



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV. 'A'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 MAIN FLOOR PLAN ELEV. 'A'
- A4 SECOND FLOOR PLAN ELEV. 'A'
- A5 PART. BASEMENT FLOOR PLAN ELEV. 'B'
- A6 PART. GROUND FLOOR PLAN ELEV. 'B'
- A7 PART. MAIN FLOOR PLAN ELEV. 'B'
- A8 PART. SECOND FLOOR PLAN ELEV. 'B'
- A9 OPT. GROUND FLOOR PLAN ELEV. 'A'
- A10 PART. SEC. FLR. PLAN ELEV. 'A' W/ OPT. ENSUITE
- A11 PAR. OPT. GRD. FLR. PLAN ELEV. 'A' W/ OPT. LAUN.
- A12 FRONT ELEVATION 'A'
- A13 RIGHT SIDE ELEVATION 'A'
- A14 REAR ELEVATION 'A' & 'B'
- A15 LEFT SIDE ELEVATION 'A'
- A16 FRONT ELEVATION 'B'
- A17 RIGHT SIDE ELEVATION 'B'
- A18 LEFT SIDE ELEVATION 'B'
- A19 STAIR CROSS-SECTION 1
- A20 PART. CROSS-SECTION 2
- A21 PARTIAL GROUND FLOOR WOD CONDITION
- A22 PARTIAL OPT GROUND FLOOR WOD CONDITION
- A23 PARTIAL BASEMENT FLOOR WOD CONDITION
- A24 PARTIAL REAR ELEVATION WOD CONDITION
- A25 PARTIAL BASEMENT FLOOR ELEV. 'A' CORNER UPGRADE
- A26 PARTIAL GROUND FLOOR ELEV. 'A' CORNER UPGRADE
- A27 PARTIAL MAIN FLOOR ELEV. 'A' CORNER UPGRADE
- A28 PARTIAL SECOND FLOOR ELEV. 'A' CORNER UPGRADE
- A29 FRONT ELEVATION 'A' CORNER UPGRADE
- A30 FLANKAGE ELEVATION 'A' CORNER UPGRADE
- A31 REAR ELEVATION 'A' CORNER UPGRADE
- A32 PARTIAL BASEMENT FLOOR ELEV 'B' CORNER UPGRADE
- A33 PARTIAL OPT GROUND FLOOR ELEV 'B' CORNER UPGRADE
- A34 PARTIAL MAIN FLOOR ELEV 'B' CORNER UPGRADE
- A35 PARTIAL SECOND FLOOR ELEV 'B' CORNER UPGRADE
- A36 FRONT ELEVATION 'B' CORNER UPGRADE
- A37 FLANKAGE ELEVATION 'B' CORNER UPGRADE
- A38 REAR ELEVATION 'B' CORNER UPGRADE
- A39 REAR UPGRADE ELEVATION 'A' LOT 132
- A40 WOD REAR UPGRADE ELEVATION 'B' LOT 127
- A41 WOD REAR UPGRADE ELEVATION 'A'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'		ELEVATION 'A' CORNER UPGRADE		ELEVATION 'A' CORNER UPGRADE	
	SF	SM	SF	SM	SF	SM	SF	SM
GROUND FLOOR PLAN	111.2	10.3	111.2	10.3	217.5	20.2	800.6	74.4
MAIN FLOOR PLAN	1590.6	147.8	1591.1	147.8	1608.4	149.4	1608.6	149.4
MAIN FLOOR PLAN OIB	(5.0)	(0.5)	(5.0)	(0.5)	(5.0)	(0.5)	(5.0)	(0.5)
SECOND FLOOR PLAN	1584.0	147.2	1584.5	147.2	1601.8	148.8	1601.9	148.8
SECOND FLOOR PLAN OIB	(5.5)	(0.5)	(5.5)	(0.5)	(5.5)	(0.5)	(5.5)	(0.5)
TOTAL AREA (0)	3275.3	304.3	3276.3	304.4	3417.2	317.4	4000.8	371.7
OPT. GROUND FLOOR PLAN	784.0	72.8	784.0	72.8	N/A	N/A		
TOTAL AREA (1)	3948.1	368.8	3948.1	366.9	3417.2	317.4		
COVERAGE INC PORCH	1678.8	156.0	1678.8	156.0	1785.8	165.9	1775.3	164.9
COVERAGE NOT INC PORCH	1599.6	148.6	1599.6	148.6	1617.4	150.2	1608.6	149.4

Gold Park Homes McLaughlin and Mayfield The Brahms

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	1E	RPA	6	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm
2	REVISED AREA CHART	30-Mar-15	cr	cr	7	ISSUED FOR PERMIT	1/26/2016	JP	JP
3	ROOF TRUSS COORDINATION	14-May-15	RPA	DJH	8	REVISED PER CLIENT COMMENTS	4/11/2016	SAA	jm
4	REVISED REC RM, F.P. NOTE TO BE OPT. & ADDED FLUSH TO BREAKFAST BAR NOTE	3-Sep-15	cr	cr	9	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP
5	REVISED AREA CHART (DEDUCTED OIB SF FROM TOTAL AREA SF)	9/9/2015	CR	CR	10	ISSUED CORNER UPGRADE FOR REVIEW	11-AUG-16	SM	jm
					11	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	18-APR-17	AIM	JP

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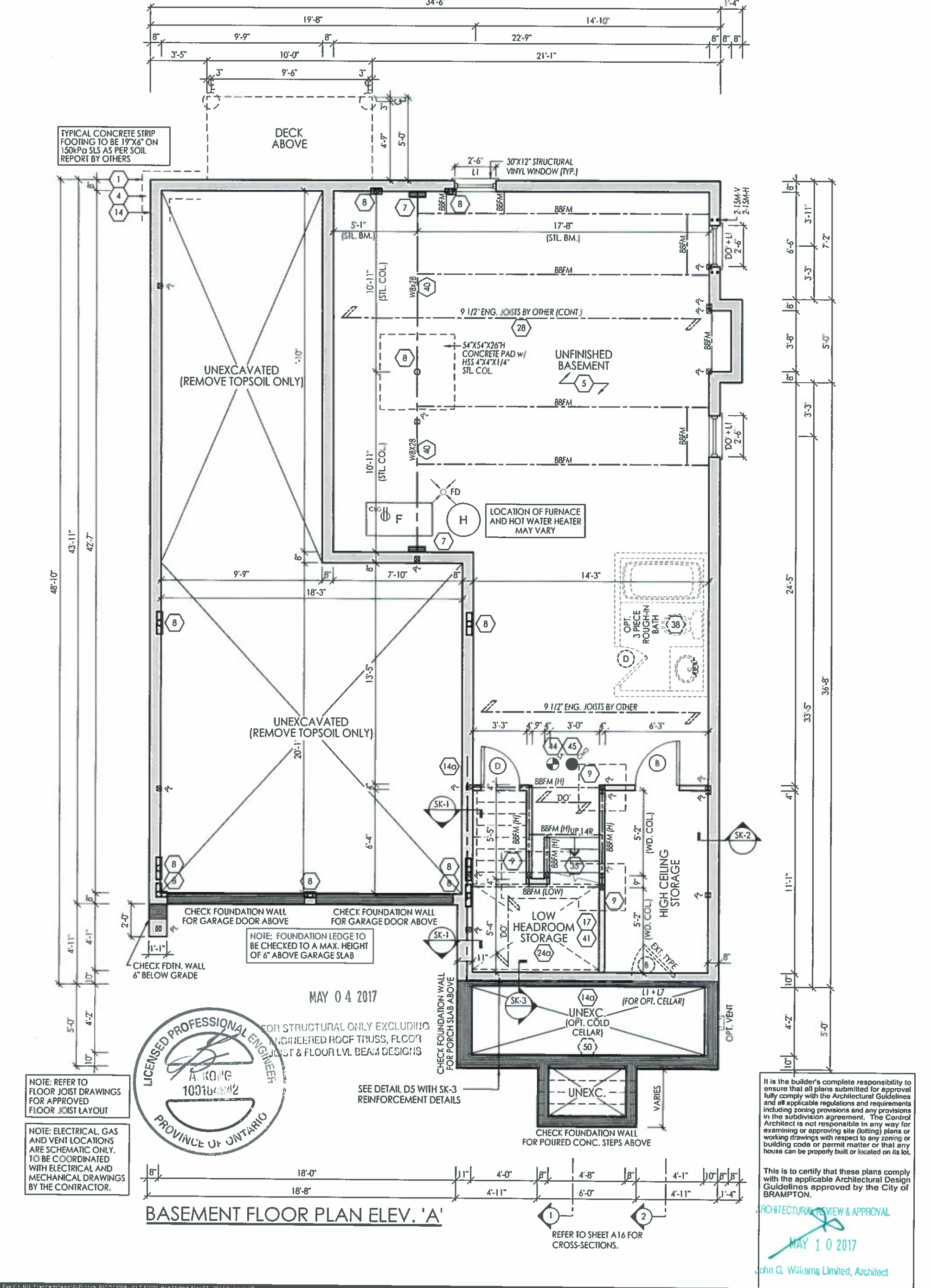
model
41-5

scale
3/16" = 1'0"

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13098

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1	ISSUED FOR CLIENT REVIEW	1/30/2015	sk	RPA	5	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	es	es
2	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	6	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
3	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	7				
4	ISSUED FOR PERMIT	1/26/2016	JP	JP	8				

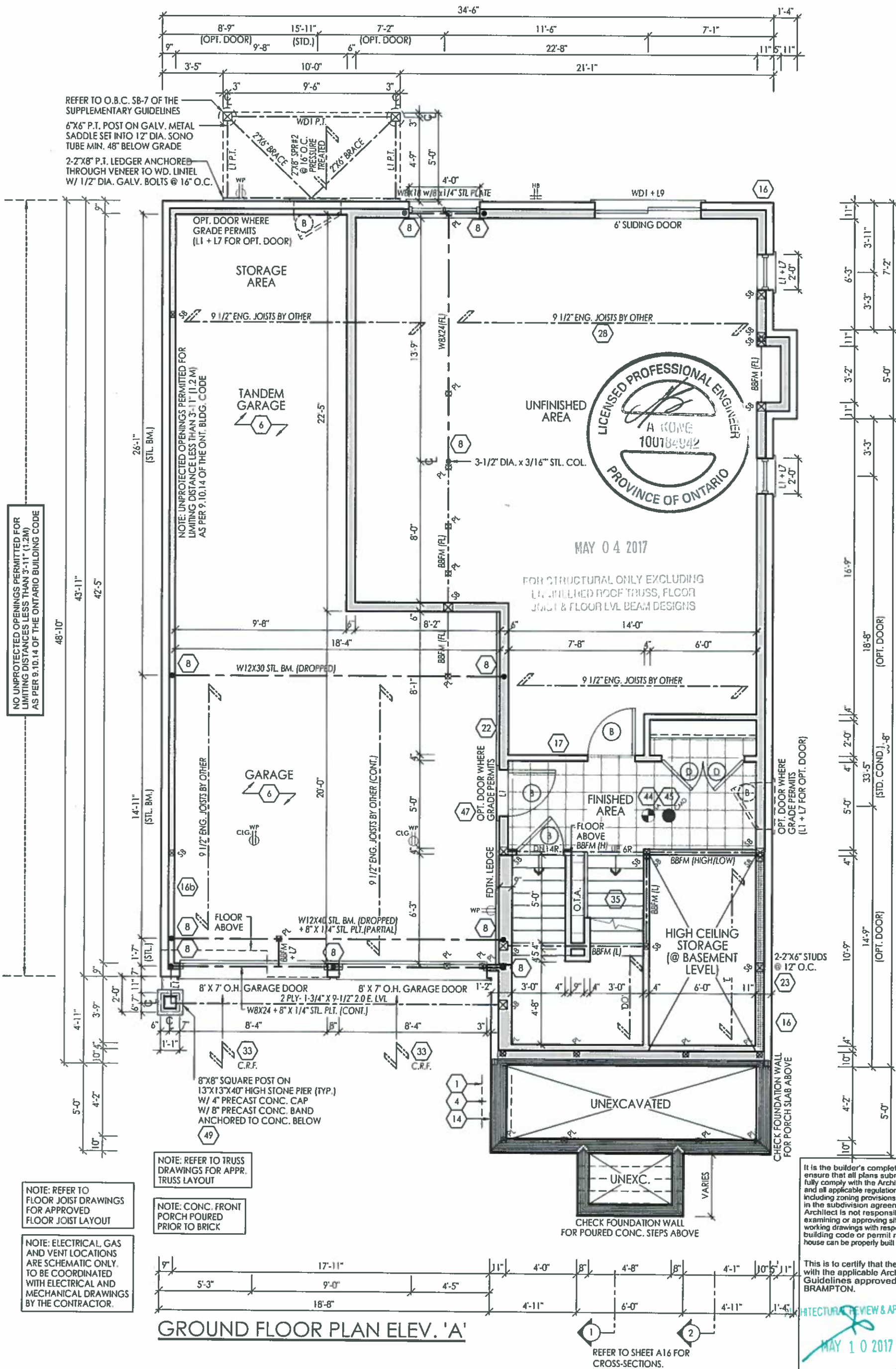
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2	REVISED GARAGE MAIN DOOR TO BE OPTIONAL	3-Sep-15	cr	cr	6	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	es	es
3	REVISED PER FLOOR COORDINATION	15-JAN-16	um	jm	7	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	AAA	JP
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

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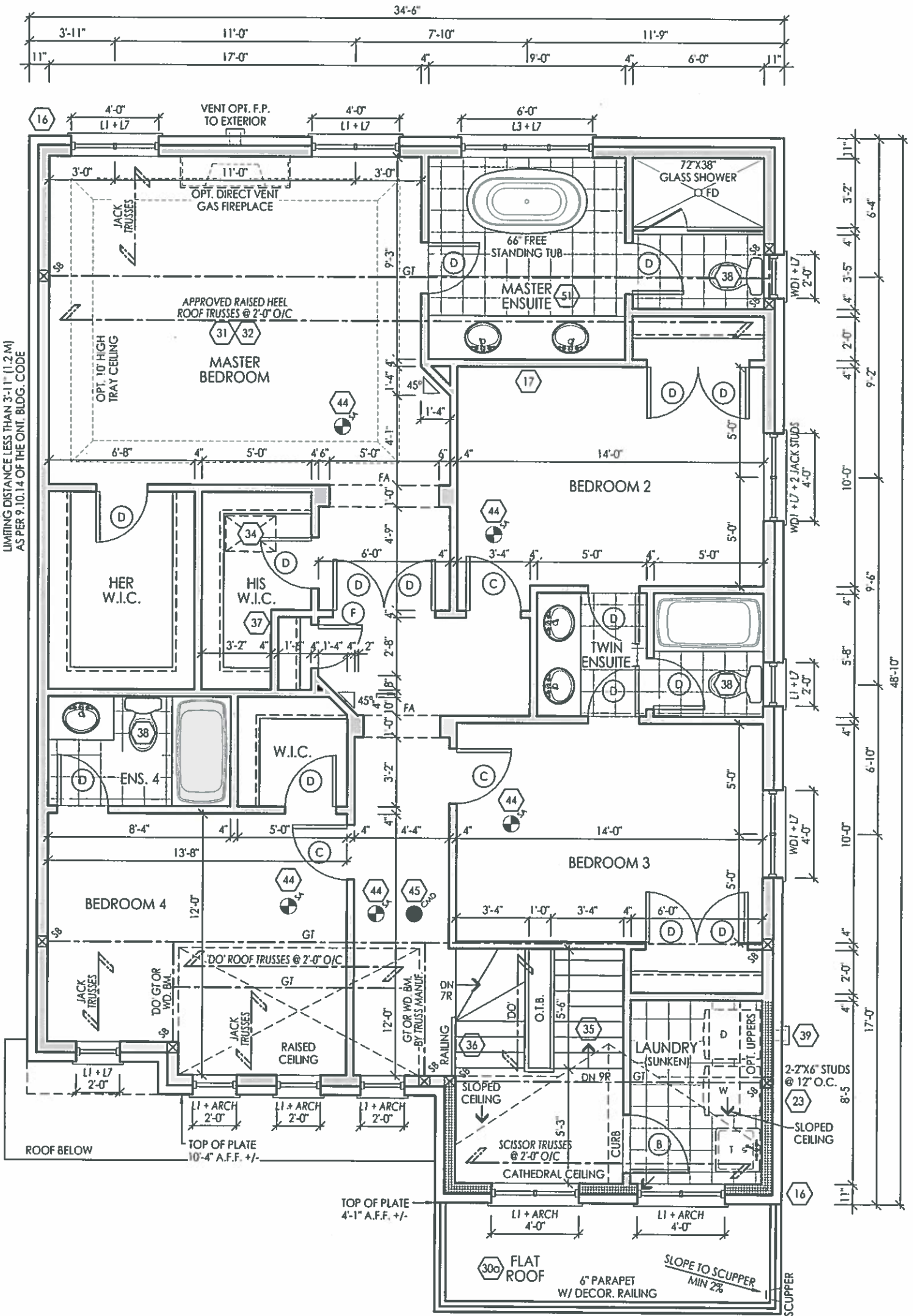
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13098

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SECOND FLOOR PLAN ELEV. 'A'

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JOIST & FLOOR LVL BEAM DESIGNS



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1	ISSUED FOR CLIENT REVIEW	1/30/2015	kk	RPA	5	ISSUED FOR PERMIT	1/26/2016	JP	JP
2	ROOF TRUSS COORDINATION	14-May-15	RPA	DJH	6	W.I.C. REVISED AS PER CLIENT REQUEST	2/11/2016	JP	JP
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	7	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MAA	JP
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

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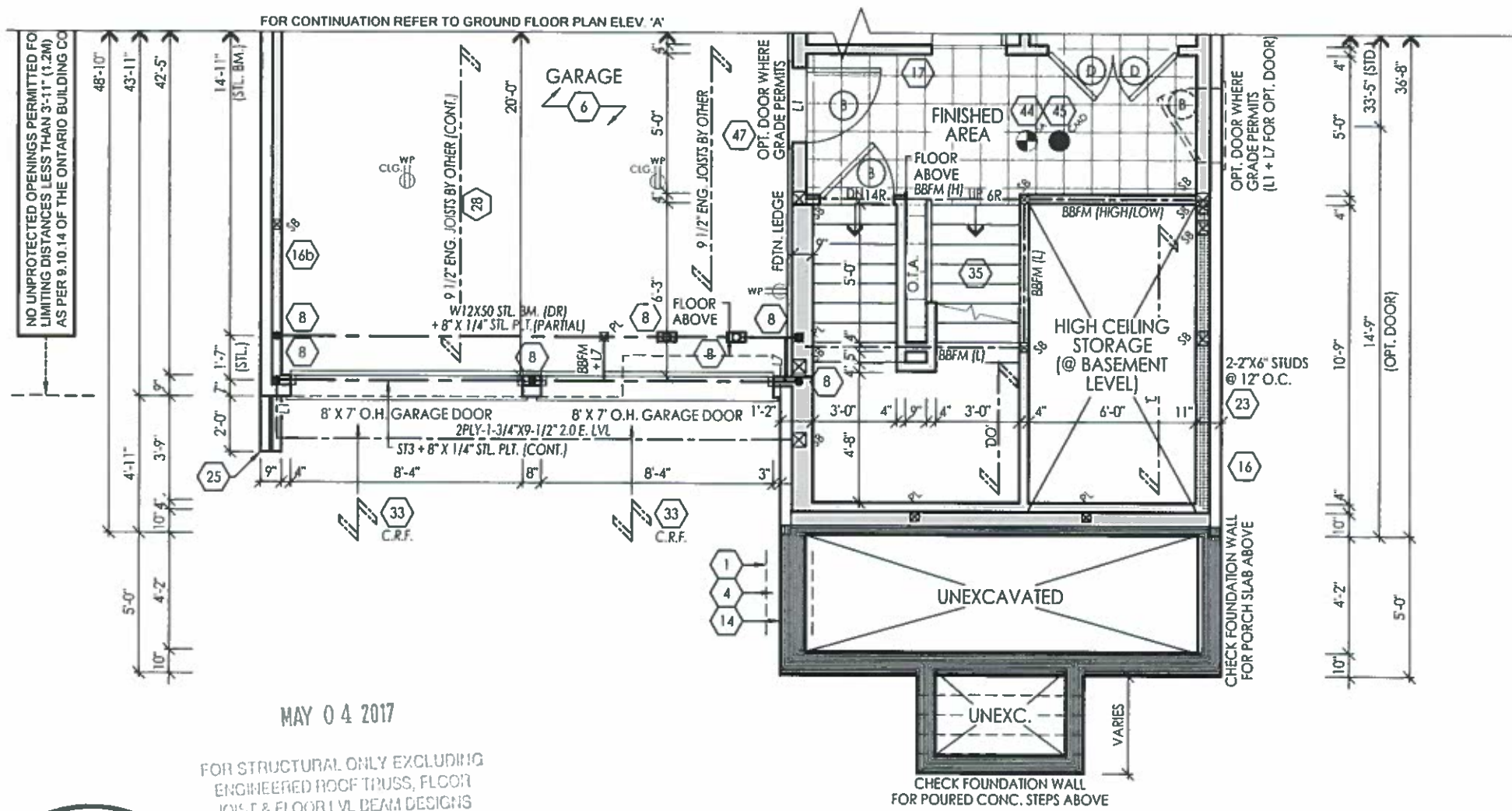
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

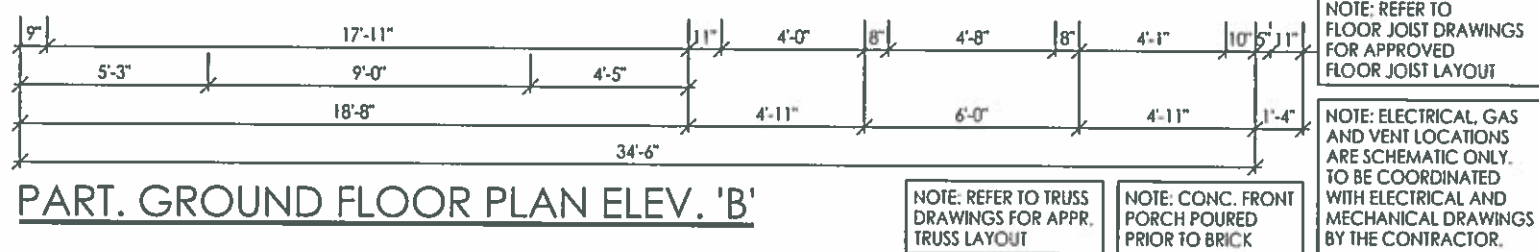
MAY 10 2017

John G. Williams Limited, Architect

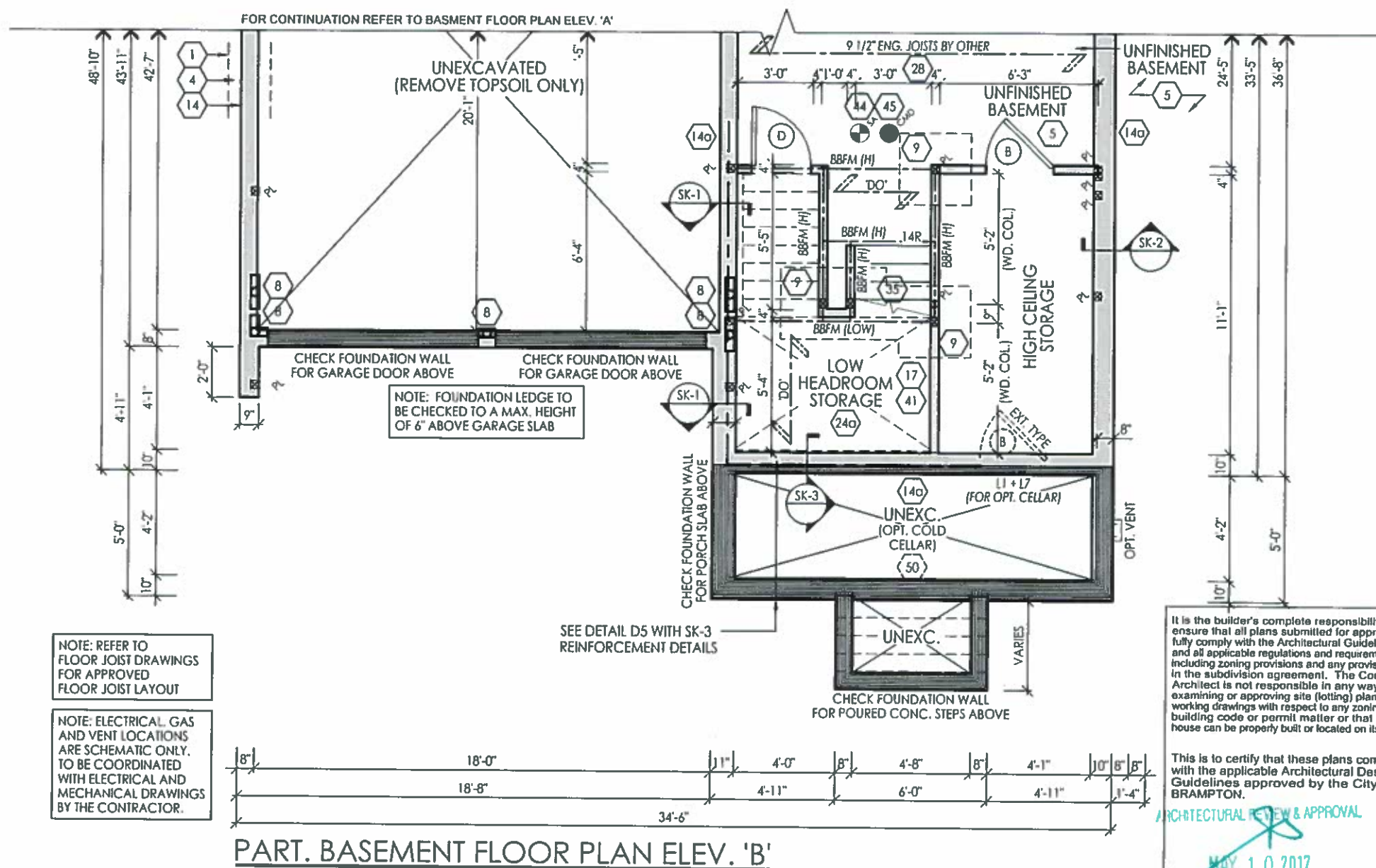


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JOIST & FLOOR LVL BEAM DESIGNS



PART. GROUND FLOOR PLAN ELEV. 'B'



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~~MAY 10 2017~~

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FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

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project
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2	REVISED GARAGE MAN DOOR TO BE OPTIONAL	3-Sep-15	cr	cr	6	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	es	es
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4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

location
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marketing name
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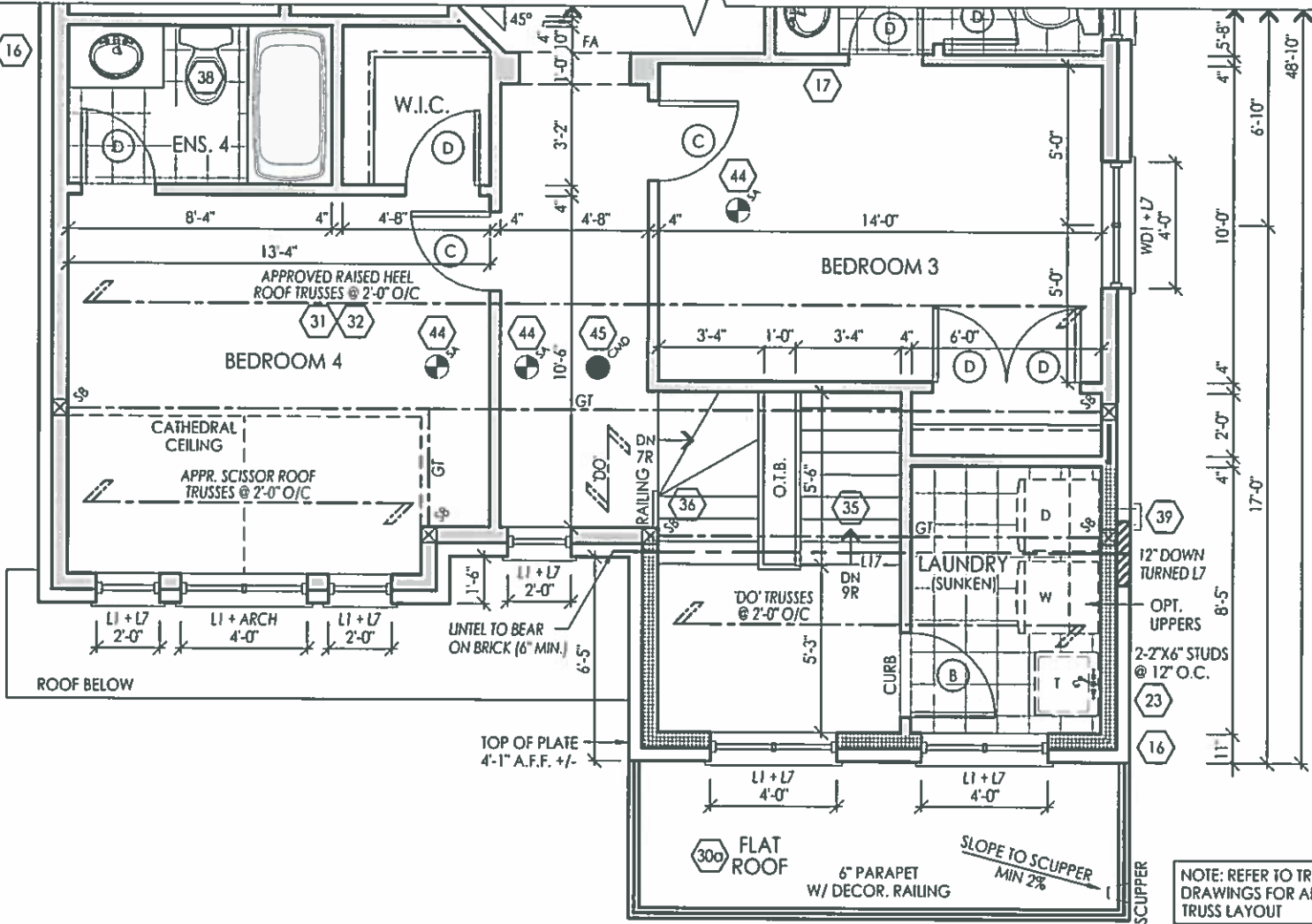
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FOR CONTINUATION REFER TO SECOND FLOOR PLAN ELEV. 'A'

NO UNPROTECTED OPENINGS PERMITTED FOR
LIMITING DISTANCES LESS THAN 3'-11" (1.2M)
AS PER 9.10.14 OF THE ONTARIO BUILDING CODE



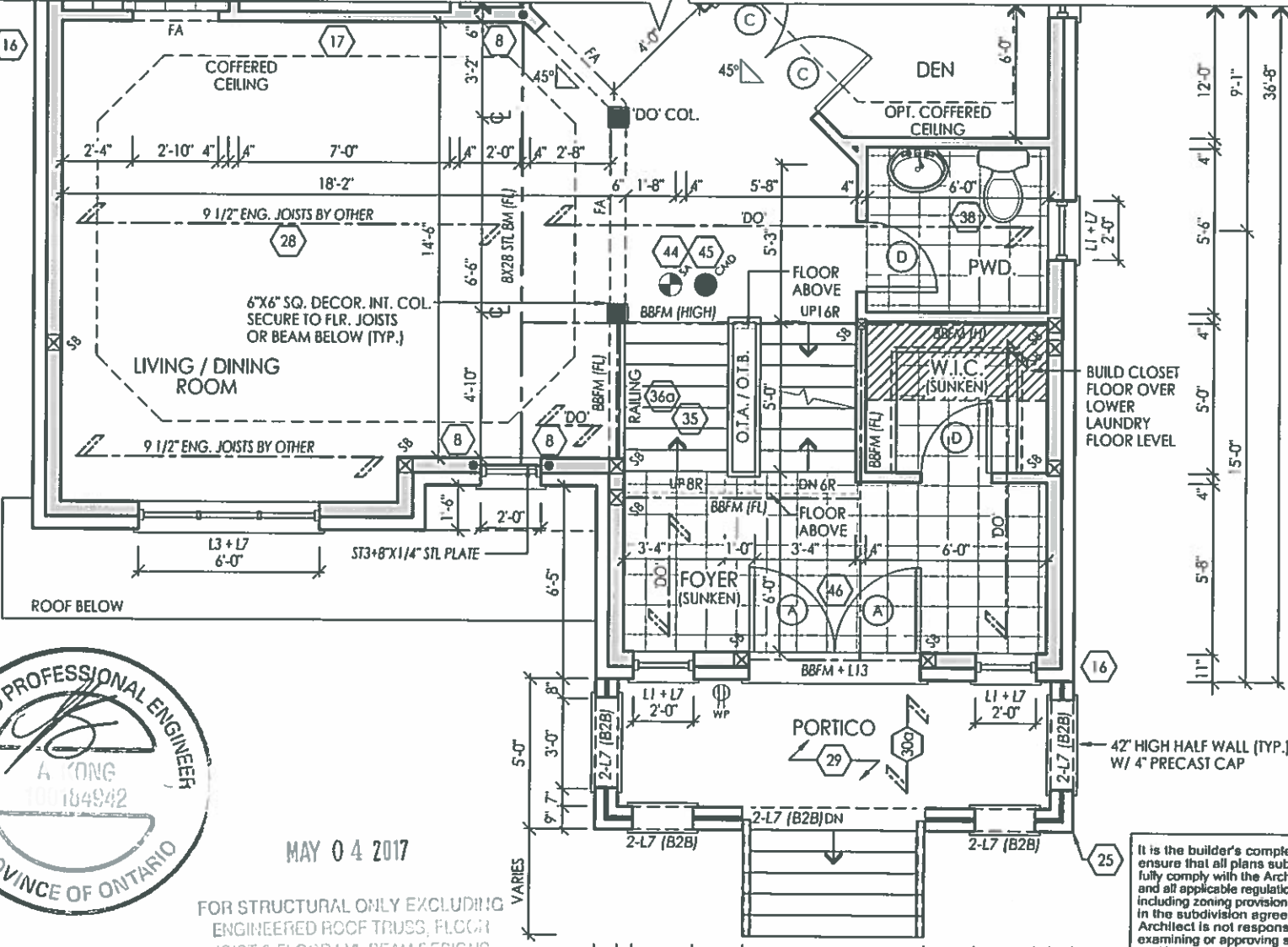
NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

PART. SECOND FLOOR PLAN ELEV. 'B'

FOR CONTINUATION REFER TO MAIN FLOOR PLAN ELEV. 'A'

NO UNPROTECTED OPENINGS PERMITTED FOR
LIMITING DISTANCES LESS THAN 3'-11" (1.2M)
AS PER 9.10.14 OF THE ONTARIO BUILDING CODE



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JOIST & FLOOR LVL BEAM DESIGNS

NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
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Guidelines approved by the City of
BRAMPTON.

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John G. Williams Limited, Architect

PART. MAIN FLOOR PLAN ELEV. 'B'

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: CONC. FRONT
PORCH POURED
PRIOR TO BRICK

client
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location
Brampton

project
McLaughlin and Mayfield

marketing name
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3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	7	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

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model
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scale
3/16" = 1'0"

project #
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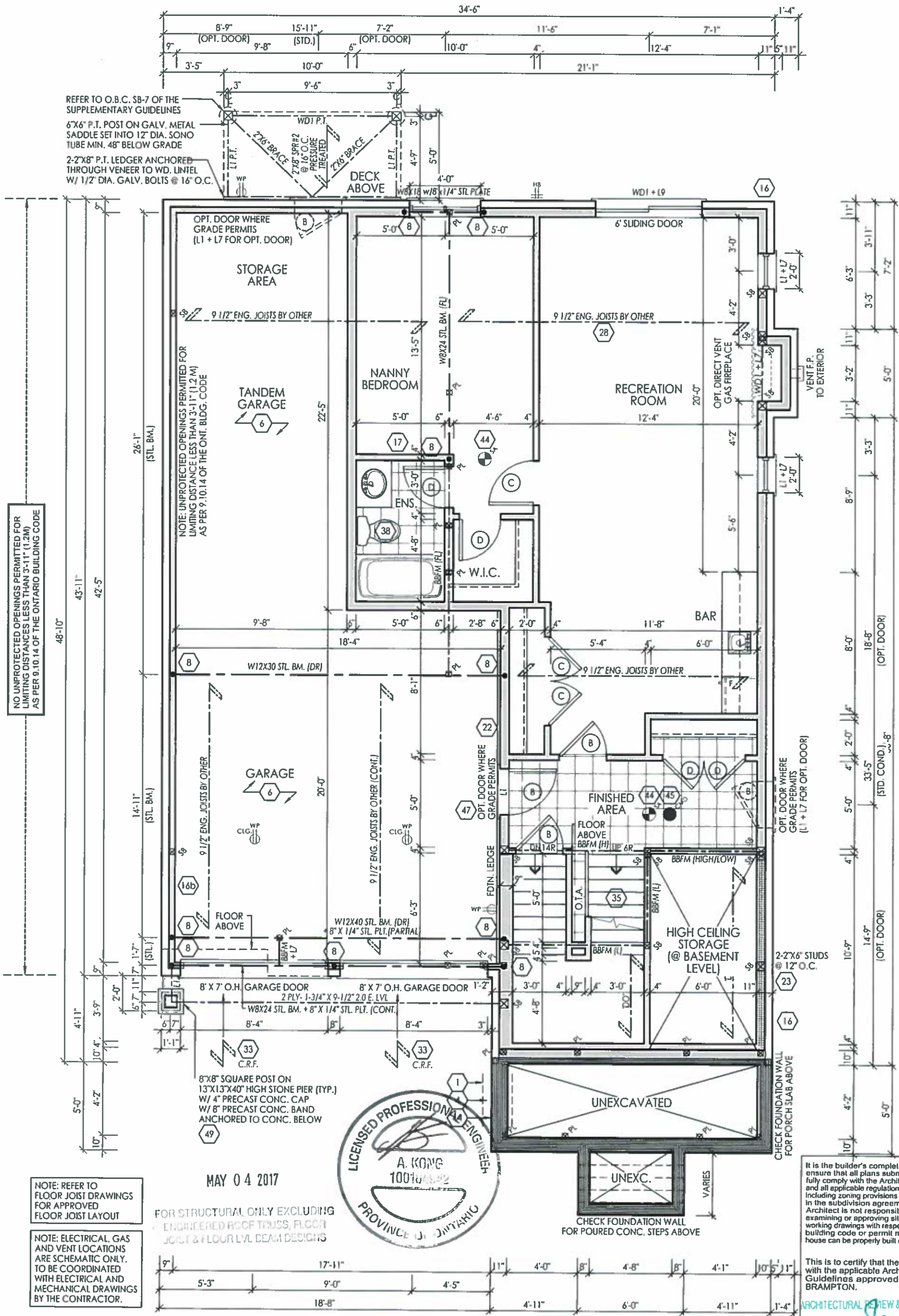
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OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:



OPT. GROUND FLOOR PLAN ELEV. 'A'

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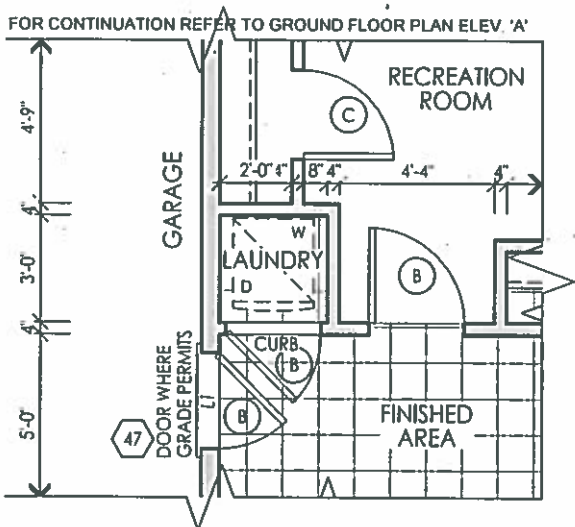


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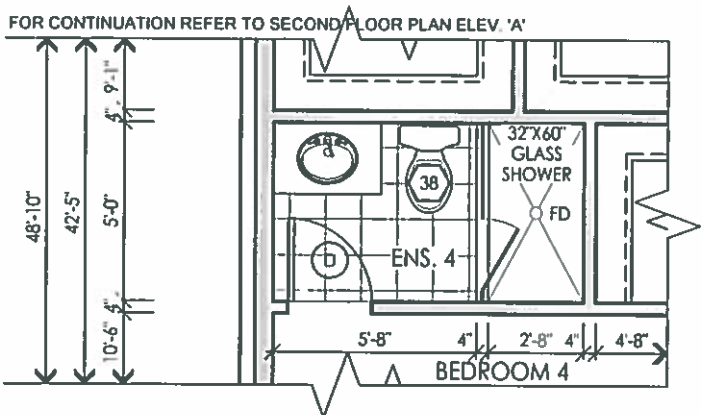


PAR. OPT. GRD. FLR. PLAN ELEV. 'A' W/ OPT. LAUN.



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PART. SEC. FLR. PLAN ELEV. 'A' W/ OPT. ENSUITE

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4					8				

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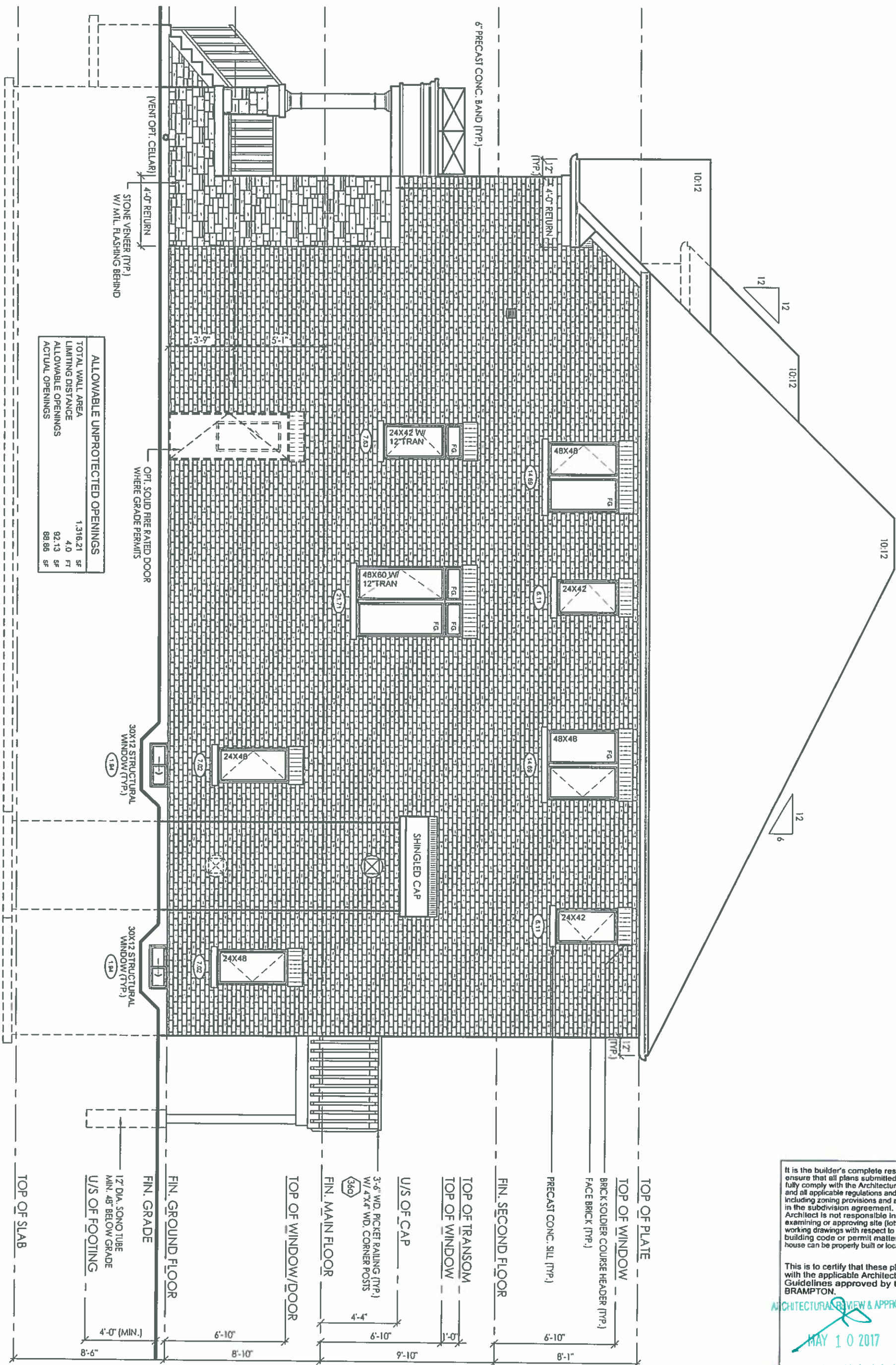
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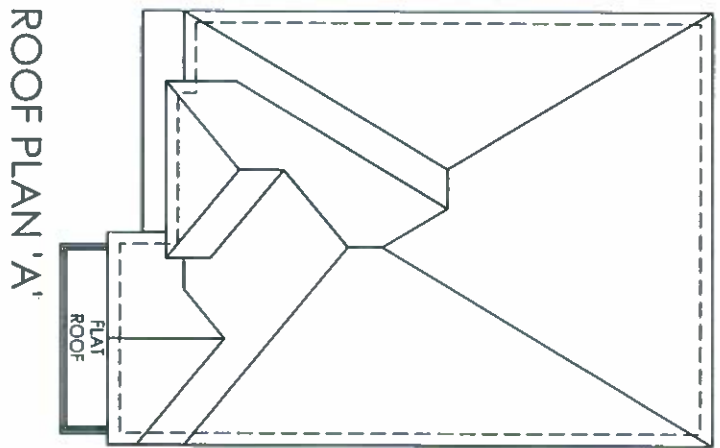
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RIGHT SIDE ELEVATION 'A'

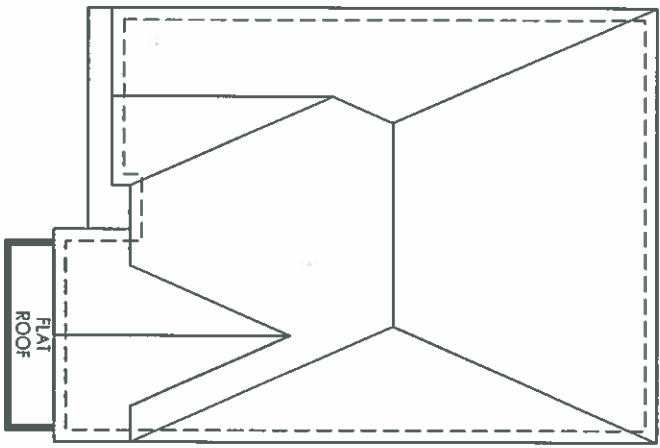


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ROOF PLAN 'A'

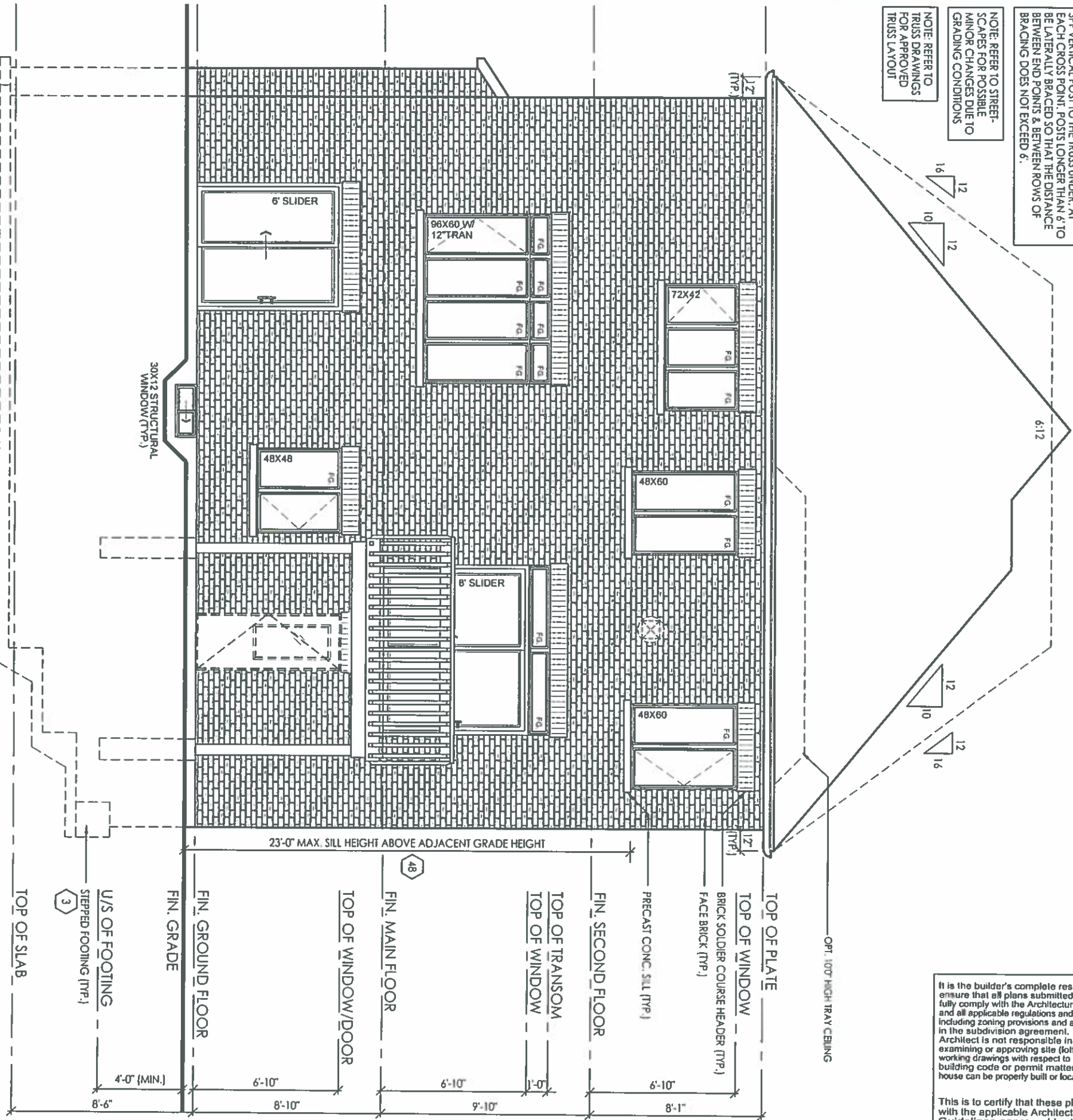


ROOF PLAN 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SP @ 24" O.C. WITH A 2"x4" SP VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



REAR ELEVATION 'A' & 'B'

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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	kk	RPA	5	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
2	ISSUED FOR PERMIT	1/26/2016	JP	JP	6				
3	REVISED PER CLIENT COMMENTS	4/11/2016	SM	jm	7				
4	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jm	jp	8				

RN design
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model
41-5

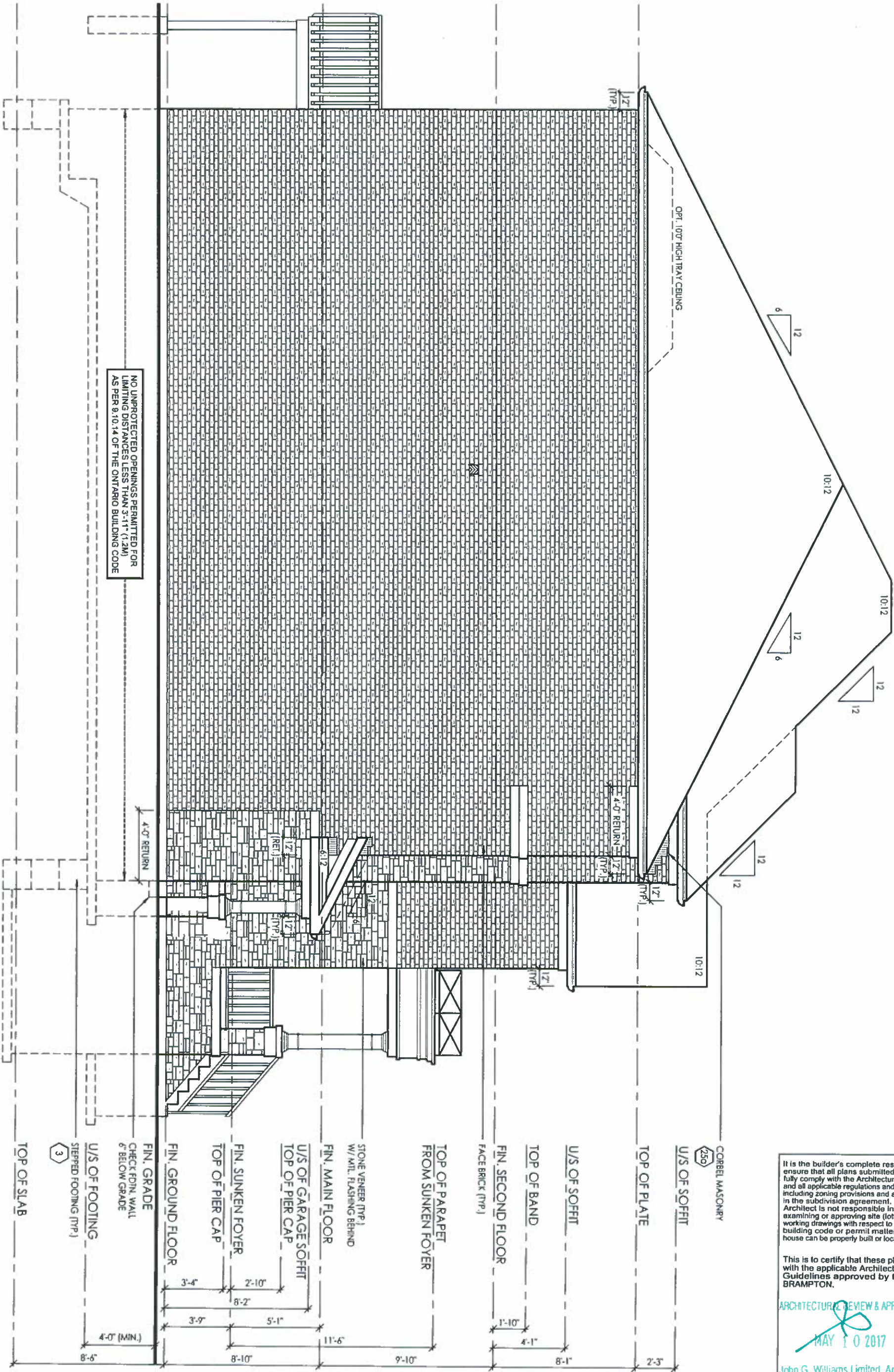
scale
3/16" = 1'0"

project #
13098

page

A11

LEFT SIDE ELEVATION 'A'



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	LL	RPA	5	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
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3	REVISED PER CLIENT COMMENTS	4/11/2016	SA	JP	7				
4	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	JP	JP	8				

RN design
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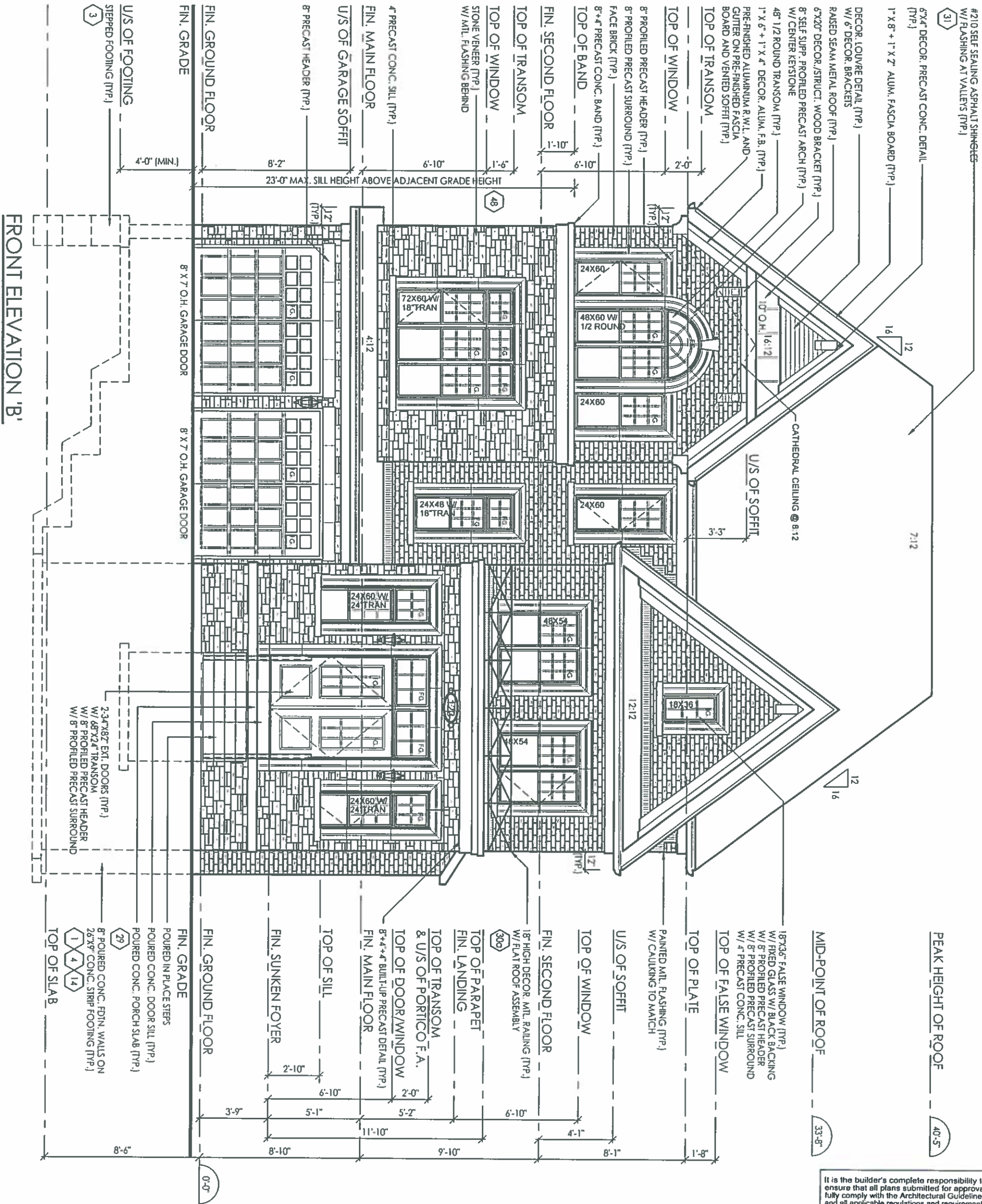
model
41-5

scale
3/16" = 1'0"

project #
13098

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A12



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

File: C:\N\Standards\Arch\Drawings\41-5\FINAL.dwg, Printed: May 03, 2017 07:42:00

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

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3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jp	jp	7				
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RN design
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model
41-5

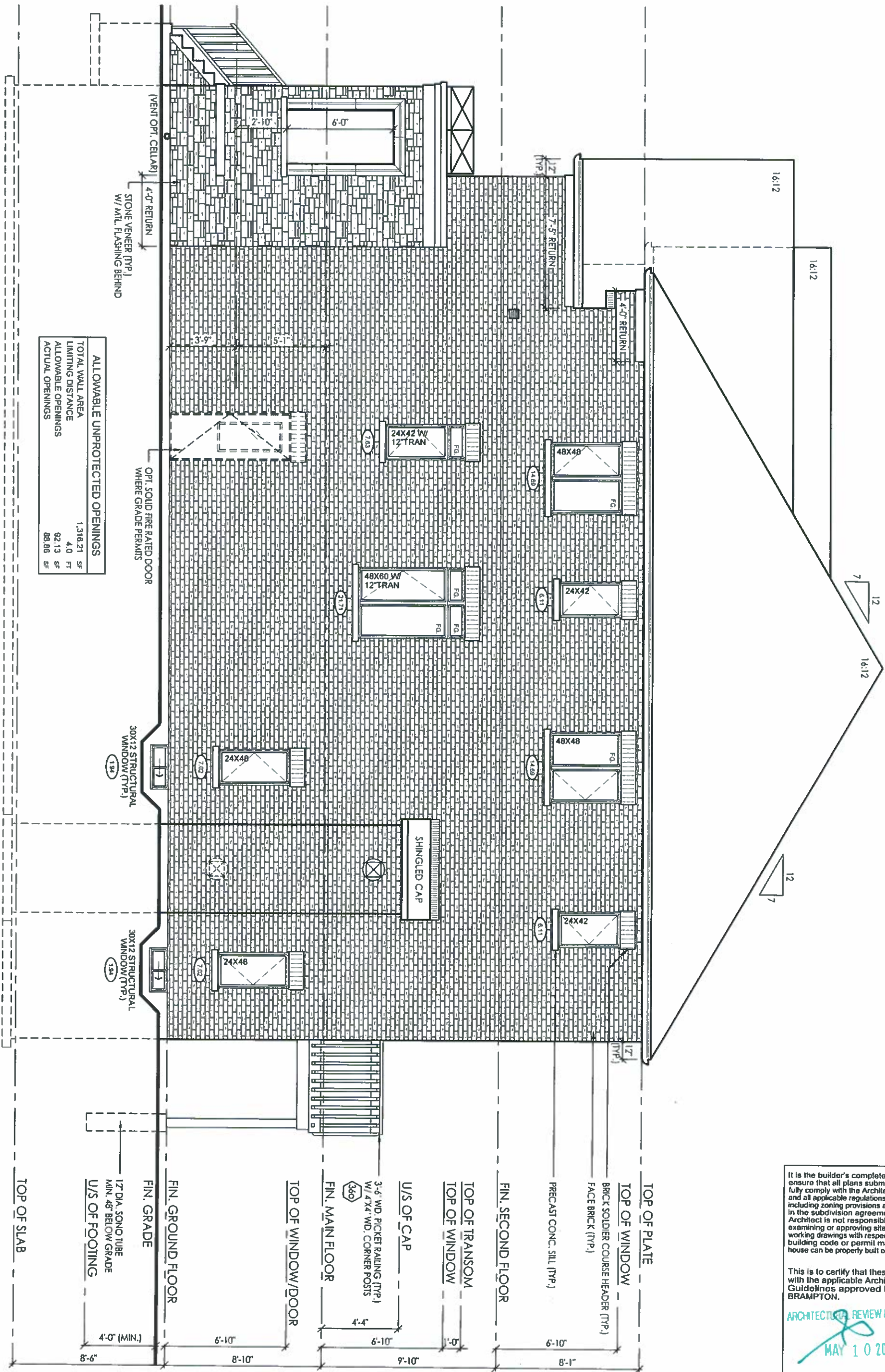
scale
3/16" = 1'0"

project #
13098

page

A13

RIGHT SIDE ELEVATION 'B'



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,316.21 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	92.13 SF
ACTUAL OPENINGS	88.86 SF

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File C:\Users\Standard\Temp\Autodesk\13055_41-5\FINAL.dwg Plotted: May 03, 2017 By: Lauren D

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model
41-5

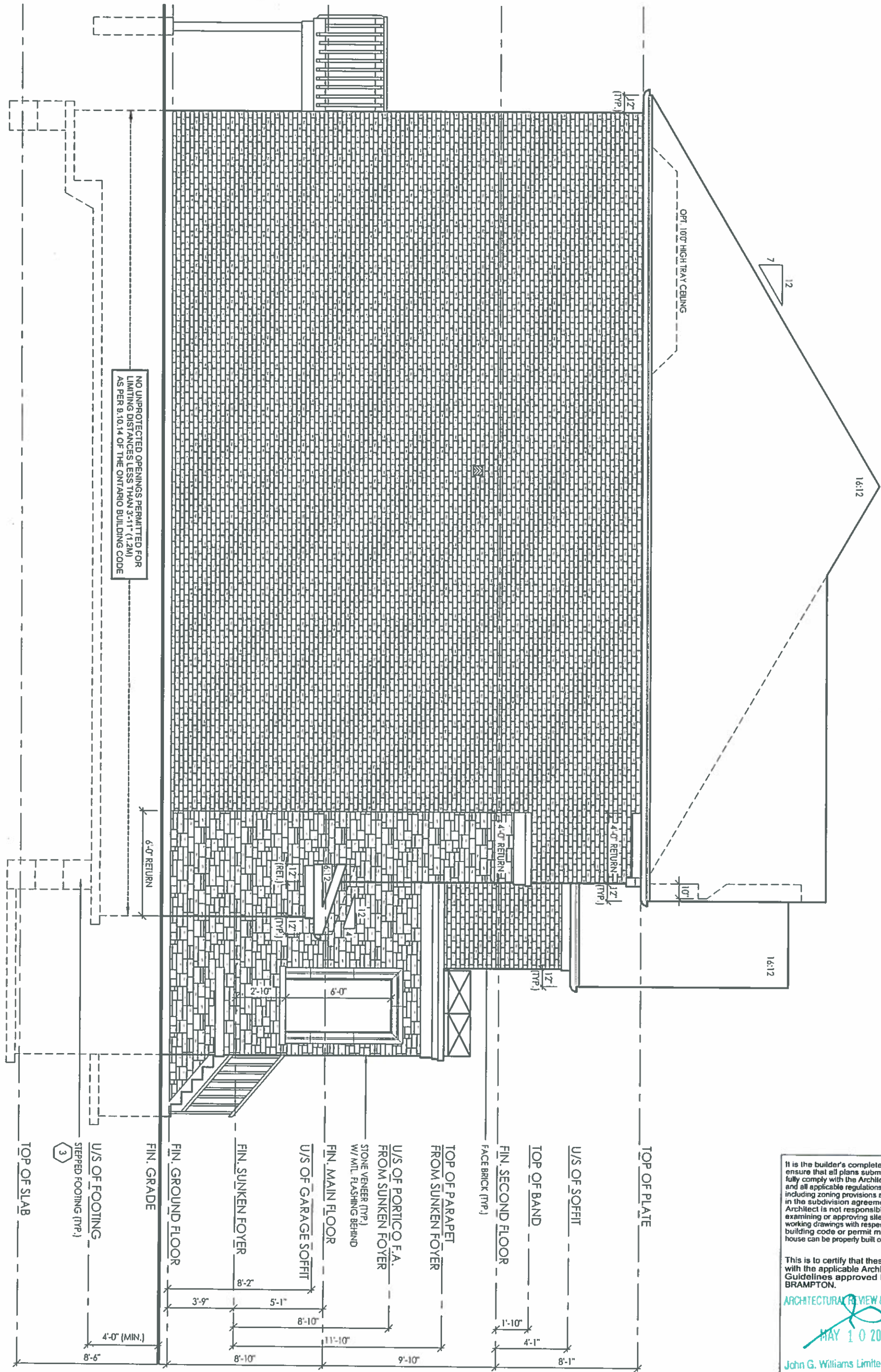
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project #
13098

page

A14

LEFT SIDE ELEVATION 'B'



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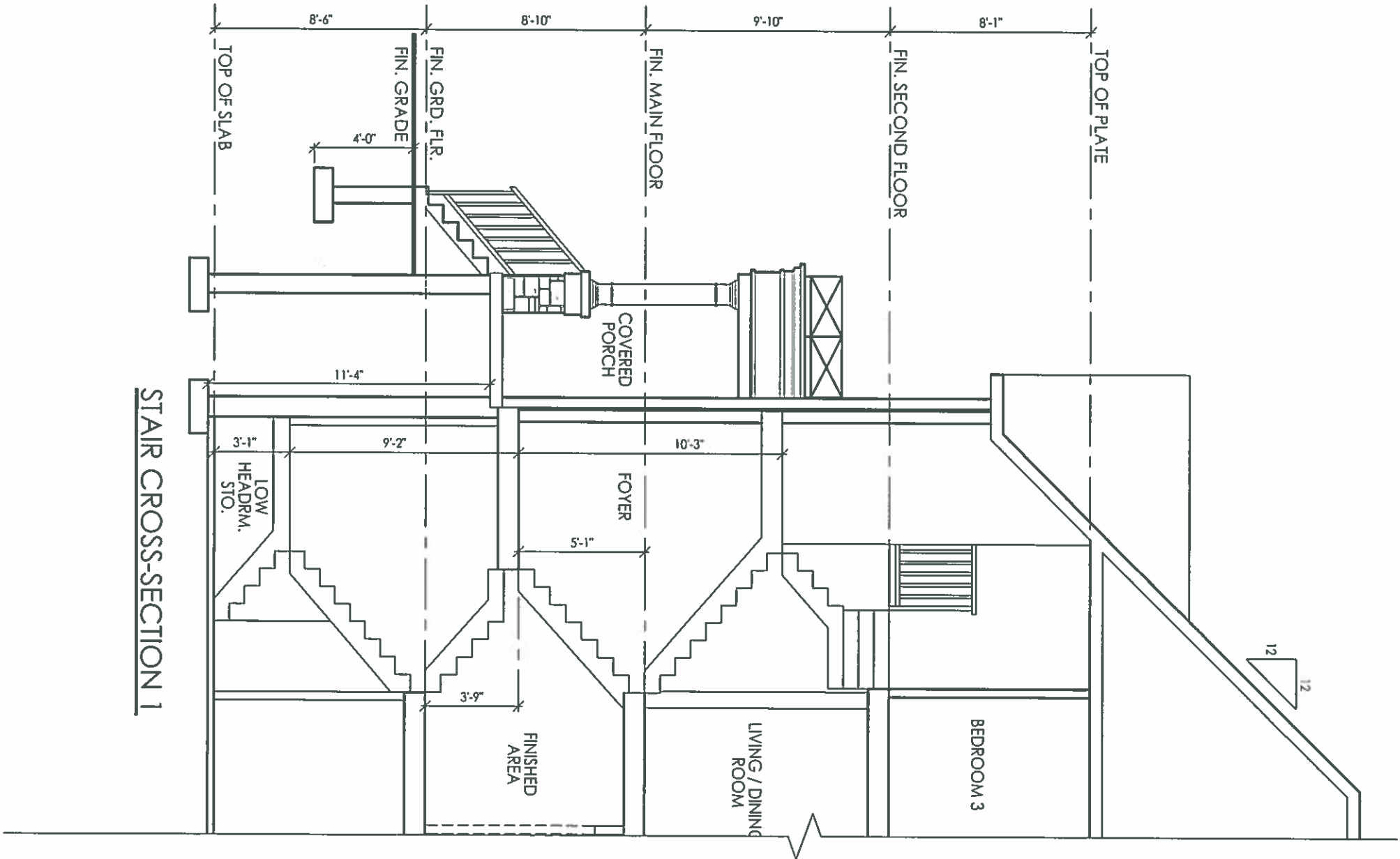
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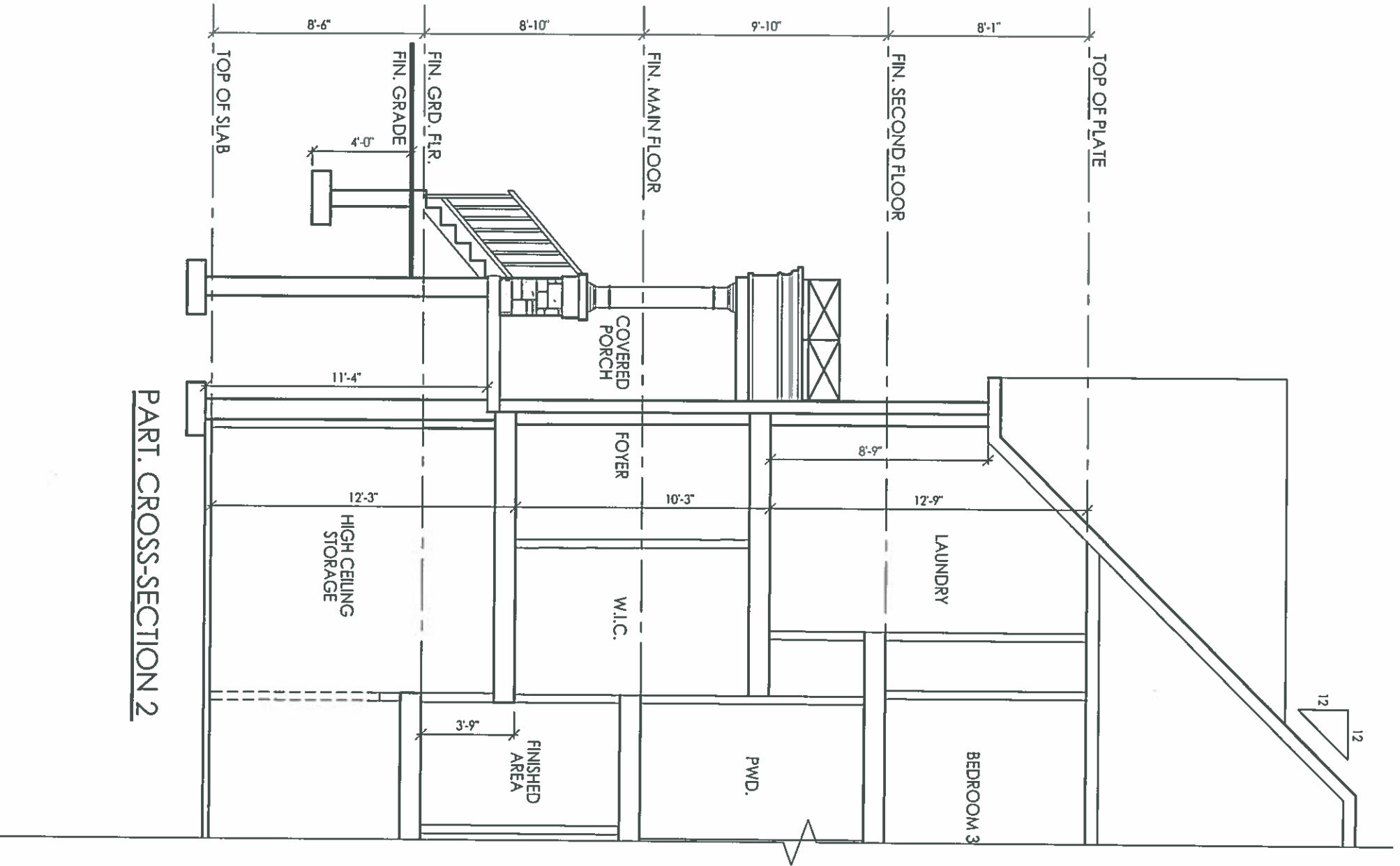
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3/16" = 1'0"
project #
13098

page

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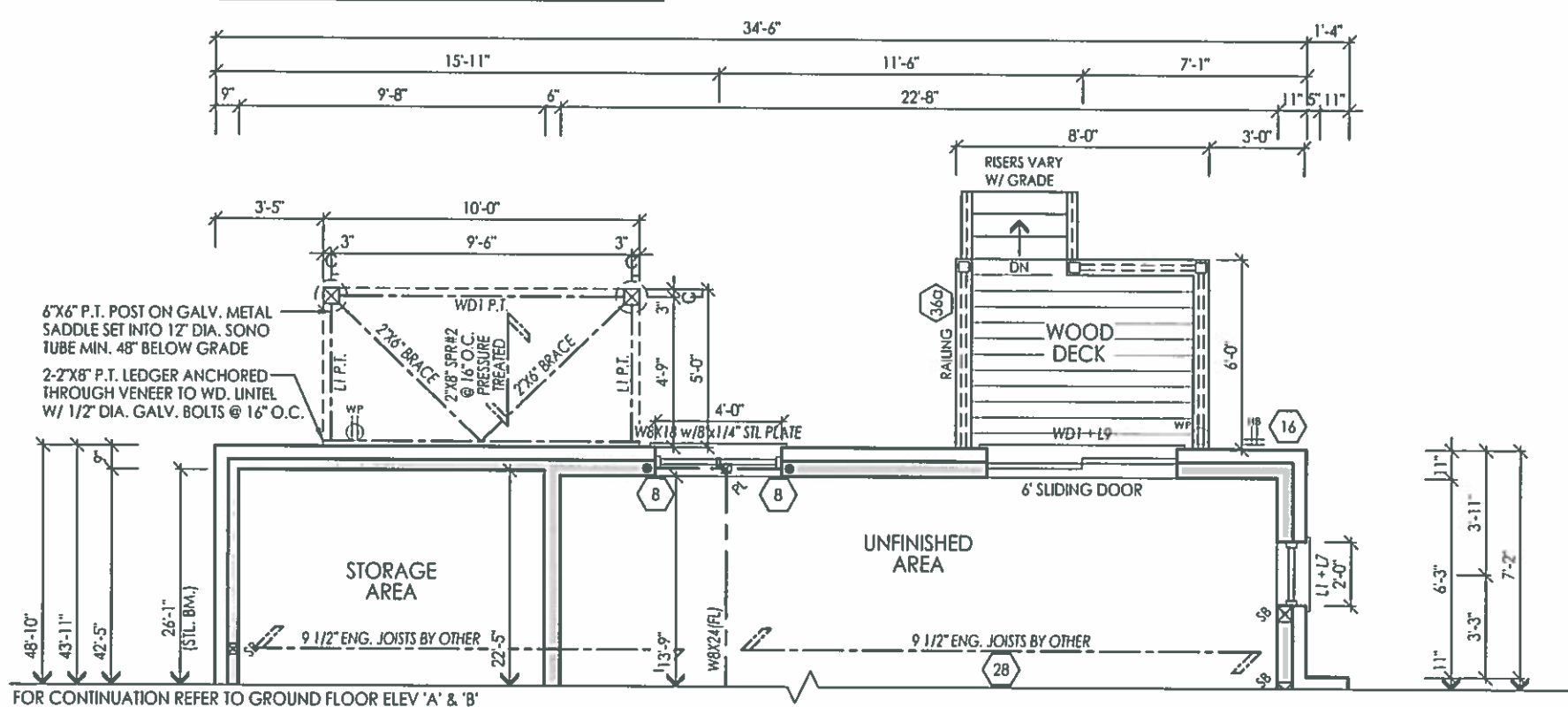


STAIR CROSS-SECTION 1

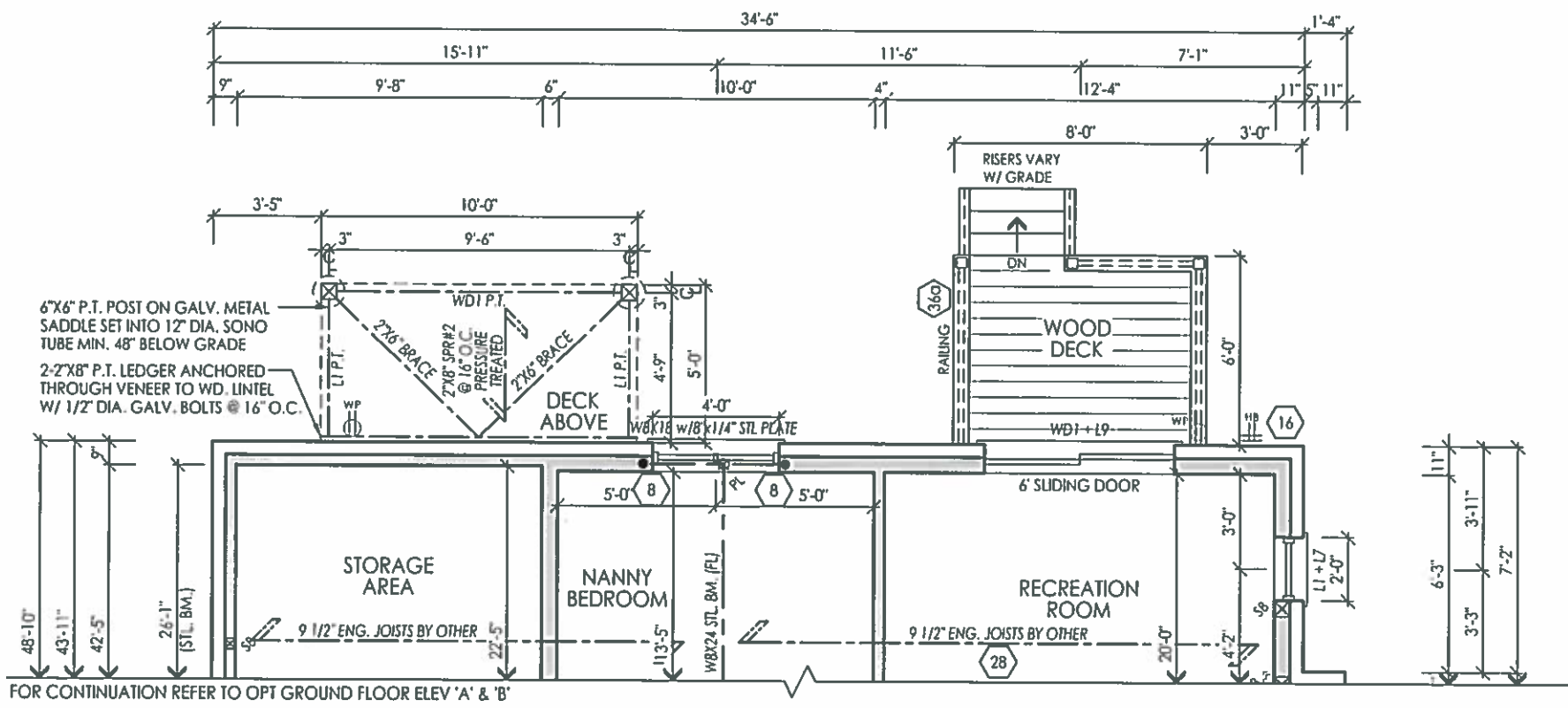


PART. CROSS-SECTION 2

PARTIAL GROUND FLOOR
WOD CONDITION



PARTIAL OPT GROUND FLOOR
WOD CONDITION



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes
project
McLaughlin and Mayfield

location
Brampton
marketing name
The Brahms

RN design
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model
41-5
scale
3/16" = 1'0"
project #
13098

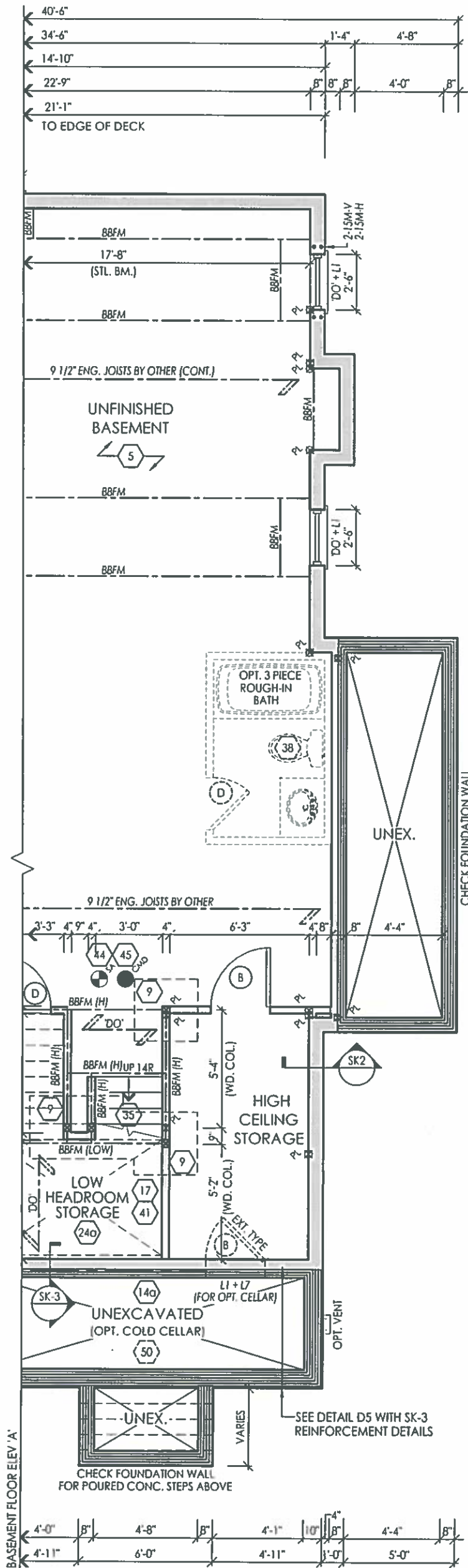
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2	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	AMA	JP	4				
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A17

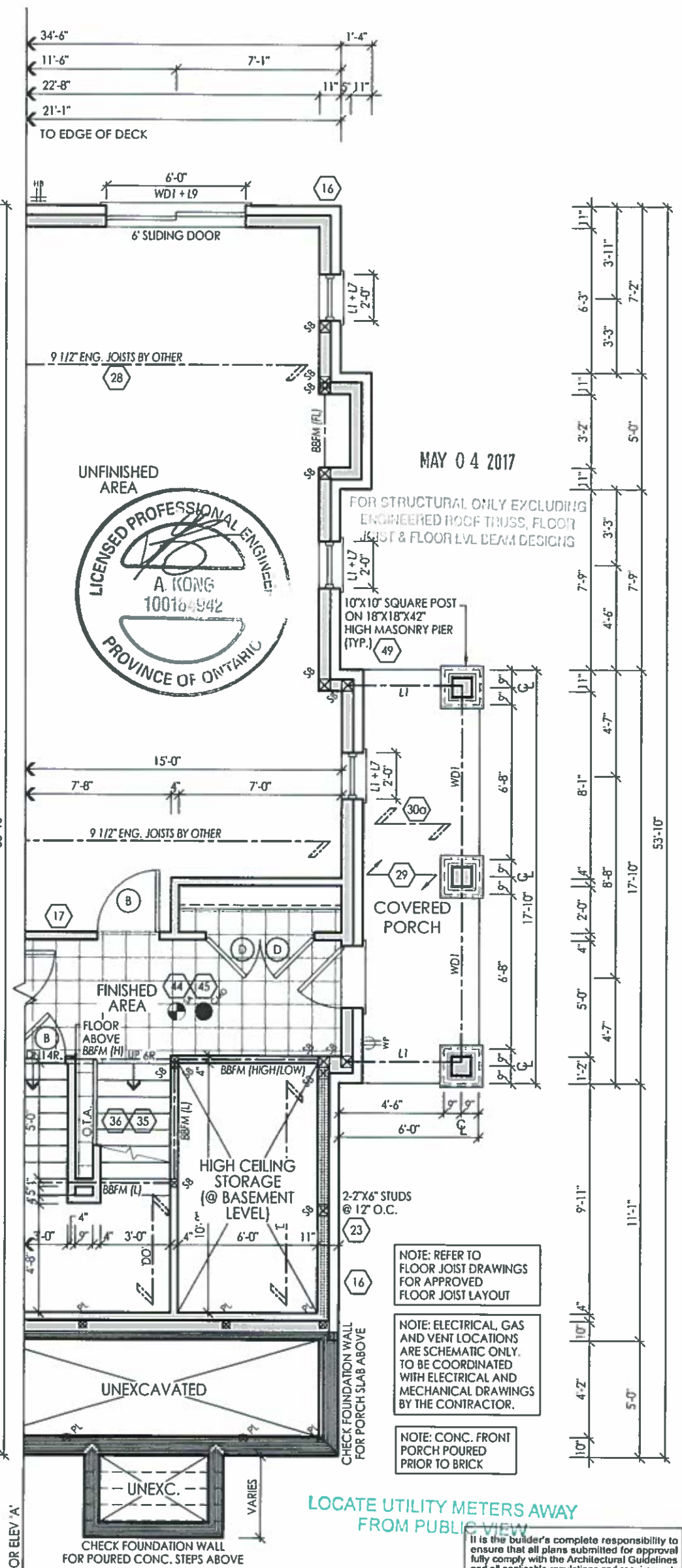
A18



PARTIAL BASEMENT FLOOR
ELEV. 'A' CORNER UPGRADE

NOTE: REFER TO
FLOOR JOIST DRAWINGS
FOR APPROVED
FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.



PARTIAL GROUND FLOOR
ELEV. 'A' CORNER UPGRADE

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

LOCATE UTILITY METERS AWAY
FROM PUBLIC VIEW

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client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED CORNER UPGRADE	25-May-16	JR	JS	5	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6				
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-Aug-16	JM	JM	7				
4	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	es	es	8				

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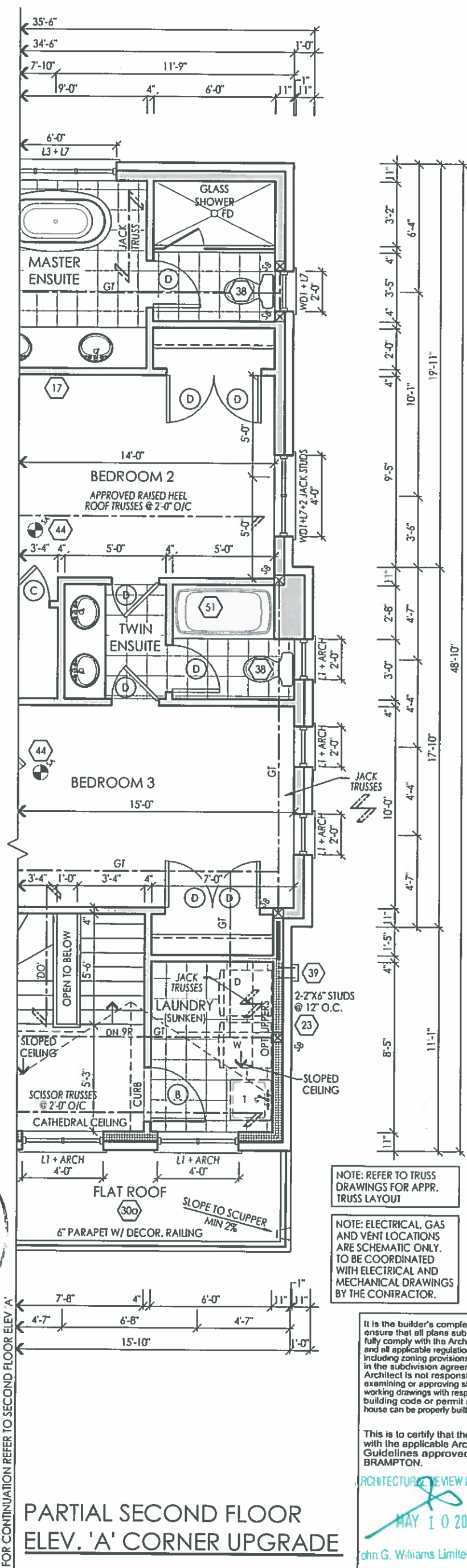
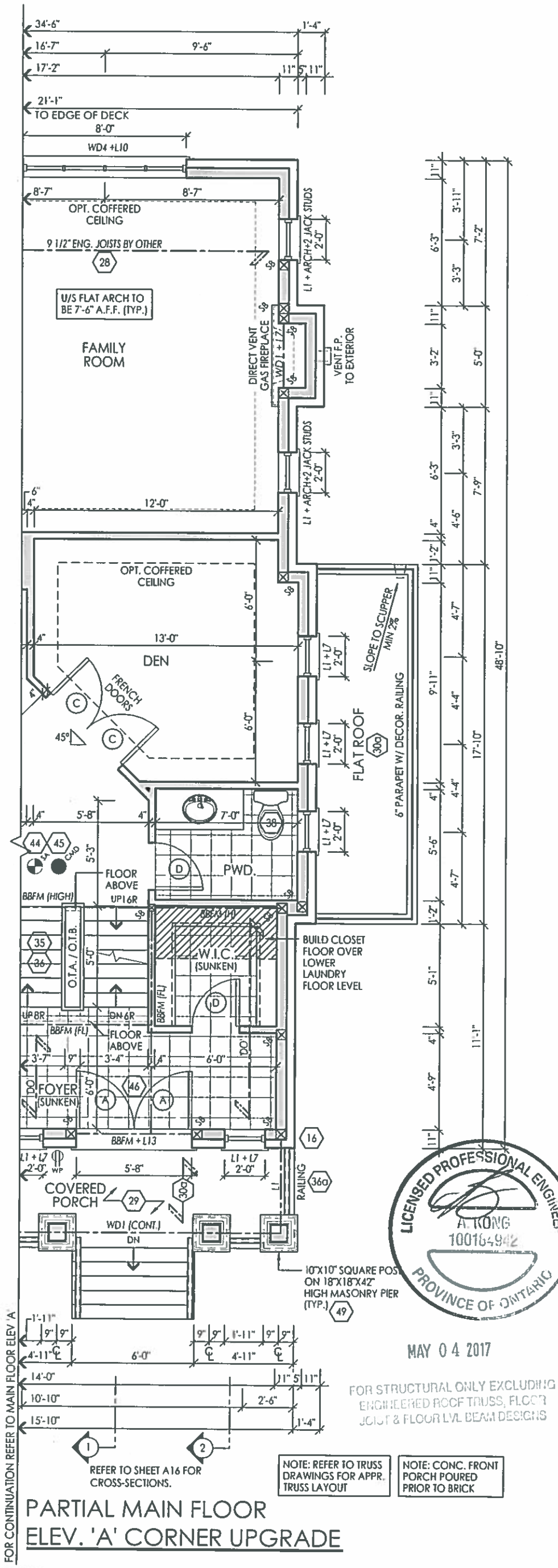
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scale
3/16" = 1'0"

project #
13098

page

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DATE: 19-Apr-17

SIGNATURE: *[Signature]*

client
Gold Park Homes

location
Brampton

project
Mclaughlin and Mayfield

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The Brahms

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1	ADDED CORNER UPGRADE	25-May-16	JR	JS	5	REVISED AS PER OBC 58-12 2017 UPDATE	7-Apr-17	os	os
2	ISSUED FOR PERMIT	19-Jun-16	JR	JP	6	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-ART-16	JM	JAI	7				
4	REVISED PER TRUSS COORDINATION	22-XXX-17	AD	KX	8				

model
41-5

scale
3/16" = 1'0"

project #
13098

page
A20

John G. Williams Limited, Architect

GROSS GLAZING AREA 'A'

CORNER UPGRADE

TOTAL PERIPHERAL WALL AREA	4547.98 SF	422.51 m²
FRONT GLAZING AREA	167.53 SF	15.56 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	244.16 SF	22.68 m²
REAR GLAZING AREA	148.5 SF	13.80 m²
TOTAL GLAZING AREA	560.19 SF	52.04 m²
TOTAL GLAZING PERCENTAGE	12.32 %	

#210 SELF SEALING ASPHALT SHINGLES
W/ FLASHING AT VALLEYS (TYP.)

8" SELF SUPP. PRECAST ARCH & SURROUND (TYP.)
W/ CENTER KEYSTONE

24"x18" EXT. ARCH TRANSOM (TYP.)

1 1/2" DECOR. FRIEZE BOARD (TYP.)
PRE-FINISHED ALUMINUM R.W.L. AND
GUTTER ON PRE-FINISHED FASCIA
BOARD AND VENTED SOFFIT (TYP.)

TOP OF TRANSOM

TOP OF WINDOW

8" PRECAST HEADER (TYP.)

8" PRECAST SURROUND (TYP.)

FACE BRICK (TYP.)

6"x6" PRECAST CONC. BAND (TYP.)

TOP OF BAND

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

STONE VENER (TYP.)

W/ MTL. FLASHING BEHIND

4" PRECAST CONC. SILL (TYP.)

PAINTED MTL. FLASHING (TYP.)

W/ CAULKING TO MATCH

FIN. MAIN FLOOR

U/S OF GARAGE SOFFIT

8" PRECAST HEADER (TYP.)

W/ CENTER KEYSTONE

TOP OF PIER CAP

FIN. GROUND FLOOR

FIN. GRADE

FIN. GROUND FLOOR

FIN. GRADE

8' X 7' O.H. GARAGE DOOR

10' X 10' SQUARE POST ON 18' X 18' X 4'Z
HIGH MASONRY PIER (TYP.)
W/ 4" PRECAST CONC. CAP
W/ 8" PRECAST CONC. BAND

U/S OF FOOTING

STEPPED FOOTING (TYP.)

8' X 8' SQUARE POST ON
13' X 13' X 4'Z HIGH STONE PIER (TYP.)
W/ 4" PRECAST CONC. CAP
W/ 8" PRECAST CONC. BAND
ANCHORED TO CONC. BELOW

FRONT ELEVATION 'A' CORNER UPGRADE

PEAK HEIGHT OF ROOF

43'-8"

MID-POINT OF ROOF

35'-5"

SIDEWALL CLAD WITH HARDIE PANEL OR EQUAL (TYP.)
W/ 1" X 4" HARDIE TRIM (PTD.)
W/ METAL FLASHING BEHIND

HARDIE PANEL OR EQUAL (TYP.)
W/ 1" X 4" HARDIE TRIM (PTD.)
W/ METAL FLASHING BEHIND

ROOF SADDLE
(4:12 MIN.)

U/S OF SOFFIT

TOP OF DETAIL

TOP OF PLATE

8"x22" PRECAST CONC. DETAIL (TYP.)

CATHEDRAL CEILING @ 8:12

48"x20" EXT. ARCH TRANSOM
W/ 8" SELF SUPP. PRECAST ARCH & SURROUND (TYP.)
W/ CENTER KEYSTONE

U/S OF SOFFIT

TOP OF TRANSOM

TOP OF WINDOW

FIN. SECOND FLOOR

18" HIGH DECOR. MTL. RAILING (TYP.)
W/ FLAT ROOF ASSEMBLY

TOP OF PARAPET

FIN. LANDING

TOP OF TRANSOM

3Z BUILT-UP HARDIE DETAIL (PTD.) (TYP.)

TOP OF DOOR/WINDOW

FIN. MAIN FLOOR

TOP OF PIER CAP

3'-0" HIGH RAILING (TYP.)

FIN. SUNKEN FOYER

FIN. GROUND FLOOR

FIN. GRADE

POURED IN PLACE STEPS

POURED CONC. DOOR SILL (TYP.)

POURED CONC. PORCH SLAB (TYP.)

8" POURED CONC. FDN. WALLS ON
2.5'X9" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

FIN. GROUND FLOOR

FIN. GRADE

FIN. GROUND FLOOR

FIN. GRADE

FIN. GROUND FLOOR

FIN. GRADE

FIN. GROUND FLOOR

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project	Mclaughlin and Mayfield	marketing name	The Brahms						
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED CORNER UPGRADE	25-May-16	JR	JS	5				
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4					8				

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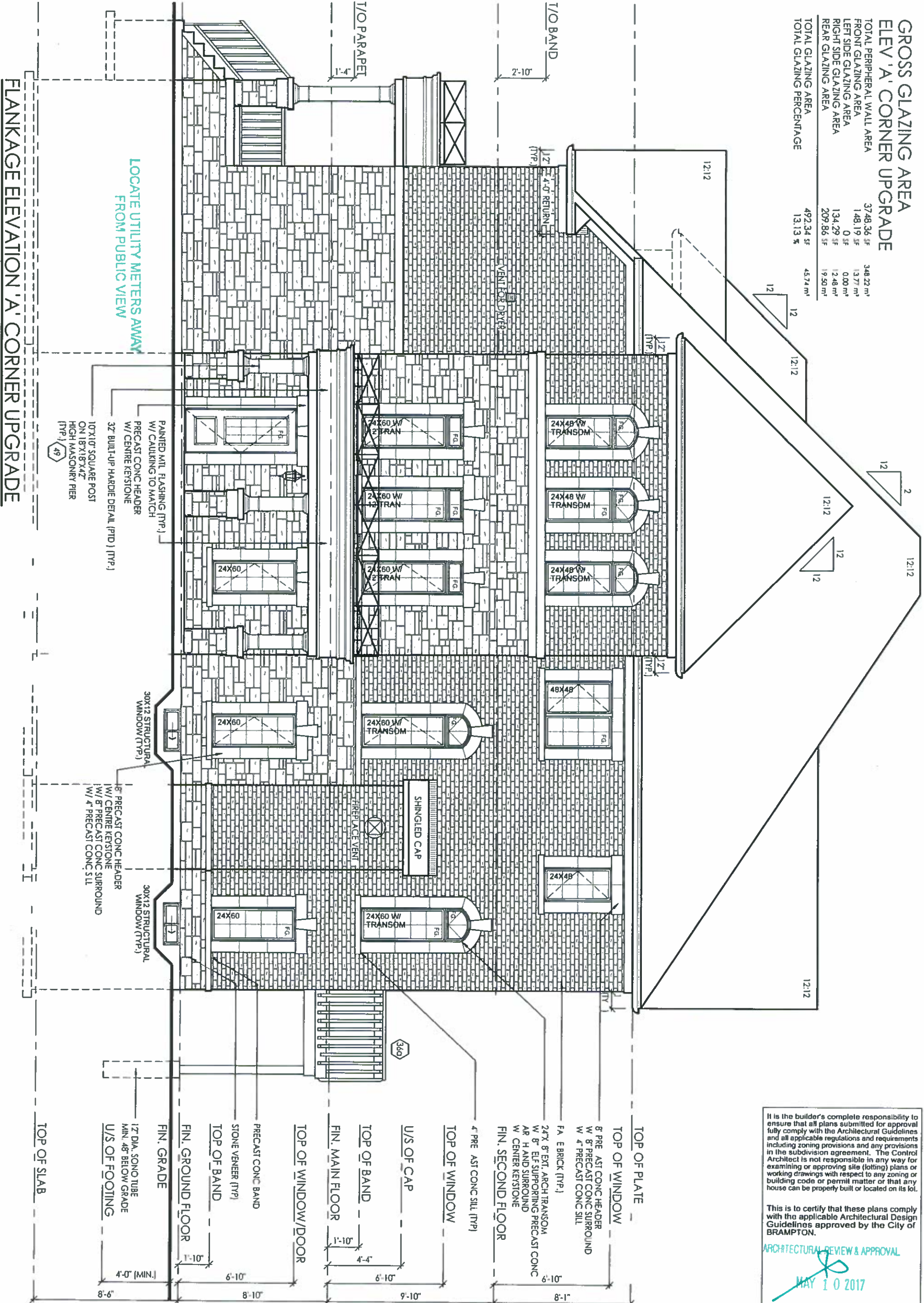


model
41-5
scale
3/16" = 1'0"
project #
13098

page
A21

GROSS GLAZING AREA
ELEV 'A' CORNER UPGRADE

TOTAL PERIPHERAL WALL AREA	37.48.36 SF	348.22 m²
FRONT GLAZING AREA	148.19 SF	13.77 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	134.29 SF	12.48 m²
REAR GLAZING AREA	209.86 SF	19.50 m²
TOTAL GLAZING AREA	492.34 SF	45.74 m²
TOTAL GLAZING PERCENTAGE	13.13 %	



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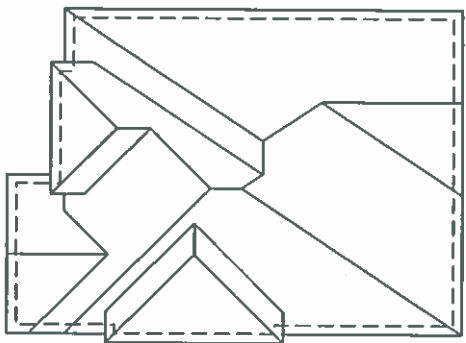
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A22

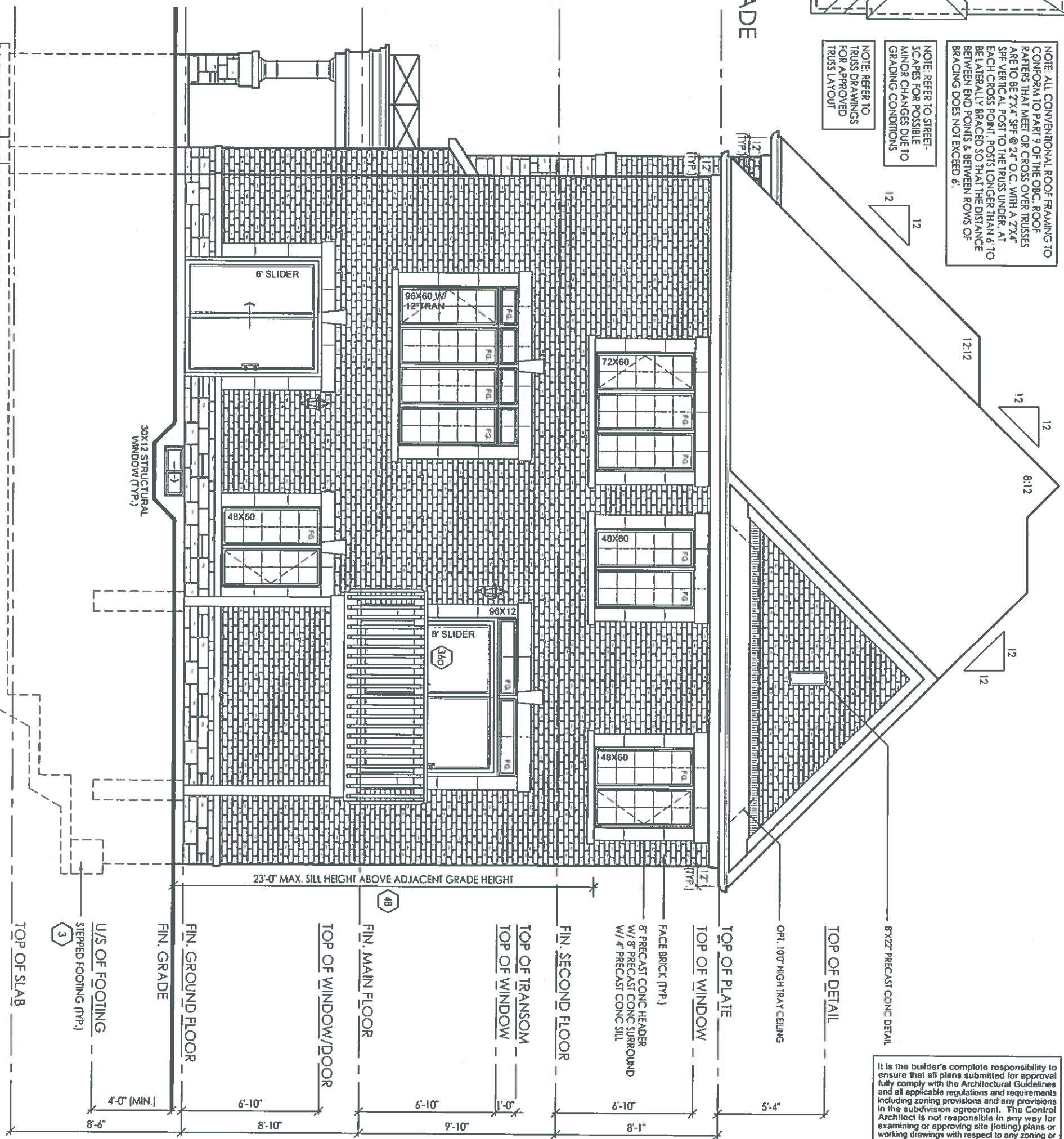


NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

ROOF PLAN 'A' CORNER UPGRADE



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MAY 10 2017

John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes
project
Mclaughlin and Mayfield
location
Brampton
marketing name
The Brahms

