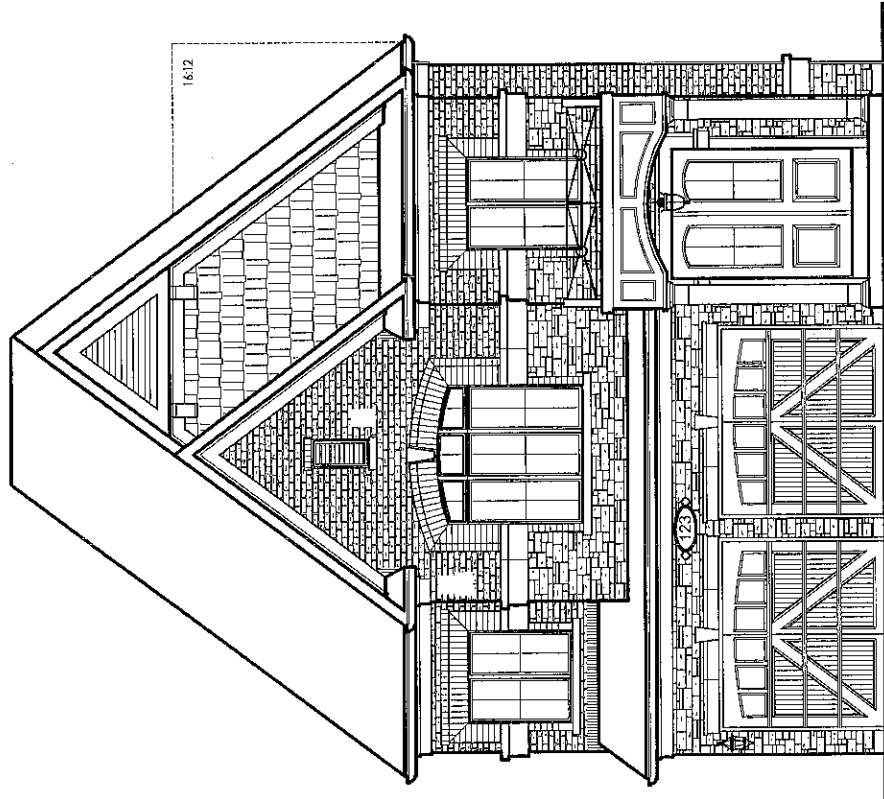
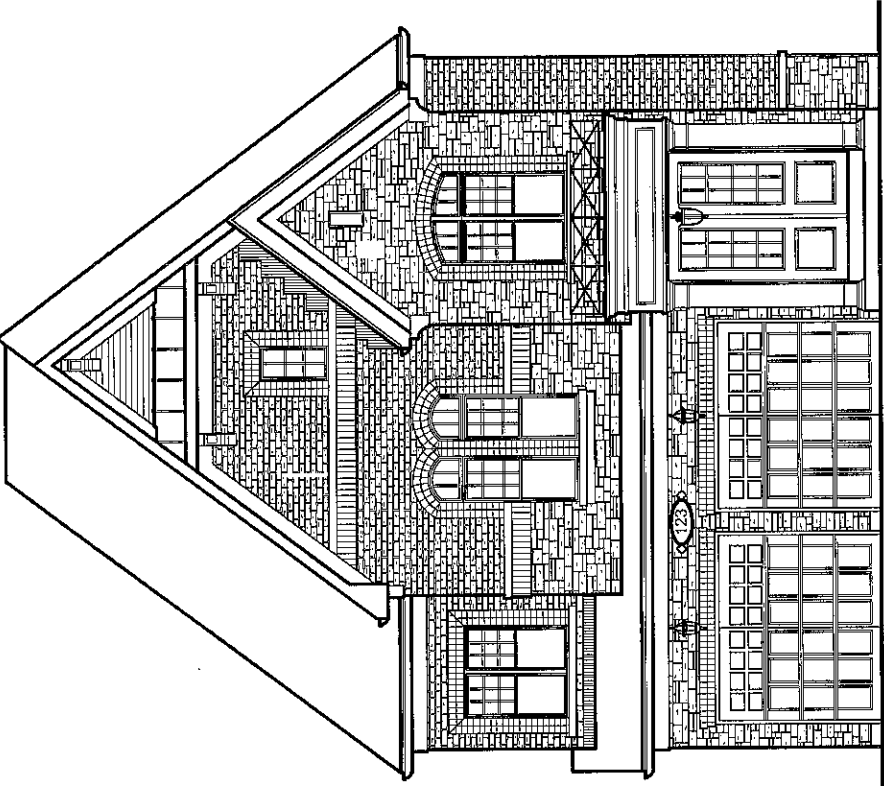




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT PLAN ELEV. 'A'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PART. BASEMENT PLAN ELEV. 'B'
- A5 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A6 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- A7 PARTIAL OPT. TWIN BATH PLAN
- A8 PART. BASEMENT PLAN W/ SUNK. FLR. COND.
- A9 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'B'
- A8 REAR ELEVATION 'A' & 'B'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 LEFT SIDE ELEVATION 'B'
- A13 PARTIAL GROUND FLOOR (LOB/WOB)
- A14 PARTIAL BASEMENT FLOOR (LOB/WOB)
- A15 PARTIAL BASEMENT FLOOR (LOB/WOB)
- A15 PARTIAL REAR ELEVATION 'B'
- A16 PARTIAL REAR ELEVATION 'B'
- A16 TYPICAL CROSS-SECTION
- A16a PARTIAL BASEMENT FLOOR ELEV 'A' (SIDE UPGRADE)
- A17 PARTIAL GROUND FLOOR ELEV. 'A' (SIDE UPGRADE)
- A18 PARTIAL SECOND FLOOR ELEV. 'A' (SIDE UPGRADE)
- A18a FRONT ELEV 'A' (SIDE UPGRADE)
- ROOF PLAN 'A'
- A19 RIGHT SIDE ELEVATION 'A' (SIDE UPGRADE)
- A20 REAR ELEVATION 'A' (SIDE UPGRADE)
- A21 PARTIAL SECOND FLOOR (REAR UPGRADE)
- PARTIAL BASEMENT FLOOR
- PARTIAL GROUND FLOOR
- A22 UPGRADED REAR ELEVATION 'B'
- A23 REAR ELEVATION 'A' WOD UPGRADE
- A24 REAR ELEVATION 'B' WOD UPGRADE
- A25 BASEMENT PLAN ELEV. 'A' CORNER UPGRADE
- A26 GROUND FLOOR PLAN ELEV. 'A' CORNER UPGRADE
- A27 SECOND FLOOR PLAN ELEV. 'A' CORNER UPGRADE
- A28 FRONT ELEVATION 'A' CORNER UPGRADE
- A29 RIGHT SIDE ELEVATION 'A' CORNER UPGRADE
- A30 REAR ELEVATION 'A' CORNER UPGRADE
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1202.1	111.7	1223.6	113.7
SECOND FLOOR PLAN	1530.1	142.1	1547.4	143.8
SECOND FLOOR PLAN OTB	(9.0)	(0.8)	(9.0)	(0.8)
TOTAL AREA	2723.2	253.0	2762.0	256.6
COVERAGE INC PORCH	1624.1	150.9	1642.0	152.5
COVERAGE NOT INC PORCH	1578.9	146.7	1598.7	148.5

Gold Park Homes

KLEINBURG GLEN PH-2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the local ordinance. The Architect shall be responsible for the design and construction of the building in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

I, JULIO PINOON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36488

FIRM BCIN: 26995

DATE:

SIGNATURE:

11/17

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
10	REVISED STAIR RIG AS PER O.A.C. 2017	2/15/2017	LO	JP	1	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RFA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RFA	DJH	7	ISSUED FOR PERMIT REVIEW	24-FEB-16	JP	JP
4	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RFA	DJH	8	ADDED SIDE UPGRADE DRAWINGS FOR REVIEW	6-JULY-16	SM	JM
1	REMOVED PRELACE JOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR	9	ADDED REAR UPG ELEV 'A' ISSUED FOR PERMIT	21-SEP-16	JR	JM

model
38-4

scale
3/16" = 1'0"

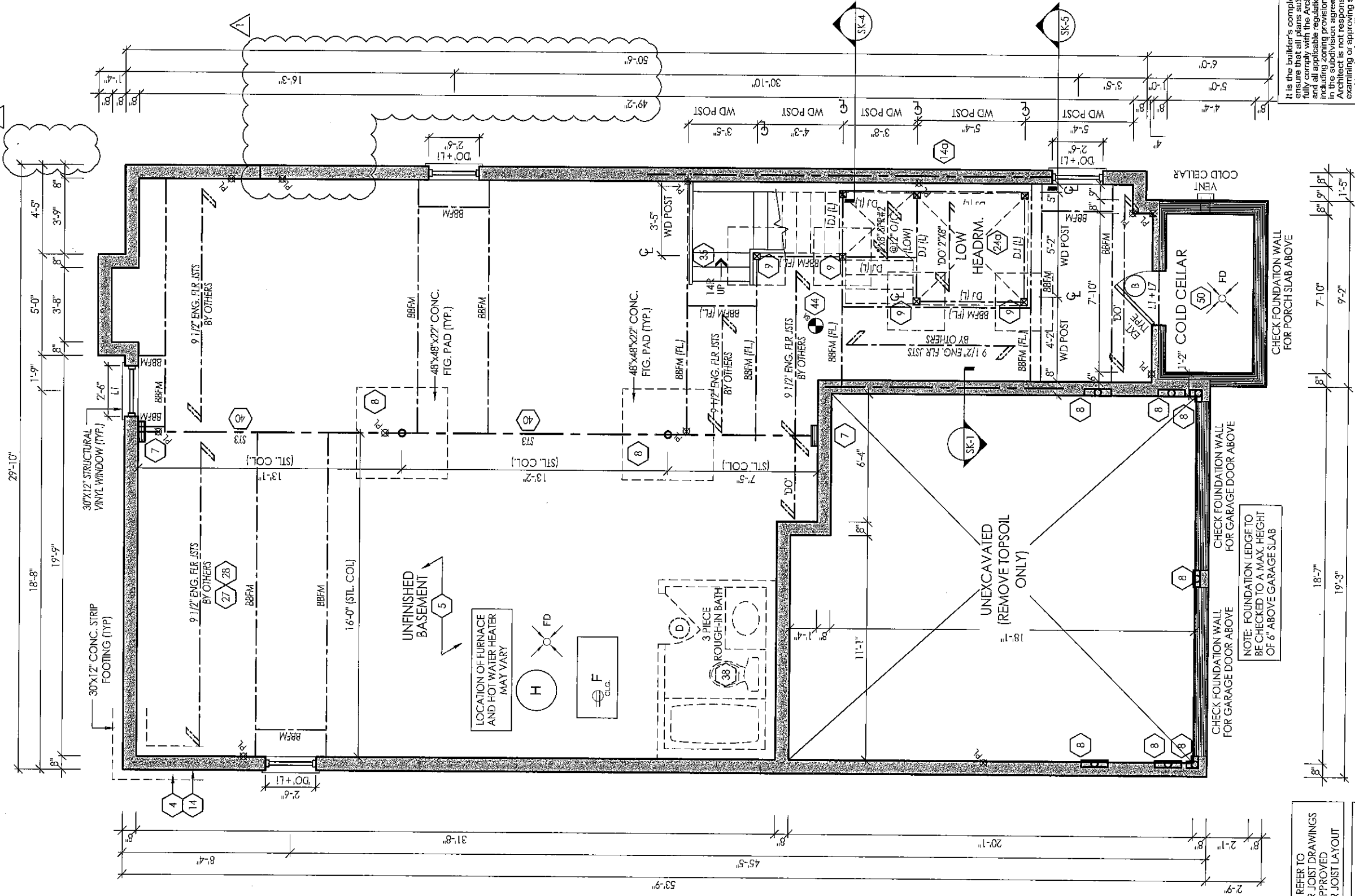
project #
14043

page

A0

RN design
Imagine • Inspire • Create





NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

BASEMENT PLAN ELEV. 'A'

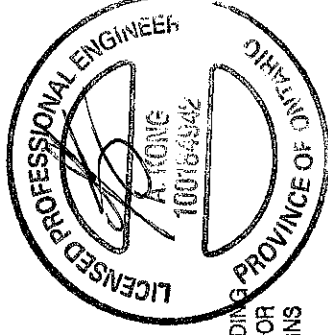
NOTE: FOUNDATION LEDGE TO BE CHECKED TO A MAX. HEIGHT OF 6' ABOVE GARAGE SLAB

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable Guidelines and all applicable regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

client

Gold Park Homes

project

KLEINBURG GLEN PH-2

location

VAUGHAN, ON

marking name

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C/PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688

FIRM BCIN: 26995

DATE:

SIGNATURE:

11.17.17

RN design
Imagine - Inspire - Create



model

38-4

scale

3/16" = 1'0"

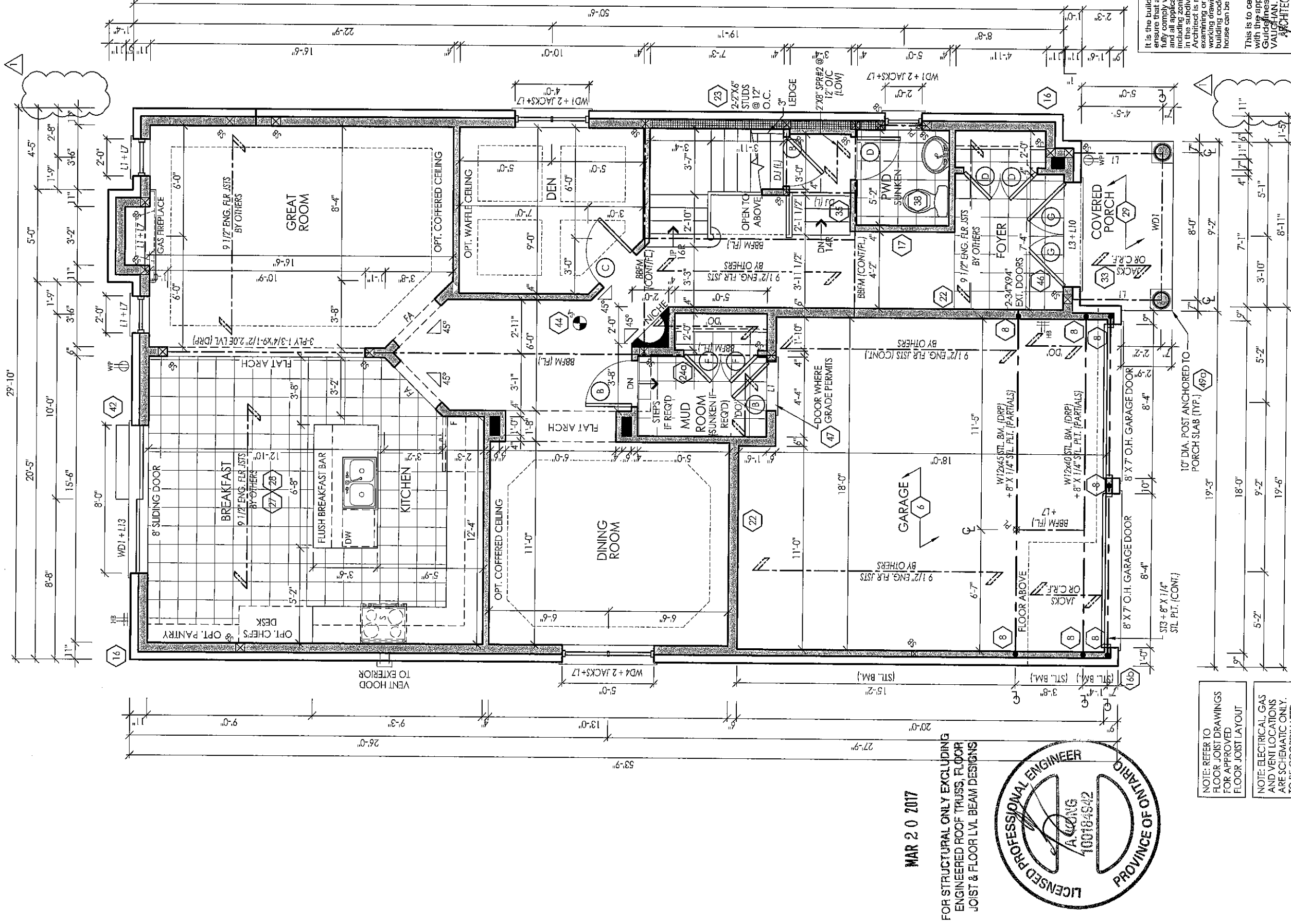
project #

14043

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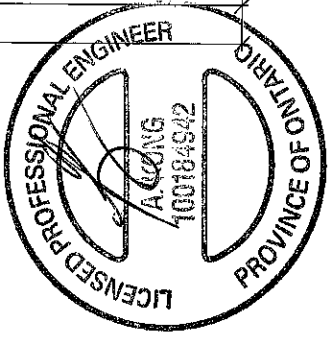
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MAR 2 0 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

GROUND FLOOR PLAN ELEV. 'A'

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: CONC. FRONT
PORCH POURED
PRIOR TO BRICK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and Regulations and requirements including zoning provisions. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

model
38-4

scale
3/16" = 1'0"

project #
14043

page



client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

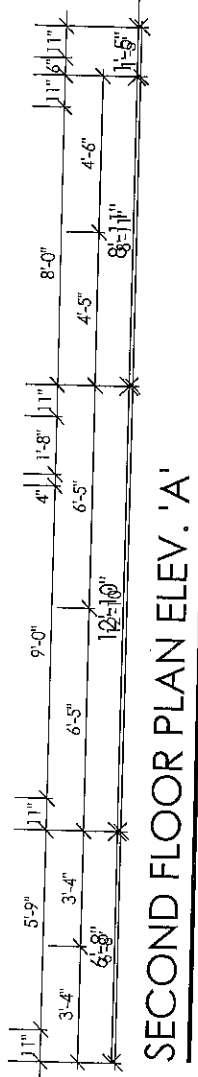
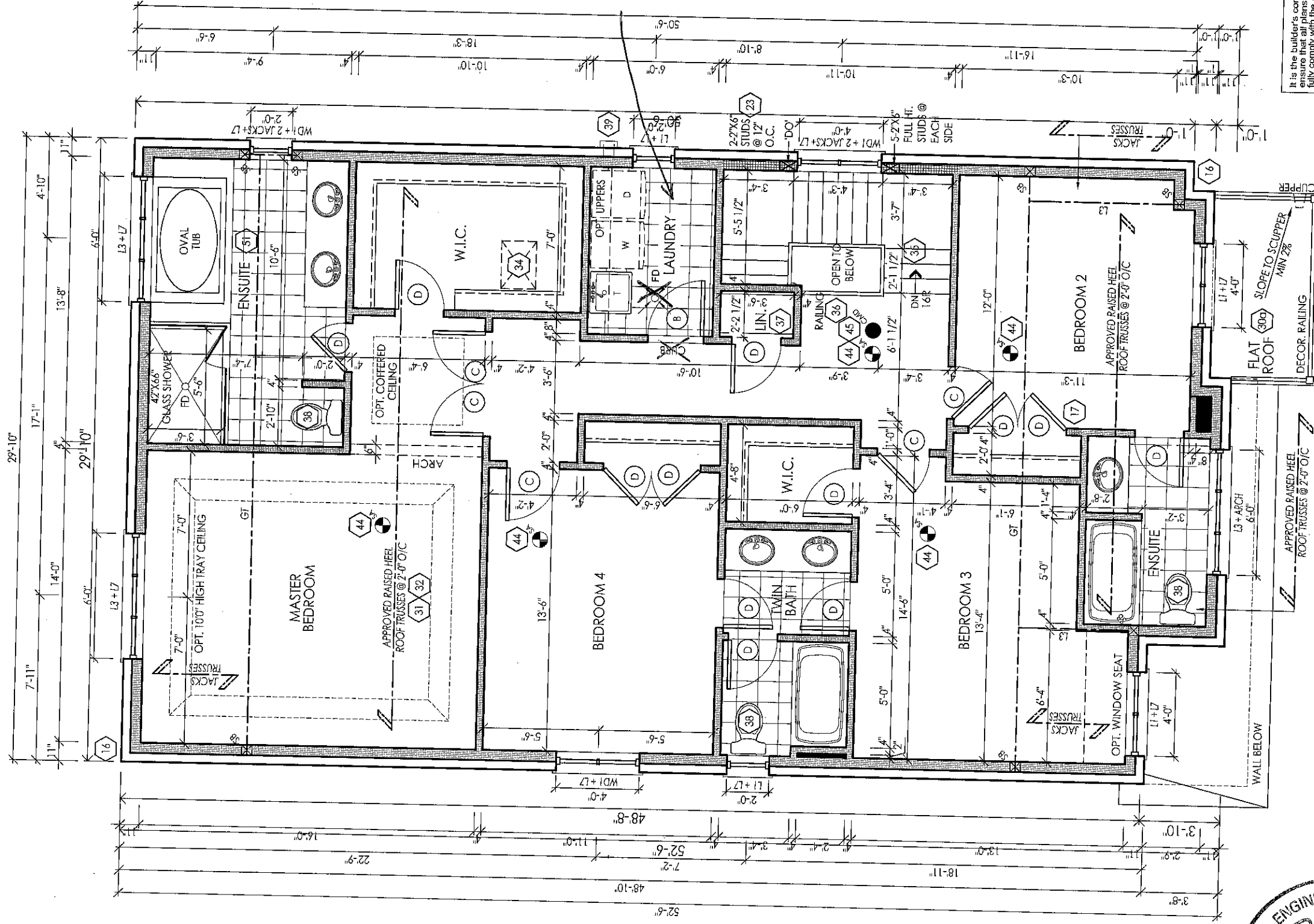
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2	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	6	ISSUED FOR PERMIT	24-Feb-16	JP	JP
3	REVISED AS PER ENGINEERING COMM.	2-Jun-15	RPA	DJH	7	REVISED AS PER STAIR REQ. O.B.C. 2017	15-Feb-17	JO	JP
4	REVISED AS PER CLIENT COMMENTS	14-Dec-15	CR	CR					
		16-Dec-15	CR	CR					

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD. UNDER DIVISION C: PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36488
FIRM BCIN: 26995
DATE: 11/17/17

SIGNATURE:

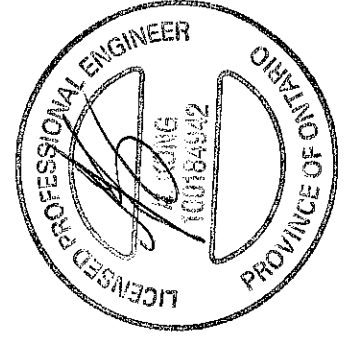
A2



SECOND FLOOR PLAN ELEV. 'A'

