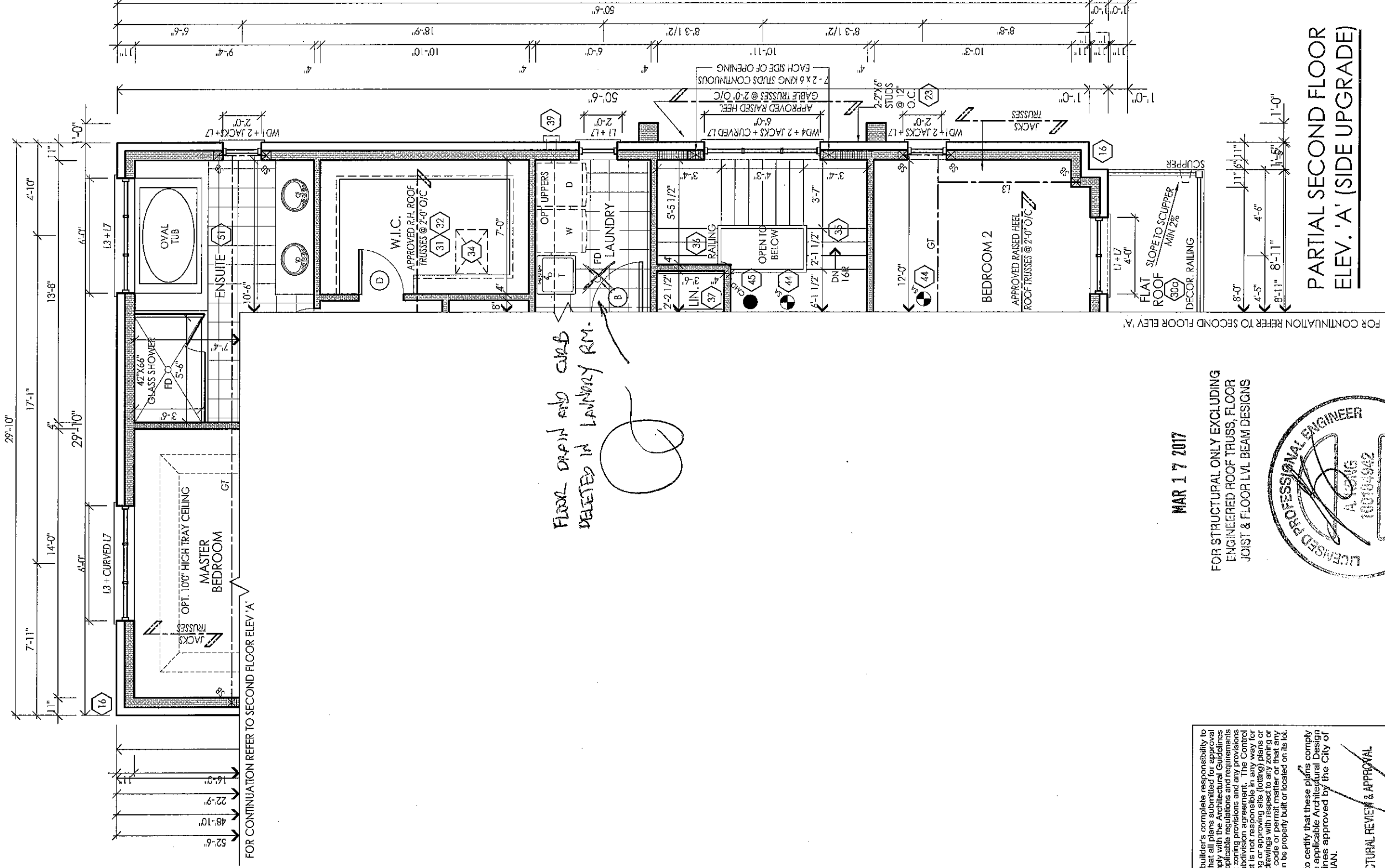
PARTIAL GROUND FLOOR
ELEV. 'A' (SIDE UPGRADE)

MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS



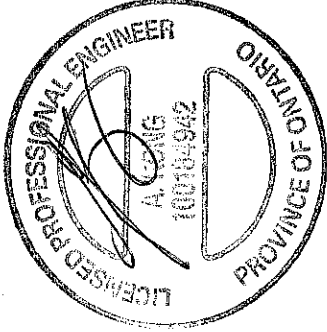
It is the builder's complete responsibility to ensure that all plans submitted for approval... ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

Client: Gold Park Homes, Project: KLEINBURG GLEN PH-2, Location: VAUGHAN, ON. Includes revision table, professional seal, and signature block.



PARTIAL SECOND FLOOR
ELEV. 'A' (SIDE UPGRADE)

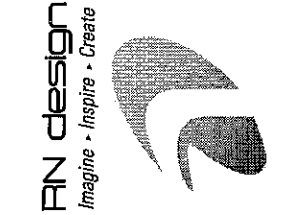
MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Control Authority is not responsible for the accuracy of the drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 2 2017
John G. Williams Limited, Architect



client		location	
Gold Park Homes		VAUGHAN, ON	
project		marketing name	
KLEINBURG GLEN PH-2			
#	revisions	date	dwn chk
1	ISSUED FOR CLIENT REVIEW	6/28/16	JM
2	ISSUED FOR PERMIT	8/22/16	JM
3	REVISED AS PER STAR REG O.B.C. 2017	1/5/17	LO

I, JULIO PINOCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PIN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36688
FIRM BCIN: 26995
DATE: 11/7/17

SIGNATURE:

