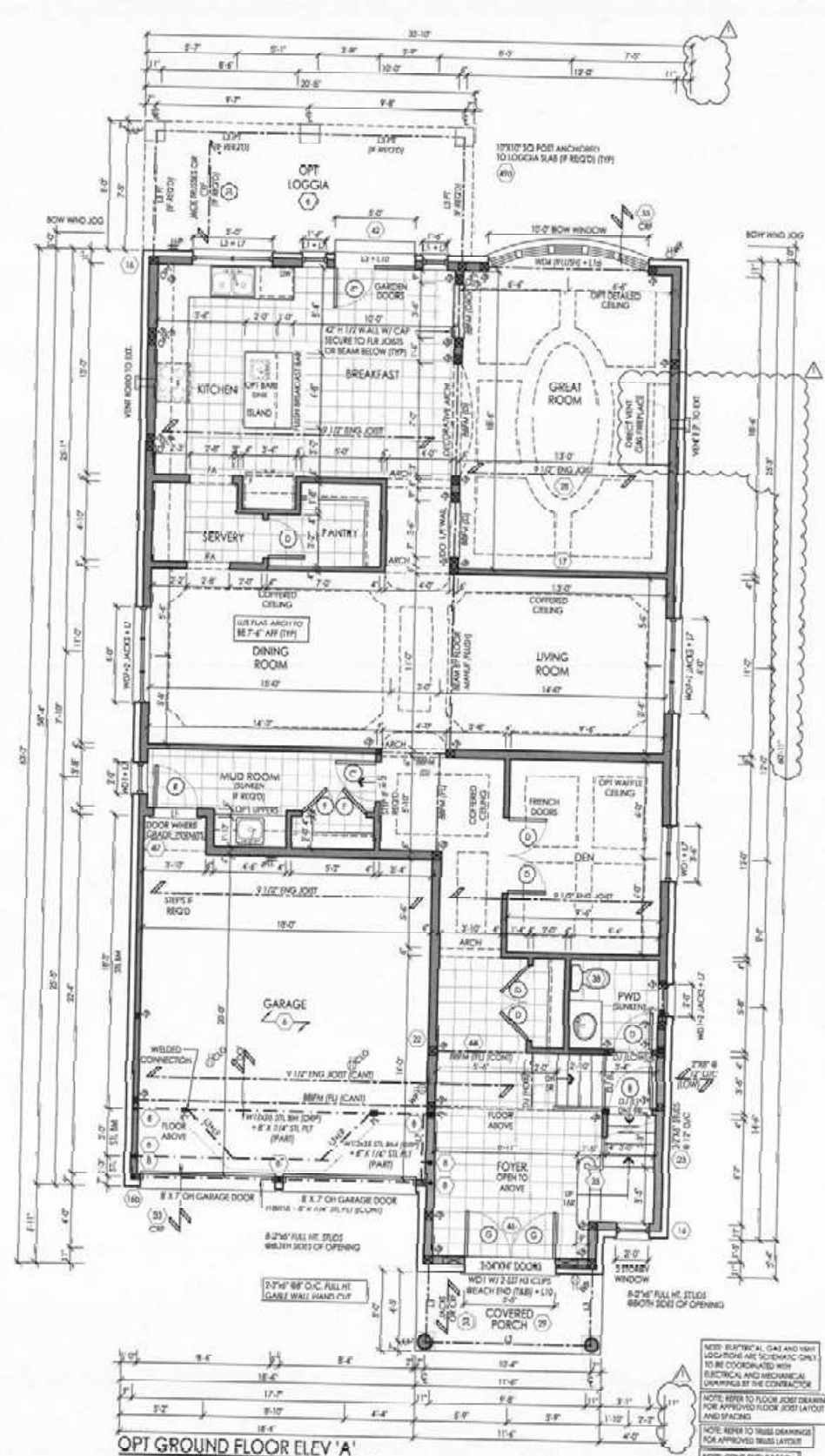
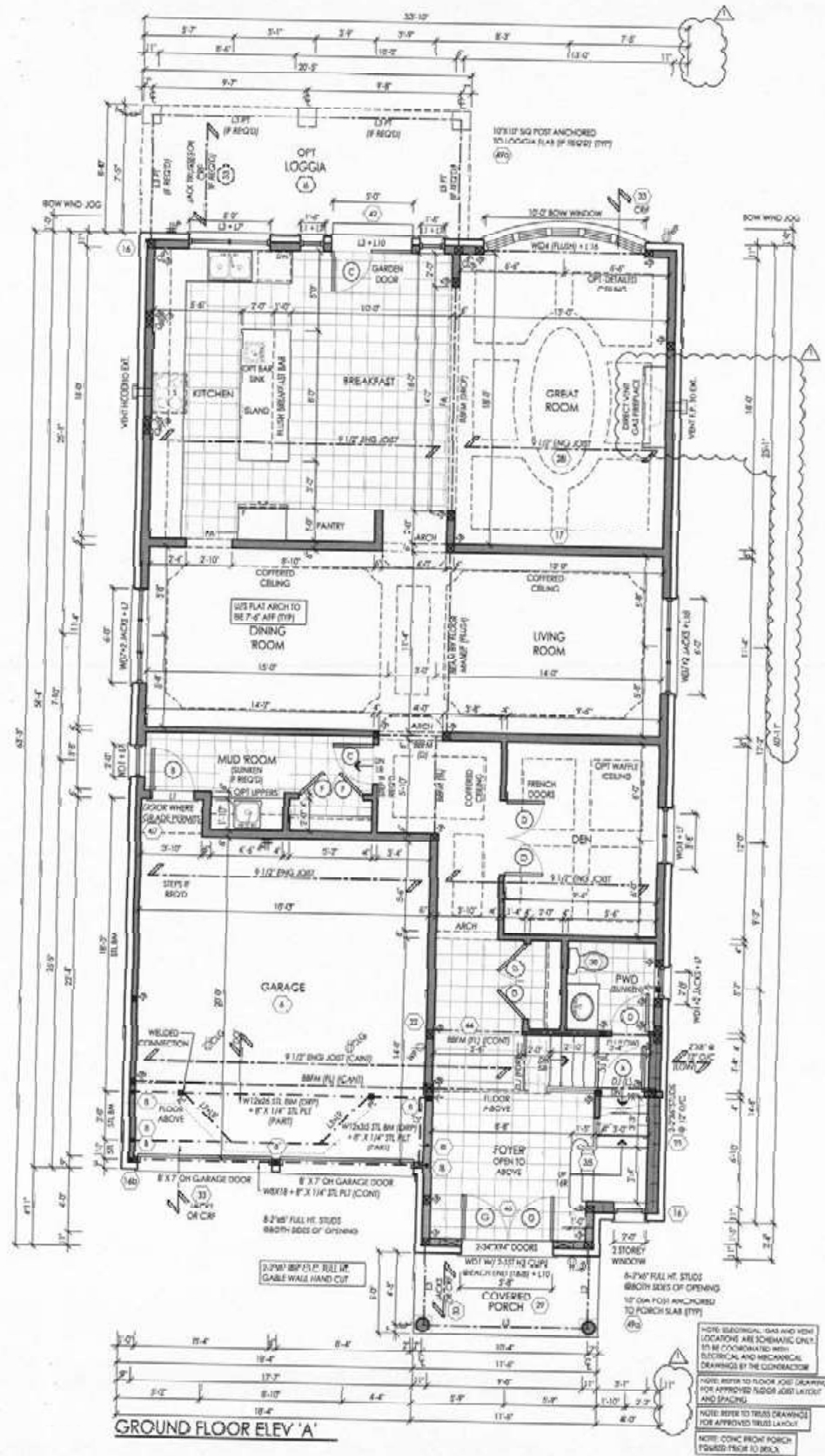




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I, JAMES WILLIAMS, ARCHITECT, HAVE REVIEWED AND TAKEN POSSESSION OF THE DESIGN WORK ON BEHALF OF THE DESIGNER. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

DESIGNED BY: JAMES WILLIAMS
DATE: 1.17.17
SIGNATURE: [Signature]



MAR 17 2017
FOR STRUCTURAL ONLY EXCLUDING
1. 17' x 4' STED ROOF TRUSS, FLOOR
JOIST & FLOOR SLAB DESIGN

It is the designer's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements. The designer is responsible for ensuring that all plans submitted for approval are complete and accurate. The designer is not responsible for any errors or omissions in the plans or for any damage to the property or for any loss of time or money incurred by the owner or any other person in connection with the design or construction of the project.

This is to certify that these plans comply with the applicable Architectural Guidelines and all applicable regulations and requirements. The plans have been approved by the City of Vaughan.

ARCHITECTURAL REVIEW APPROVAL
MAR 27 2017
John G. Williams Limited, Architect

#	REVISION	DATE	BY	CHK
1	BASED FOR CITY REVIEW	MAR 20 17	AW	CA
2	REVISED AFTER FLOOR & TRUSS DESIGN	17 MAR 17	AW	CA
3	REVISED AFTER ENGINEERING COMMENTS	15 MAR 17	AW	CA
4	REVISED TRUSS AND FLOOR JOIST DESIGN	15 MAR 17	AW	CA
5	REVISED AFTER CITY COMMENTS	16 MAR 17	AW	CA
6	BASED FOR PERMIT	MAR 17	AW	CA
7				
8				
9				
10				
11				
12				

Gold Park Homes

PROJECT: KLEINBURG GLEN PH-2 VAUGHAN ON

NOISE: 42-5

PROJECT #: 14043

SCALE: 3/16" = 1'-0"

DATE: 2017

A2

QUALIFIED DESIGNER NO.	1117	ISSUED
PRINT NO.		20/08
DATE		

1113 30000 20798



FOR STRUCTURAL ONLY EXCLUDING
ENRICHED ROOF SLAB, FLOOR
JOIST & FLOOR LVL. BEAMS/DECKING

ARCHITECTURAL REVIEW & CRITICAL
MAR 27 1977

John G. Williams, AIA, Architect

[illegible]

1999

Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN, ON

42-5

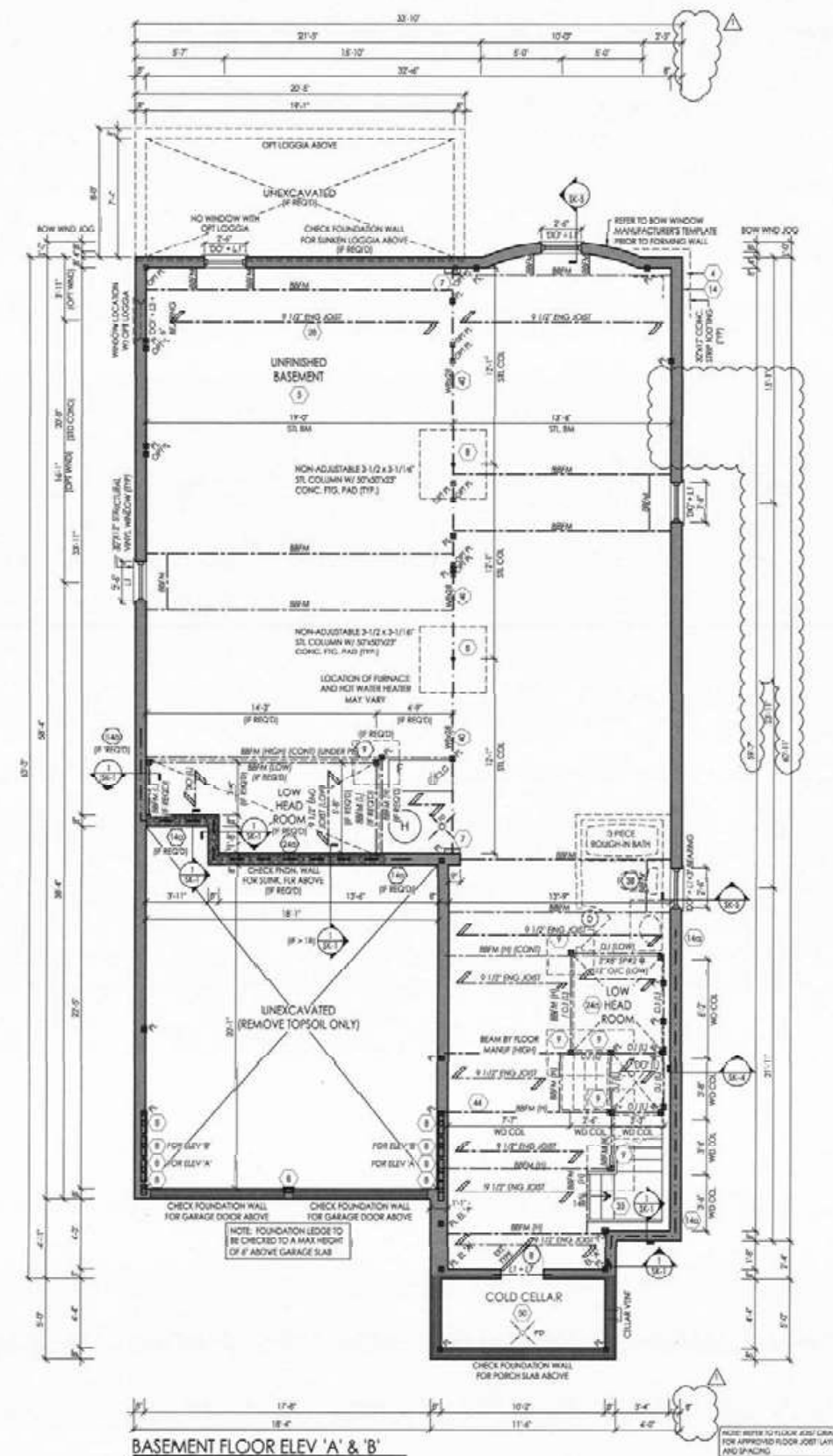
project #

14043

SCALE $3/16" = 1'-0"$



A1



QUALIFIED DESIGNER SIGNATURE: H. R. 30000
DATE: 2017



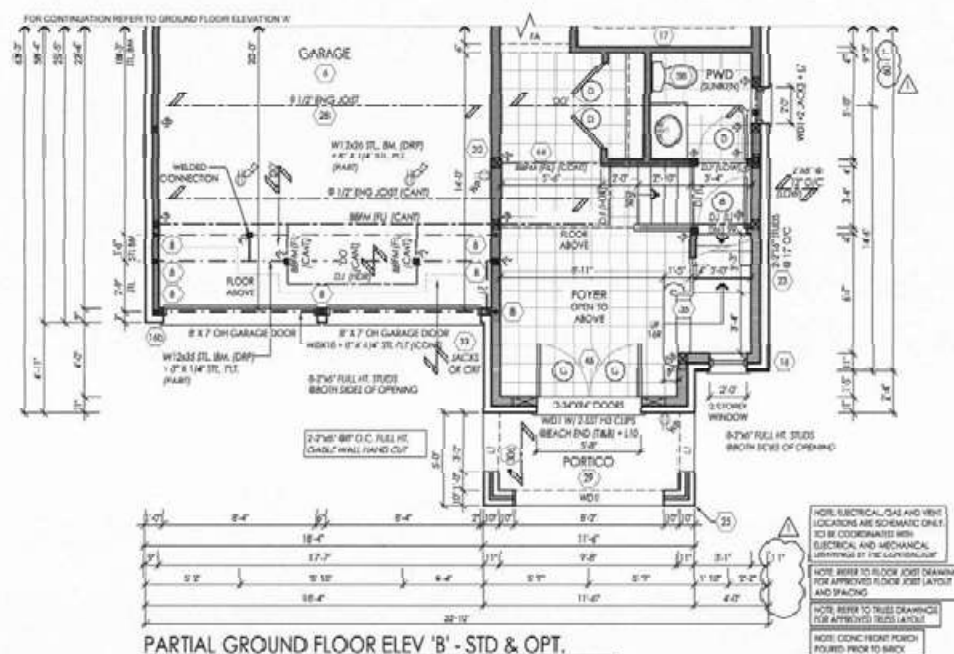
FOR STRUCTURAL ONLY EXCLUDING
EXTERIOR ROOF TRUSS, FLOOR
JOIST & FLOORING, SOIL REMOVAL

ARCHITECTURAL REVIEW & PLAN
MAR 27 2017
John G. Williams Limited, Architect

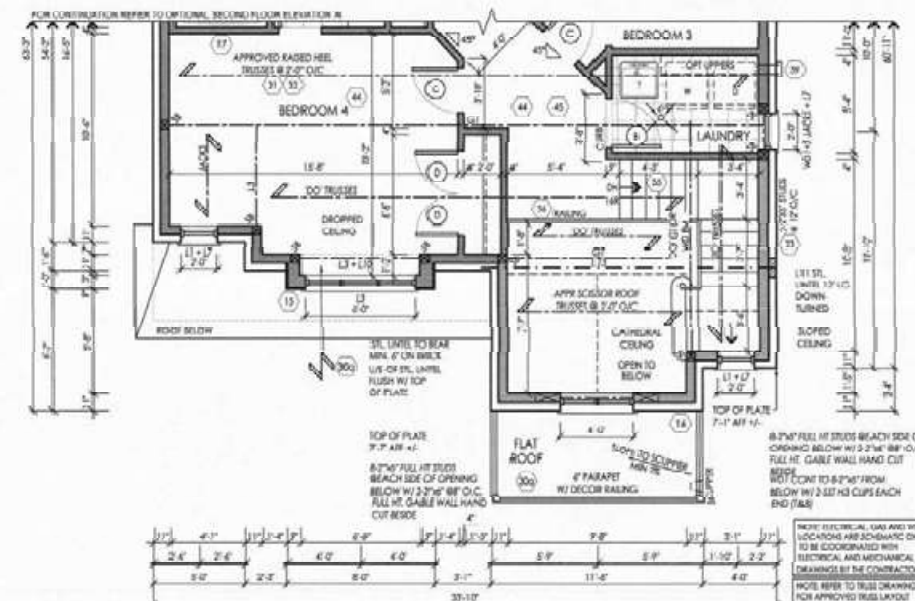
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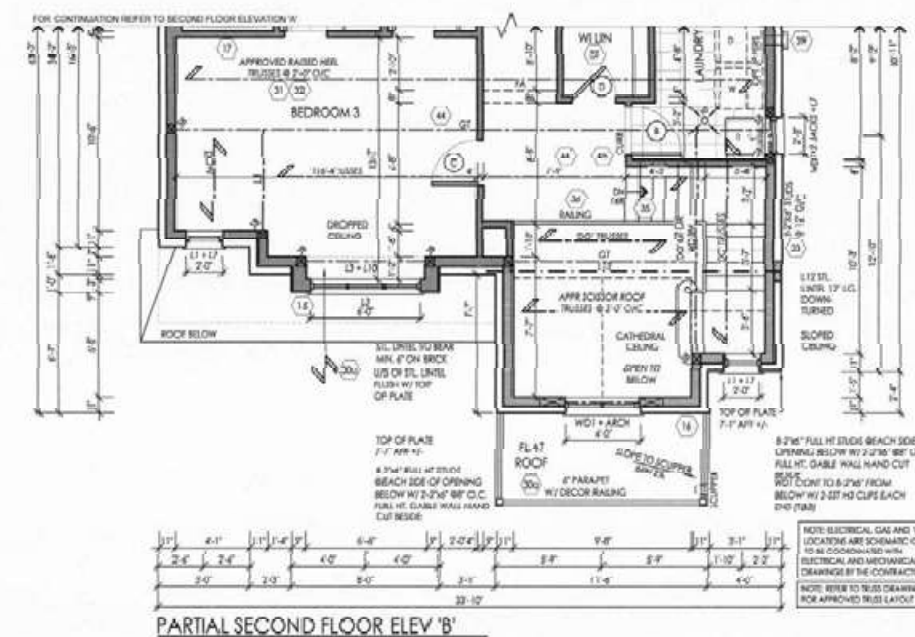
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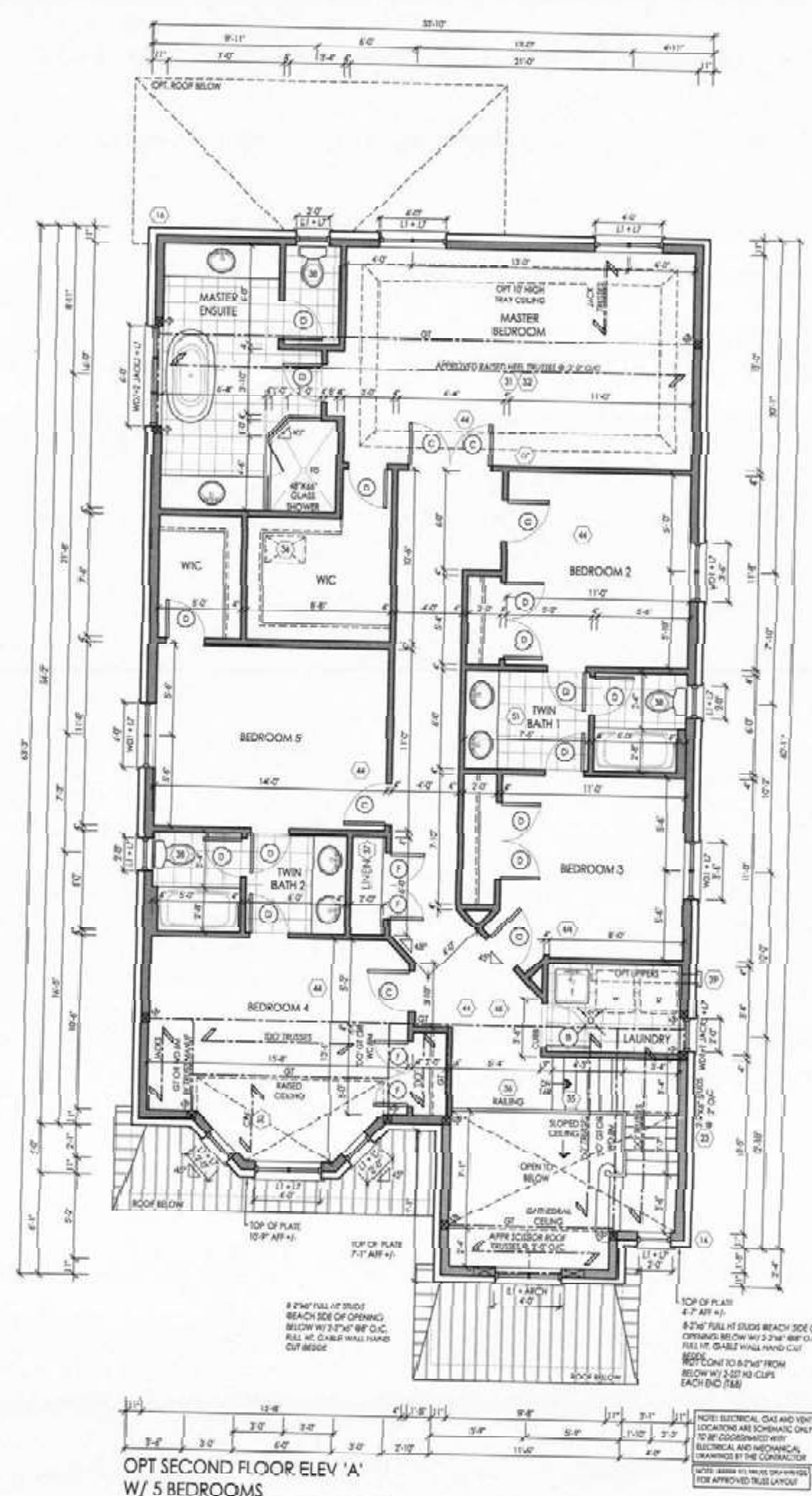
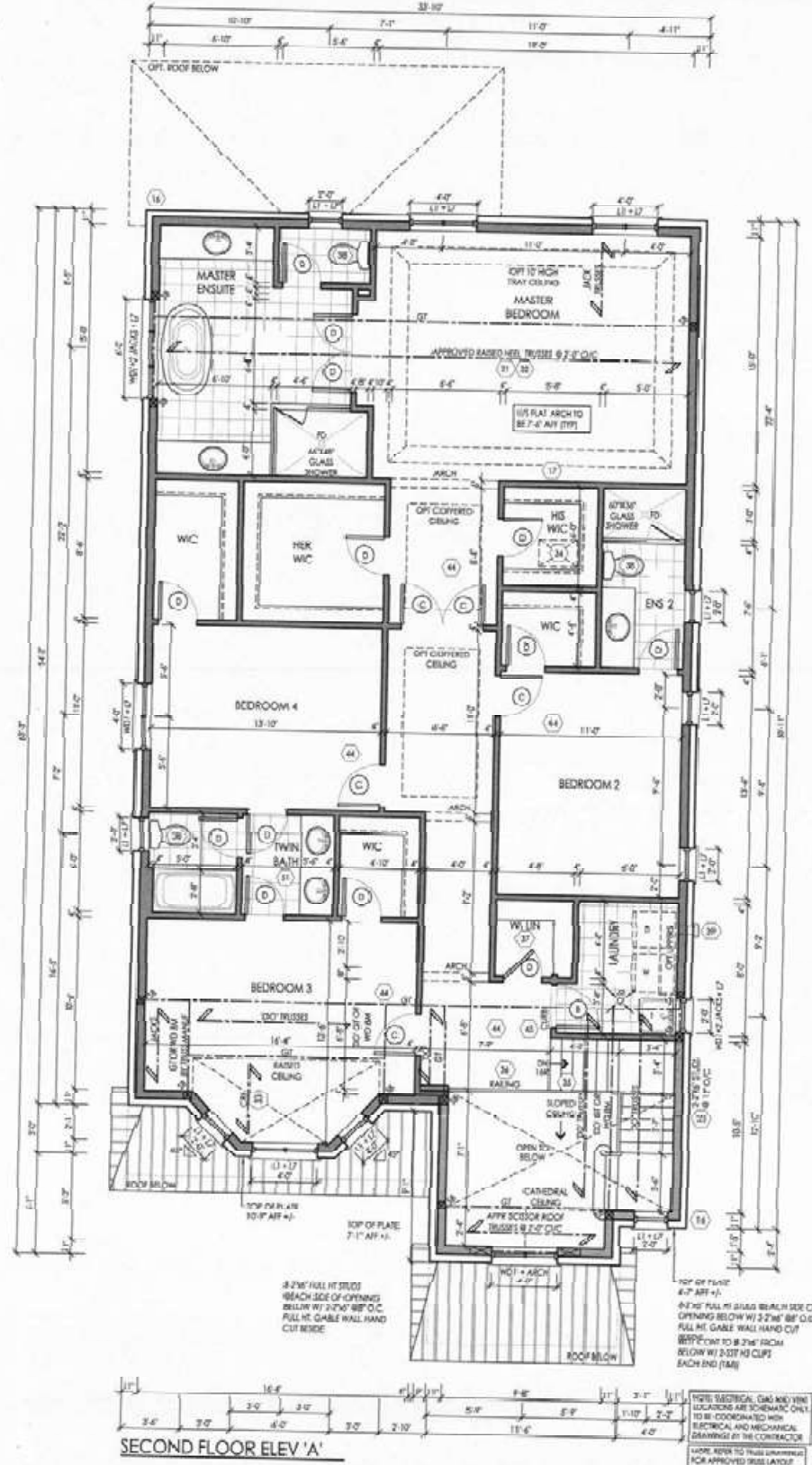
PARTIAL GROUND FLOOR ELEV 'B' - STD & OPT



PARTIAL OPT SECOND FLOOR FLEV 'B'
W/ 5 BEDROOMS



PARTIAL SECOND FLOOR ELEV 'B'



AN design
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I AM A PROFESSIONAL ENGINEER AND HAVE TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LTD UNDER DIVISION C PART 5 SUBSECTION 2.2 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE PROVINCE OR TERRITORY.

QUALIFIED DESIGNER'S NAME: [Signature] DATE: 11/17/2017

SIGNATURE: [Signature]



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & ROOF/VA, DRAIN DESIGN

It is the Engineer's sole responsibility to ensure that all work submitted for approval fully complies with the Building Code and all applicable regulations, and that the design is safe and sound. The Engineer is not responsible for the design of any building system or component that is not shown on the drawings. This is to certify that these plans comply with the applicable Building Code and the Building Code as amended by the City of Vaughan.

ARCHITECTURAL REVIEW APPROVAL
MAR 22/2017
John G. Williams, License No. 100104242

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR PERMIT REVIEW	11/17/17	AW	AW
2	REVISED AFTER PERMIT REVIEW	11/17/17	AW	AW
3	REVISED AFTER PERMIT REVIEW	11/17/17	AW	AW
4	REVISED AFTER PERMIT REVIEW	11/17/17	AW	AW
5	REVISED AFTER PERMIT REVIEW	11/17/17	AW	AW
6	REVISED AFTER PERMIT REVIEW	11/17/17	AW	AW
7				
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10				
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12				

Client: Gold Park Homes

PROJECT: KLEINBURG GLEN PH-2 VAUGHAN, ON

HOUSE: 42-5

PROJECT # 14043

SCALE: 3/16" = 1'-0"

DATE: 11/17/17

A3

QUALIFIED DESIGNER SCORE	30000
FINAL SCORE	29995
DATE	11.17.2
SIGNATURE	



#	Incident/Issue	Onsite	Offsite
1	ISSUE FOR CLIENT REVIEW	04/02/2015	12
2	REACHED/REPLACED PRODUCTION ON-SITE OFFICE	04/02/2015	10
3	REMOVED AS PER CLIENT COMMENTS	10/02/2015	10
4	ISSUE FOR REVIEW	24/02/2015	10
5			
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12			

Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN, ON

42-5

project # 14043

CODE	3/16" = 1'-0"
------	---------------

1999

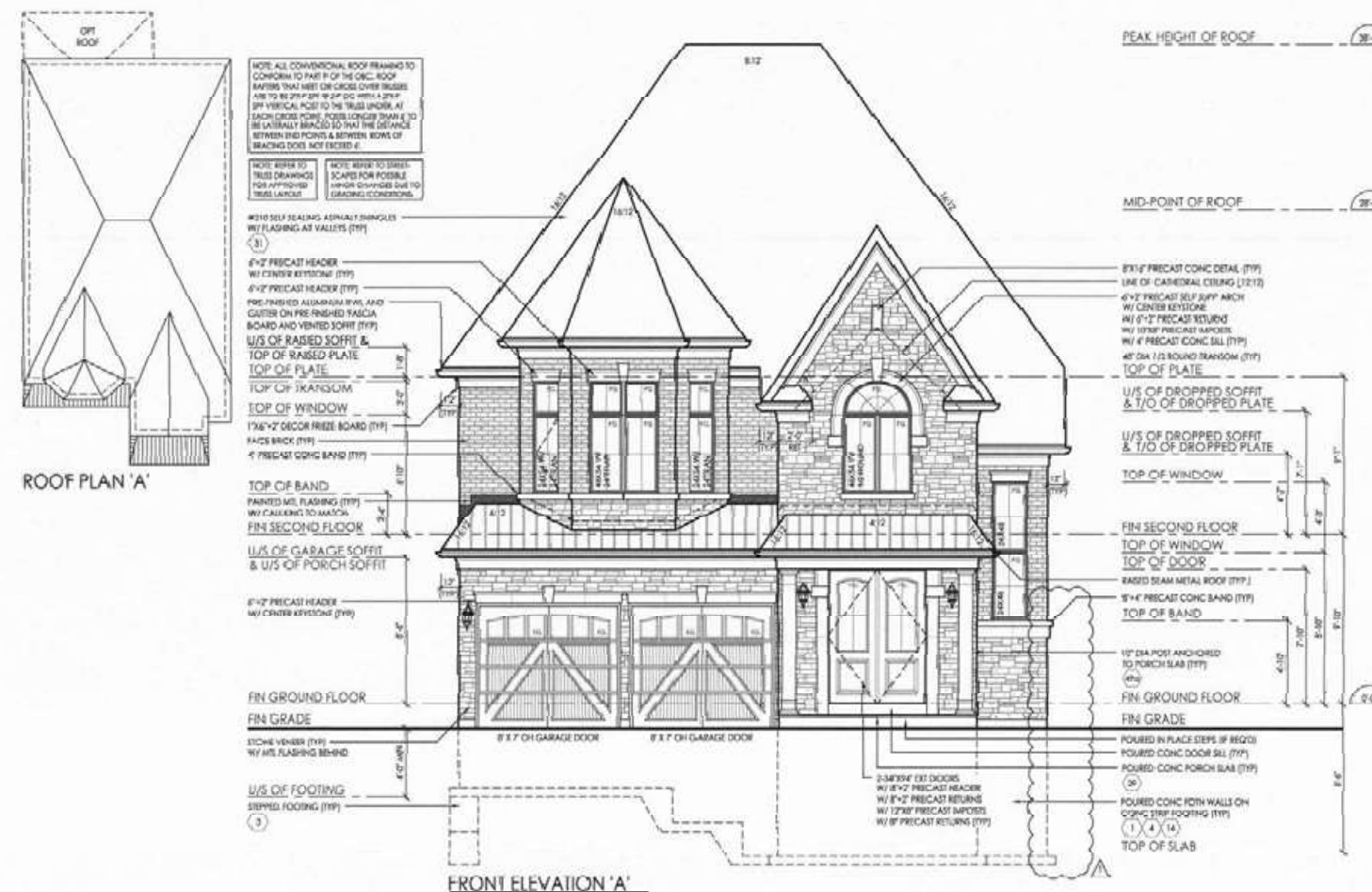
A6

TOTAL PERIPHERAL WALL AREA	3731.63 sf	348.67 m ²
FRONT GLAZING AREA	78.92 sf	7.19 m ²
LEFT SIDE GLAZING AREA	76.19 sf	7.08 m ²
RIGHT SIDE GLAZING AREA	75.19 sf	6.99 m ²
REAR GLAZING AREA	163.21 sf	15.16 m ²
TOTAL GLAZING AREA	391.51 sf	36.37 m ²
TOTAL GLAZING PERCENTAGE	10.49 %	

TOTAL PERIPHERAL WALL AREA	3731.63 sf	346.67 m ²
FRONT GLAZING AREA	78.92 sf	7.15 m ²
LEFT SIDE GLAZING AREA	76.18 sf	7.02 m ²
RIGHT SIDE GLAZING AREA	83.36 sf	7.74 m ²
REAR GLAZING AREA	163.21 sf	15.16 m ²
TOTAL GLAZING AREA	399.68 sf	37.12 m ²
TOTAL GLAZING PERCENTAGE	10.71 %	

QUALIFIED DESIGNER SIGN FIRM NAME DATE	1117 2008 2/15/15
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20,000,000

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KLEINBURG GLEN
PH-2
VAUGHAN ON

42-5

project #	14043
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10000 3/16" = 1'-0"

page

A5



I, JAMES FINCH, DECLARE THAT I HAVE REVIEWED AND TAKEN PERSONAL RESPONSIBILITY FOR THE DESIGN, WORK OR RESULTS OF AN DESIGN LTD. UNDER DIVISION 1.1 OF THE BUILDING CODE, 1.1 AM QUALIFIED AND THE PLAN IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUALIFIED DESIGNER SIGNATURE: JAMES FINCH
DATE: 1.1.17



MAR 17 2017

FOR STRUCTURAL ONLY EXITS USING ENGINEERED HOOF TRUSS, ELEVATE JOIST & FLOOR L.A. DESIGN

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning, fire, and any other applicable laws. The Architect is not responsible, in any way, for any errors or omissions in the plans or for any working drawings with respect to any zoning or building code requirements or for any other laws that may be applicable to the project.

This is to certify that these plans comply with the applicable Architectural Guidelines and are approved by the Local Building Official.

ARCHITECTURAL REVIEW & APPROVAL

MAR 27 2017

John G. Williams, Architect

NO.	REVISION	DATE	BY	CHK
1	ISSUED FOR PERMIT	MAR 27 2017	JP	JP
2	REVISIONS			
3				
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Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN, ON

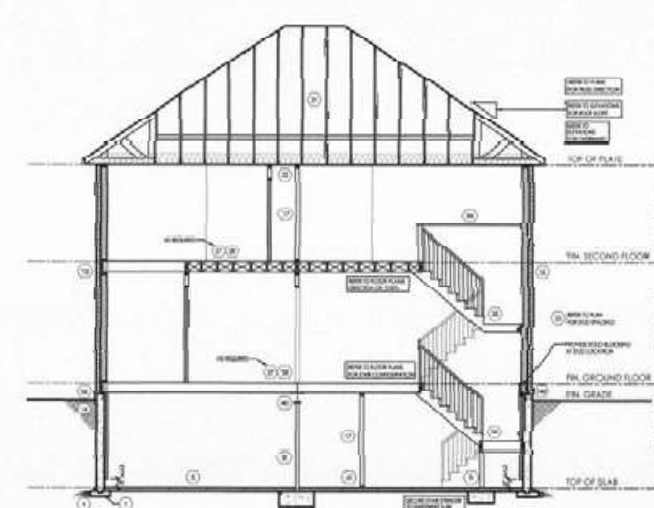
42-5

14043

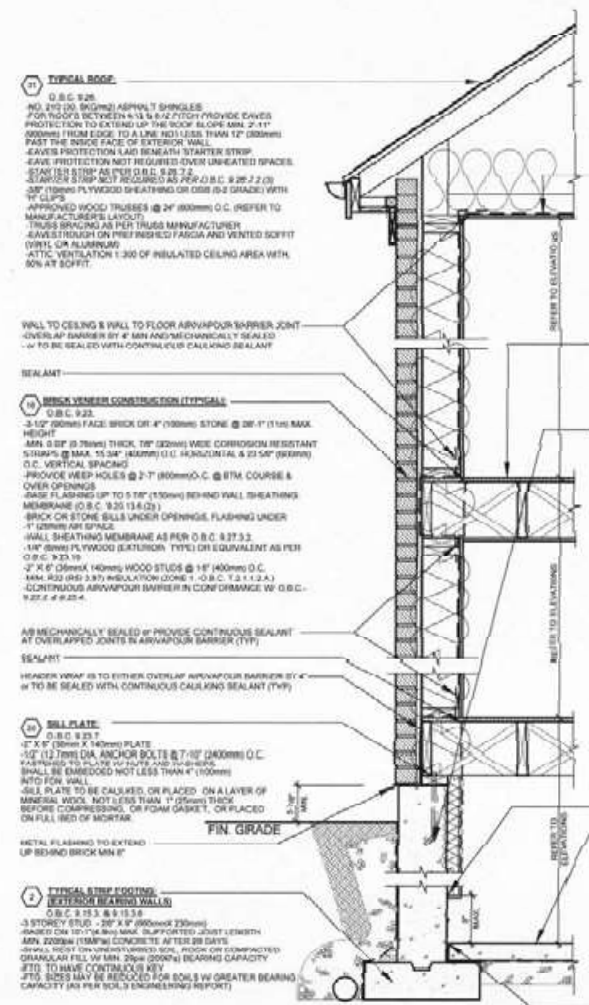
3/16" = 1'-0"

DATE

A7



TYPICAL CROSS SECTION - 2 STOREY (BRICK)
N.T.S.



TYPICAL EXTERIOR WALL
SECTION - BRICK
SCALE: 3/4" = 1'-0"

- 17 TYPICAL ROOF**
O.B.C. 9.2.2
NO. 215 (20.50mm) ASPHALT SHINGLES
PROVIDE PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (660mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
EAVES PROTECTION LAD BENEATH STARTER STRIP
EAVES PROTECTION NOT REQUIRED OVER UNFINISHED SPACES.
STARTER STRIP AS PER O.B.C. 9.2.2.2
EAVES PROTECTION NOT REQUIRED OVER UNFINISHED SPACES.
3/8" (9.5mm) PLYWOOD SHEATHING OR OSB (5/8 GRADE) WITH 1/4" CLIPS
APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
TRUSS BRACING AS PER TRUSS MANUFACTURER
EAVES THROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (TYP.) OR PLUMBING
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 80% AIR SOFFIT.
- 18 BRICK VENEER CONSTRUCTION (TYPICAL)**
O.B.C. 9.2.2
3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 8" (200mm) MAX. HEIGHT
MIN. 3/8" (9.5mm) THICK, 10" (250mm) WIDE CORROSION RESISTANT STRIPS @ MAX. 15.5" (400mm) (HORIZONTAL & VERTICAL)
O.C. VERTICAL BRACING
PROVIDE WEAP HOLES @ 2'-7" (660mm) O.C. @ 8" (200mm) COURSE & OVER OPENINGS
BASE FLASHING UP TO 5/8" (15mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.2.5.1.4.2.3)
BRICK OR STONE SILL UNDER OPENINGS, FLASHING UNDER 1" (25mm) AIR SPACE
WALL SHEATHING MEMBRANE AS PER O.B.C. 9.2.5.2
1/4" (6mm) PLYWOOD EXTERIOR, TYP. OR EQUIVALENT AS PER O.B.C. 9.2.5.2
2" X 4" DRYWALL STUDS @ 16" (400mm) O.C.
MIN. 3/8" (9.5mm) INSULATION (ZONE 1 - O.B.C. 9.2.5.1.2.4)
CONTINUOUS AIRVAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.2.5.1.4.2.4
- 19 FLOOR ASSEMBLY**
O.B.C. 9.2.2.1.2.3.1.4
3/8" (9.5mm) INSULATION (ZONE 1 - O.B.C. 9.2.5.1.2.4)
CONTINUOUS AIRVAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.2.5.1.4.2.4
- 20 FOUNDATION WALL**
O.B.C. 9.16.4.2
2" (50mm) SOLID 2000psi (138MPa) CONCRETE
MAX. UNSUPPORTED HEIGHT OF 2'-11" (660mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2100mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR
2" (50mm) SOLID 2000psi (138MPa) CONCRETE
MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-0" (2400mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR
LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOIST
JOIST CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. 9.16.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. - PART 4
WALL SHALL EXTEND A MIN. 8" (200mm) ABOVE GRADE
INSULATE W/ R12 (200mm) FROM UNDERSIDE OF SILL PLATE TO NOT MORE THAN 12" (300mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 - O.B.C. 9.16.4.1.2.4)
BACK FILL W/ NON-FRUIT SUSCEPTIBLE SOIL
REDUCTION OF THICKNESS
O.B.C. 9.16.4.1
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALL-OUT MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 1/4" (6mm) THICK
1/4" (6mm) FACING MATERIAL WITH METAL TIE SPACES MAX. @ 7' (2100mm) VERTICALLY
O.C. & 2" (50mm) HORIZONTALLY
FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
WHERE WALL IS REDUCED FOR JOIST, THE REDUCED THICKNESS SHALL BE MAX. 15.5" (400mm) HIGH & MIN. 3/4" (19mm) THICK
DAMP-PROOFING & WATERPROOFING
DAMP-PROOFING THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.16.4.1
WHERE INSULATION EXTENDS TO MORE THAN 4" (100mm) BELOW GRADE, A FOM WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.16.4.1.2.4.1
FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPROOFING EXTENDING FROM SILL TO UNDER 12" (300mm) ABOVE GRADE (O.B.C. 9.16.4.1.2.4.2)
WHERE HYDROSTATIC PRESSURE OCCURS, FOM WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.16.4.1.2.4.3
WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPROOFING
SEALANT
O.B.C. 9.16.4.1.2.4.4
- 21 BASEMENT SLAB**
O.B.C. 9.16.4.1.2.4.4
3" (75mm) CONCRETE SLAB
2200psi (158MPa) AFTER 28 DAYS - O.B.C. 9.16.4.1.2.4.4
DAMP-PROOF BELOW SLAB W/ MIN. 12" (300mm) POLYETHYLENE OR TYP. 3/8" (9.5mm) ROOFING W/ 4" (100mm) LAPPED JOINTS
DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3000psi (207MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
4" (100mm) OF COARSE GRANULAR MATERIAL
PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTS
WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.16.4.1.2.4.4
FLOOR DRAIN PER O.B.C. 9.16.4.1.2.4.4
W/ 1/4" (6mm) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. 9.16.4.1.2.4.4)
LARGER IF CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM
SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. 9.16.4.1.2.4.4)
PROVIDE CONTINUOUS SEALANT BETWEEN CONC. SLAB AND FOUNDATION WALL



I, JASON PENSEN, DECLARE THAT I HAVE REVIEWED AND GIVEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE WORK IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORY.

QUANTIFIED DESIGNER SIGNATURE: J.P.P. DATE: 2017



It is the builder's complete responsibility to ensure that all work is done in accordance with the Building Code and all applicable regulations and requirements including zoning provisions and any approvals in the subdivision agreement. The Contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities. This is to certify that these plans comply with the Building Code and are approved by the City of Vaughan.

ARCHITECTURAL REVIEW APPROVAL
MAY 2 2017
John G. Williams Limited Architect

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CLIENT REVIEW	2017-05-12	JP	JP
2	ISSUED FOR PERMIT	2017-05-12	JP	JP
3				
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Client: Gold Park Homes

Project: KLEINBURG GLEN PH-2 VAUGHAN, ON

Model: 42-5

Project #: 14043

Scale: 3/16" = 1'-0"

Page: A8

RN design
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QUOTED DESIGNER BOM: _____
 PWD BOM: _____
 DATE: _____
 SIGNATURE: P. J. _____

ROOF PLAN 'B'

FRONT ELEVATION 'B'

PEAK HEIGHT OF ROOF

DETAILS:

- VALLEY LAYERS DETAIL (117)
- RAISED SEAM METAL ROOF (119)
- 24" x 48" PINE BRACKET (117)
- BLACK FLASHING
- 6" x 20" DECOR BRACKET (117)
- HAND SHAKES BOND W/ ML FLASHING BEHIND (119)
- U/S OF SOFFIT
- MC PORT OF ROOF
- TOP OF FALSE WINDOW
- 4" x 4" PRECAST CONC BAND (119)
- LINE UP CEMENTAL FLASHING (121)
- TOP OF BAND
- 4" x 2" PRECAST SELF SUPP ARCH W/ CENTER KEYSTONE
- W/ 4" x 2" PRECAST RETURNS W/ 10" x 8" PRECAST IMPOSTS
- W/ 6" PRECAST RETURNS (119)
- 48" x 16" EXT SOON ARCH TRANSOM (119)
- TOP OF PLATE
- TOP OF TRANSOM
- TOP OF WINDOW
- TOP OF TRANSOM
- TOP OF WINDOW
- TOP OF PARAPET
- FIN SECOND FLOOR
- TOP OF WINDOW
- 24" x 16" SELF SUPP ARCH W/ CENTER KEYSTONE
- W/ 4" x 2" PRECAST RETURNS W/ 10" x 8" PRECAST IMPOSTS
- W/ 6" PRECAST RETURNS (119)
- 24" x 16" EXT SOON ARCH TRANSOM (119)
- TOP OF BAND
- 4" x 4" PRECAST CONC BAND (119)
- STONE VENER W/ 2" x 12" PRECAST BAND & CAP (119)
- FIN CORNUCE FLOOR
- FIN CHIMNEY
- POURED IN PLACE STEPS (IF REQ'D)
- POURED CONC PORCH SLAB (119)
- POURED CONC FORTH SLAB (119)
- POURED CONC FORTH WALLS ON 12" x 16" STONE VENER (119)
- TOP OF SLAB

ROOF PLAN 'B'

DETAILS:

- OPT ROOF
- POSSIBLE CONVENTIONAL ROOF FORMING KIT CONFORM TO PART 1 OF THE CONC ROOF EXISTENCE THAT MEET OR EXCEED OVER 1000' ARE TO BE 24" x 16" SELF SUPP ARCH W/ CENTER KEYSTONE W/ 4" x 2" PRECAST RETURNS W/ 10" x 8" PRECAST IMPOSTS W/ 6" PRECAST RETURNS (119)
- 4" x 2" PRECAST SELF SUPP ARCH W/ CENTER KEYSTONE W/ 4" x 2" PRECAST RETURNS W/ 10" x 8" PRECAST IMPOSTS W/ 6" PRECAST RETURNS (119)
- 48" x 16" EXT SOON ARCH TRANSOM (119)
- TOP OF PLATE
- TOP OF TRANSOM
- TOP OF WINDOW
- TOP OF TRANSOM
- TOP OF WINDOW
- TOP OF PARAPET
- FIN SECOND FLOOR
- TOP OF WINDOW
- 24" x 16" SELF SUPP ARCH W/ CENTER KEYSTONE
- W/ 4" x 2" PRECAST RETURNS W/ 10" x 8" PRECAST IMPOSTS
- W/ 6" PRECAST RETURNS (119)
- 24" x 16" EXT SOON ARCH TRANSOM (119)
- TOP OF BAND
- 4" x 4" PRECAST CONC BAND (119)
- STONE VENER W/ 2" x 12" PRECAST BAND & CAP (119)
- FIN CORNUCE FLOOR
- FIN CHIMNEY
- POURED IN PLACE STEPS (IF REQ'D)
- POURED CONC PORCH SLAB (119)
- POURED CONC FORTH SLAB (119)
- POURED CONC FORTH WALLS ON 12" x 16" STONE VENER (119)
- TOP OF SLAB

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
John G. Williams, Robert. Anderson

#	REVISIONS	DATE	BY
1	ISSUED FOR CONSTRUCTION	04/01/13	ME
2	REVISIONS TO CONSTRUCTION	04/01/13	ME
3	REVISIONS TO CONSTRUCTION	04/01/13	ME
4	REVISIONS TO CONSTRUCTION	04/01/13	ME
5			
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10			
11			
12			

Gold Park Homes

project	KLEINBURG GLEN PH-2 VAUGHAN, ON
model	42-5
project #	14043
size	3/16" = 1'-0"
page	

A9



I, JILL PINCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN INC. UNDER DIVISION C/FART-3 SUBSECTION 3.1.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS LICENSED BY THE PROFESSIONAL ENGINEERING BOARD OF ONTARIO.

QUALIFIED DESIGNER SIGN: [Signature]
FIRM SIGN: [Stamp]
DATE: [Date]

SEAL/STAMP



RIGHT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval are properly and the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any approvals to the building department. The Council Architect is not responsible for any errors or omissions in the drawings or for any damage to building costs or permit matter or that any errors or omissions shall be made or to be made.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Vaughan.

ARCHITECTURAL REVIEW APPROVAL:
MAR 10 7 2011
John G. Winters, Architect

#	REVISIONS	DATE	CHK	APP
1	ISSUED FOR CONSTRUCTION	10/10/10	AK	CP
2	REVISIONS TO BE MADE TO THE PRELIMINARY DESIGN	10/10/10	AK	CP
3	REVISIONS TO BE MADE TO THE PRELIMINARY DESIGN	10/10/10	AK	CP
4	ISSUED FOR PERMIT	10/10/10	AK	CP
5				
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10				
11				

Client: Gold Park Homes

Project: KLEINBURG GLEN
PH-2
VAUGHAN

Phase: 42-5

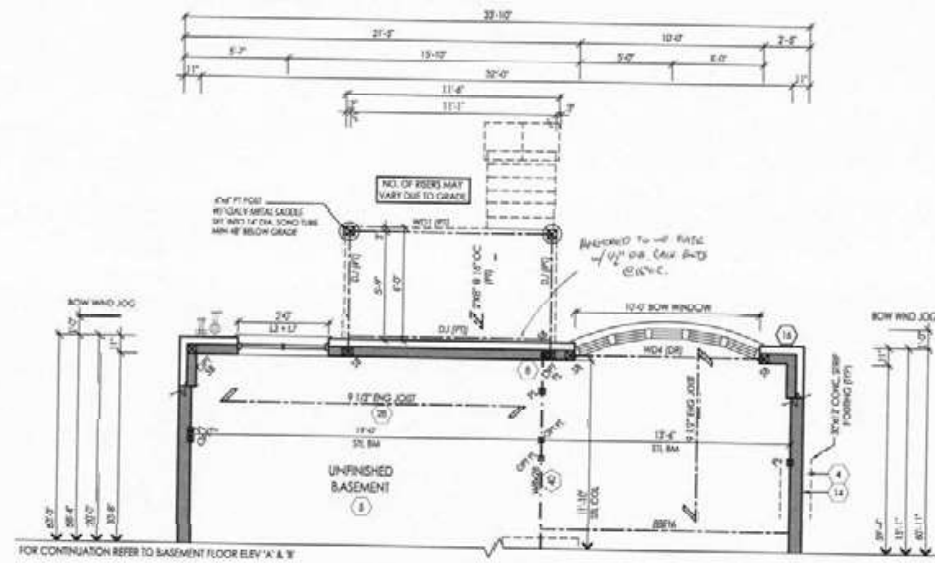
Project # 14043

Scale: 3/16" = 1'-0"

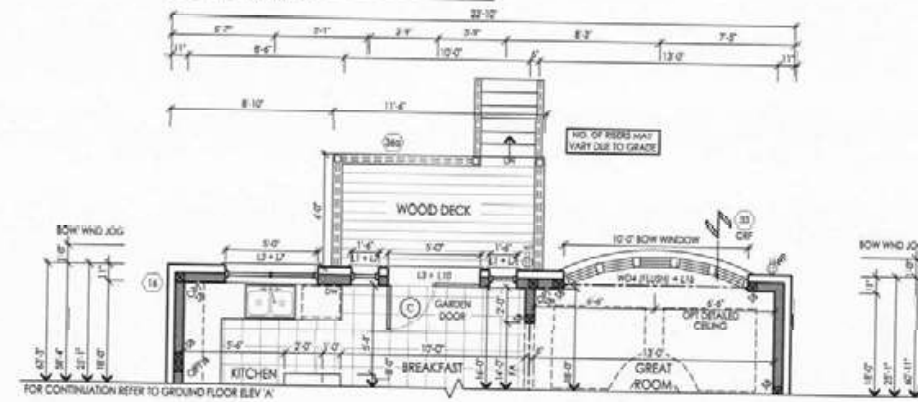
Page

A10

PART BASEMENT FLOOR ELEV 'A'
LOB CONDITION



PART GROUND FLOOR ELEV 'A'
LOB CONDITION



RN design
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I, JASON PHOEN, DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN LTD. UNDER SECTION 13.1 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER SIGN: JASON PHOEN
DATE: 2017

SIGNATURE: _____



MAR 17 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. BEAM DESIGN

It is the builder's complete responsibility to
ensure that all plans submitted for approval
are properly and fully understood and
all applicable regulations and requirements
including zoning provisions and any approvals
in the building department. The Council
Architect is not responsible in any way for
any errors or omissions in the building plans or
building department with respect to any zoning or
building code or any other matter of law. The
plans are to be properly built or based on the law.

This is to certify that these plans comply
with the applicable Architectural Design
Outcomes approved by the City of
Vaughan.

ARCHITECTURAL REVIEW APPROVAL

MAR 27 2017

John G. Williams, Licensed Architect

#	Revisions	Date	Drawn	CHK
1	REVISIONS	2017-03-17	JP	JP
2	REVISIONS	2017-03-17	JP	JP
3	REVISIONS	2017-03-17	JP	JP
4	REVISIONS	2017-03-17	JP	JP
5	REVISIONS	2017-03-17	JP	JP
6	REVISIONS	2017-03-17	JP	JP
7	REVISIONS	2017-03-17	JP	JP
8	REVISIONS	2017-03-17	JP	JP
9	REVISIONS	2017-03-17	JP	JP
10	REVISIONS	2017-03-17	JP	JP
11	REVISIONS	2017-03-17	JP	JP
12	REVISIONS	2017-03-17	JP	JP

Client: _____

Gold Park Homes

Project: KLEINBURG GLEN

PH-2

VAUGHAN, ON

Model: 42-5

Project #: 14043

Scale: 3/16" = 1'-0"

Page: _____

A12



I, JESSIE PRINCE, DECLARE THAT I HAVE REVIEWED AND I AM
DESIGN RESPONSIBLE FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN DESIGNER C.J. PRINCE, SUBSCRIBER 13.4
OF THE BUILDING CODE, I AM QUALIFIED AND THE PLAN IS
REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUALIFIED DESIGNER SIGN: *J.P.* 3008
PRINT NAME: JESSIE PRINCE
DATE: 3/16/17

SIGNATURE



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable ordinances and requirements
including zoning ordinances and any conditions
in the subdivision agreement. The County
Architect or staff representative is not responsible for
examining or approving site control plans or
existing structures with regard to any zoning or
building codes or permit matters or for any other
matter not the property built or located on the lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
Vancouver.

ARCHITECTURAL REVIEW APPROVAL
MAR 27 2017
John G. Wilson, Licensed Architect

#	Revisions	DATE	BY	CHK
1	REVISION FOR CITY REVIEW	4-18-2017	JP	OK
2	REVISION FOR FINAL SUBMITTAL	4-18-2017	JP	OK
3	REVISION FOR PERMIT	4-18-2017	JP	OK
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Client: Gold Park Homes

Project: KLEINBURG GLEN
PH-2
VANCOUVER, BC

Drawn: 42-5

Project #: 14043

Scale: 3/16" = 1'-0"

Page: 1

A11

[illegible][illegible][illegible]

QUALIFIED DESIGNER SIGN	2500
PRINT SIGN	2000
DATE:	

STAINING



FOR STRUCTURAL ONLY EXCLUDING
OVERLAP OF TRUSS, PLATE
JOINT & FLOOR SLAB CONNECTION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

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Gold Park Homes

Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN ON

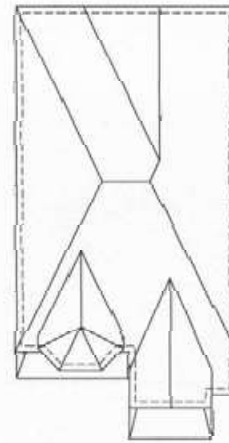
42-5

project # 14043

NOTE	3/16" x 1'-0"
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page

A13



ROOF PLAN 'A'



UPGRADED REAR ELEVATION 'A' Lot 3, 7



I, ERIC SCHNEIDER, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF RN DESIGN LTD. UNDER DIVISION CLASS 3
SUBSECTION 3.1.4 OF THE BUILDING CODE, LOCAL ORDINANCES
AND THE RULES & REGULATIONS IN THE APPROPRIATE CLASS /
CATEGORY.
QUALIFIED DESIGNER SIGN: 3040
DATE: 04/03/17

SIGNATURE: *Eric Schneider*

It is the builder's complete responsibility to
verify that all work submitted for approval
conforms with the applicable building codes
and all applicable regulations and requirements
including zoning provisions and any conditions
in the subdivision agreement. The Council
Architect is not responsible for any errors or
omissions in the drawings or for any damage or
loss resulting from the use of these drawings.
This is to certify that these plans comply
with the applicable Architectural Design
Standards approved by the City of
VAUGHAN.
ARCHITECTURAL REVIEW APPROVAL:
JUL 28 2017
John G. Arnold, Architect

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CDD REVIEW	11 May 17	mm	js
2	ISSUED FOR PERMIT	22 Jun 17	js	js
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Gold Park Homes

PROJECT: KLEINBURG GLEN
PH-2
VAUGHAN, ON
MODEL: 42-5
PROJECT #: 14043
SCALE: 3/16" = 1'-0"
PAGE:

GROSS GLAZING AREA 'B' WOB (LOT 70)

	STD.		OPT.	
TOTAL PERIPHERAL WALL AREA	4579.87 sf	425.47 m ²	4579.87 sf	425.47 m ²
FRONT GLAZING AREA	79.61 sf	7.40 m ²	79.61 sf	7.40 m ²
LEFT SIDE GLAZING AREA	76.19 sf	7.06 m ²	76.19 sf	7.06 m ²
RIGHT SIDE GLAZING AREA	75.19 sf	6.99 m ²	83.36 sf	7.74 m ²
REAR GLAZING AREA	272.19 sf	25.29 m ²	272.19 sf	25.29 m ²
TOTAL GLAZING AREA	503.18 sf	46.75 m ²	511.35 sf	47.50 m ²
TOTAL GLAZING PERCENTAGE	10.99 %		11.17 %	

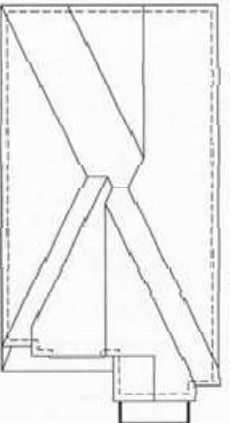
RN design
Imagine • Inspire • Create



I, JASON FINCH, DECLARE THAT I HAVE REVIEWED AND THEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN (DESIGN DIVISION) OF PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER SIGN: DATE: 2888 2017

SIGNATURE:



ROOF PLAN 'B'
(LOT 70)



UPGRADED REAR ELEVATION 'B'
(OPT. SECOND FLOOR PLAN)
WOB CONDITION

It is the designer's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Ordinance and all applicable regulations and requirements, including zoning provisions and any applicable rules and regulations.

Architect is not responsible in any way for examining or approving any plans, specifications or drawings with respect to any existing or building code, or general matter or that any owner can be properly held or released to be so.

This is to certify that these plans comply with the applicable Architectural Ordinance, Ordinance approved by the City of Vaughan.

ARCHITECTURAL REVIEWER'S OFFICIAL

MAR 27 2017

John G. Williams Limited, Architects

#	DESCRIPTION	DATE	BY	CHK
1	DESIGN FOR REVIEW	20.08.17	JP	JK
2	DESIGN FOR REVIEW	11.08.17	JP	JK
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Client: Gold Park Homes

PROJECT: KLEINBURG GLEN
PH-2
VAUGHAN, ON

MODEL: 42.5

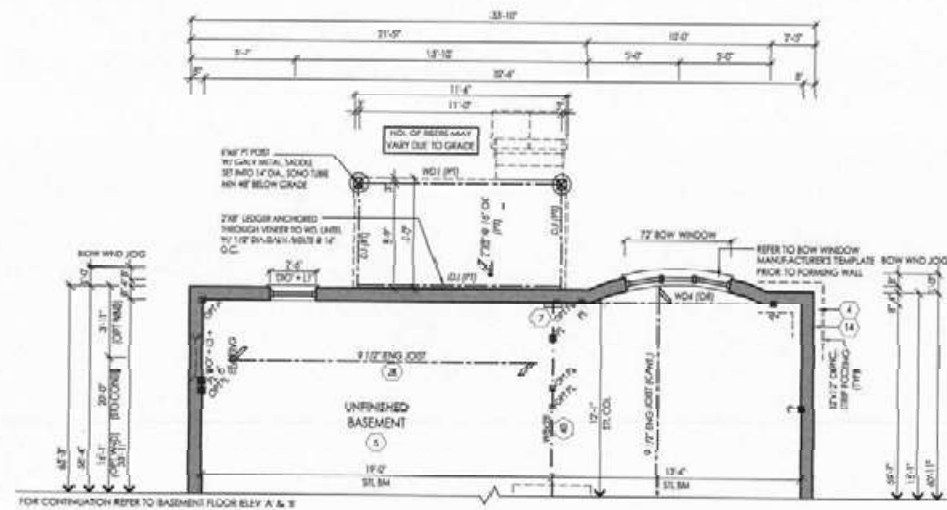
PROJECT #: 14043

SCALE: 3/16" = 1'-0"

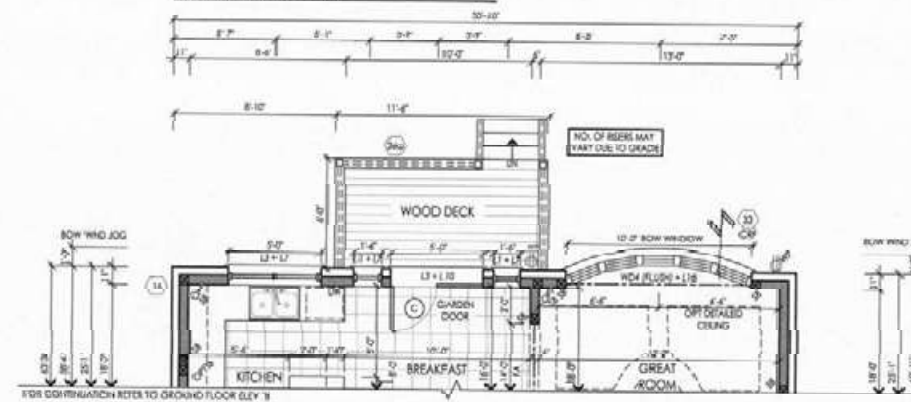
DATE: 2888 2017

A14

PART BASEMENT FLOOR ELEV 'A'
WOD CONDITION



PART GROUND FLOOR ELEV 'A'
WOD CONDITION



AN design
Imagine • Inspire • Create



I, ANDY POKORNY, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK. I AM A MEMBER OF THE PROFESSION OF ARCHITECTS, ENGINEERS, AND DESIGNERS OF THE PROVINCE OF ONTARIO, AND I AM REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

DESIGNED BY: ANDY POKORNY
DATE: MAR 27 2017
SIGNATURE: [Signature]



MAR 27 2017

FOR STRUCTURAL ONLY (NO LIVING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGN)

It is the Engineer's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. The Engineer is not responsible in any way for any errors or omissions in the plans or for any damage or injury resulting from the use of the plans. The Engineer is not responsible for any damage or injury resulting from the use of the plans.

This is to certify that these plans comply with the applicable Engineering Design Guidelines approved by the City of Vaughan.

ARCHITECTURAL REVIEW & APPROVAL
MAR 27 2017
[Signature]

NO.	REVISION	DATE	BY	CHK
1	ISSUED FOR REVIEW	2017-03-27	AP	AP
2	REVISED AS PER CITY COMMENTS	2017-03-28	AP	AP
3	REVISED AS PER CITY COMMENTS	2017-03-28	AP	AP
4	REVISED AS PER CITY COMMENTS	2017-03-28	AP	AP
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CLIENT: Gold Park Homes

PROJECT: KLEINBURG GLEN PH-2 VAUGHAN, ON

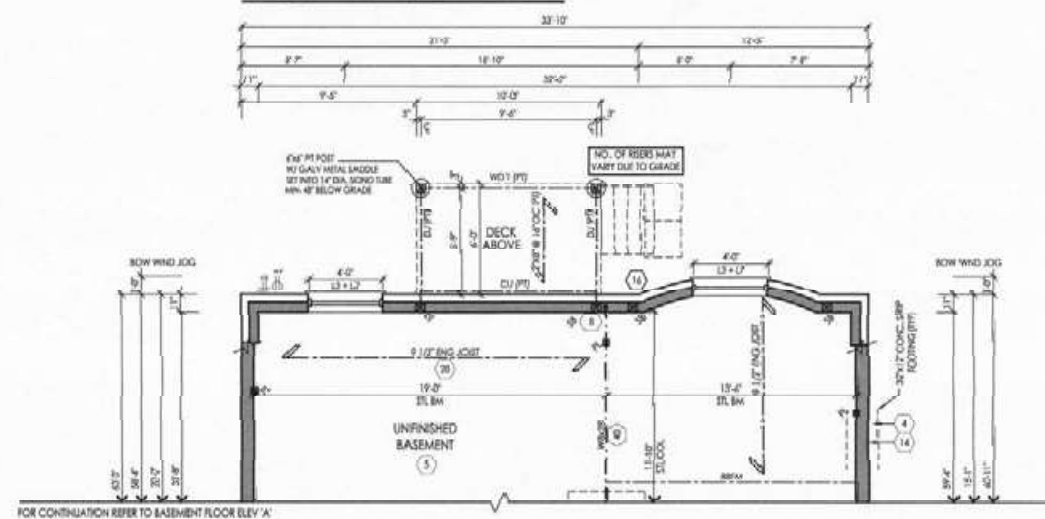
PROJ: 42-5

PROJECT NO: 14043

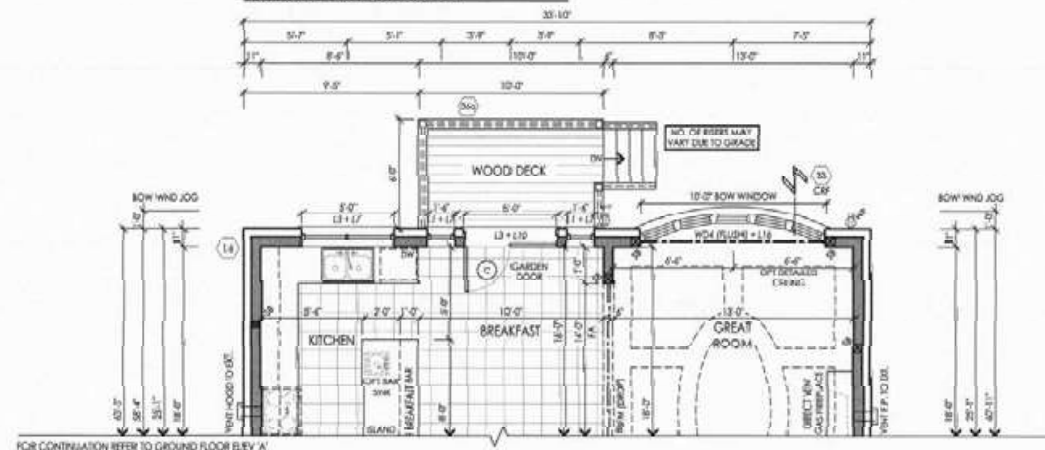
SCALE: 3/16" = 1'-0"

SHEET: A15

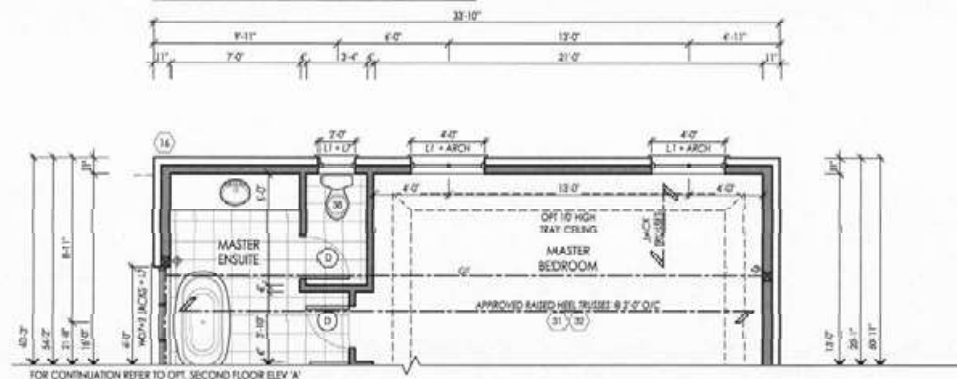
PART BASEMENT FLOOR ELEV 'A'
LOB CONDITION LOT 71



PART GROUND FLOOR ELEV 'A'
LOB CONDITION LOT 71



PART OPT. SECOND FLOOR ELEV 'A'
LOB CONDITION LOT 71



RN design
Imagine • Inspire • Create



I, ALLO PRISON, DECLARE THAT I HAVE REVIEWED AND TAKEN
DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF
OF RN DESIGN (UNDER DIVISION C, PART 3 SUBSECTION 3.2.4
OF THE BUILDING CODE, 1991) QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER RCH
RCH RCH
DATE: 11/1/17

SIGNATURE: [Signature]



MAR 17 2017

FOR STRUCTURAL ONLY INCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL. TEAM DESIGN

#	revisions	date	by	chk
1	ISSUED FOR COST REVIEW	10/11/17	AL	P
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Gold Park Homes

project KLEINBURG GLEN
PH-2
VAUGHAN, ON

phase 42-5

project # 14043

scale

page

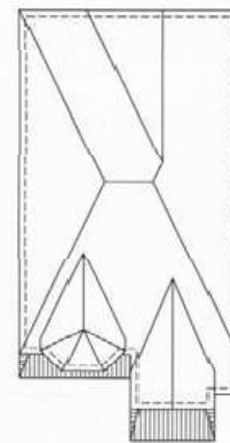
A16



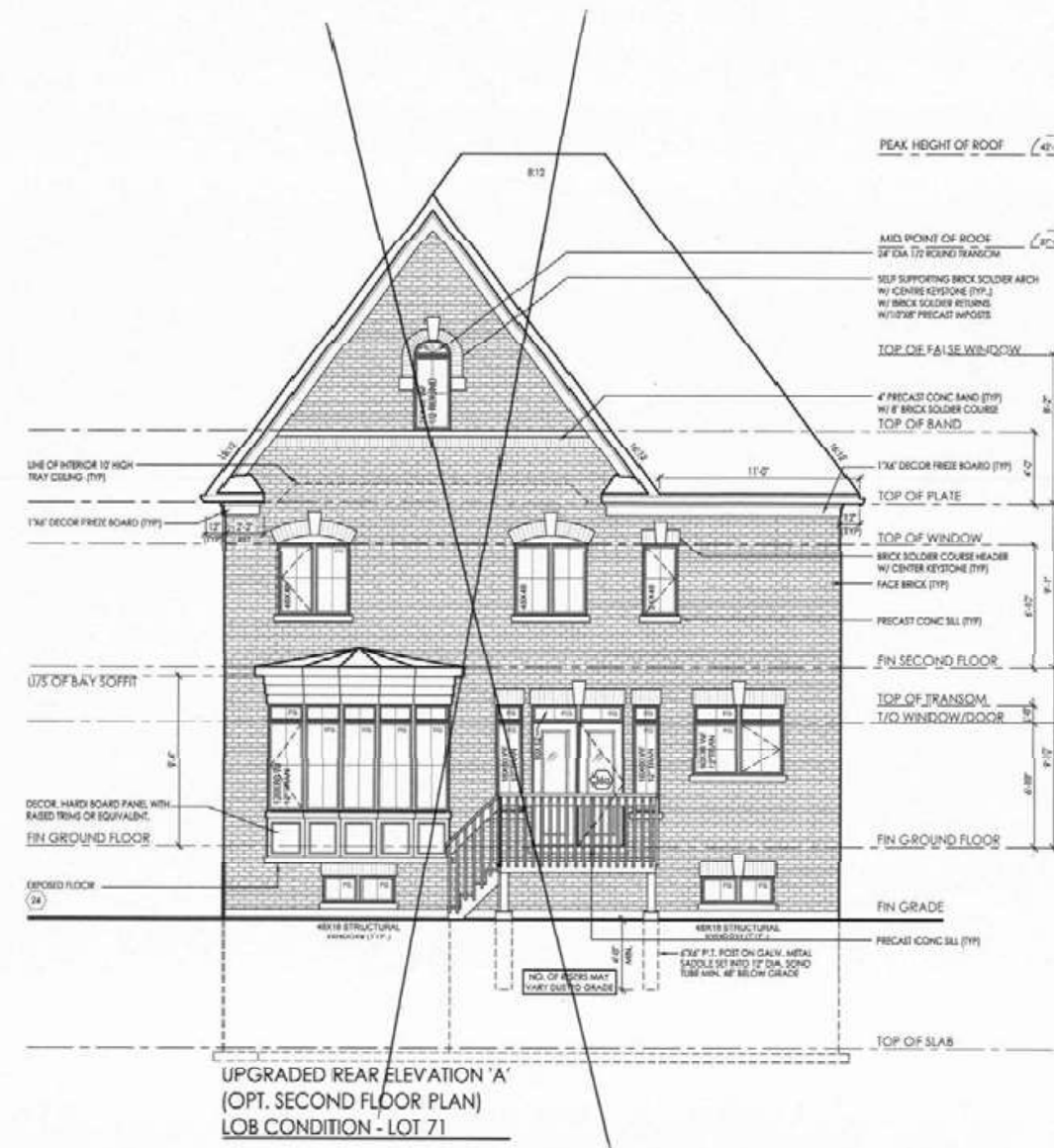
I, LAURO PRISON, DECLARE THAT I HAVE REVIEWED AND OBTAINED DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE DESIGN PROFESSIONAL, DIVISION 10, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER SIGNATURE: *[Signature]* DATE: 09/08/2015

SIGNATURE: *[Signature]*



ROOF PLAN 'A'
(LOT 71)



#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CLIENT REVIEW	2/20/16	AD	P
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Client

Gold Park Homes

Project

KLEINBURG GLEN
PH-2
VAUGHAN, ON

Model

42-5

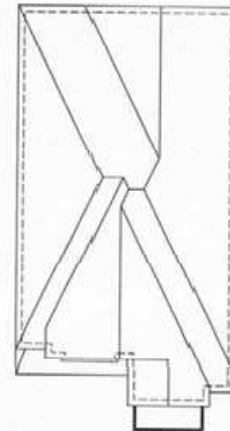
Project #

14043

Room

Page

A17



ROOF PLAN ELEV. 'B'
UPGRADE



REAR ELEVATION 'B'
UPGRADE
OPT SECOND FLOOR PLAN Lot 4



I, JASON PRINCE, DECLARE THAT I HAVE REVIEWED AND SIGNED
THIS DOCUMENT FOR THE DESIGN WORK ON BEHALF
OF THE DESIGN PROFESSIONAL (PART 3 SUBSECTION 3.3.4
OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS
REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORY.

DATE: 11-17-16
SIGNATURE: [Signature]

It is the builder's complete responsibility to ensure
that all plans submitted for approval fully comply
with the Architectural Ordinance and all applicable
regulations and requirements, including zoning
ordinances, and any conditions to the subdivision
agreement. The City of Vaughan is not responsible
in any way for accepting or approving site plans,
plans or zoning drawings with respect to any zoning
or building code or general matter or that any houses
can be properly built or located on the lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: MAR 21 2017
Dated: JOHN G. WILLIAMS LIMITED, ARCHITECT

#	Revisions	date	by	chk
1	ISSUED FOR CUBED REVIEW			
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Client: Gold Park Homes

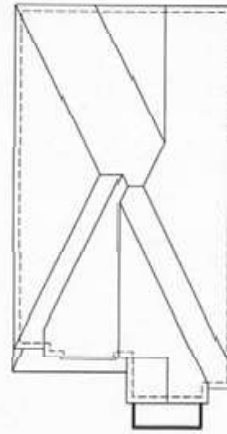
Project: KLEINBURG GLEN
PH-2
VAUGHAN

Model: 42-5

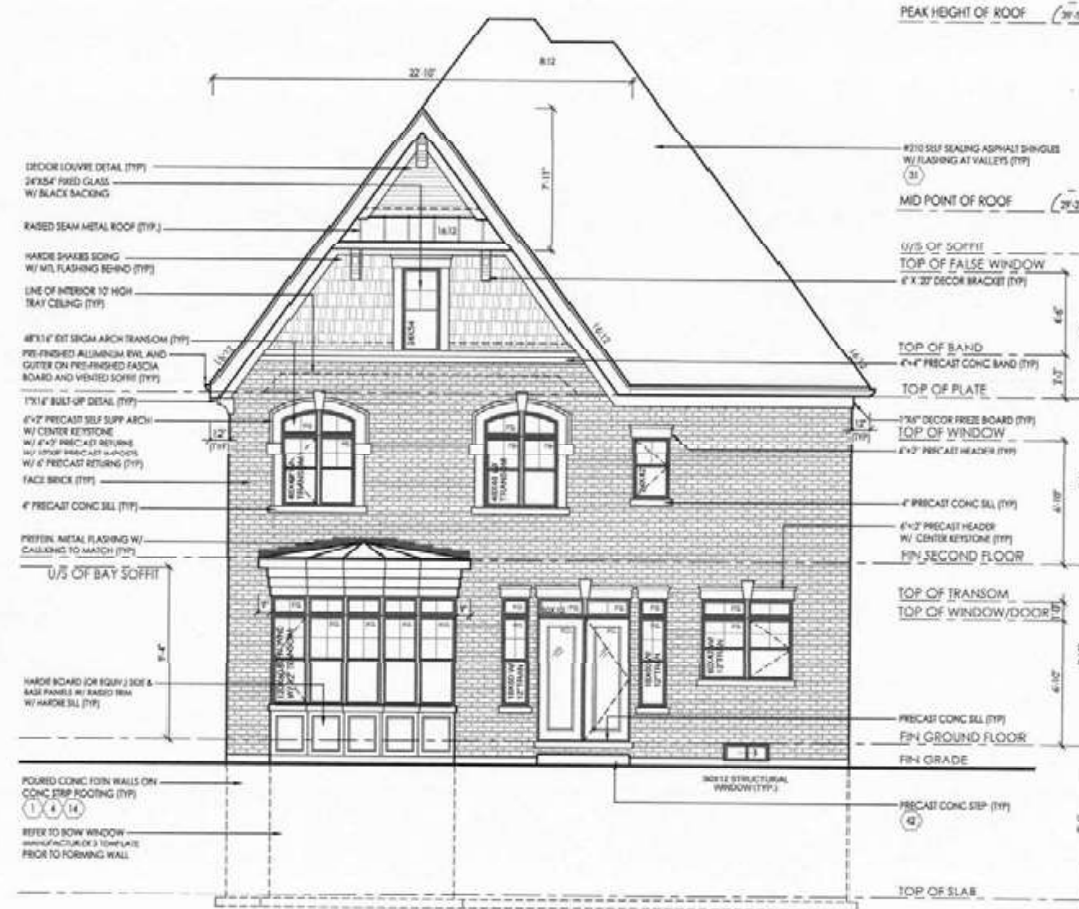
Project #: 14043

Scale:

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ROOF PLAN ELEV. 'B'
UPGRADE



REAR ELEVATION 'B' UPGRADE Lot 8



I, JAVO FINCH, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER SIGN: *J. Finch* SEAL: 3688 DATE: 2017

SIGNATURE:

I, as the Builder, accept complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving any (other) plans or working drawings with reference to any zoning or building code or other matter in that any future plan has been built or located on the lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

Signed: *[Signature]* Date: MAR 27 2017
KIM G. WILLIAMS LIMITED, ARCHITECT

#	REVISION	DATE	BY	CHK
1	ISSUED FOR CLIENT REVIEW	2017-07	RM	JF
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Client: Gold Park Homes

PROJECT: KLEINBURG GLEN
PH-2
VAUGHAN, ON

Model: 42-5

Project #: 14043

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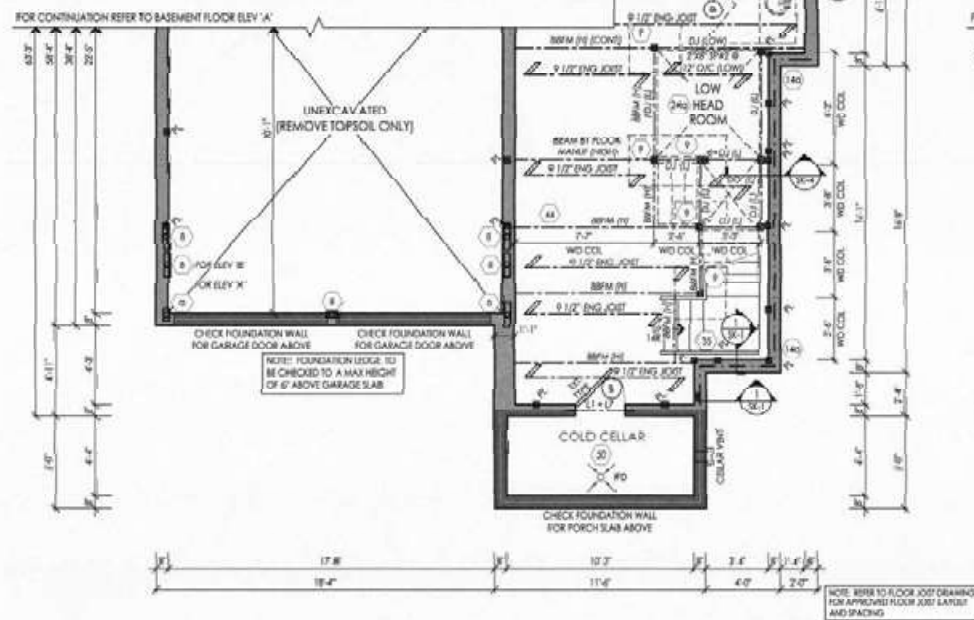
It is the Engineer's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Building Code and all applicable regulatory requirements including zoning provisions and any provisions in the local rules or regulations. The Engineer is responsible for ensuring the (existing) plans or existing drawings with respect to any zoning or building code or permit matter or that any zoning or building code or permit matter is in full compliance with the applicable Building Code.

Architectural Review Approval
JUL 12 2017
Karin G. Williams, L.P.E., Professional Engineer

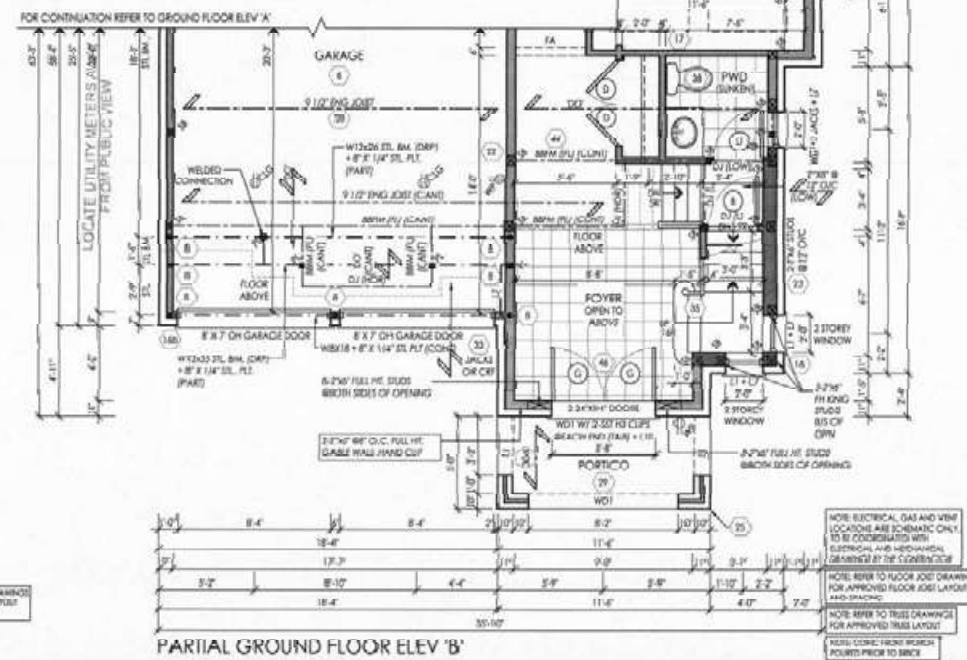


JUL 05 2017

FOR STRUCTURAL ONLY INCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGN



PARTIAL BASEMENT FLOOR ELEV 'B'
CORNER UPGRADE



PARTIAL GROUND FLOOR ELEV 'B'
CORNER UPGRADE

RN design
Imagine • Inspire • Create



I, ERIC SCHNEIDER, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF RN DESIGN INC. UNDER DIVISION 2 PART 3
OF THE REGULATION OF PROFESSIONAL ENGINEERS ACT,
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS /
CATEGORIES.
FIRM SIGNATURE: [Signature]
DATE: 2017

SIGNATURE

#	revisions	date	drawn	chk.
1	DESIGN FOR CONSTRUCTION	2017.07.05	eric	js
2	REVISED FOR PERMITS (CONSTRUCTION)	2017.07.12	eric	js
3	REVISED FOR PERMITS (CONSTRUCTION)	2017.07.12	eric	js
4				
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Client	Gold Park Homes
Project	KLEINBURG GLEN PH-2 VAUGHAN, ON
Model	42-5
Sheet #	14043
Scale	
Notes	

A20

I, ERIC SCHNEIDER, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK OF
MAYNARD OF AN DESIGN CONSULTING DIVISION, C-14-B-3
SUBSECTION 3.3 OF THE BUILDING CODE. I AM QUALIFIED
AND THE FIRM (REGISTERED IN THE APPROPRIATE CLASS /
CATEGORIES)
QUALIFIED DESIGNER SIGN:  JESB40
FIRM SIGN: 30195
DATE: _____
SIGNATURE: _____



Jul 05 2011

FOR STRUCTURAL, GOLF EXCLUSIONS
ENFORCEMENT, DOG TAGS, FLOOR
JOIST & FLOORING, BEAM DESIGNS

#	revisions	date	by
1	added for client review	1/24/17	mlw
2	added to new case, please review	2/2/17	mlw
3	added to new case, please review	2/2/17	mlw
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Gold Park Homes

PROJECT KLEINBURG GLEN
PH-2
VALUATION

42-5

Project # 14043

SCORE

A21

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Code Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Civil Architect is not responsible in any way for stamping or approving any (noting) plans, working drawings with respect to any zoning including exists or permit number on their license can be properly filed or located on their

This is to certify that these plans comply with the applicable Architectural Code Guidelines approved by the City

NOTICE OF RECEIPT
JUL 12 2017
U.S. DEPARTMENT OF JUSTICE

FOR CONTINUATION REFER TO SECOND FLOOR ELEV 'A'

PARTIAL SECOND FLOOR ELEV 'B'
CORNER UPGRADE

NOTE: ELECTRICAL, GAS AND VENT
LOCATIONS ARE SCHEMATIC ON
TO BE COORDINATED WITH
ELECTRICAL AND MECHANICAL
DRAWINGS BY THE CONTRACTOR

TOTAL PERIPHERAL WALL AREA	4073.55 SF	378.43 m ²
FRONT GLAZING AREA	85.68 SF	7.94 m ²
LEFT SIDE GLAZING AREA	86.5 SF	8.04 m ²
RIGHT SIDE GLAZING AREA	192.68 SF	17.90 m ²
REAR GLAZING AREA	188.42 SF	17.39 m ²
TOTAL GLAZING AREA	553.28 SF	51.40 m ²
TOTAL GLAZING PERCENTAGE	13.58 %	



FRONT ELEVATION 'B'
CORNER UPGRADE

I, ERIC SCHNIDER, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK. ON
BEHALF OF ER SCHNIDER AND UNDER DISCUSSION, C/PART
SUBSECTION 1-3.4 OF THE BUILDING CODE. AM QUALIFIED
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES.
QUALIFIED DESIGNER NOW: 50642
FIRM NOW: 50642
DATE: 11/11/01
SIGNATURE: E. Schneider

#	revision	date	drawn	checked
1	ISSUED FOR CONSTRUCTION	27 MAR 07	WAGNER	
2	ISSUED FOR PERMIT	27 MAR 07	WAGNER	
3	ISSUED AS PER COMMENTS: ISSUED FOR PERMIT	27 MAR 07	WAGNER	
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Gold Park Homes

42.5

Project #	14043
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scale

1000

40

A22

It is the builder's complete responsibility to ensure that all items submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning and other provisions in the Subdivision agreement. The City of Anchorage is not responsible in any way for expanding or exceeding the building permit seeking drawings with respect to any zoning, building, code or general regulation that a house can be properly built on located or to be built on.

This is to certify that these plans conform with the applicable Architectural Department procedures approved by the City of ANCHORAGE.

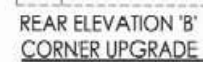
ARCHITECTURAL REVIEW APPROVAL

JUL 12 1917

John G. Williams, L.P., Architect

DATE: 6-12-83

SIGNATURE



John Q. Williams Limited Architect

#	revisions	date	by
1	ISSUED FOR CLIENT REVIEW	27-Aug-17	ahad
2	ISSUED FOR PERMIT	27-Aug-17	ahad
3	ISSUED AS PER COMMENTS/ISSUED FOR PERMIT	27-Sep-17	ahad
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1

Gold Park Homes

—

KLEINBURG GLEN
PH-2
VAUGHAN, ON

FIGURE 1

42-5

PROJECT

14043

1.

— 240 —

A24

A25

RN design
Imagine • Inspire • Create



QUALIFIED DESIGNER SIGN: _____
 11/1/2015
 DATE: _____
 SIGNATURE: _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for securing or approving the building or for settling disputes with respect to any zoning or building code or zoning matter that may become an issue properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

RECEIVED
JUN 14 2017
J. J. Williams Limited, 407000

#	ISSUANCE	DATE	QTY	QTY
1	ISSUE FOR CLIENT REVIEW	10/01/17	0000	
2	ISSUE FOR ACCOUNTS COORD	01/01/17	00	
3	ISSUE FOR FINANCIAL COMMENTS & CLOSING REVIEW	01/01/17	00	
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Gold Park Homes

Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN, ON

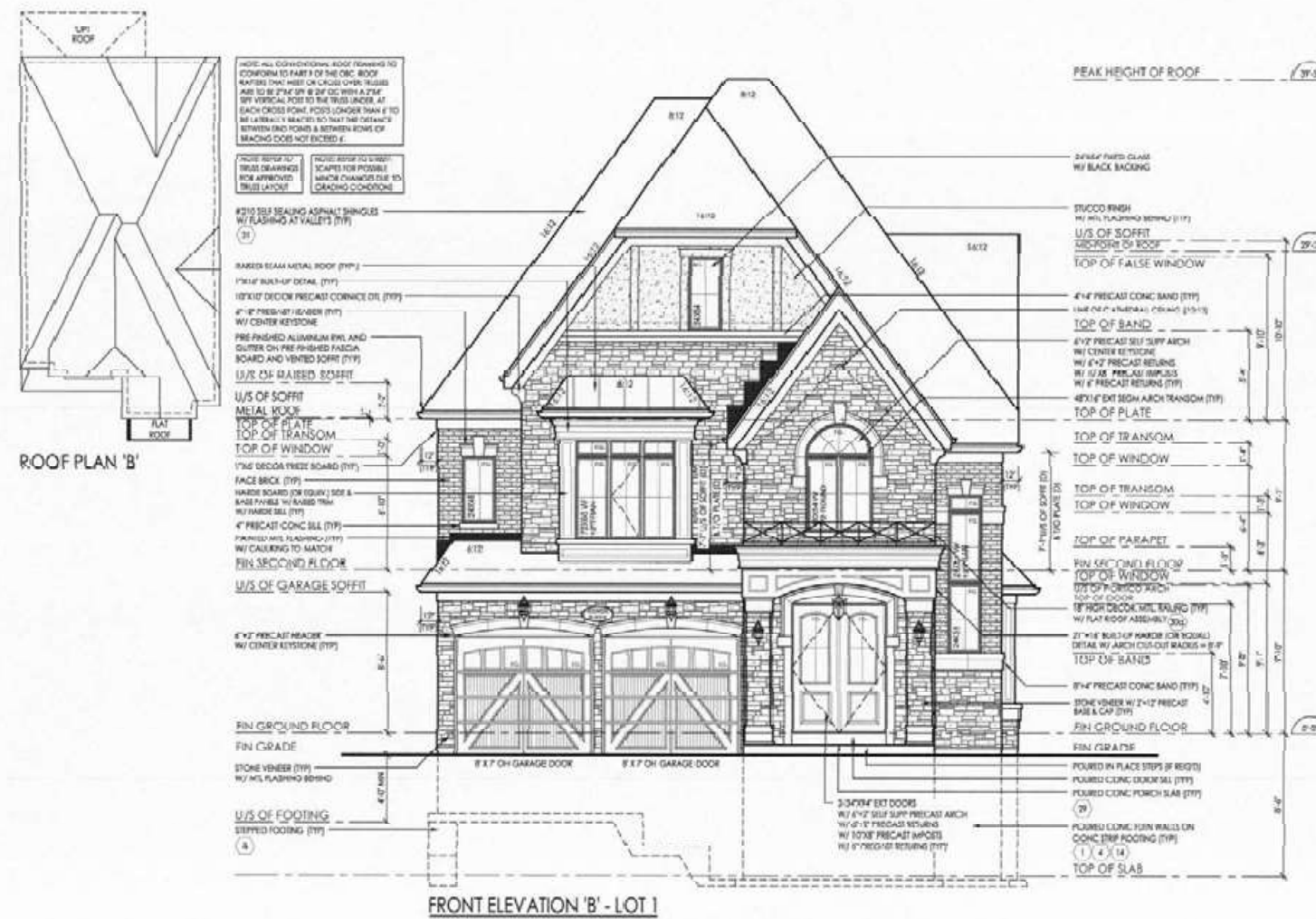
42-5

1403

3,716" = 1'-0"

page

A26





I, RICHARD P. RYAN, ARCHITECT, HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK, ON BEHALF OF RN DESIGN, 10000 DUNDAS STREET WEST, SUITE 100, MISSISSAUGA, ONTARIO L4W 4G1. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORY.

QUANTITY DESIGNER NAME: **1.1.1.2** DATE: **2017**

DATE: **2017** SIGNATURE: **1.1.1.2**



It is the architect's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable building code and all applicable regulations and requirements. The architect is not responsible for any errors or omissions in the drawings or specifications. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities. This is to certify that these plans comply with the applicable building code and all applicable regulations and requirements approved by the City of Vaughan.

ARCHITECTURAL REVIEW & APPROVAL
JUN 13 2017
Julia G. McElroy, Architect

#	REVISION	DATE	BY	CHK
1	BASED ON CLIENT REVIEW	15-Apr-17	ANNA	AN
2	REVIEW FOR HIGHER COMMENTS & REVISIONS	20-May-17	AN	AN
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Gold Park Homes

KLEINBURG GLEN
PH-2
VAUGHAN

42-5

14043

3/16" = 1'-0"

A27



I, KEVIN RAYSON, PREPARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE DESIGNER UNDER DIVISION 27 PART 1 SUBSECTION 2.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS / CATEGORIES.

QUALIFIED DESIGNER SIGN:
FIRM SIGN:
DATE: 3/17/2017
SIGNATURE:



It is the architect's complete responsibility to ensure that all plans submitted for approval comply with the applicable regulations and requirements of the applicable jurisdiction. The architect is not responsible for any error or omission or for any delay or for any cost or expense or for any damage or for any loss or for any injury or for any death or for any other liability resulting from the use of these plans. This is to certify that these plans comply with the applicable Ontario Building Code (as amended) and the applicable City of Vaughan Building Code (as amended) by the City of Vaughan.

ARCHITECTURAL DESIGN & APPROVAL
JUN 14 2017
JULIA M. WILSON, ARCHITECT

#	REVISION	DATE	BY	CHK
1	BASED FOR CLIENT REVIEW	2016.11	JM	JM
2	REVISED PER ENGINEER COMMENTS & COUNCIL PERMIT	2016.12	JM	JM
3	REVISED PER ENGINEER COMMENTS & COUNCIL PERMIT	2017.01	JM	JM
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Gold Park Homes

Project # KLEINBURG GLEN
PH-2
VAUGHAN, ON.
Drawn 42-5
Project # 14043
Scale 3/16" = 1'-0"
Sheet

A28