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RNI DESIGN LTD. UNDER DIVISION C-PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26975
DATE: 11.17.17
SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and any by-laws in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving site (lotting) plans or building code or planning codes that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

Client

Gold Park Homes

location

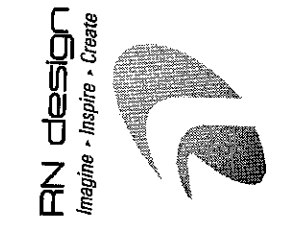
VAUGHAN, ON

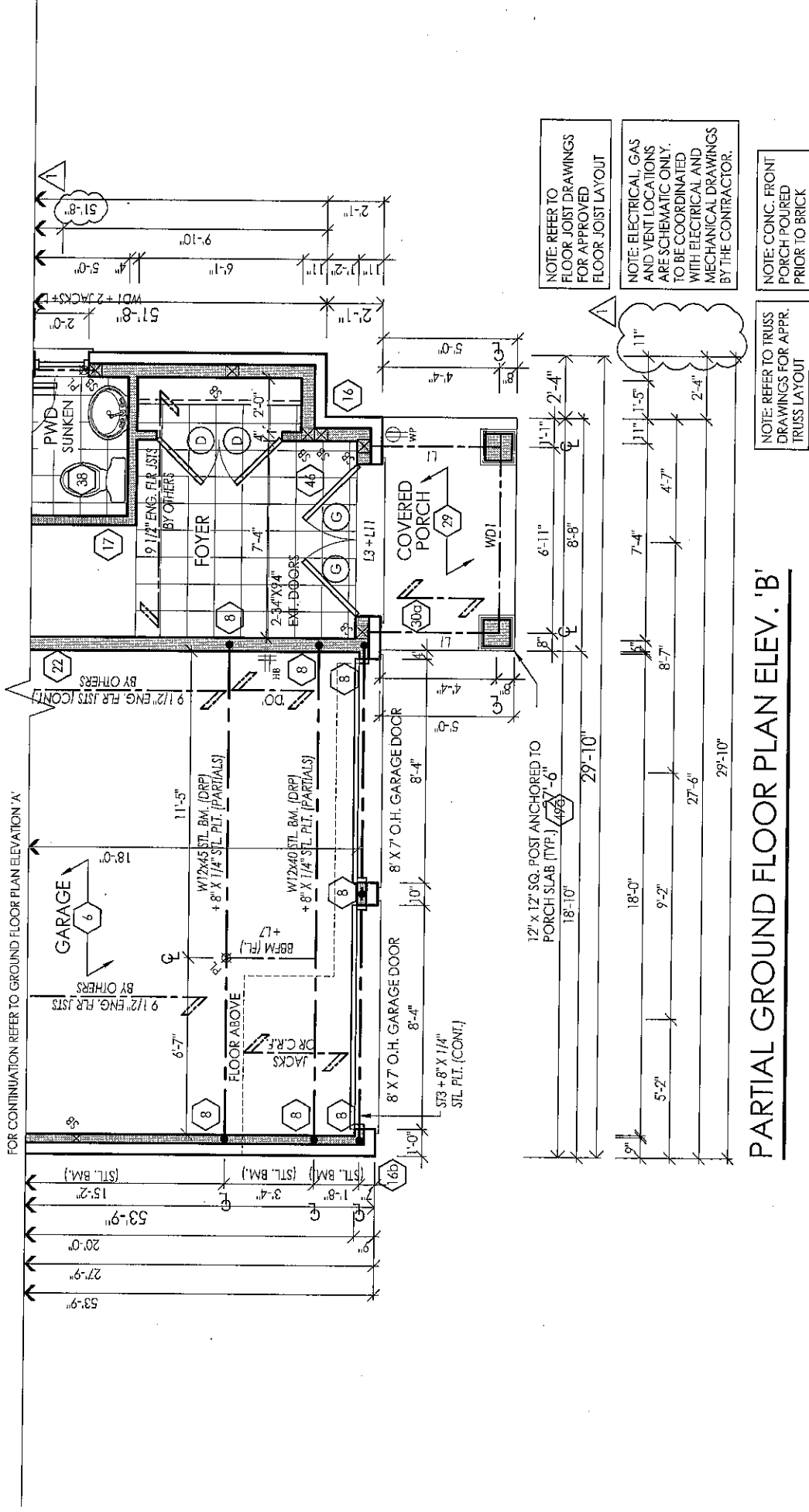
Project

KLEINBURG GLEN PH-2

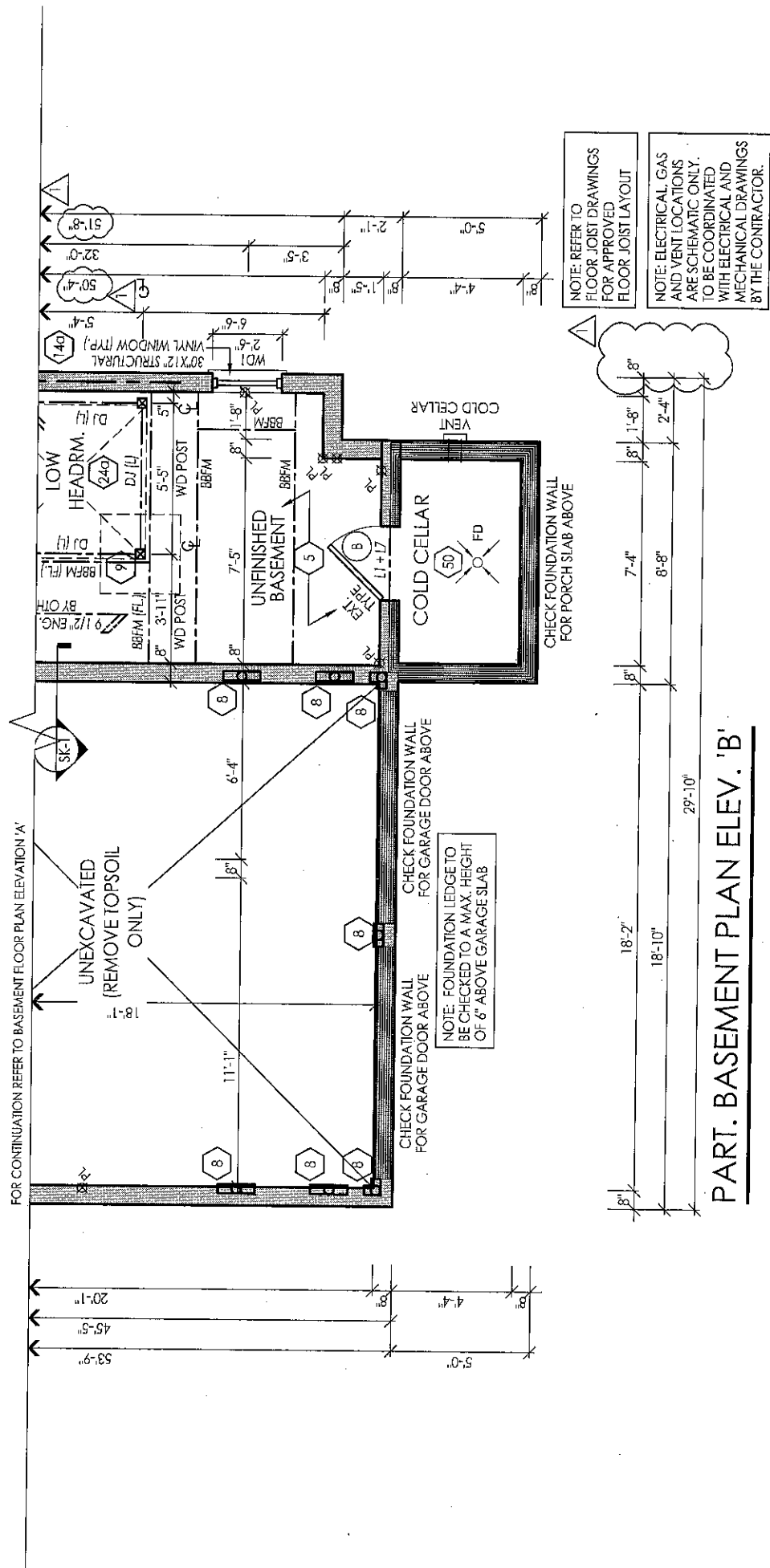
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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2004-02-16	BU	RPA	5	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
2	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RPA	DJH	6	ISSUED FOR PERM	24-FEB-16	JF	JF
3	REVISED AS PER ENGINEERING COORD.	2-JUL-15	RPA	DJH	7	REVISED AS PER STAIR REG O.B.C 2017	15-Feb-17	LO	JF
4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CE	8				





PARTIAL GROUND FLOOR PLAN ELEV. 'B'



PART. BASEMENT PLAN ELEV. 'B'

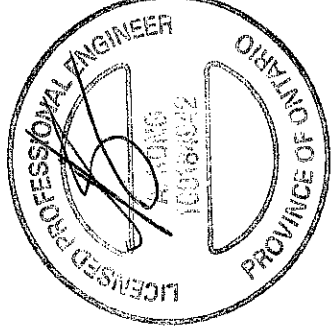
It is the builder's complete responsibility to ensure that all construction complies with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for working drawings or for any construction or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

I, JULIO PINTON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.7
SIGNATURE:

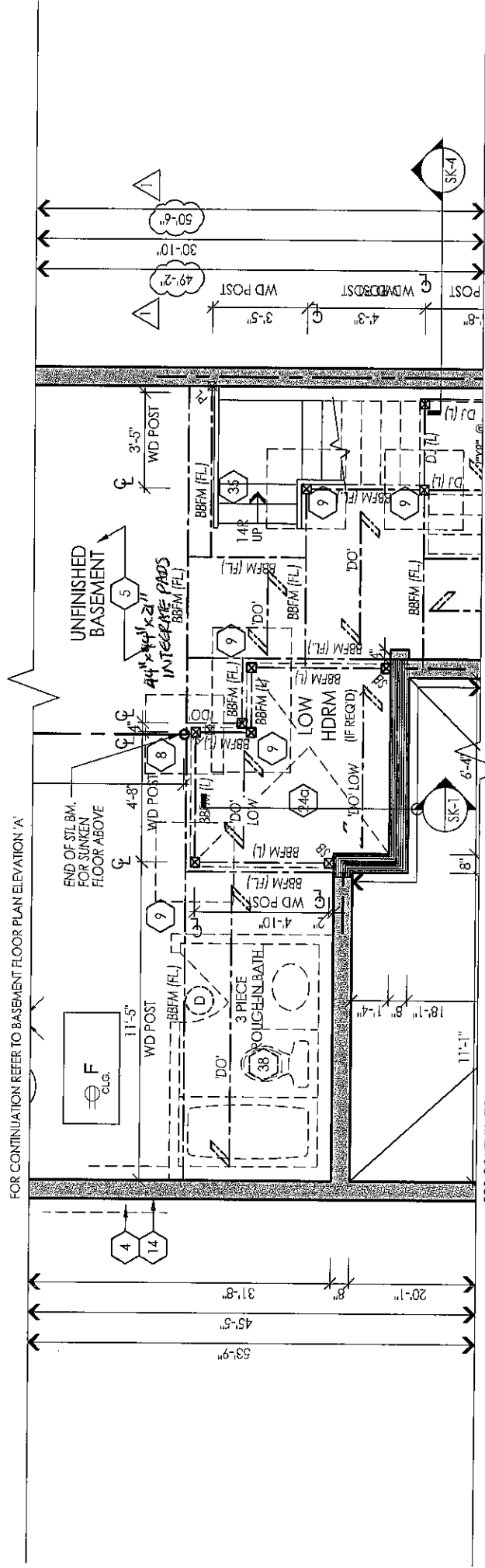
Client: Gold Park Homes
Project: KLEINBURG GLEN PH-2
Location: VAUGHAN, ON
Marketing name:



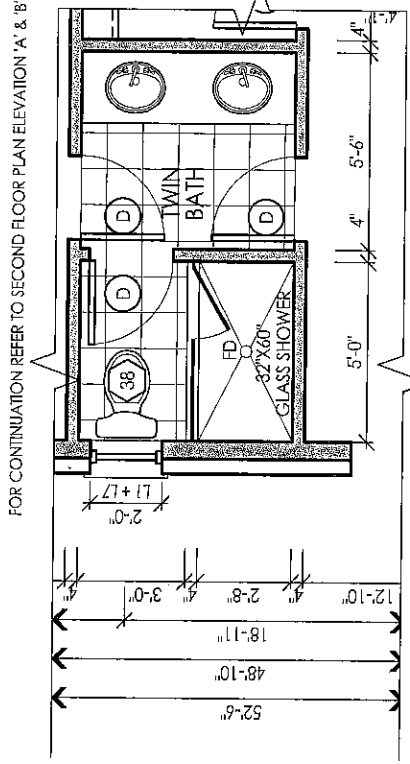
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project #: 14043

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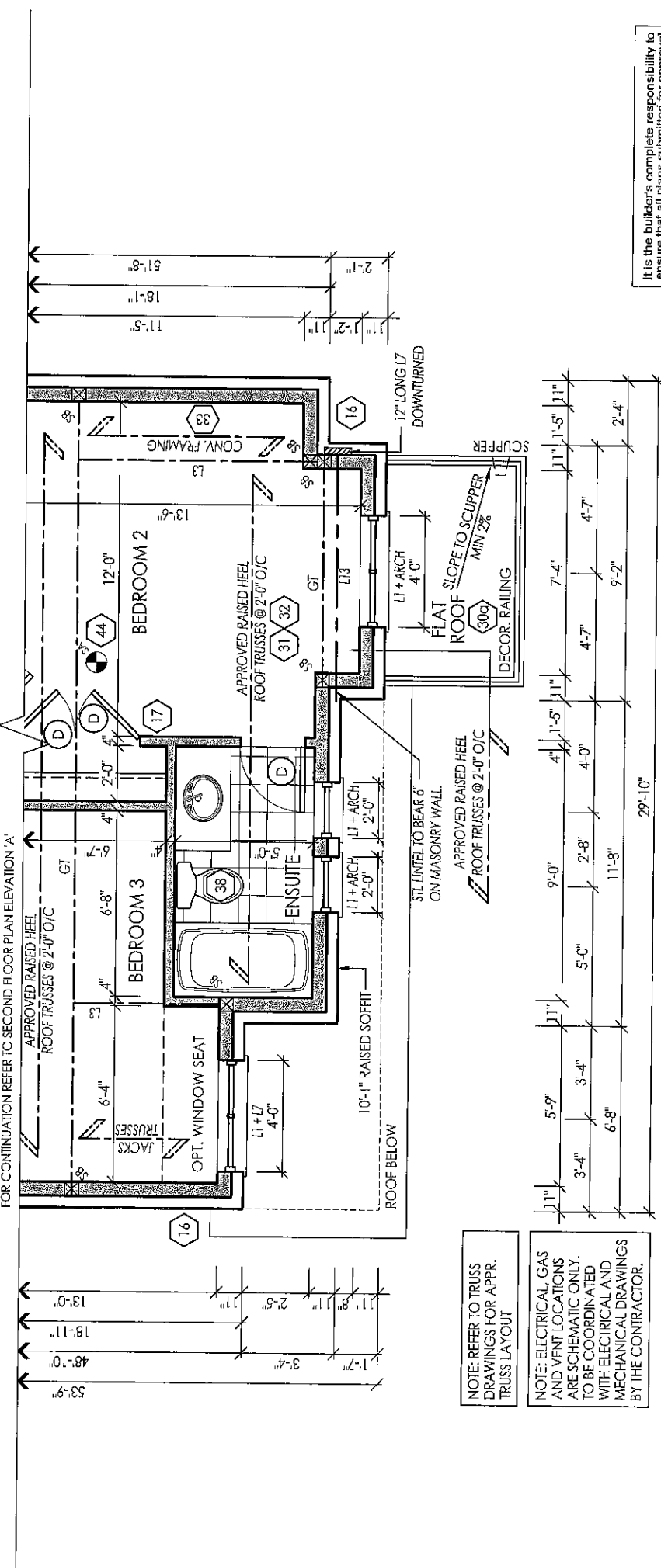
A4



PART. BASEMENT PLAN W/ SUNK. FLR. COND.



PARTIAL OPT. TWIN BATH PLAN

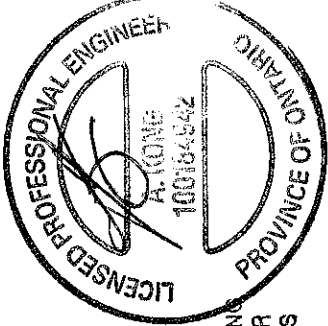


PARTIAL SECOND FLOOR PLAN ELEV. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Architectural Guidelines and all applicable regulations, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John C. Williams Limited, Architect



MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

client Gold Park Homes
location VAUGHAN, ON
project KLEINBURG GLEN PH-2
marketing name

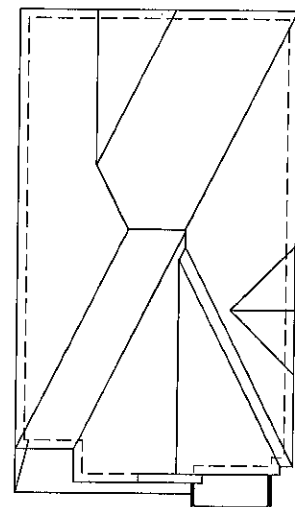
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11	REVISED STAIR REG AS PER O.B.C. 2017	16-Feb-17	LO	JP	1	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR
2	CONFIRMED ROOF TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RFA	DJH	5	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR
3	REVISED AS PER FLOOR & TRUSSES COORD.	10-Jun-15	RFA	DJH	6	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
4	REVISED AS PER ENGINEERING CONSULTANT	2-Mar-15	RFA	DJH		ISSUED FOR PERMIT	24-Feb-16	JP	JP

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

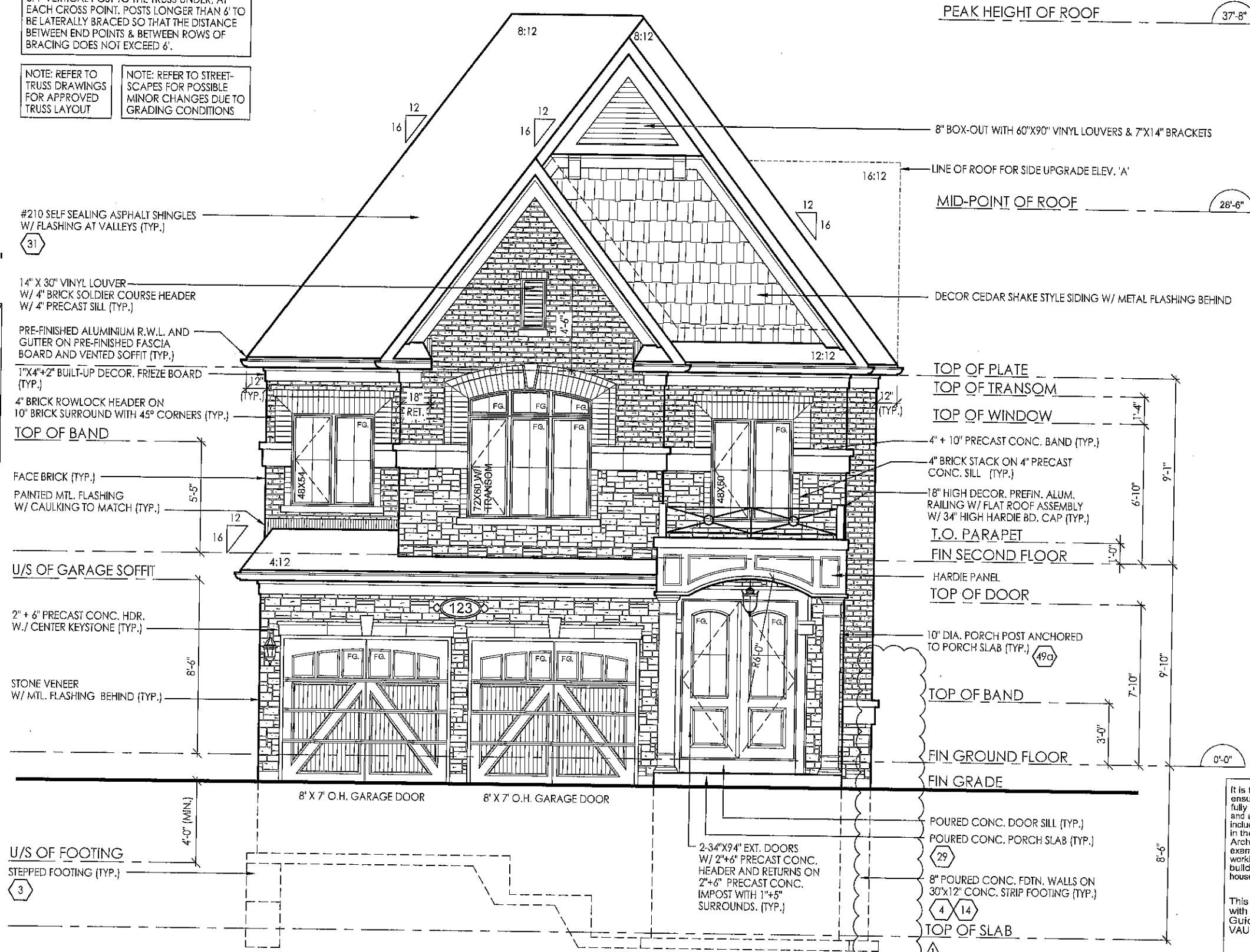
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN 'A'



ROOF PLAN 'A' SIDE UPGRADE



FRONT ELEVATION 'A'

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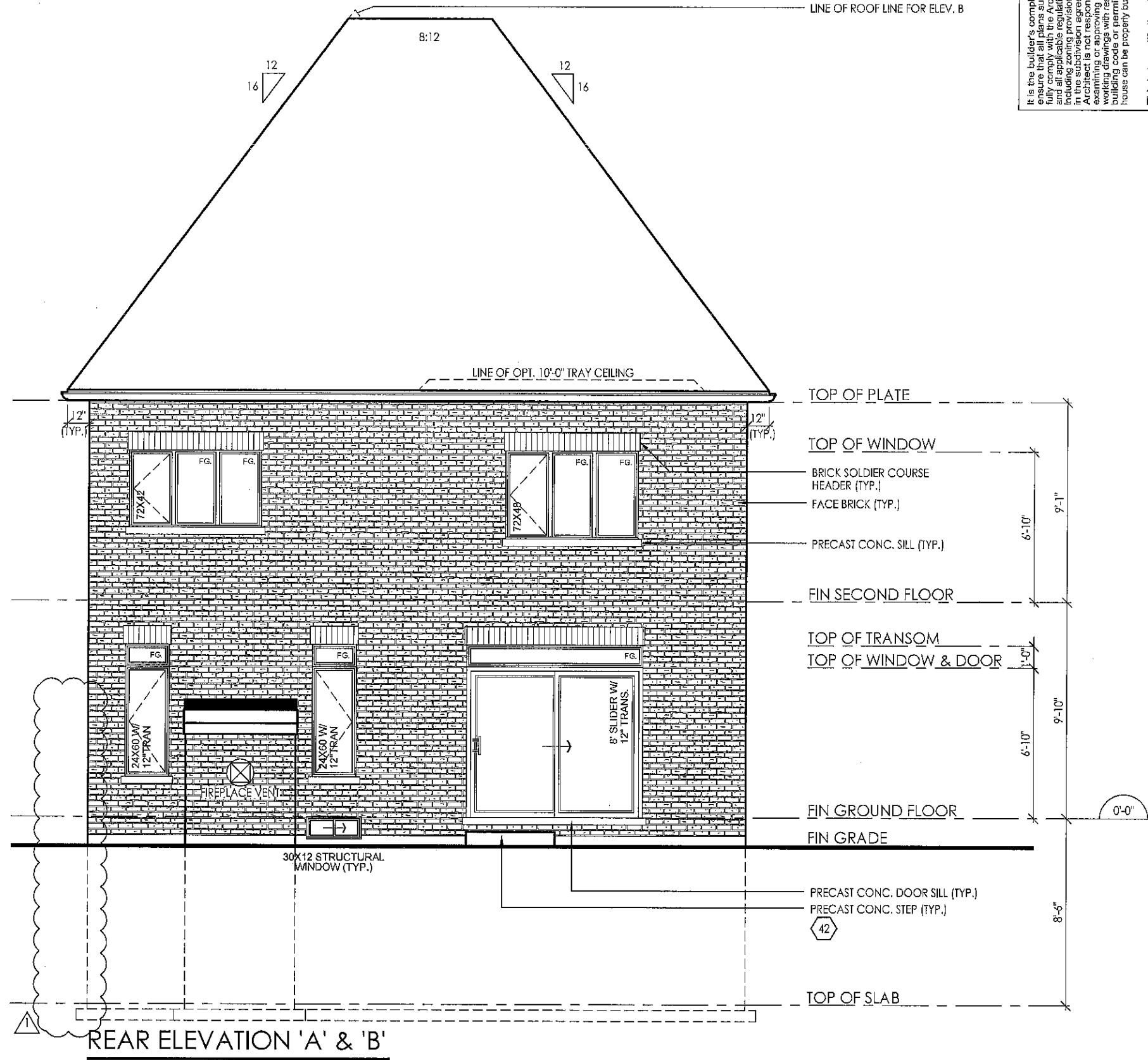
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW
MAR 27 2017
John G. Winans Limited
38688
26975

location		VAUGHAN, ON		marketing name	
client		Gold Park Homes		KLEINBURG GLEN PH-2	
#	revisions	date	dwg	chk	#
1	ISSUED FOR CLIENT REVIEW	2004-03-15	BU	RFA	3
2	REMOVED PRELACE JGS PROJECTION ON SIDE OF HOUSE	14-Dec-15	CS	CR	4
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	JP	JP	5

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LTD UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26975
DATE: 11/17/17
SIGNATURE:



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the applicable zoning bylaws. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A8



client		location	
Gold Park Homes		VAUGHAN, ON	
project		marketing name	
KLEINBURG GLEN PH-2			
#	revisions	date	chk
1	ISSUED FOR CLIENT REVIEW.	2004-03-15	BU
2	REMOVED FIREPLACE LOG PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR
3	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
4	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
5	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP
6	ISSUED FOR PERMIT	24-FEB-16	CR
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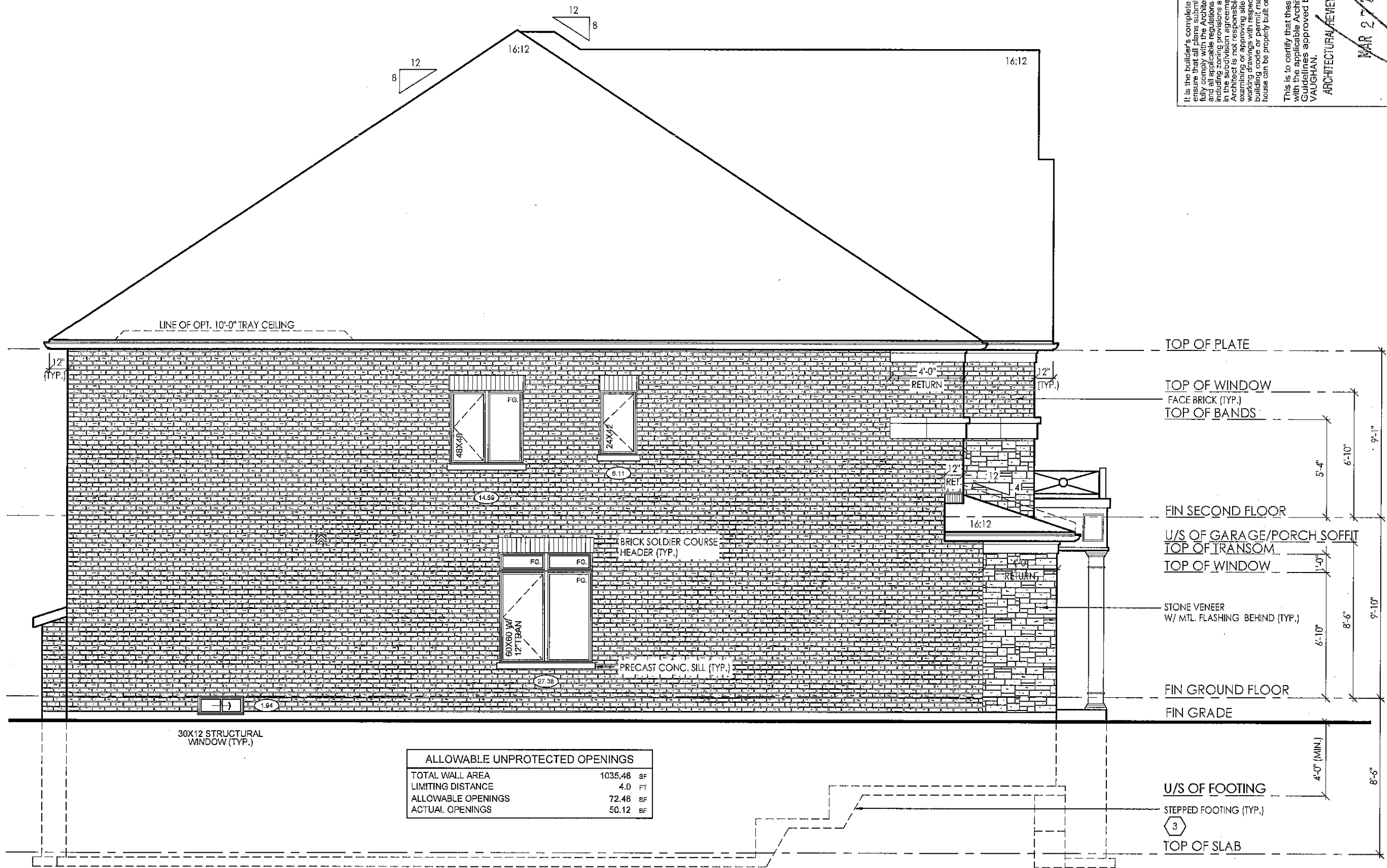
I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36688

FIRM BCIN: 26995

DATE: 11/17/17

SIGNATURE: _____



LEFT SIDE ELEVATION 'A'

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1035.48 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	72.48 SF
ACTUAL OPENINGS	50.12 SF

It is the builder's complete responsibility to ensure that these plans are submitted for approval fully compliant with the applicable building codes and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site lotting plans or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
JOHN CUMMINGS Limited, Architect

client		location							
Gold Park Homes		VAUGHAN, ON							
project		marketing name							
KLEINBURG GLEN PH-2									
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2	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	6				
3	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM	7				
4	ISSUED FOR PERMIT	24-FEB-16	JP	JP	8				

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scale
3/16" = 1'0"

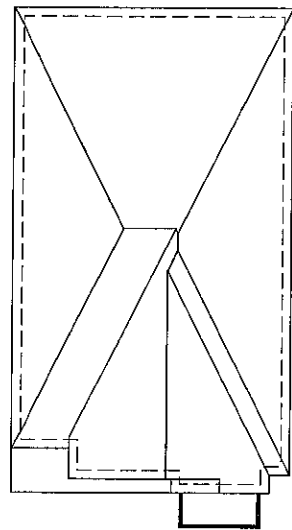
project #
14043

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A9



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C/PART 3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11/17/16
SIGNATURE: [Signature]



ROOF PLAN 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

31

PRE-FINISHED ALUMINIUM R.W.I. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

TOP OF BAND

1"x8" ALUM. FRIEZE BOARD (TYP.)

4" x 4" SELF SUPPORTING BRICK ARCH W/ 4" x 4" STACKED BRICK RETURNS (TYP.)

FACE BRICK (TYP.)

TOP OF BAND

4" x 4" BRICK ROWLOCK HEADER W/ 4" x 4" SURROUND WITH 45° CORNERS (TYP.)

4" PRECAST CONC. SILL (TYP.)

PAINTED MTL. FLASHING W/ CAULKING TO MATCH (TYP.)

U/S OF GARAGE SOFFIT

4" x 4" BRICK ROWLOCK HEADER (TYP.)

STONE VENEER W/ MTL. FLASHING BEHIND (TYP.)

U/S OF FOOTING

STEPPED FOOTING (TYP.)

3

FRONT ELEVATION 'B'

PEAK HEIGHT OF ROOF

38'-1"

7" x 14" BRACKET

VINYL LOUVRE END GABLE

RAISED SEAM METAL ROOF W/ 10" O.H.

18" x 36" BLACK GLASS DECOR WINDOW

MID-POINT OF ROOF

28'-6"

6"x20" PREMANU. DECOR BRACKET DETAIL (TYP.)

4" x 4" BRICK ROWLOCK HEADER W/ 4" x 4" BRICK SURROUND.

4" PRECAST CONC. ON 10" BRICK SOLDIER COURSE BAND.

8" x 18" PRECAST CONC. DECOR. DETAIL

U/S OF RAISED SOFFIT

TOP OF PLATE

TOP OF TRANSOM @ ENSUITE

TOP OF TRANSOM

TOP OF WINDOW

12" x 10" PRECAST CORNICE DETAIL (TYP.)

18" HIGH DECOR. PREFIN. ALUM. RAILING W/ FLAT ROOF ASSEMBLY W/ 3/4" HIGH HARDIE BD. CAP (TYP.)

FIN SECOND FLOOR

HARDIE BD. PANEL W/ RAISED TRIMS OR EQUIV. T.O. DOOR

4" x 4" PRECAST CONC. SILL (TYP.)

12" x 12" SQ. POST ANCHORED TO PORCH SLAB (TYP.)

TOP OF BAND

4" PRECAST CONC. BAND

FIN GROUND FLOOR

FIN GRADE

POURED CONC. DOOR SILL (TYP.)

POURED CONC. PORCH SLAB (TYP.)

29

8" POURED CONC. FDTN. WALLS ON 30"x12" CONC. STRIP FOOTING (TYP.)

4 14

TOP OF SLAB

2-34"x94" EXT. DOORS W/ 4" x 4" BRICK ROWLOCK HEADER W/ 4" x 4" BRICK SURROUND (TYP.)

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ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017

John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE

location
VAUGHAN, ON

Client
Gold Park Homes

Project
KLEINBURG GLEN PH-2

#	revisions	date	dwg	chk	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	2014-02-15	BU	RPA	3	REVISED AS PER CLIENT COMMENTS	12-Jan-16	JM
2	REMOVED REFERENCE TO PROJECTION ON SIDE OF HOUSE	14-Dec-15	CR	CR	4	ISSUED FOR PERMIT	24-FEB-16	CR
3	REVISED AS PER CLIENT COMMENTS	16-Dec-15	JP	JP				

model
38-4

scale
3/16" = 1'0"

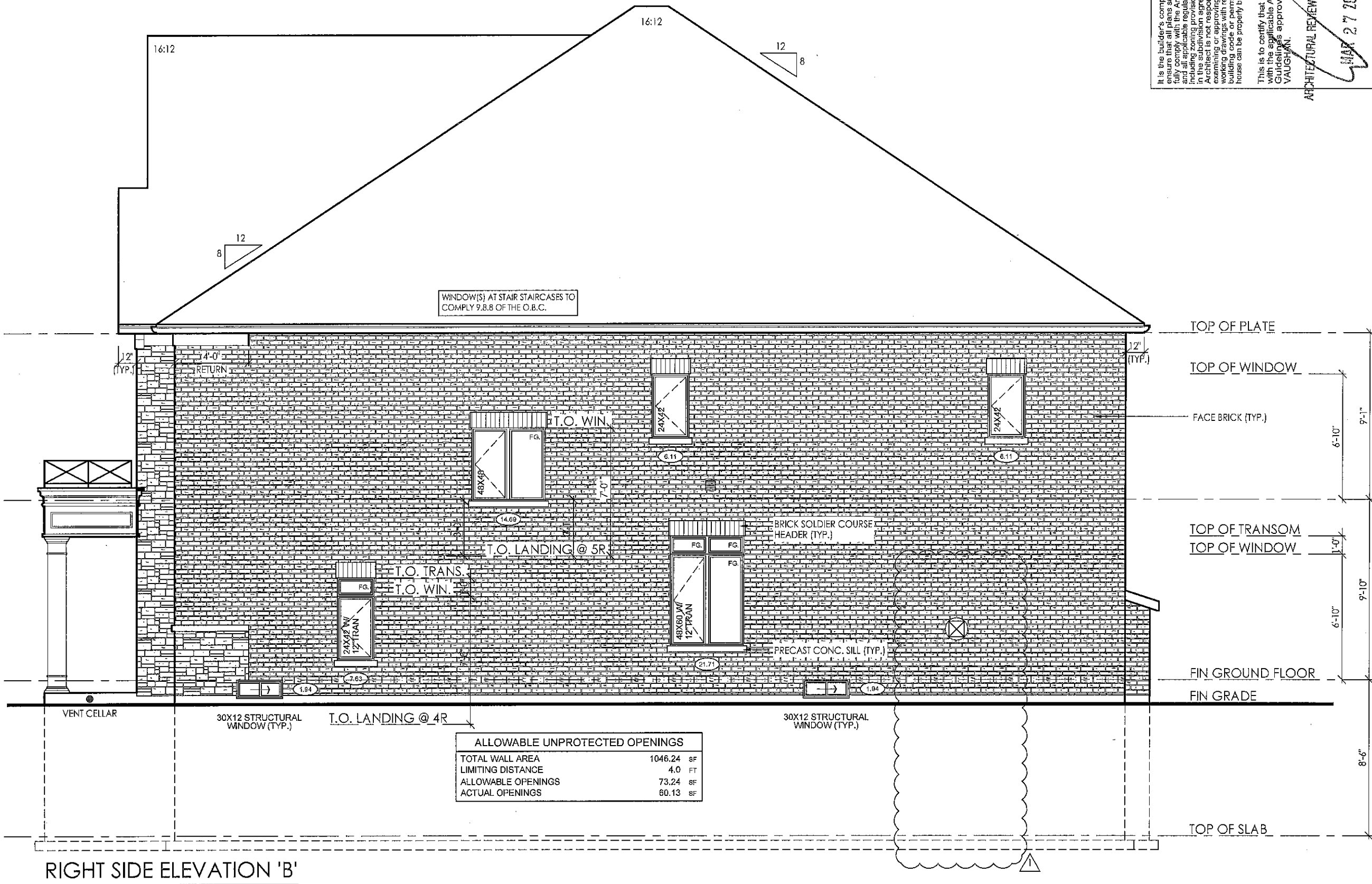
project #
14043

page

A10

PN design
Imagine - Inspire - Create





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect

model 38-4

scale 3/16" = 1'0"

project # 14043

page A11



client		location		project		marking name			
Gold Park Homes		VAUGHAN, ON		KLEINBURG GLEN PH-2					
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW. REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	2004-03-15	BU	RFA	3	REVISED AS PER CLIENT COMMENTS	19-Jan-16	JM	JM
△		14-Dec-15	CR	CR	4	ISSUED FOR PERMIT	24-FEB-16	CR	CR
2	REVISED AS PER CLIENT COMMENTS	14-Dec-15	JP	JP					

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688

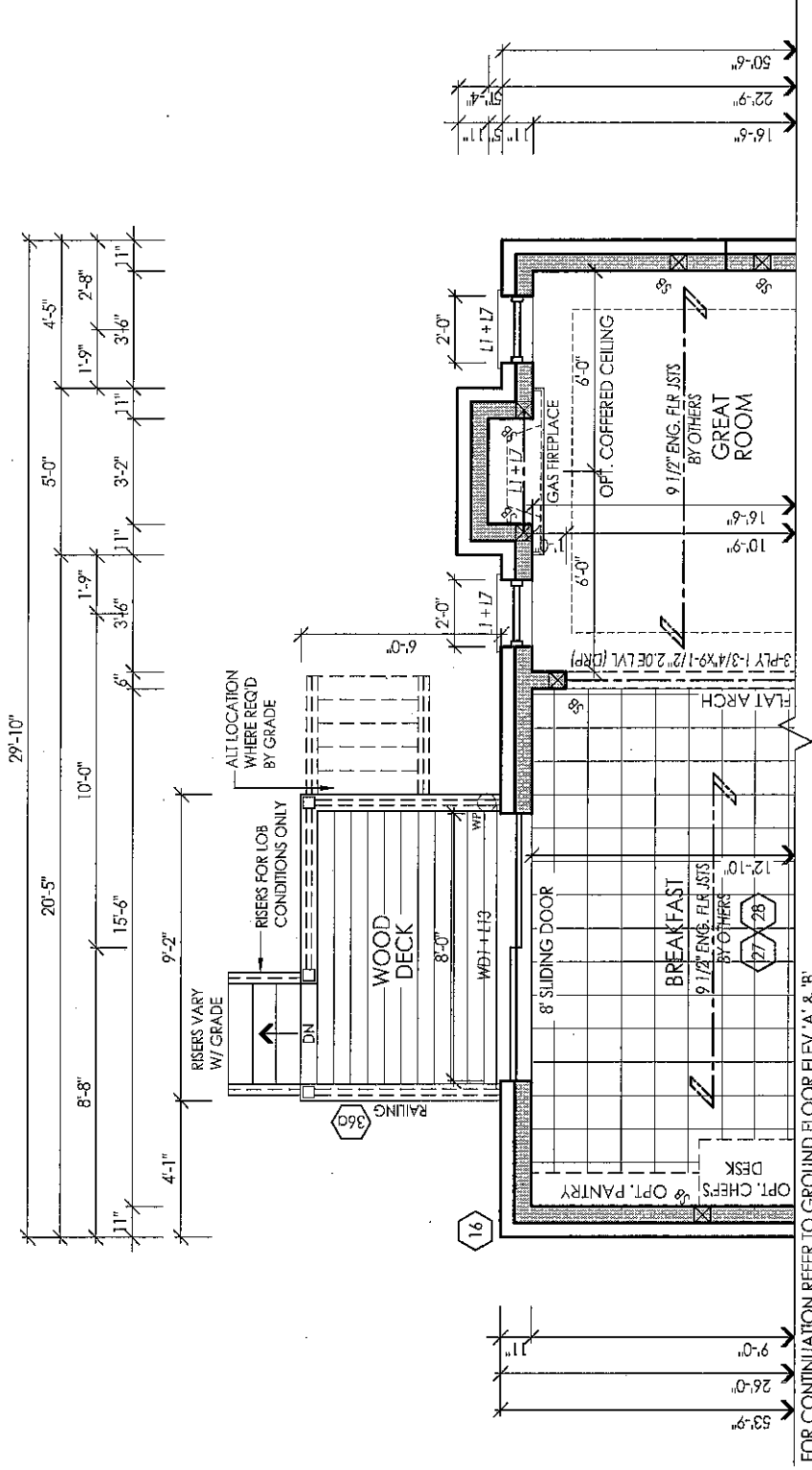
FIRM BCIN: 26995

DATE: 11.17.17

SIGNATURE:

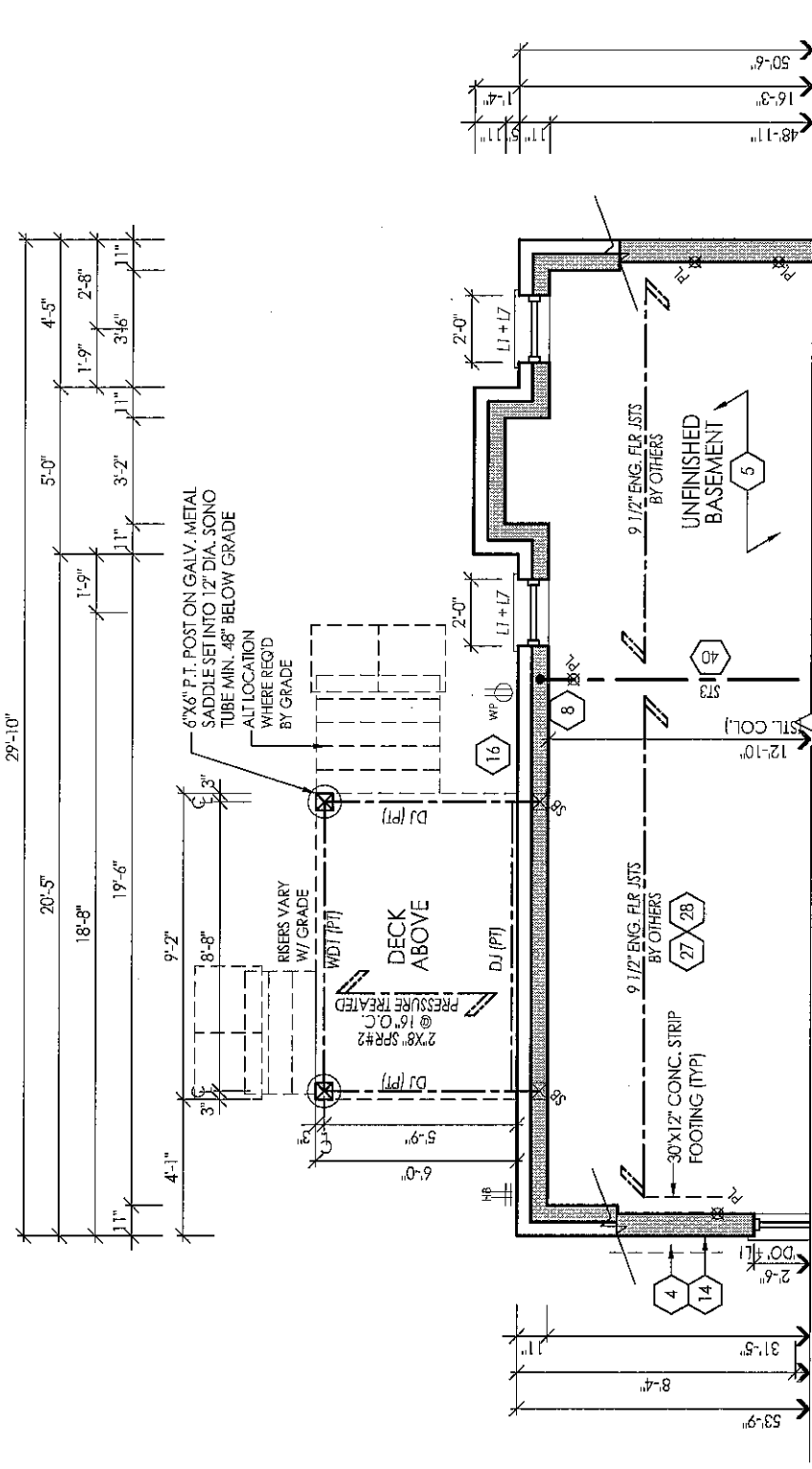
File C:\FN\Standards\mg\Project_566414043-38-4-FINAL.dwg Pboard Feb 26, 2017 By Pboard

PARTIAL GROUND FLOOR (LOB/WOB)



FOR CONTINUATION REFER TO GROUND FLOOR ELEV 'A' & 'B'

PARTIAL BASEMENT FLOOR (LOB/WOB)



FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV 'A' & 'B'

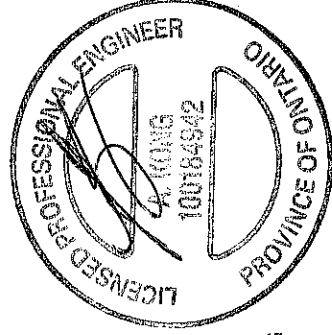
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the City of Vaughan. The Architect is not responsible for the Control Architect or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams Limited, Architect



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

client

Gold Park Homes

project

KLEINBURG GLEN PH-2

location

VAUGHAN, ON

marking name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED LOB/WOB CONDITIONS	29-Apr-16	JR	JM					

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 17.17

SIGNATURE: _____

model

38-4

scale

3/16" = 10"

project #

14043

page

A13

RN design
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Architectural floor plan of the first floor of a building. The plan shows a rectangular layout with various rooms and structural details. Key features include:

- Front Porch:** 30" x 12" conc. strip footing (TYP).
- Living Area:** 9' x 12" ENG. FLR. JOIS. BY OTHERS.
- Kitchen Area:** 9' x 12" ENG. FLR. JOIS. BY OTHERS.
- Dining Area:** 9' x 12" ENG. FLR. JOIS. BY OTHERS.
- Bedroom Area:** 9' x 12" ENG. FLR. JOIS. BY OTHERS.
- Bathroom Area:** 9' x 12" ENG. FLR. JOIS. BY OTHERS.
- Deck Above:** 2" x 8" SPS#2 @ 16" O.C. PRESSURE TREATED.
- Basement:** UNFINISHED BASEMENT.
- Structural Details:** 6" x 6" P.T. POST ON GALV. METAL SADDLE SET INTO 12" DIA. SONO TUBE MIN. 48" BELOW GRADE. 8" SLIDING DOOR.
- Dimensions:** 29'-10" (Overall Width), 20'-5" (Overall Depth), 8'-8" (Front Porch Width), 19'-6" (Living Area Depth), 10'-0" (Kitchen Area Depth), 11'-1" (Bedroom Area Depth), 11'-1" (Bathroom Area Depth), 11'-1" (Deck Area Depth), 11'-1" (Basement Area Depth).

FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV. 'A' & 'B'.

A circular professional seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" on the left and "PROVINCE OF ONTARIO" on the right. In the center, the name "A. WONG" is written vertically, with the license number "101184942" below it. A signature is scrawled across the center of the seal.

**FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS**

John G. Williams Limited, Architects

[illegible]

A14



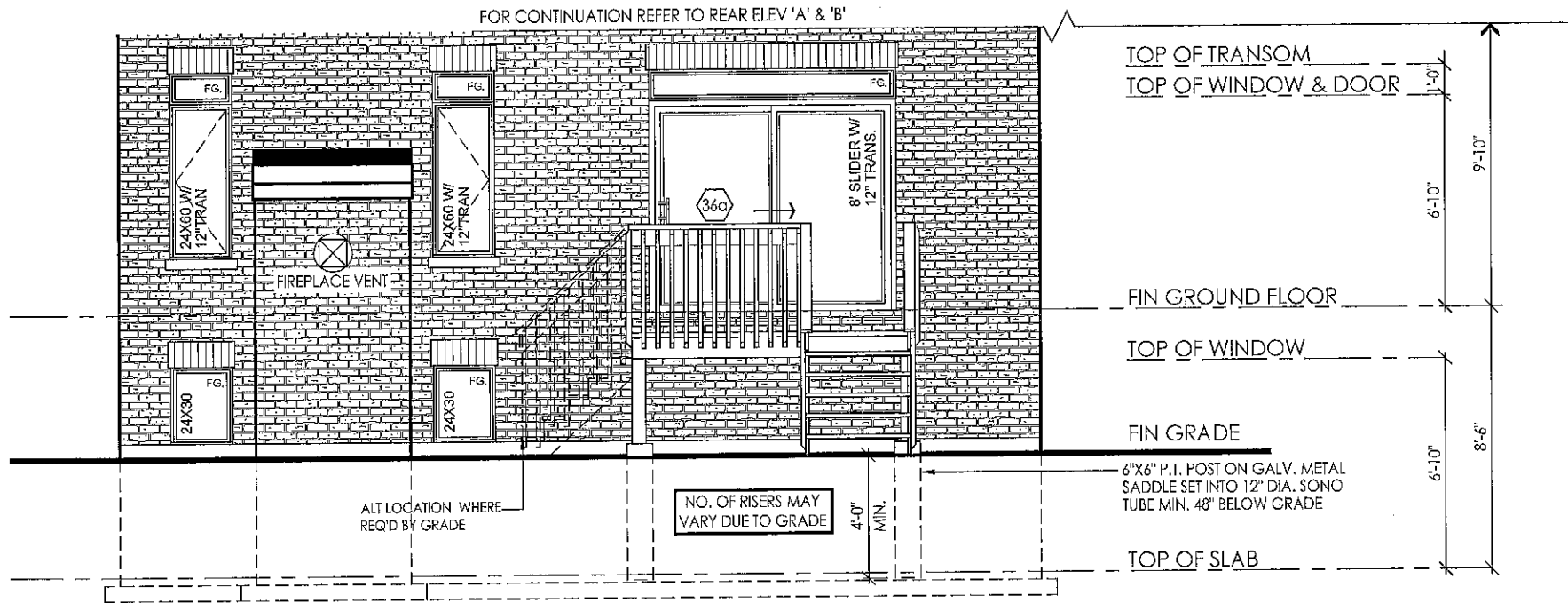
VAUGHAN, ON

marketing name

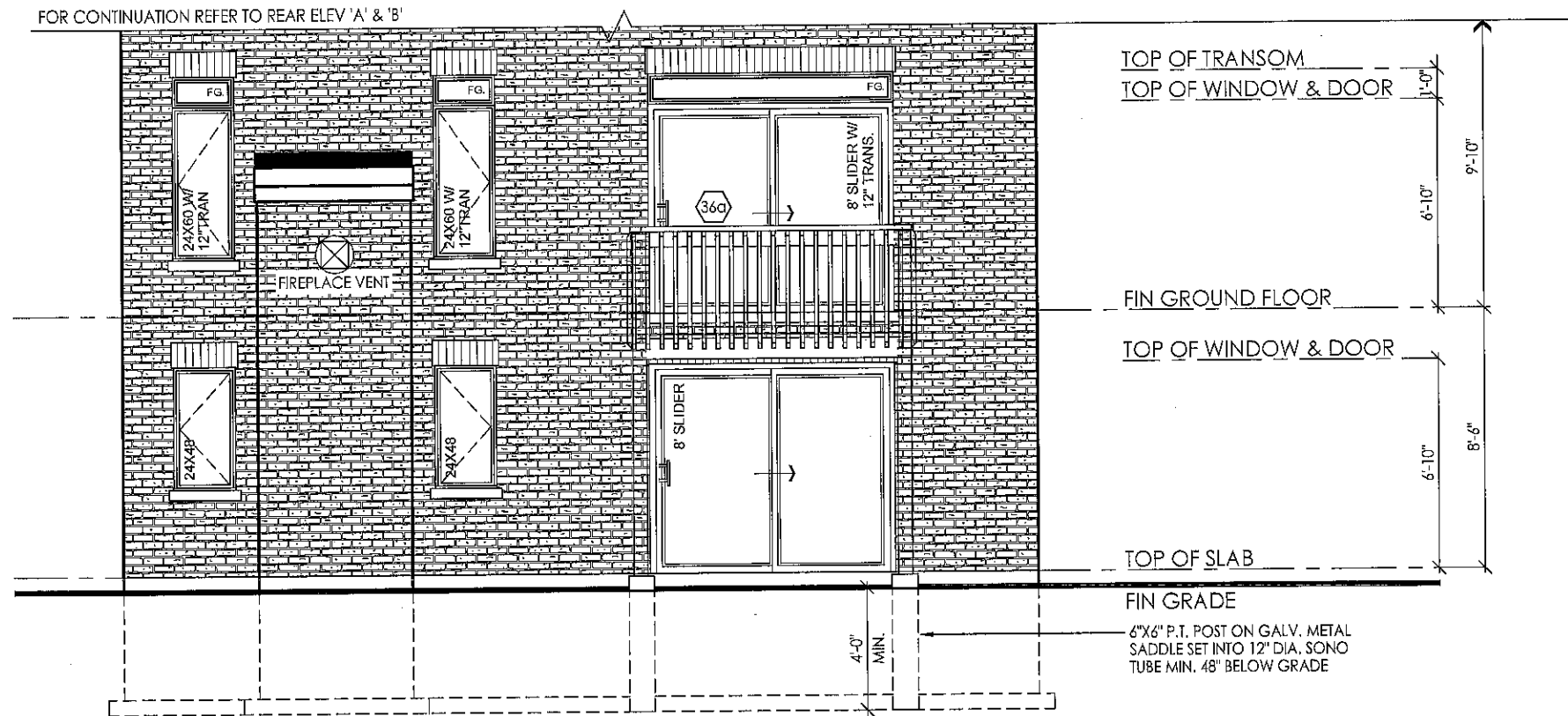
KLEINBURG GLEN PH-2

[illegible]

SIGNATURE:



PARTIAL REAR ELEVATION 'B'



PARTIAL REAR ELEVATION 'B'

GROSS GLAZING AREA 'B' LOB

TOTAL PERIPHERAL WALL AREA	3380.33 SF	314.04 m ²
FRONT GLAZING AREA	62.18 SF	5.78 m ²
LEFT SIDE GLAZING AREA	50.14 SF	4.66 m ²
RIGHT SIDE GLAZING AREA	60.17 SF	5.59 m ²
REAR GLAZING AREA	167.28 SF	15.54 m ²
TOTAL GLAZING AREA	339.77 SF	31.56 m ²
TOTAL GLAZING PERCENTAGE	10.05 %	

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

marketing name
KLEINBURG GLEN PH-2

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A15

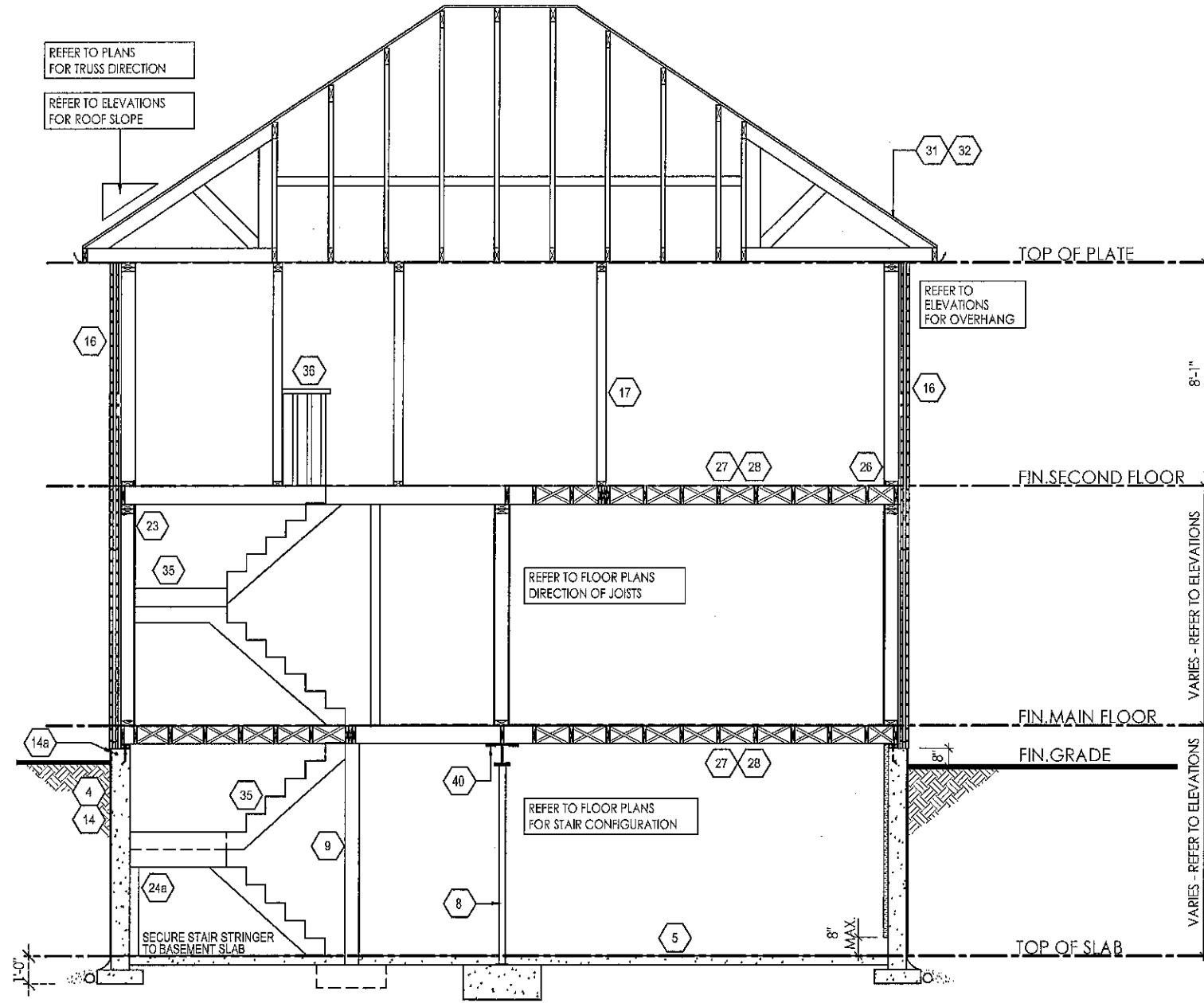
PN design
Imagine • Inspire • Create

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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QUALIFIED DESIGNER BCIN: 38468
FIRM BCIN: 26995
DATE: 11.17.17
SIGNATURE: _____



TYPICAL CROSS-SECTION
SCALE: N.T.S.

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A16

PN design
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client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name
KLEINBURG GLEN PH-2

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2004-03-15	BJ	BPA	5				
2	REVISED AS PER CLIENT COMMENTS	19-JUN-16	JM	JM	6				
3	ISSUED FOR PERMIT	24-FEB-16	JP	JP	7				
4					8				

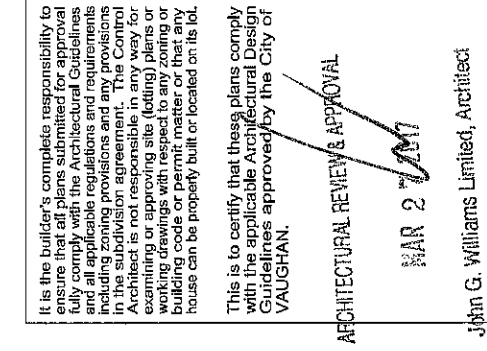
I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
36698

FIRM BCIN:
26995

DATE:
2004-03-15

SIGNATURE:



FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



John G. Williams Limited, Architect

1. JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C.PART-3 SUBSECTION 3.2.4.1 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 7/1/01

SIGNATURE:

client
Gold Park Homes

project
KLENBURG GLEN PH-2

#	revisions	date	down	chk	#	revisions	date	down	chk
1	ISSUED FOR CLIENT REVIEW	6-JUL-16	SM	JM					
2	ISSUED FOR PERMIT	8-DEC-16	JM						
3	REVISED AS PER STAIR REG O.B.C. 2017	15-FEB-17	LO	JP					

location
VAUGHAN, ONT
marketing name

marketing name

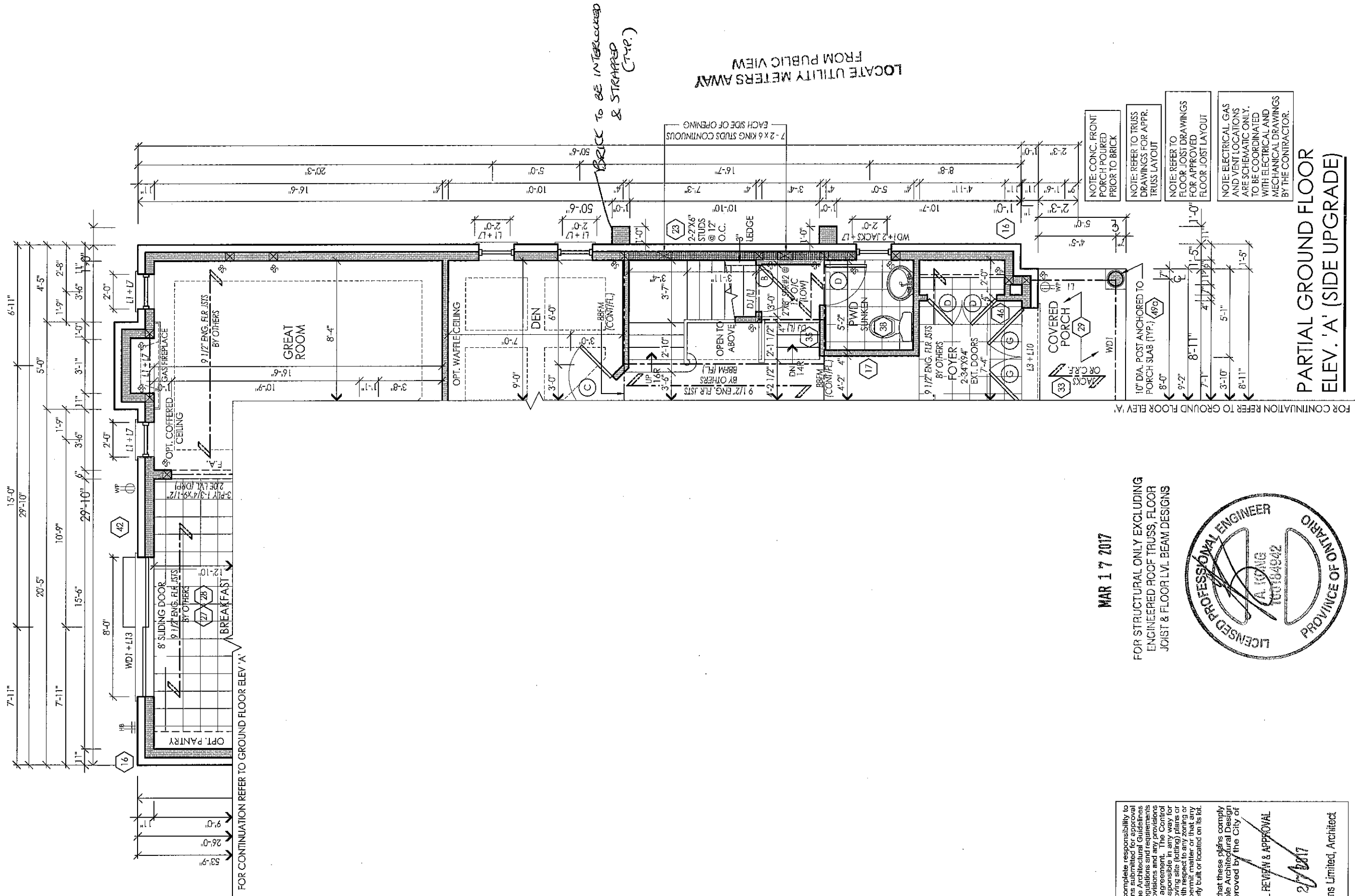
model
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scale
3/16" = 1'0"

project #
14043

page

A16A

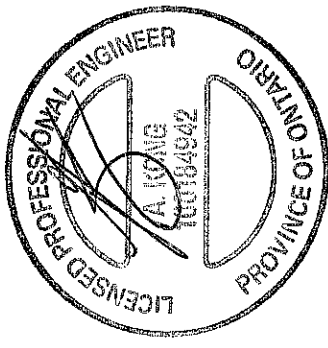


LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

BRICK TO BE INTERLOCKED & STRAPPED (TYP.)

MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGNS



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ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

PARTIAL GROUND FLOOR
ELEV. 'A' (SIDE UPGRADE)

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name
VAUGHAN, ON

model
38-4

scale
3/16" = 1'0"

project #
14043

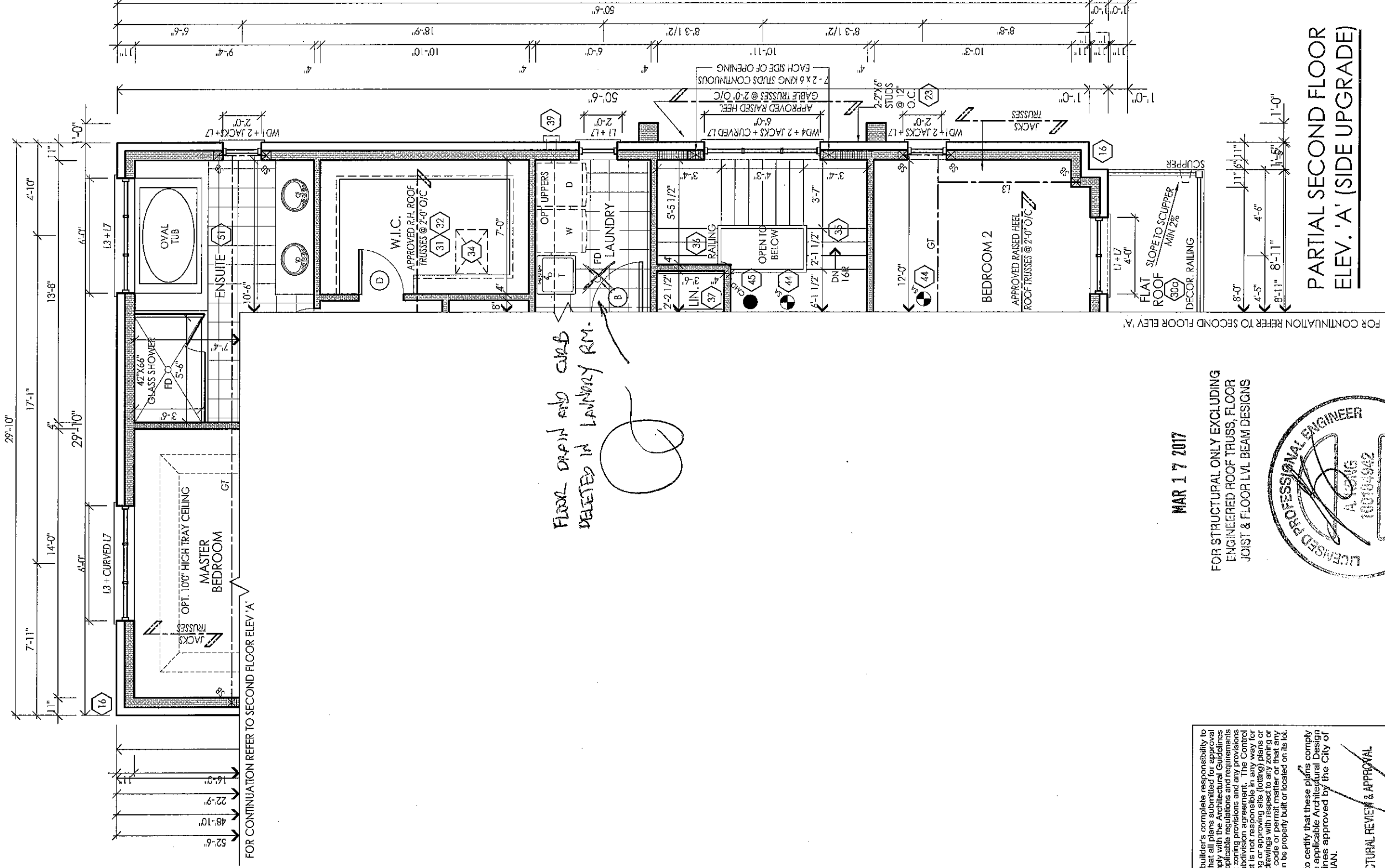
page
A17

revisions

#	ISSUED FOR CLIENT REVIEW	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6-MAY-16	SM	JM					
2	ISSUED FOR PERMIT	8-DEC-16	JM	JM					
3	REVISED AS PER STAR REG O.B.C 2017	15-FEB-17	LO	JP					

QUALIFIED DESIGNER BCIN:
36688
DATE: 26955

SIGNATURE:

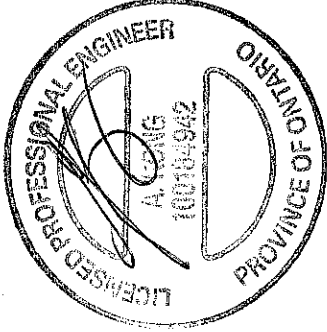


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible for the accuracy of the working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
MAR 2 2017
John G. Williams Limited, Architect

MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



PARTIAL SECOND FLOOR
ELEV. 'A' (SIDE UPGRADE)

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A18

PN design
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revisions

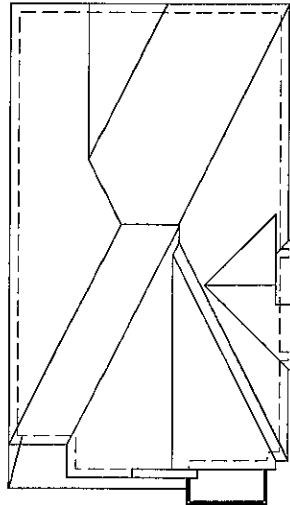
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1	ISSUED FOR CLIENT REVIEW	6/28/16	SM	JM					
2	ISSUED FOR PERMIT	8/22/16	JM	JM					
3	REVISED AS PER STAR REG O.B.C. 2017	1/5/17	LO	JP					

I, JULIO PINOON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

36688
26995

SIGNATURE:



ROOF PLAN 'A'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

14" X 30" VINYL LOUVER W/ 4" BRICK SOLDIER COURSE HEADER W/ 4" PRECAST SILL (TYP.)

PRE-FINISHED ALUMINIUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

1"x4"+2" BUILT-UP DECOR. FRIEZE BOARD (TYP.)

4" BRICK ROWLOCK HEADER ON 10" BRICK SURROUND WITH 45° CORNERS (TYP.)

TOP OF BAND

FACE BRICK (TYP.)

PAINTED MTL. FLASHING W/ CAULKING TO MATCH (TYP.)

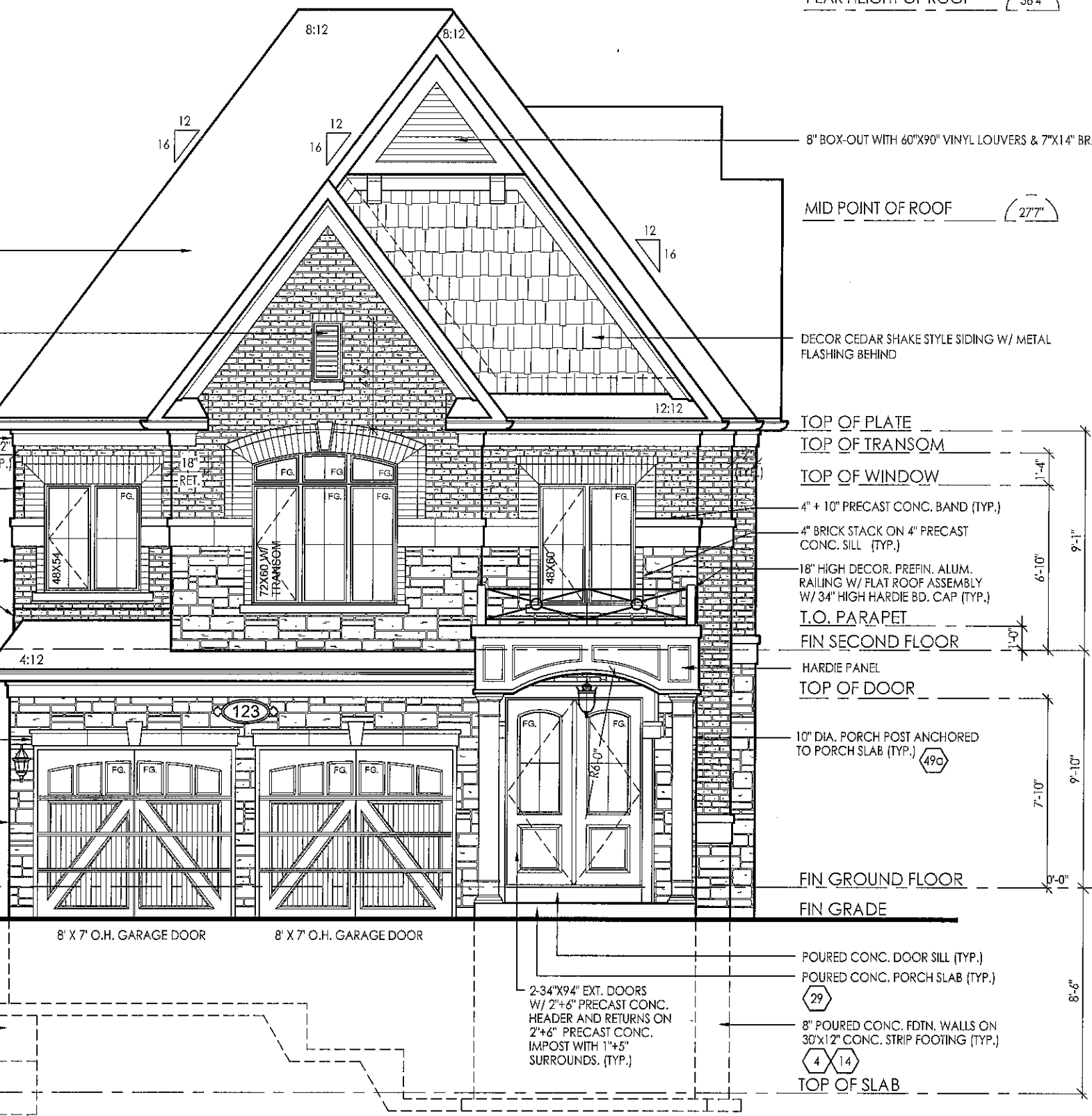
U/S OF GARAGE SOFFIT

2" X 6" PRECAST CONC. HDR. W/ CENTER KEYSTONE (TYP.)

STONE VENEER W/ MTL. FLASHING BEHIND (TYP.)

U/S OF FOOTING

STEPPED FOOTING (TYP.)



FRONT ELEVATION 'A' (SIDE UPGRADE)

PEAK HEIGHT OF ROOF 36'4"

MID POINT OF ROOF 27'7"

8" BOX-OUT WITH 60"x90" VINYL LOUVERS & 7"x14" BRACKETS

DECOR CEDAR SHAKE STYLE SIDING W/ METAL FLASHING BEHIND

TOP OF PLATE

TOP OF TRANSOM

TOP OF WINDOW

4" + 10" PRECAST CONC. BAND (TYP.)

4" BRICK STACK ON 4" PRECAST CONC. SILL (TYP.)

18" HIGH DECOR. PREFIN. ALUM. RAILING W/ FLAT ROOF ASSEMBLY W/ 3/4" HIGH HARDIE BD. CAP (TYP.)

T.O. PARAPET

FIN SECOND FLOOR

HARDIE PANEL

TOP OF DOOR

10" DIA. PORCH POST ANCHORED TO PORCH SLAB (TYP.)

FIN GROUND FLOOR

FIN GRADE

POURED CONC. DOOR SILL (TYP.)

POURED CONC. PORCH SLAB (TYP.)

8" POURED CONC. FDTN. WALLS ON 30"x12" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

2-34"x94" EXT. DOORS W/ 2"x6" PRECAST CONC. HEADER AND RETURNS ON 2"x6" PRECAST CONC. IMPOST WITH 1"x5" SURROUNDS (TYP.)

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ARCHITECTURAL REVIEW & APPROVAL

MAR 2 2011

John G. Williams Limited, Architect

model 38-4
project # 14043
scale 3/16" = 1'0"
page

FIN design
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A18 A

location VAUGHAN, ON

client Gold Park Homes

marketing name

project KLEINBURG GLEN PH-2

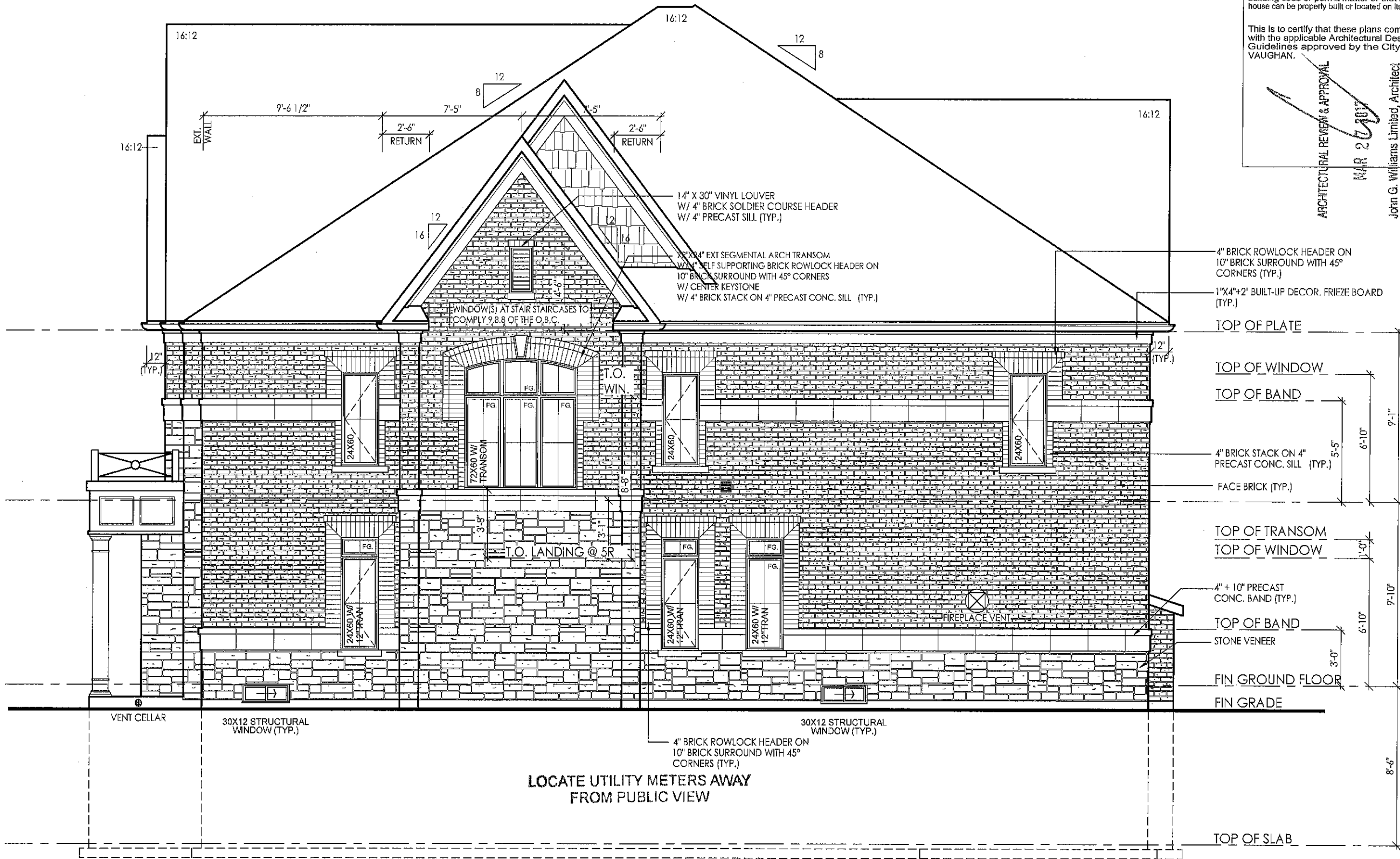
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1	ISSUED FOR CLIENT REVIEW	4-28-10	SM	JM					
2	ISSUED FOR PERMIT	8-02-10	JM	JM					

I DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FIN DESIGN LTD. UNDER DIVISION C: PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

SIGNATURE:

11.17



RIGHT SIDE ELEVATION 'A' (SIDE UPGRADE)

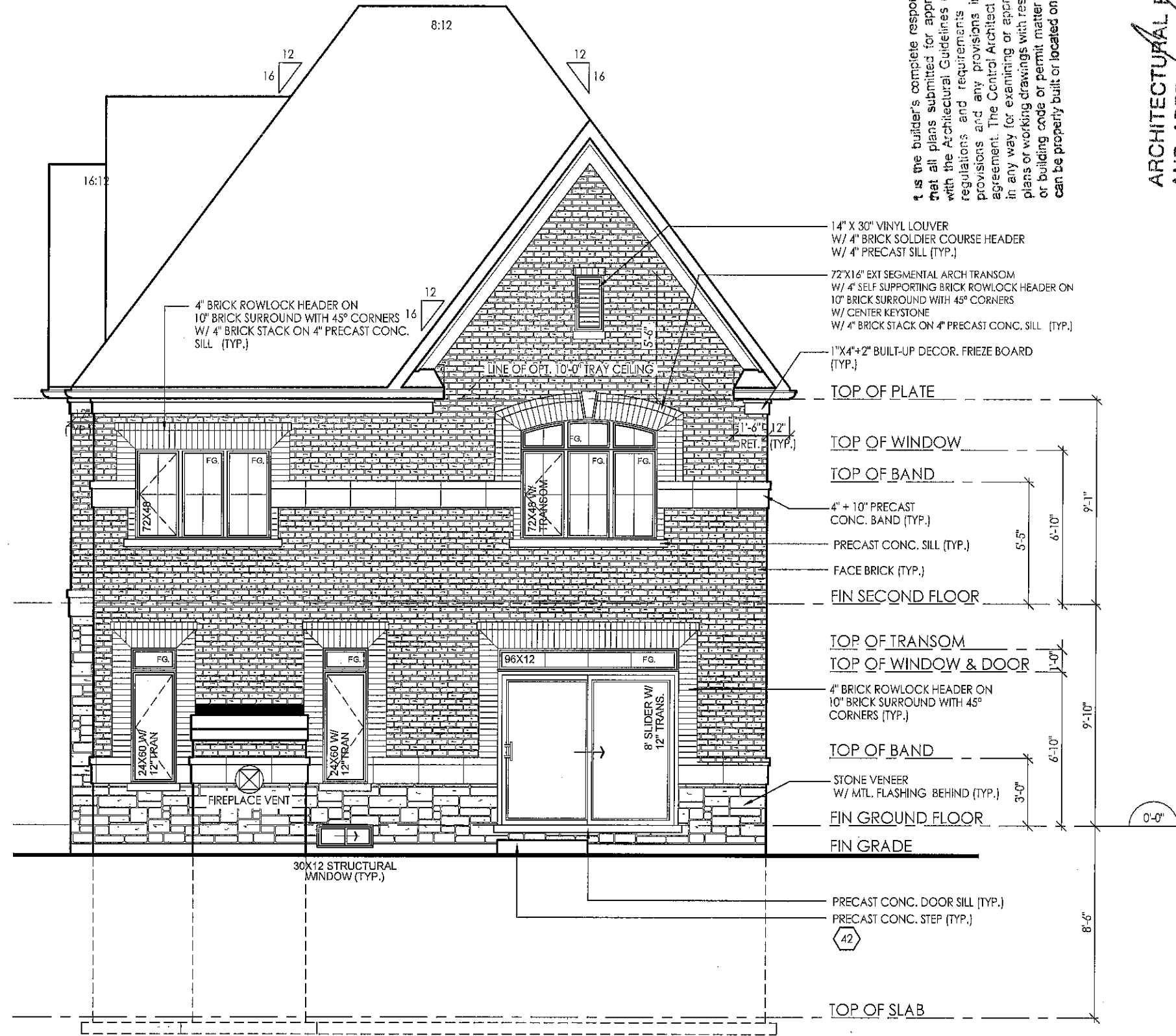
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL
MAR 20 2017
John G. Williams Limited, Architect



client		project		location		marking name			
Gold Park Homes		KLEINBURG GLEN PH-2		VAUGHAN, ON					
#	revisions	date	dmn	chk	#	revisions	date	dmn	chk
1	ISSUED FOR CLIENT REVIEW	6-8-14	SM	JM					
2	ISSUED FOR PERMIT	8-26-16	JM	JM					



REAR ELEVATION 'A' (SIDE UPGRADE)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: _____
Dated: **MAR 27 2017**
JOHN G. WILLIAMS LIMITED, ARCHITECT



A20

client		location	
Gold Park Homes		VAUGHAN, ON	
project		marking name	
KLEINBURG GLEN PH-2			
#	revisions	date	chkn
1	ISSUED FOR CLIENT REVIEW	6-MAR-16	JM
2	ISSUED FOR PERMIT	6-MAR-16	JM

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11-7-17
SIGNATURE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements of the City of Vaughan. The Architect is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

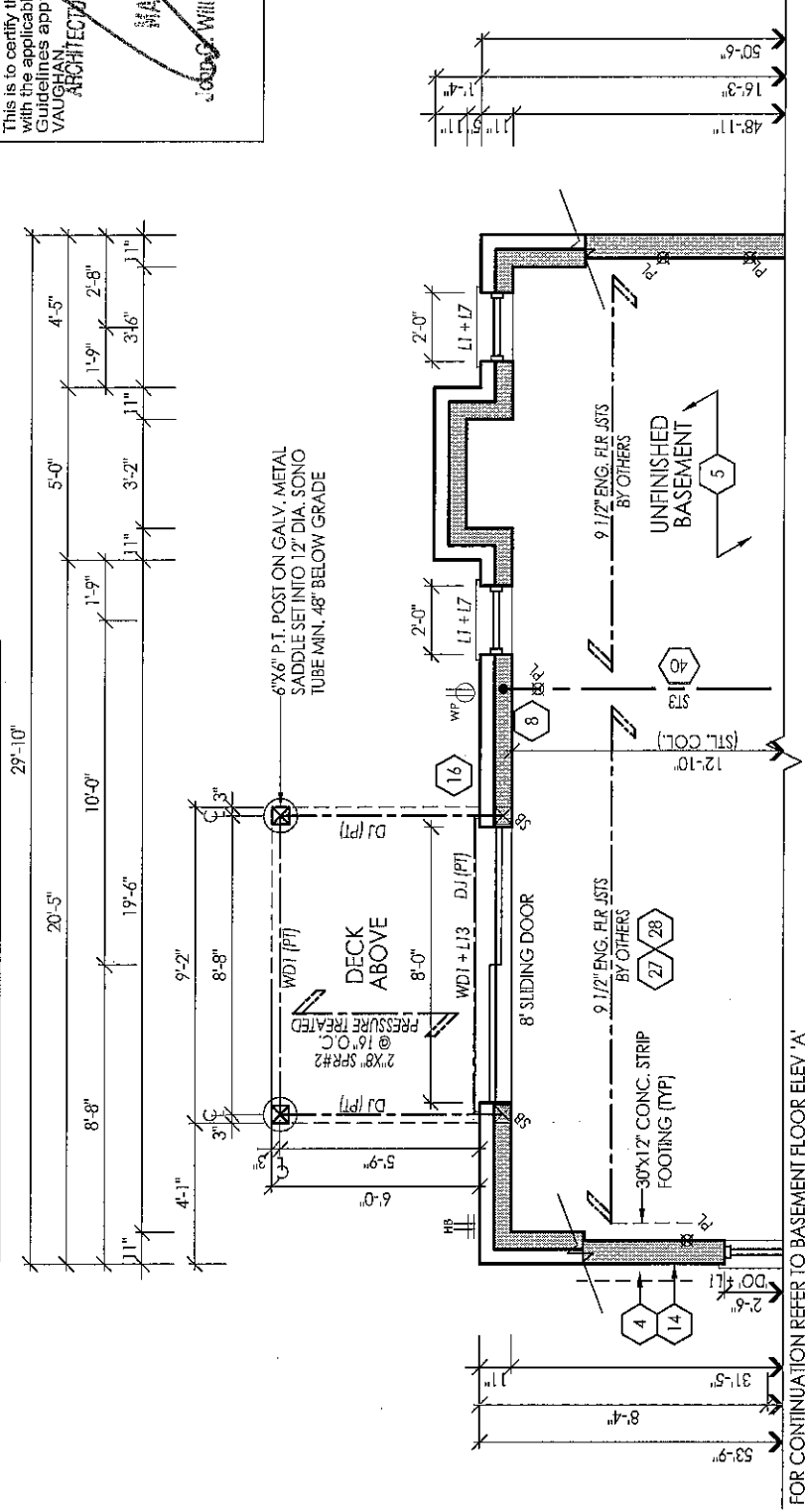
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

ARCHITECTURAL REVIEW & APPROVAL

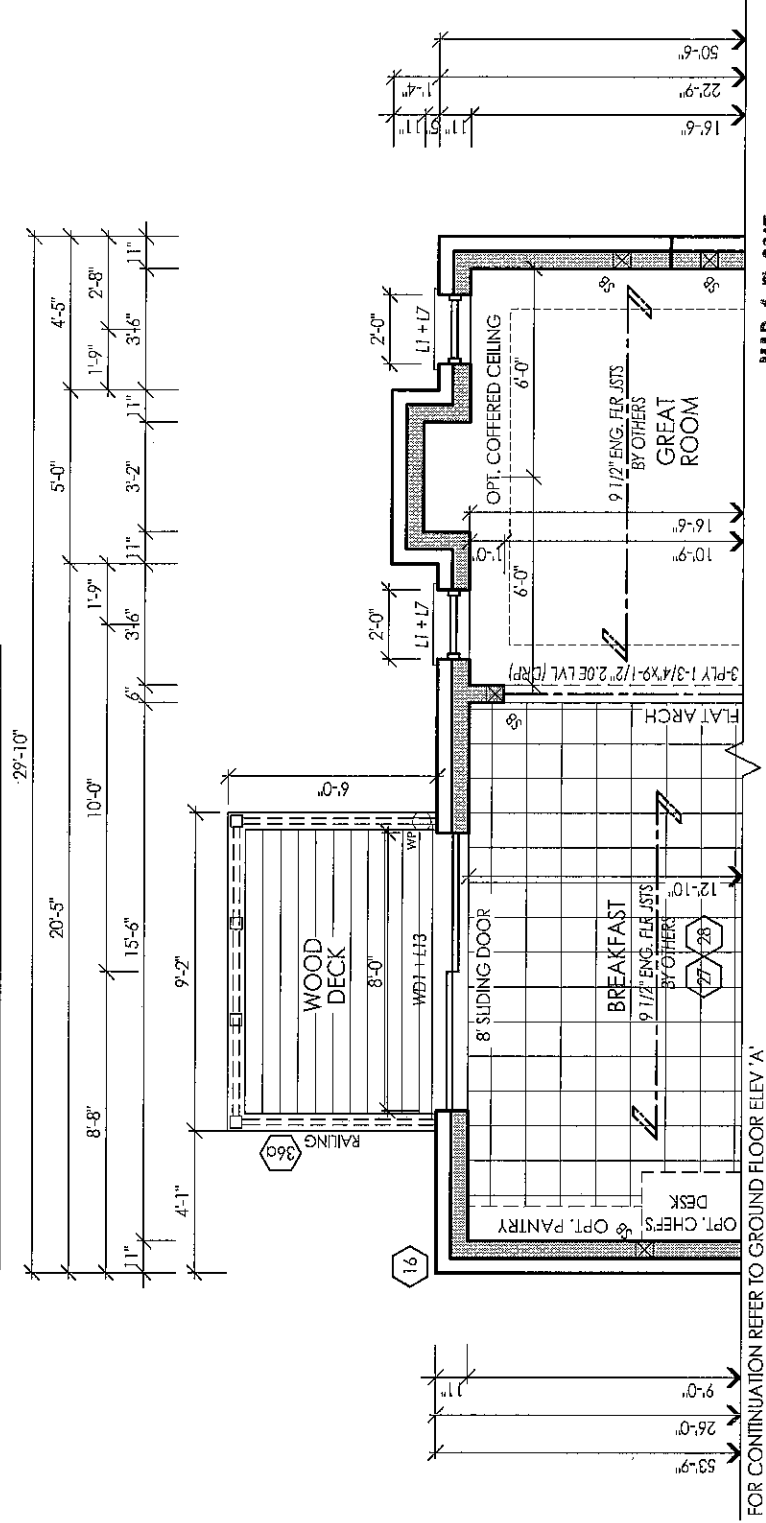
MAR 27 2017

CLONG Williams Limited, Architect

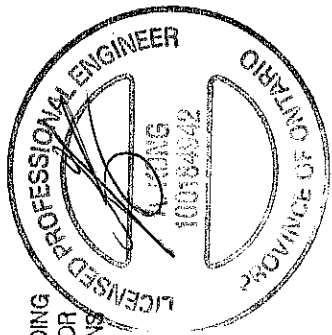
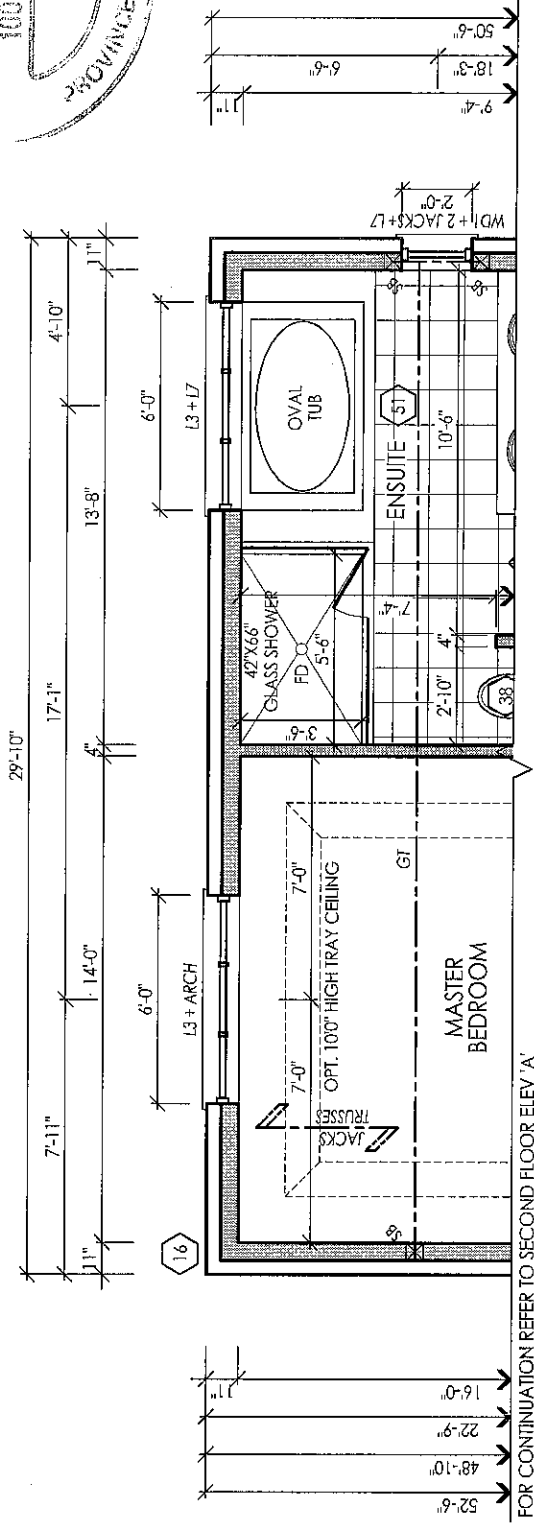
PARTIAL BASEMENT FLOOR



PARTIAL GROUND FLOOR



PARTIAL SECOND FLOOR (REAR UPGRADE)



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

client: Gold Park Homes location: VAUGHAN, ON

project: KLEINBURG GLEN PH-2

marking name: FIN design

Imagine > Inspire > Create

model: 38-4

scale: 3/16" = 10"

project #: 14043

page: A21

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR REVIEW	25-AUG-16	JR	JM					
2	ISSUED FOR PERMIT	21-SEP-16	JR	JM					

QUARANTEED DESIGNER BCIN: 38488

FIRM BCIN: 26975

DATE: 11.17.16

SIGNATURE: _____

File C:\P\Vaughan\Kleinburg\Kleinburg PH-2\Kleinburg PH-2.dwg Plotted Feb 28, 2017 by Point



GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	3385.19 SF	314.48 m²
FRONT GLAZING AREA	70.23 SF	6.52 m²
LEFT SIDE GLAZING AREA	55.5 SF	5.16 m²
RIGHT SIDE GLAZING AREA	65.5 SF	6.08 m²
REAR GLAZING AREA	255.56 SF	23.74 m²
TOTAL GLAZING AREA	446.79 SF	41.51 m²
TOTAL GLAZING PERCENTAGE	13.20 %	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW & APPROVAL

MAR 9 7 2017

John Williams Ltd. Inc. Architect

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

marketing name

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	25-AUG-16	JR	JM					
2	ISSUED FOR PERMIT	21-SEP-16	JR	JM					

designer

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **PN DESIGN LTD.** UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688

FIRM BCIN: 26995

DATE: 11/17/16

SIGNATURE: _____

model

38-4

scale

3/16" = 1'0"

project #

14043

page

A22

PN design
Imagine • Inspire • Create





ASPHALT SHINING
W/ FLASHING
LEADS

31

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed:

Dated: MAR 27 2017

JOHN G. WILLIAMS LIMITED, ARCHITECT

location
VAUGHAN, ON

Gold Park Homes

project
KLEINBURG GLEN PH-2

location
GHAN, ON
marketing name

PN design
Imagine • Inspire • Create

model	38-4
scale	3/16" = 1'0"
project #	14043
page	

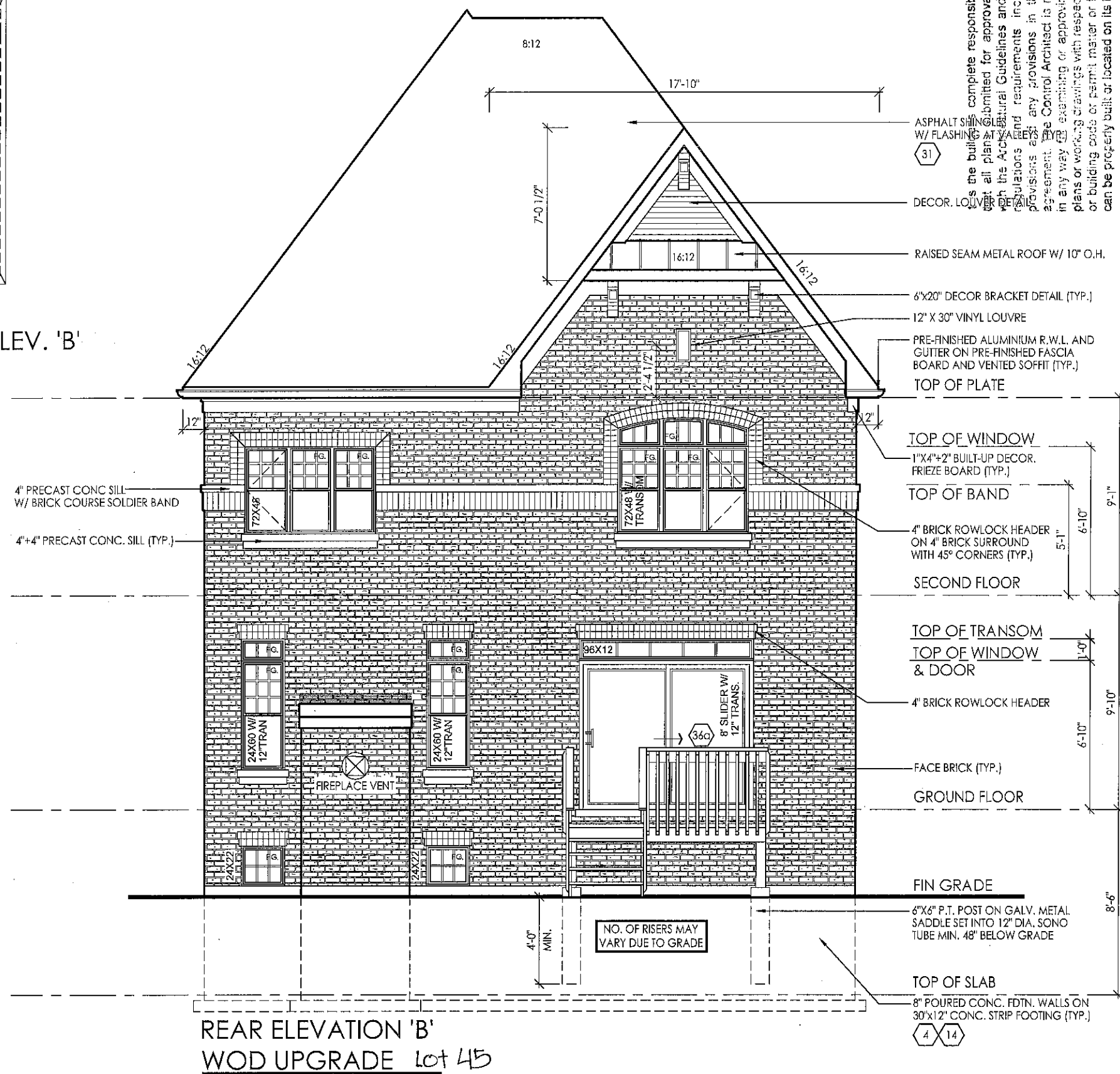
page

A23

1. JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:	38688
FIRM BCIN:	26995

SIGNATURE:



Only the building owner has complete responsibility to ensure that all plans submitted for approval fully comply with the ACS Natural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

~~ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN~~

Signed:

[illegible]

JOHN G. WILLIAMS LIMITED, ARCHITECT

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 117

SIGNATURE:

client	Gold Park Homes	location	VAUGHAN, ON
project		marketing name	

project
KLEINBURG GLEN PH-2

[illegible]

PN design
Imagine • Inspire • Create

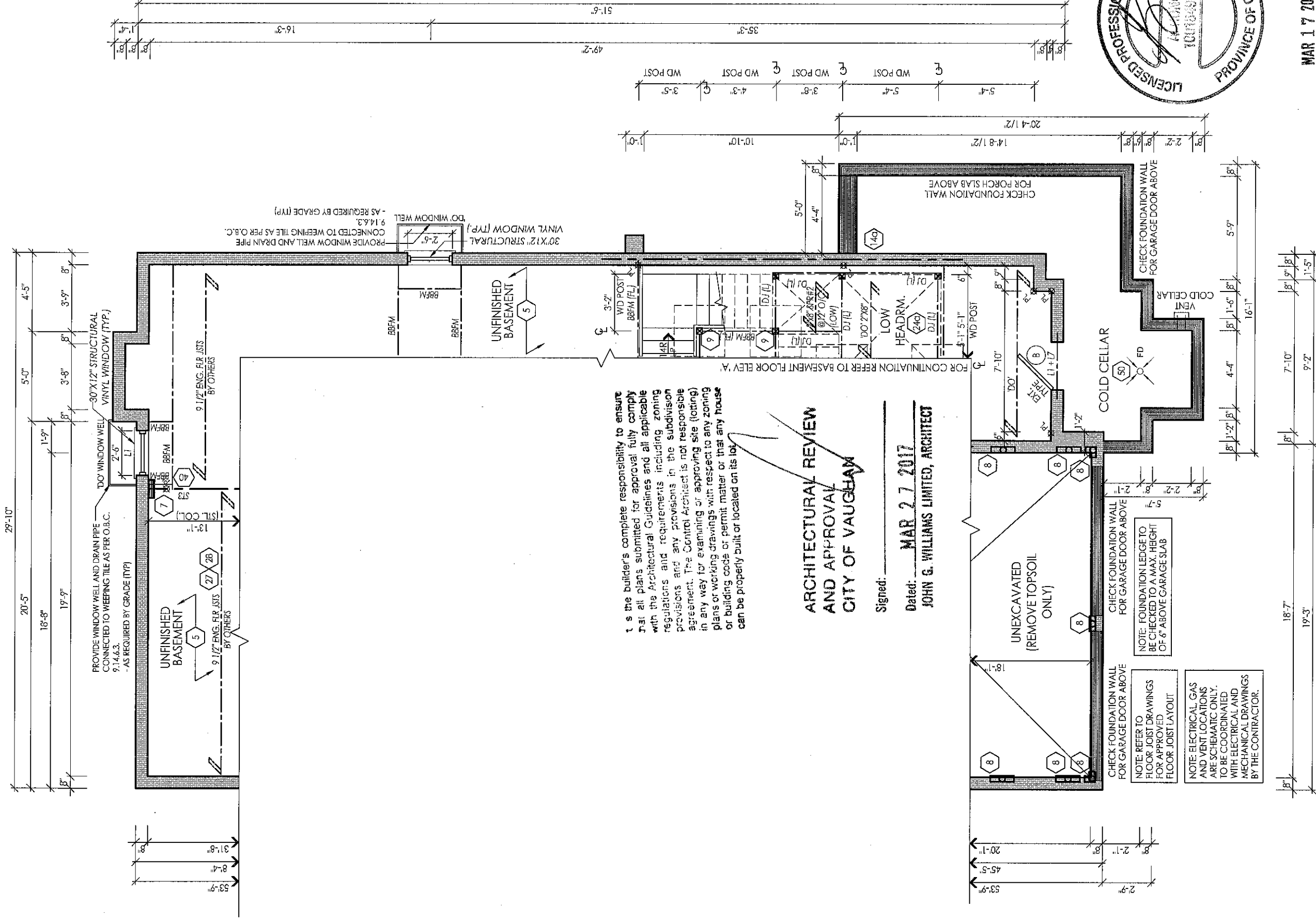


A24

model
38-4

scale
3/16" = 1'0"

ridge



BASEMENT PLAN ELEV. 'A' CORNER UPGRADE

MAR 17 2017

model	38-4
scale	3/16" = 1'0"
project #	14043
page	

A25

client	Gold Park Homes	location	VAUGHAN, ON
project		marketing name	

[illegible]

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:	38688
FIRM BCIN:	26995
DATE:	7/1/00

SIGNATURE:



SIGNATURE:

#	revisions
1	CONVERTED BL TO WD

marketing name

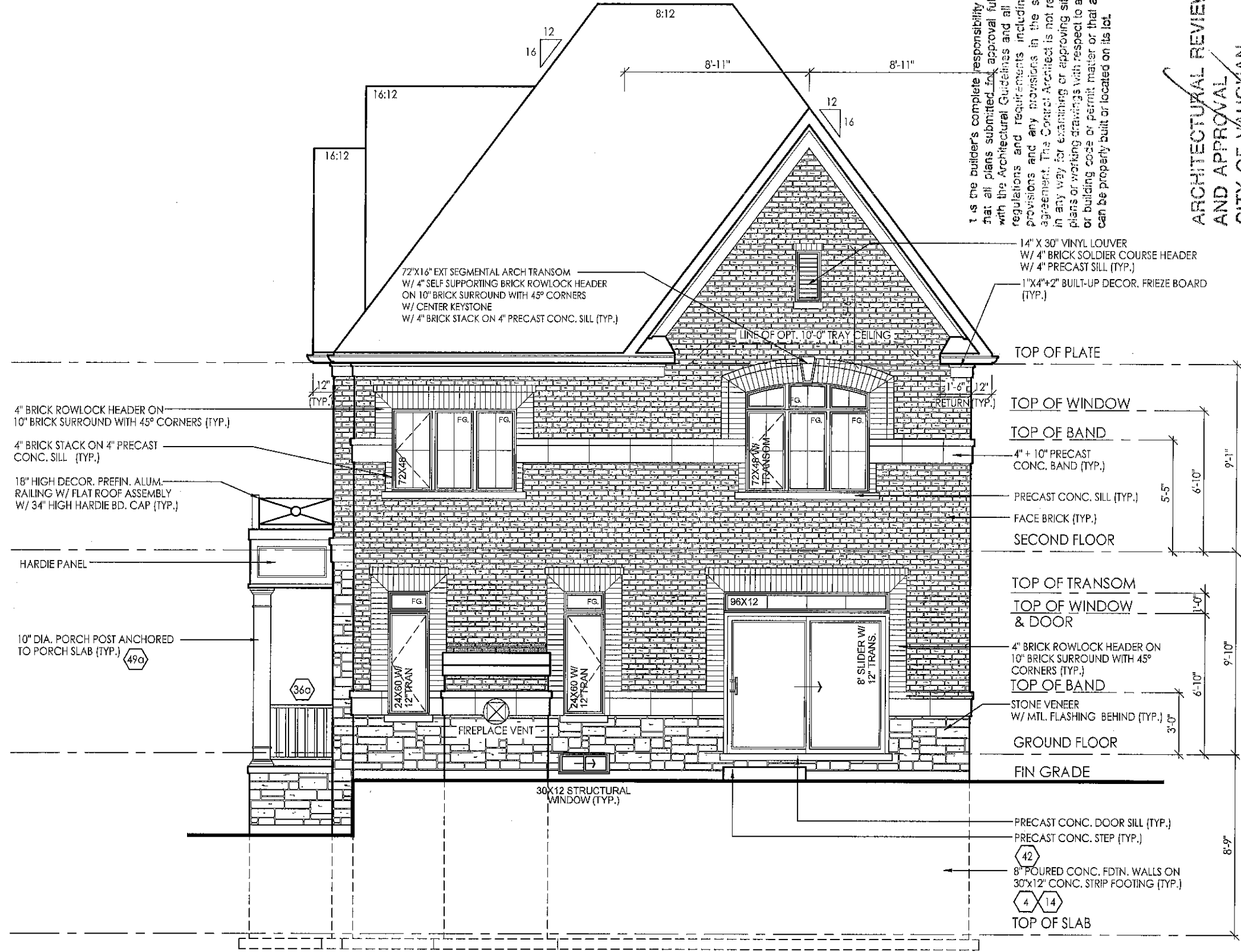
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A26



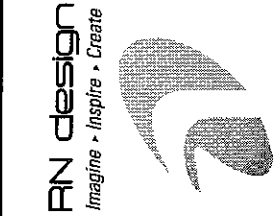
SIGNATURE:



REAR ELEVATION 'A'
CORNER UPGRADE

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: **MAR 27 2017**
Dated: **JOHN G. WILLIAMS LIMITED, ARCHITECT**



model **38-4**
scale **3/16" = 1'0"**
project # **14043**
page

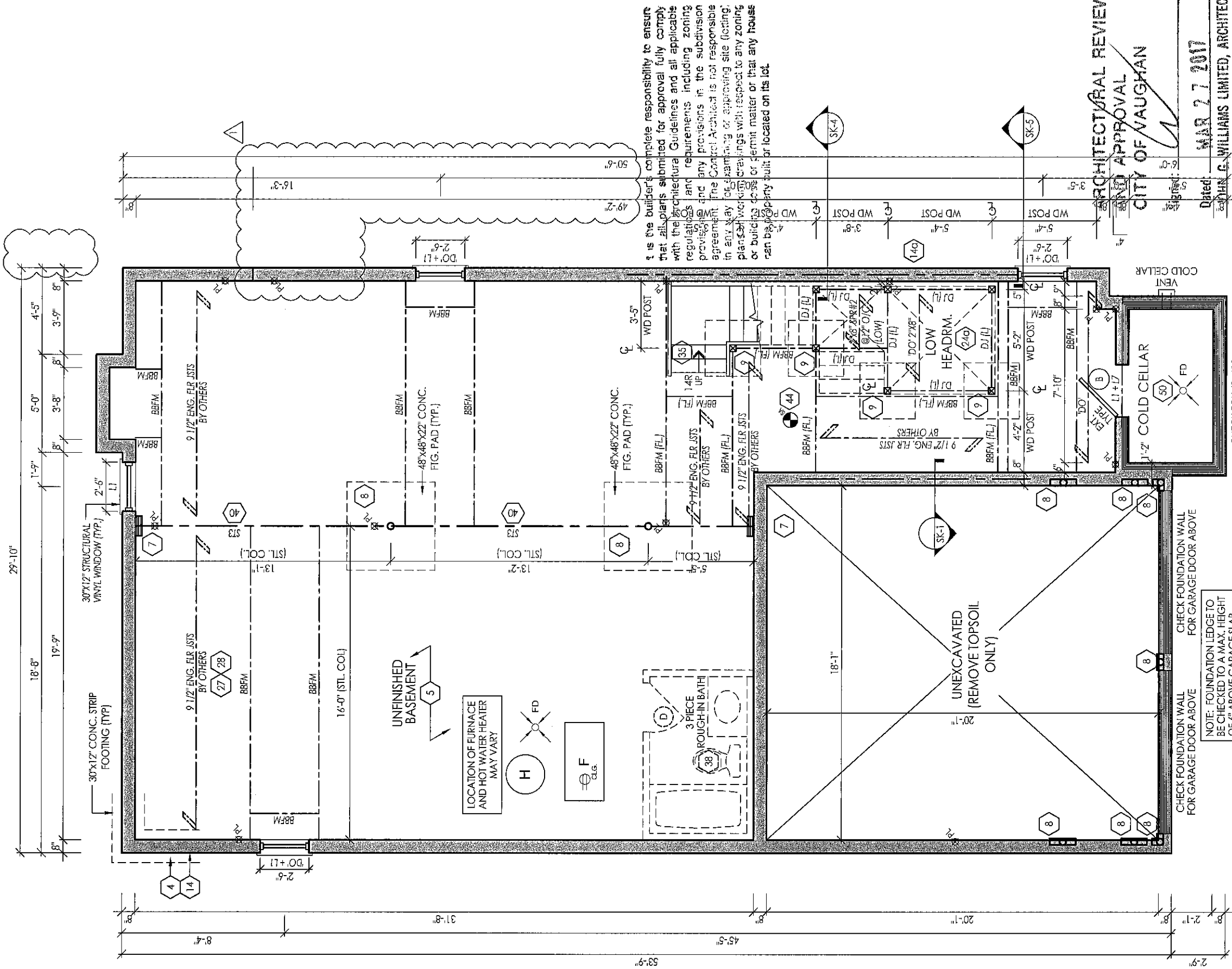
A30

location		marking name		revisions		date		date		date	
client		project		#		/		CONVERTED TO WD		2/28/17	
Gold Park Homes		KLEINBURG GLEN PH-2									
VAUGHAN, ON											

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: **38688**
FIRM BCIN: **26995**
DATE: **11/17/17**

SIGNATURE: _____



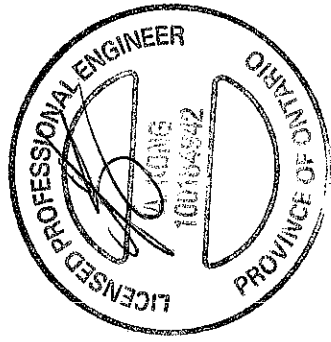
NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

OPT BASEMENT PLAN ELEV. 'A'

MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



ARCHITECTURAL REVIEW AND APPROVAL CITY OF VAUGHAN

Signature: [Signature] Dated: MAR 27 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be legally built or located on its lot.

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C/PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688 FIRM BCIN: 26995 DATE: 11.17.17

SIGNATURE:

client: Gold Park Homes project: KLEINBURG GLEN PH-2 location: VAUGHAN, ON

#	ISSUED FOR CLIENT REVIEW	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1			13-MAR-17	JP						

PN design Imagine • Inspire • Create



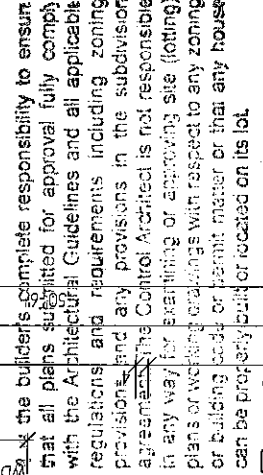
model 38-4

scale 3/16" = 1'0"

project # 14043

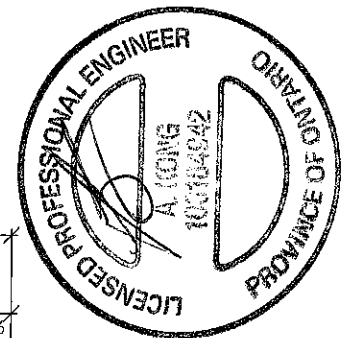
page

A31



4
ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: AR 27207



MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

OPT GROUND FLOOR PLAN ELEV. 'A'

NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

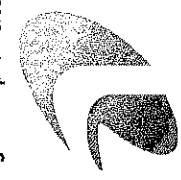
SIGNATURE:

client	Gold Park Homes	location	VAUGHAN, ON
project		marketing phases	

project
KLEINBURG GLEN PH-2

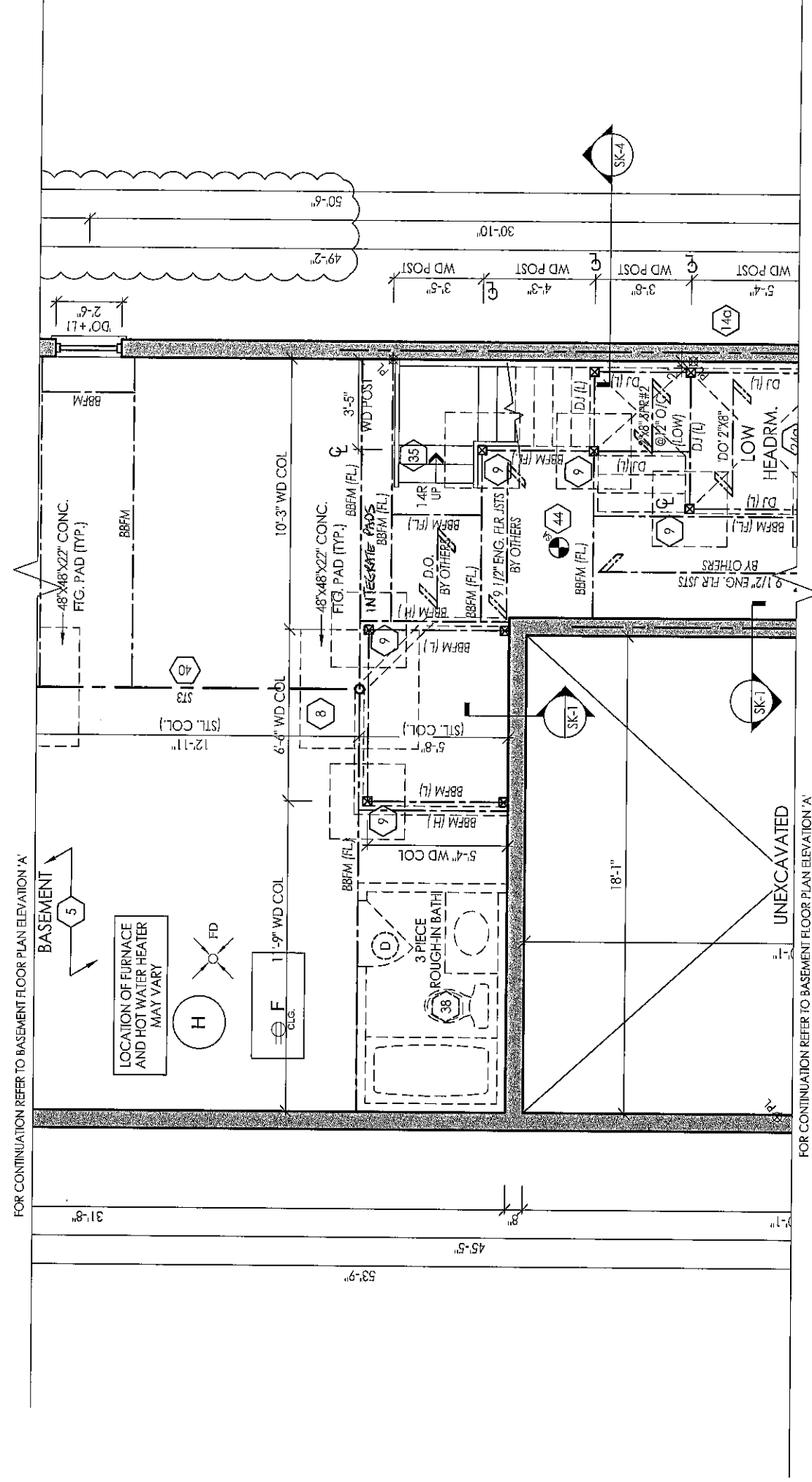
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RN design
Imagine • Inspire • Create



page

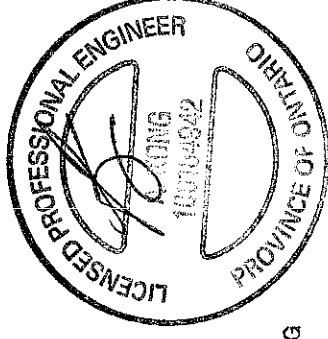
A32



PART. OPT BASEMENT PLAN W/ SUNK. FLR.

MAR 20 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

— ୧୫ —

Dated: ~~MAR 27 2017~~
JOHN G. WILLIAMS LIMITED, ARCHITECT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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fileC:\_PN_Standards\3mp\AcPuck\7592\4043384-FIN...3wg Plotted: Mar 20, 2017 5yr.J.f.f.

```

QUALIFIED DESIGNER BCIN:	38688
FIRM BCIN:	26995
DATE:	7.

SIGNATURE:

client
Gold Park Homes

location
VAUGHAN, ON

project
KLEINBURG GLEN PH-2

[illegible]



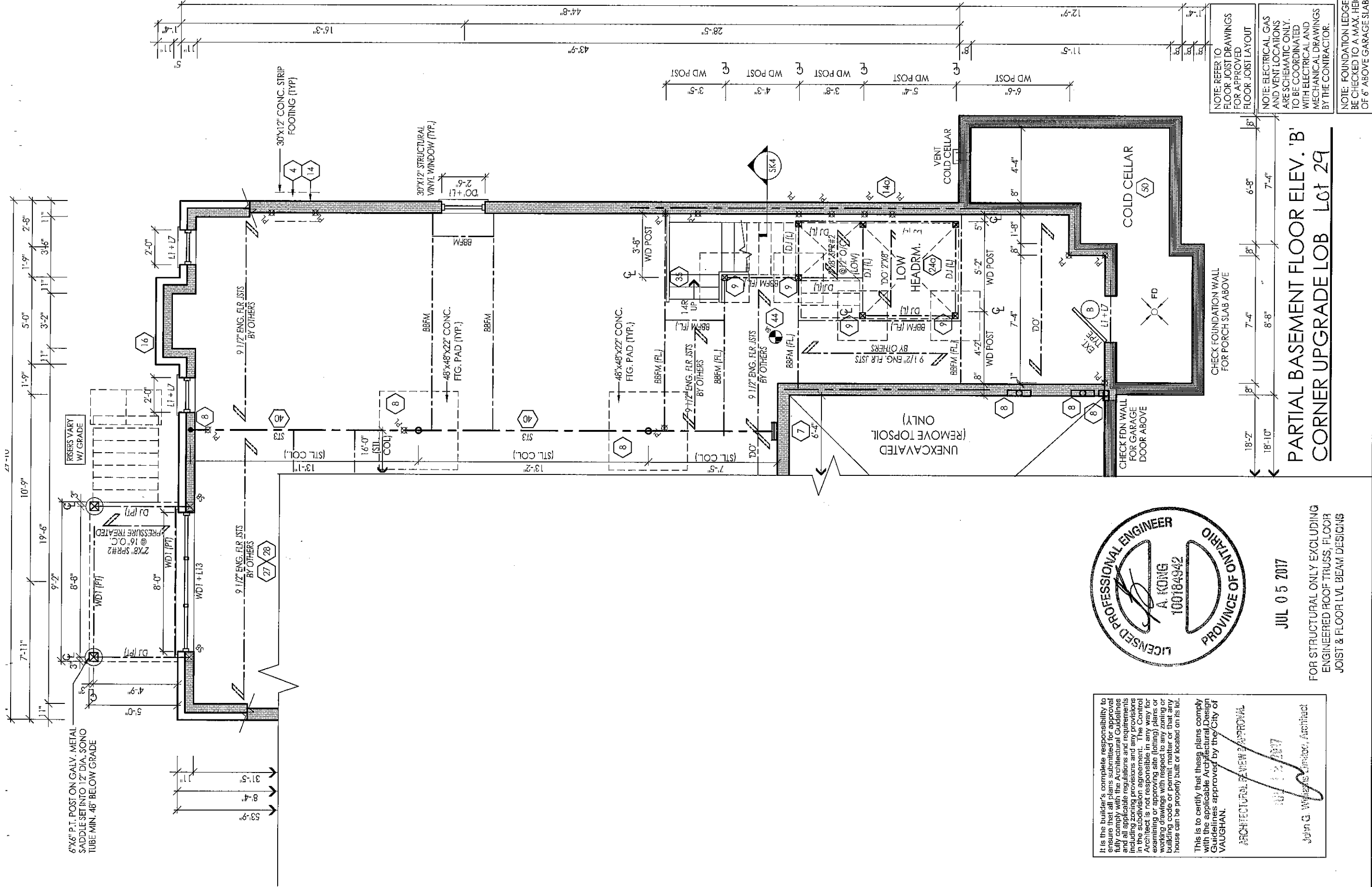
PN design
Imagine • Inspire • Create



SIGNATURE: 

[illegible]marketing name

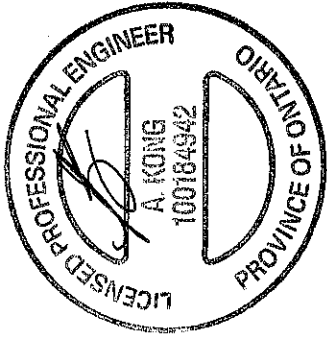
A34



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter on that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural/Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW APPROVAL
JUL 12 2017
John G. Williams, Architect



JUL 05 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

NOTE: ELECTRICAL GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

NOTE: FOUNDATION LEDGE TO
BE CHECKED TO A MAX. HEIGHT
OF 6" ABOVE GARAGE SLAB

client
Gold Park Homes

project
KLEINBURG GLEN PH-2

location
VAUGHAN, ON

model
38-4

scale
3/16" = 1'0"

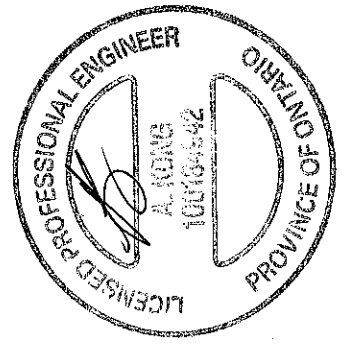
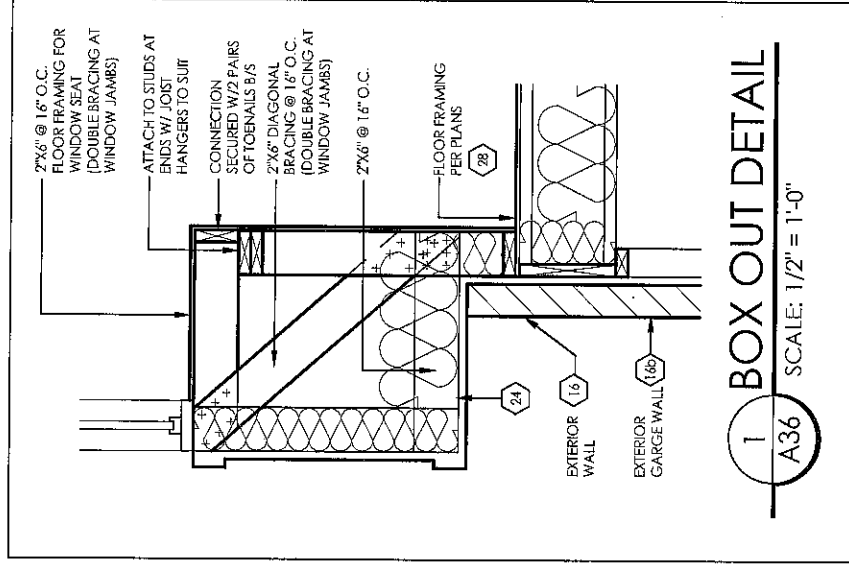
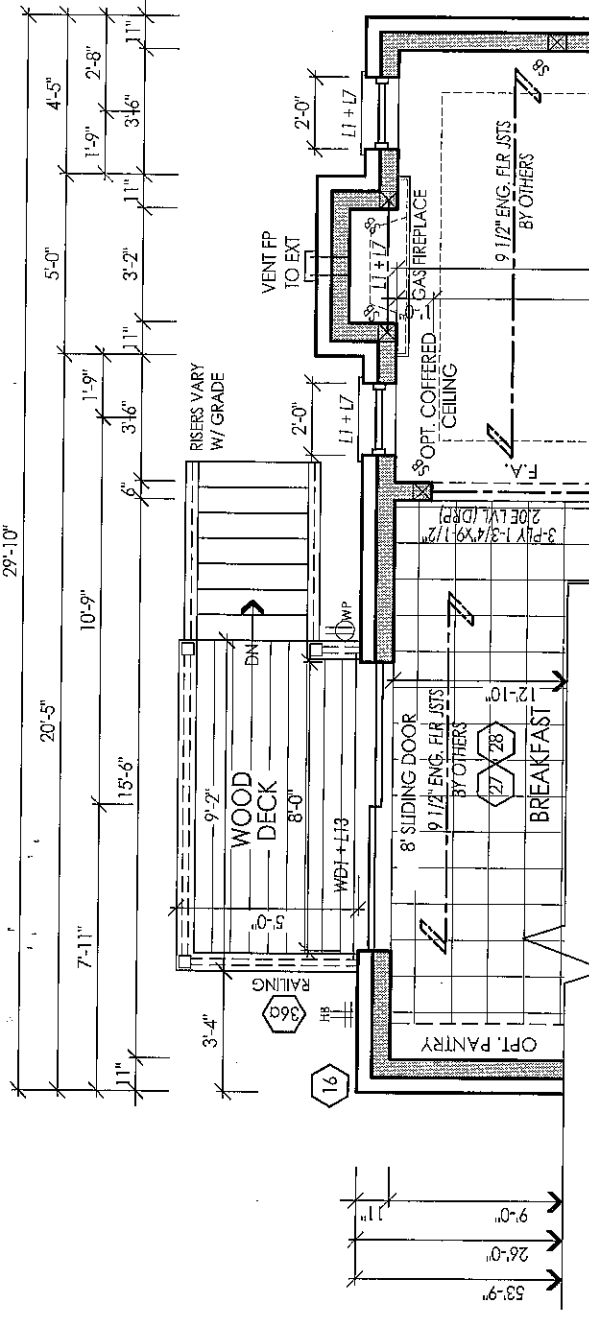
project #
14043

page
A35

marketing name
VAUGHAN, ON

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	16-APR-2017	JP	5					
2	REVISED AS PER ENG. COMMENTS/ISSUED FOR PERMIT	27-JUN-2017	MM	6					
3	REVISED AS PER COMMENTS/ISSUED FOR PERMIT	04-JUL-2017	MM	7					
4				8					

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3
SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES.
QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:
SIGNATURE:



JUL 05 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGN

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building regulations that may apply to the building house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

APPROVED FOR THE CITY OF VAUGHAN

John G. Williams Limited, Architect

PARTIAL GROUND FLOOR ELEV. 'B'
CORNER UPGRADE WOD/LOB

Lot 11 E 29

- NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK
- NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT
- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

client

Gold Park Homes

location

VAUGHAN, ON

project

KLEINBURG GLEN PH-2

marketing name

1

ISSUED FOR CLIENT REVIEW

12-APR-2017

JP

5

2

REVISED AS PER ENG. COMMENTS / ISSUED FOR PERMIT

12-JUN-2017

MM

6

3

REVISED AS PER COMMENTS / ISSUED FOR PERMIT

04-JUL-2017

MM

7

4

8

ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C-PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

30840

26995

FIRM BCIN:

DATE:

SIGNATURE:

model

38-4

scale

3/16" = 1'0"

project #

14043

page



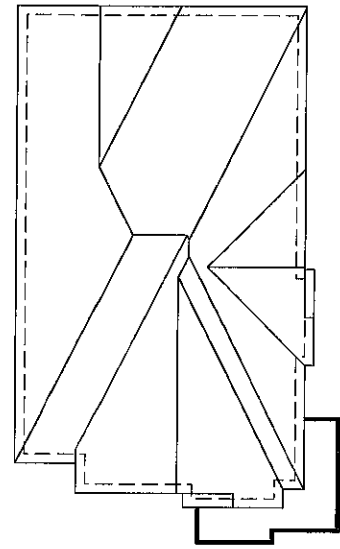
A36

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW APPROVAL
JUL 16 2017
John G. Whitehead, Architect

ROOF PLAN ELEV. 'B' CORNER UPGRADE



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

31

PRE-FINISHED ALUMINIUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

TOP OF BAND

1"x8" ALUM. FRIEZE BOARD (TYP.)

4" x 4" SELF SUPPORTING BRICK ARCH W/ 4" x 4" STACKED BRICK RETURNS (TYP.)

FACE BRICK (TYP.)

TOP OF BAND

4" x 4" BRICK ROWLOCK HEADER W/ 4" x 4" SURROUND WITH 45° CORNERS (TYP.)

4" PRECAST CONC. SILL (TYP.)

PAINTED MTL. FLASHING W/ CAULKING TO MATCH (TYP.)

U/S OF GARAGE SOFFIT

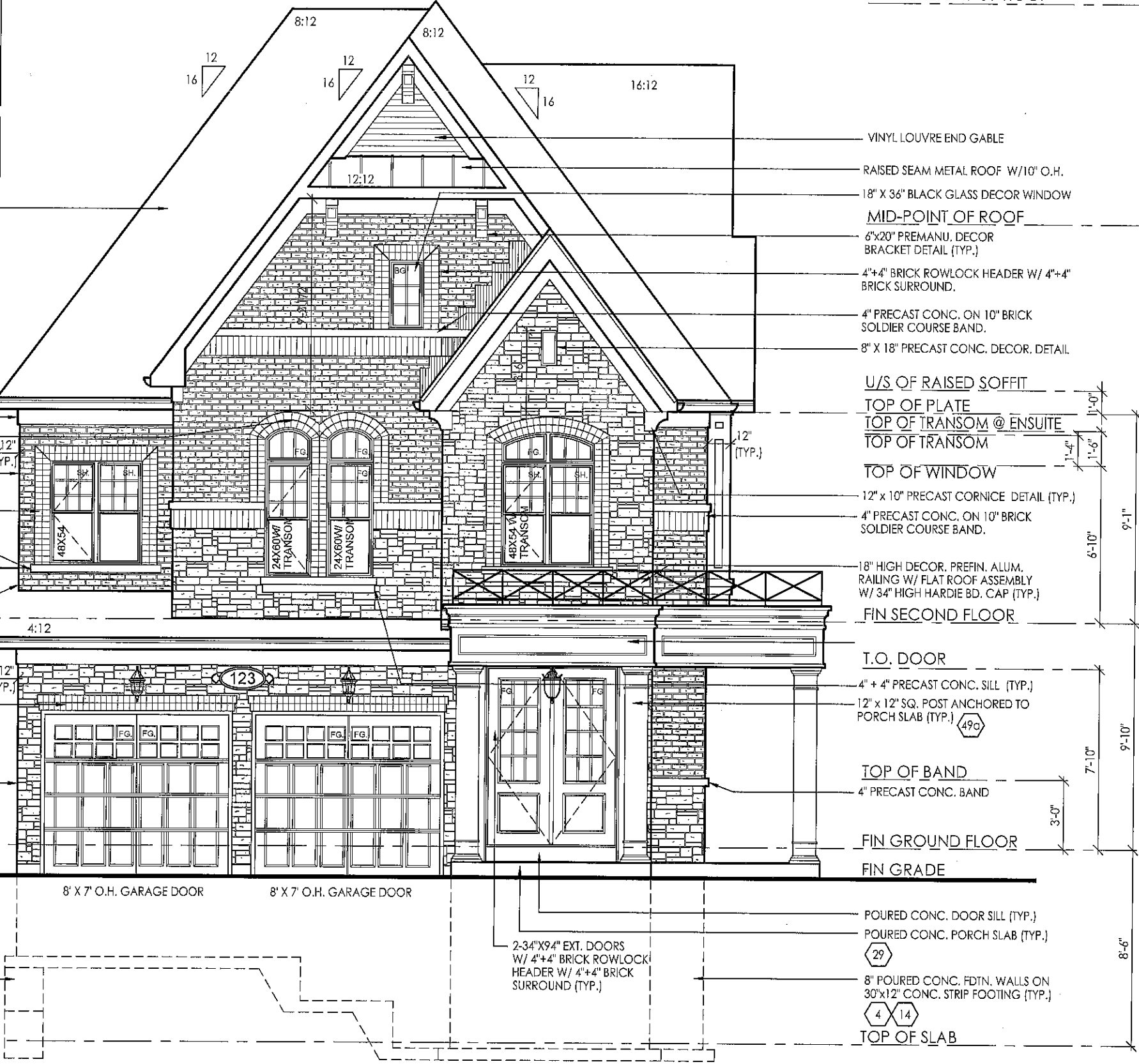
4" x 4" BRICK ROWLOCK HEADER (TYP.)

STONE VENEER W/ MTL. FLASHING BEHIND (TYP.)

U/S OF FOOTING

STEPPED FOOTING (TYP.)

3



FRONT ELEVATION. 'B' CORNER UPGRADE Lot 11 E29

GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	3403.35 SF	316.17 m²
FRONT GLAZING AREA	62.8 SF	5.83 m²
LEFT SIDE GLAZING AREA	53 SF	4.92 m²
RIGHT SIDE GLAZING AREA	93.85 SF	8.72 m²
REAR GLAZING AREA	182.23 SF	16.93 m²
TOTAL GLAZING AREA	391.88 SF	36.41 m²
TOTAL GLAZING PERCENTAGE	11.51 %	

PEAK HEIGHT OF ROOF 38'-1"

VINYL LOUVRE END GABLE
RAISED SEAM METAL ROOF W/10" O.H.
18" X 36" BLACK GLASS DECOR WINDOW
MID-POINT OF ROOF 28'-6"

6"x20" PREMANU. DECOR BRACKET DETAIL (TYP.)
4"x4" BRICK ROWLOCK HEADER W/ 4"x4" BRICK SURROUND.
4" PRECAST CONC. ON 10" BRICK SOLDIER COURSE BAND.
8" X 18" PRECAST CONC. DECOR. DETAIL

U/S OF RAISED SOFFIT
TOP OF PLATE
TOP OF TRANSOM @ ENSUITE
TOP OF TRANSOM

TOP OF WINDOW
12" x 10" PRECAST CORNICE DETAIL (TYP.)
4" PRECAST CONC. ON 10" BRICK SOLDIER COURSE BAND.

18" HIGH DECOR. PREFIN. ALUM. RAILING W/ FLAT ROOF ASSEMBLY W/ 3/4" HIGH HARDIE BD. CAP (TYP.)
FIN SECOND FLOOR

T.O. DOOR
4" x 4" PRECAST CONC. SILL (TYP.)
12" x 12" SQ. POST ANCHORED TO PORCH SLAB (TYP.)

TOP OF BAND
4" PRECAST CONC. BAND

FIN GROUND FLOOR
FIN GRADE

POURED CONC. DOOR SILL (TYP.)
POURED CONC. PORCH SLAB (TYP.)
8" POURED CONC. FDTN. WALLS ON 30"x12" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

model
38-4

scale
3/16" = 1'0"

project #
14043

page
A38

PN design
Imagine - Inspire - Create

location
VAUGHAN, ON

client
Gold Park Homes

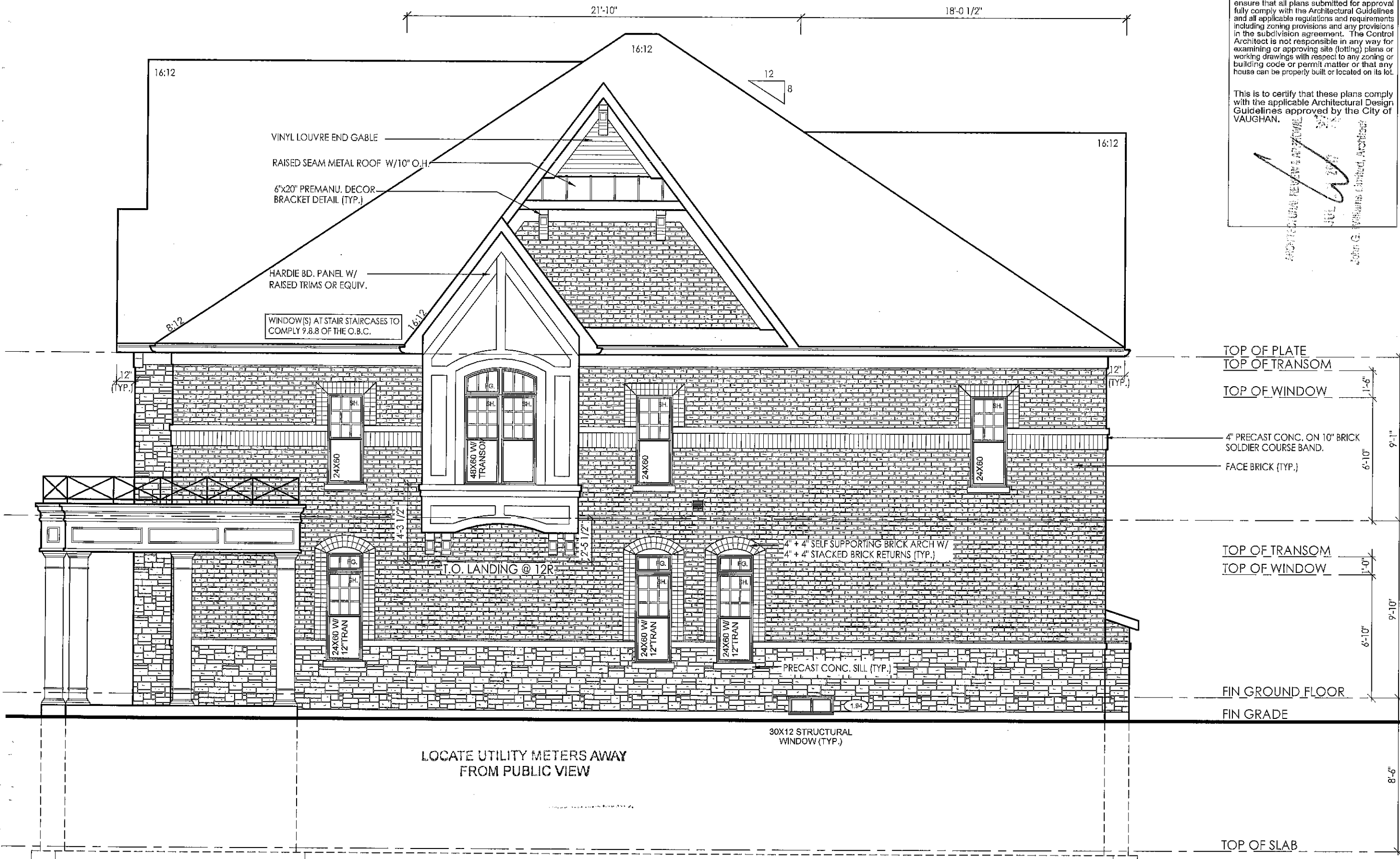
project
KLEINBURG GLEN PH-2

marking name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	16-APR-2017	JP	JP	5				
2	ISSUED FOR PERMIT	27-JUN-2017	MM	MM	6				
3	REVISED AS PER COMMENTS/ ISSUED FOR PERMIT	04-JUL-2017	MM	DH	7				
4					8				

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD. UNDER DIVISION C/PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE:
SIGNATURE:

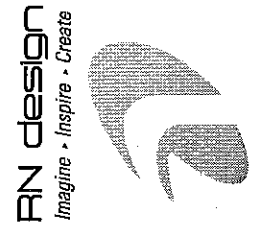


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

NOTED: CLERK REVIEWED APPROVED
JUL 10/17
John G. Vaughan, Licensed Architect

model 38-4
scale 3/16" = 1'0"
project # 14043



page A39

client		location		marketing name	
Gold Park Homes		VAUGHAN, ON			
project		KLEINBURG GLEN PH-2			
#	revisions	date	dwg	chk	#
1	ISSUED FOR CLIENT REVIEW	16-JUN-2017	JP	JP	5
2	ISSUED FOR PERMIT	27-JUN-2017	MM	MM	6
3	REVISED AS PER COMMENTS/ISSUED FOR PERMIT	04-JUL-2017	MM	MM	7
4					8

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QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE:

SIGNATURE:

RIGHT ELEVATION. 'B' CORNER UPGRADE lot 11 E 29



REAR ELEVATION. 'B' CORNER UPGRADE WOD Lot 11

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ARCHITECTURAL REVIEW
JUL 18 2017
JOHN G. VAUGHAN LIMITED, ARCHITECT

model 38-4
scale 3/16" = 1'0"
project # 14043

page

A41

PN design
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client Gold Park Homes
location VAUGHAN, ON

project KLEINBURG GLEN PH-2
marketing name

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	18-APR-2017	JP		5				
2	ISSUED FOR PERMIT	27-JUN-2017	MM		6				
3	REVISED AS PER COMMENTS / ISSUED FOR PERMIT	04-JUL-2017	MM		7				
4					8				

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF PN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: 26/9/15

SIGNATURE: *E. Schneider*

SIGNATURE:



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW APPROVAL
JUL 11 2017
JAMES C. VAUGHAN LIMITED, Architect

client		location							
Gold Park Homes		VAUGHAN, ON							
project		marketing name							
KLEINBURG GLEN PH-2									
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
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3	REVISED AS PER COMMENTS / ISSUED FOR PERMIT	04-JUL-2017	MM	DH	7				
4					8				

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: 26/9/15
SIGNATURE:



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17 REQ. FOR FIRE RATING (LESS THAN 4'-0" UNIFORM DISTANCE):
O.B.C. SB-3 WALL = EW1B (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD R1'S (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

18 INTERIOR STUD WALLS:
O.B.C. 1.9.23.10.1.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

BEARING STUD WALL (BASEMENT):
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL 2" X 4" OR 2" X 6" TOP PLATE
-2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
-FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

19 PARTY WALL - BLOCK (AGAINST GARAGE):
O.B.C. SB-3 WALL = B4e (STC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP-OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NON-COMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
-ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-STAGGER JOISTS & BEAMS MIN. 3 1/2" (95mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

20 PARTY WALL - BLOCK (AGAINST GARAGE):
O.B.C. SB-3 WALL = B4e (STC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
-2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
-R20 (RSI 3.57) RIGID INSULATION
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
REQ. INSULATION VALUES:
INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
-RIGID INSULATION = 20.00
-LOW DENSITY CONCRETE BLOCK = 1.70
-WOOD FRAME W/ GYPSUM = 2.72
-AIR FILM - MOVING = 0.68
-AIR FILM - STILL = 0.17
TOTAL R-VALUE = 25.27

21 FIREWALL:
O.B.C. 9.10.1.1. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 SF. (600 SQ.M) OF BUILDING AREA. O.B.C. T.3.2.2.47.
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
-SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELING
-EXTEND 5/8" (16mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.1(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.1(2)

22 PARTY WALL - WOOD STUD:
O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
-COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

23 PARTY WALL - WOOD STUD:
O.B.C. SB-3 WALL = W19c (STC = 57, FIRE = 1 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-2 ROWS 2X4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
-SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
-5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

24 GARAGE WALL & CEILING:
O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 5.41) INSULATION IN WALLS
-R31 (RSI 5.97) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.- FOR FLOOR ABOVE
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4-3 1/4" (82mm) TOE NAILS
-BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
WALLS ADJACENT TO ATTIC SPACE
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-R22 (RSI 3.87) INSULATION
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

25 DOUBLE VOLUME WALLS:
O.B.C. 9.23.10.1.
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING REFER TO PLAN FOR STUD SPECIFICATION
-STUDS FASTENED AT TOP & BOTTOM WITH 3/3-1/4" (82mm) TOE NAILS
-DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
-SOLID BRIDGING AT 3'-11" (1200mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. 1.2.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

26 CLIENT SPECIFIC REVISIONS

27 EXPOSED FLOOR:
FLOOR AS PER NOTE # 28
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
-R31 (RSI 5.46) INSULATION
-VENUED FINISHED AREA
SUNKEN FINISHED AREAS:
USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
-WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
-FLOOR STRUCTURE AS PER NOTE # 28.

28 DOUBLE MASONRY WYTHE WALL:
O.B.C. 9.20.8.2.
-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
-SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
-6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

29 CORBEL MASONRY VENEER:
-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)
FLOOR ASSEMBLIES:
SILL PLATE:
O.B.C. 9.23.7.
-2" X 4" (38mm X 89mm) PLATE
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.
BRIDGING & STRAPPING:
O.B.C. 9.23.9.4.
a) STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
-FASTENED TO SILL OR HEADER @ ENDS
b) BRIDGING
-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
c) BRIDGING & STRAPPING
-a) & b) USED TOGETHER OR
-1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (c)
d) FURRING OR PANEL TYPE CEILING
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

30 FLOOR ASSEMBLY:
O.B.C. 9.23.14.3, 9.23.14.4
-5/8" (15.9mm) WATERBOARD (R-1 GRADE) OR EQUIVALENT
-FLOOR JOISTS AS PER FLOOR PLANS
PORCH SLABS ABOVE COLD CELLAR:
O.B.C. 9.39.1.4.
-REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
-7 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
-REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
-3" (75mm) END BEARING ON FOUNDATION WALL
-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

31 EXTERIOR BALCONY ASSEMBLY:
-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
-2X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
-EXTERIOR GUARD AS PER #36a
-SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
-REQUIRED FOR OVER HEATED SPACES:
-ADD 2X2" (38mm X 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

32 EXTERIOR FLAT ROOF ASSEMBLY:
-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT
-INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
-2X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
-REQUIRED FOR OVER HEATED SPACES:
-ADD 2X2" (38mm X 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING (O.B.C. 19.29.5.3.)
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

33 ROOF ASSEMBLIES
ROOF ASSEMBLIES
TYPICAL ROOF
O.B.C. 9.26.
-NO. 210 (30.5KG/m2) ASPHALT SHINGLES
-FOR ROOFS THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

34 CEILING:
-R50 (RSI 8.8) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING (O.B.C. 19.29.5.3.)
-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

35 VAULTED OR CATHEDRAL CEILING:
O.B.C. 9.26. & TABLE A4
-NO. 210 (30.5KG/m2) ASPHALT SHINGLES
-FOR ROOFS THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

36 EXTERIOR GUARDS:
O.B.C. SB-7 & 9.8.8.3.
-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).
-GUARDS TO BE 3'-6" (1070mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-PROVIDE MID-SPAN POSTS AS PER SB-7.
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH
THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

37 ATTIC ACCESS HATCH:
O.B.C. 9.19.2.1.
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

38 GENERAL:
PRIVATE STAIRS:
O.B.C. 9.8.4.
-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 8-1/4" (210mm)
-MIN. TREAD = 9-1/4" (235mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-MIN. WIDTH = 2'-10" (860mm)
-MIN. WIDTH = 2'-11" (900mm)
TEXT STAIRS, BETWEEN GUARDS)
-MIN. RUN = 57/8" (150mm)
-MIN. AVG. RUN = 77/8" (200mm)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:
O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELING UNITS
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION
HEIGHT:
O.B.C. 9.8.7.4
-2'-10" (665mm) MIN. TO 3'-2" (965mm) MAX.
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING
PROJECTIONS:
O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR
PUBLIC STAIRS:
O.B.C. 9.8.4.
-MAX. RISE = 7-3/32" (180mm)
-MIN. RUN = 11" (280mm)
-MIN. TREAD = 11" (280mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-9" (2050mm)
-MIN. WIDTH = 2'-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:
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-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION
HEIGHT:
O.B.C. 9.8.7.4
-2'-10" (665mm) MIN. TO 3'-2" (965mm) MAX.
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING
PROJECTIONS:
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-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR
TERMINATION:
O.B.C. 9.8.7.3
-ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS FINISH:
O.B.C. 9.8.9.6
-TREADS ARE TO BE WEAR AND SLIP RESISTANT. SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.1(4)
-STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

39 INTERIOR GUARDS:
O.B.C. SB-7 & 9.8.8.3.
-GUARDS TO BE 3'-6" (1070mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
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-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH
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31 TYPICAL ROOF:

- O.B.C. 9.26
- NO. 210 (30.5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (600mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION Laid BENEATH STARTER STRIP.
- LEAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVES TROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

- WALL TO CEILING & WALL TO FLOOR AIRVAPOUR BARRIER JOINT
- OVERLAP BARRIER BY 4" MIN AND MECHANICALLY SEALED
- or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT

SEALANT:

16 BRICK VENEER CONSTRUCTION (TYPICAL):

- O.B.C. 9.23.
- 3'-12" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
- 2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. T.2.1.1.2.A.)
- CONTINUOUS AIRVAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4.

- A/B MECHANICALLY SEALED or PROVIDE CONTINUOUS SEALANT
- AT OVERLAPPED JOINTS IN AIRVAPOUR BARRIER (TYP)

SEALANT

- HEADER WRAP IS TO EITHER OVERLAP AIRVAPOUR BARRIER BY 4" or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT (TYP)

26 SILL PLATE:

- O.B.C. 9.23.7.
- 2" X 6" (38mm X 140mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FASTENED TO PLATE W/ NUTS AND WASHERS
- SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO EDN. WALL
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER OF MINERAL WOOL NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

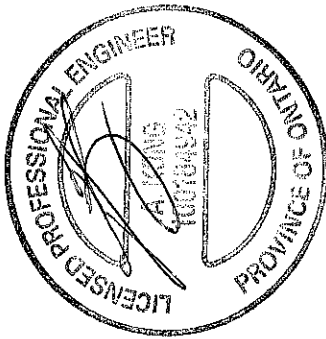
- METAL FLASHING TO EXTEND UP BEHIND BRICK MIN 6"

2 TYPICAL STRIP FOOTING:

- (EXTERIOR BEARING WALLS)
- O.B.C. 9.15.3. & 9.15.3.6
- 3 STOREY STUD - 26" X 9" (660mm X 230mm)
- BASED ON 16'-11" (4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 28psi (200kPa) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOIL'S ENGINEERING REPORT)

TYPICAL EXTERIOR WALL
SECTION- BRICK

SCALE: 3/4"= 1'-0"



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF **ARN DESIGN LTD.** UNDER DIVISION C/PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 1.17.17

SIGNATURE:

client

Gold Park Homes

location
VAUGHAN, ON

project

KLEINBURG GLEN PH-2

marketing name

#	ISSUED FOR PERMIT	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1			24 FEB-16	JP	JP					

model

38-4

scale

3/16" = 1'-0"

project #

14043

page

D4