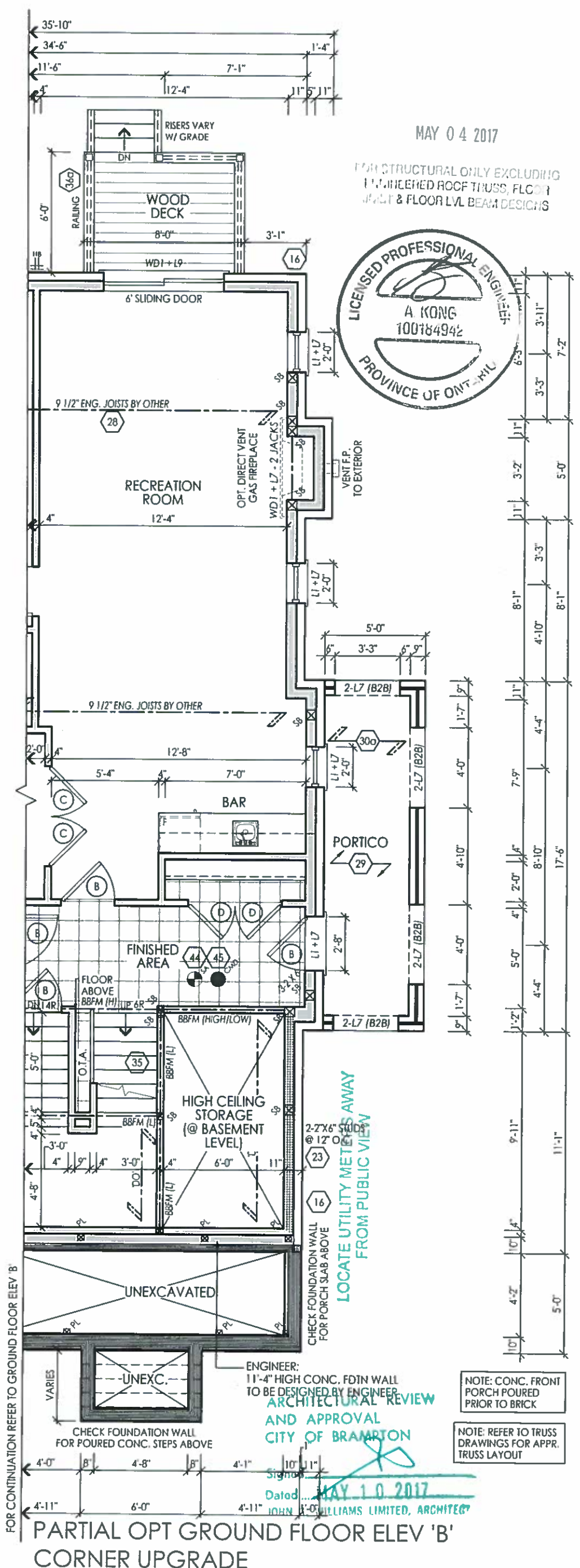
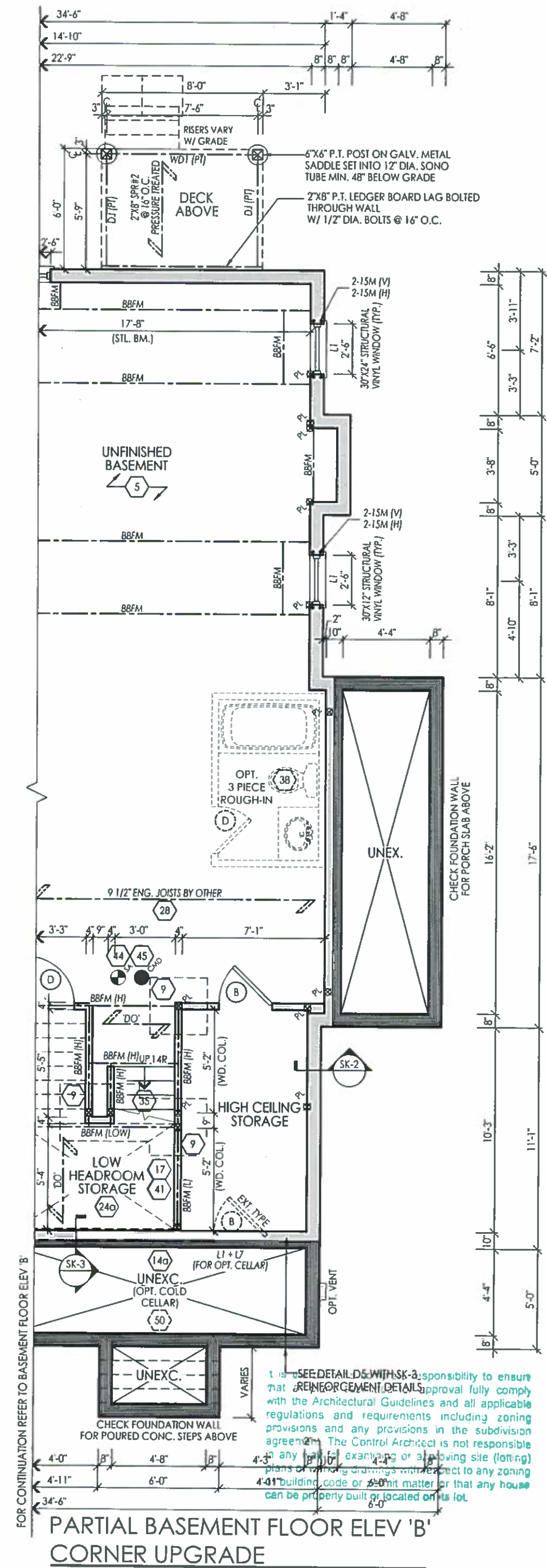
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1	ADDED CORNER UPGRADE	25-May-16	JR	JS	5				
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6				
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	7				
4					8				

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model
41-5
scale
3/16" = 1'0"
project #
13098

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MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



FOR CONTINUATION REFER TO BASEMENT FLOOR ELEV 'B'

FOR CONTINUATION REFER TO GROUND FLOOR ELEV 'B'

PARTIAL BASEMENT FLOOR ELEV 'B'
CORNER UPGRADE

PARTIAL OPT GROUND FLOOR ELEV 'B'
CORNER UPGRADE

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McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	11-AUG-16	SA	JA	5	REVISED PER OBC S8-12 2017 UPDATE	07-APR-17	ES	ES
2	REVISED PER FLOOR COORDINATION	17-AUG-16	JR	XX	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MA	JP
3	REVISED PER FLOOR COORDINATION/ISSUED FOR FINAL	1-DEC-16	JA	JA					
4	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	5-DEC-16	JA	JA					

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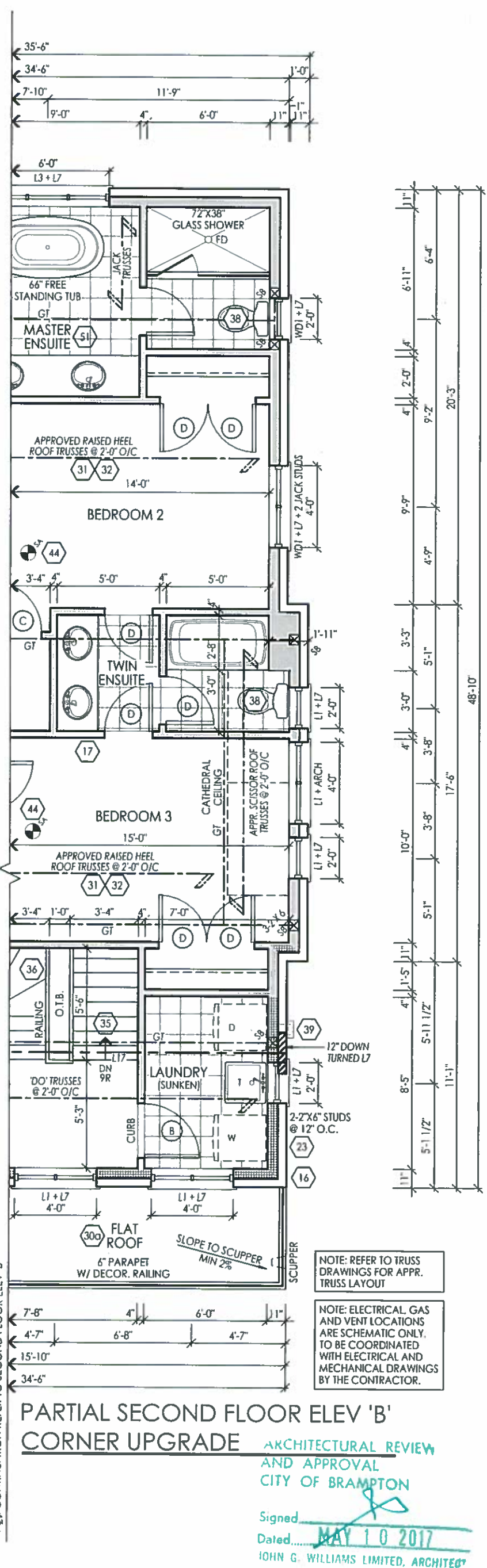
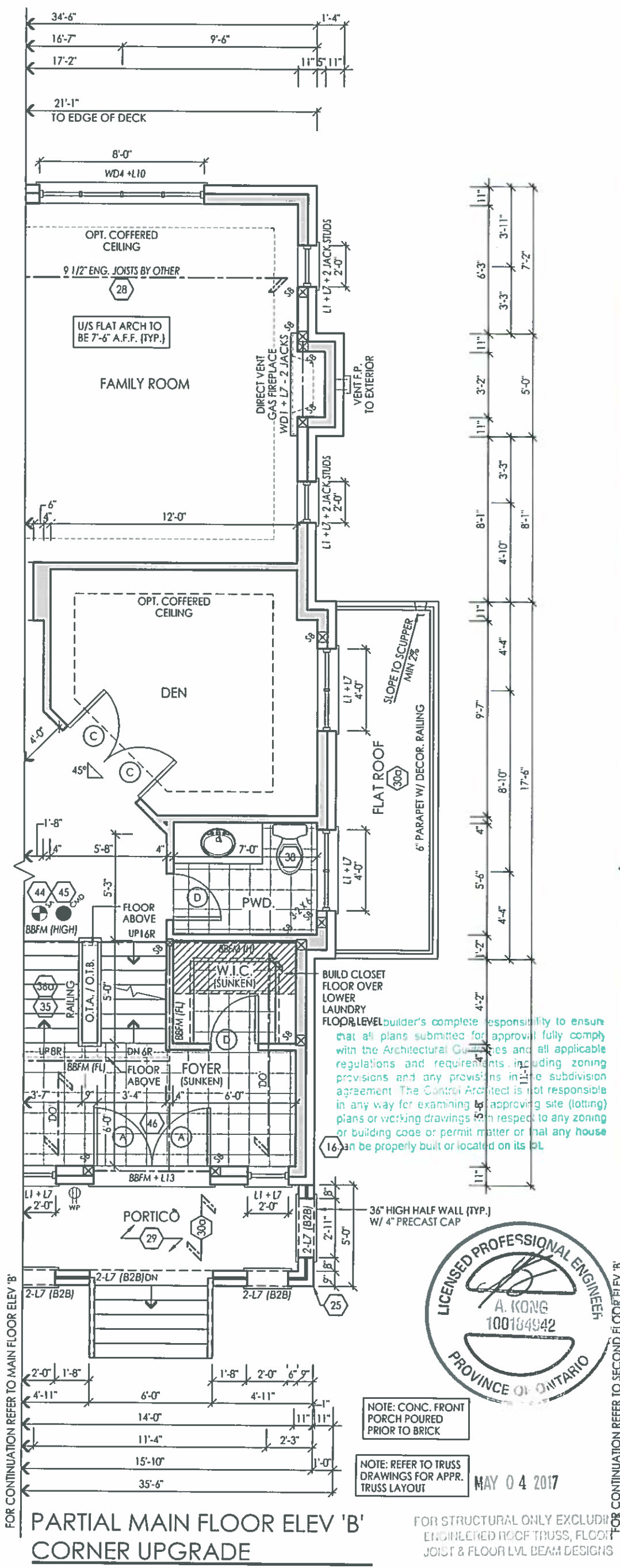
A24

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

ENGINEER:
11'-4" HIGH CONC. FDTN WALL
TO BE DESIGNED BY ENGINEER
ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Dated MAY 10 2017
JOHN A. WILLIAMS LIMITED, ARCHITECT



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FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE: *[Signature]*

client				location			
Gold Park Homes				Brampton			
project				marketing name			
McLaughlin and Mayfield				The Brahms			
revisions				revisions			
#	revisions	date	dwn	#	revisions	date	dwn
1	ISSUED FOR CLIENT REVIEW	11-AUG-16	SM	5	REVISED PER OBC SB-12 2017 UPDATE	07-APR-17	ES
2	REVISED PER FLOOR COORDINATION	17-AUG-16	JR	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	18-APR-17	MA
3	REVISED PER FLOOR COORDINATION/ISSUED FOR FINAL	1 DEC-16	JM				
4	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	3 DEC-16	JM				

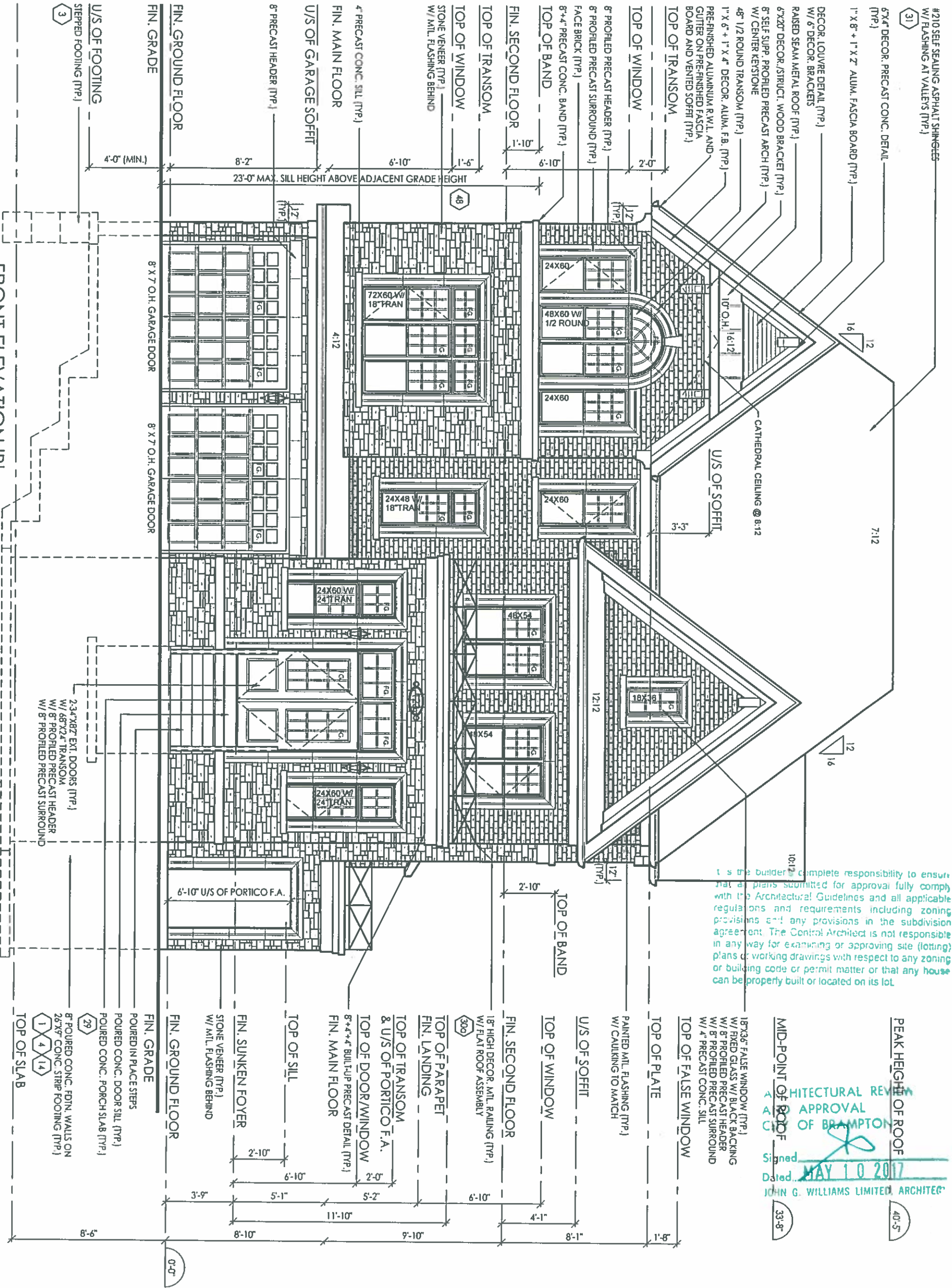


Signed *[Signature]*
Dated *[Signature]* MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

model 41-5
scale 3/16" = 1'0"
project # 13098

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FRONT ELEVATION 'B'
CORNER UPGRADE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

PEAK HEIGHT OF ROOF 40'-5"
MID-POINT OF ROOF 33'-8"
ARCHITECTURAL REVIEW
APPROVAL
CITY OF BRAMPTON
Signed
Dated MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

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client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	11-AUG-16	SM	JM					
2	ISSUED FOR PERMIT	5-DEC-16	JM	JM					
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	AAI	JP					

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model
41-5

scale
3/16" = 1'0"

project #
13098

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FLANKAGE ELEVATION 'B'
CORNER UPGRADE

LOCATE UTILITY METERS AWAY
FROM PUBLIC VIEW

ALLOWABLE UNPROTECTED OPENINGS

TOTAL WALL AREA	1,316.21 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	92.13 SF
ACTUAL OPENINGS	88.86 SF



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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed: 
Dated: MAY 10 2017
JOHN C. WILLIAMS LIMITED, ARCHITECT

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FIRM BCIN: 26795
DATE: 19-Apr-17

SIGNATURE: 

Client: Gold Park Homes
location: Brampton
project: Mclaughlin and Mayfield
marketing name: The Brahms

revisions				revisions			
#	date	dwn	chk	#	date	dwn	chk
1	11-AUG-16	SM	JM				
2	6-DEC-16	JM	JM				
3	19-APR-17	MM	JP				

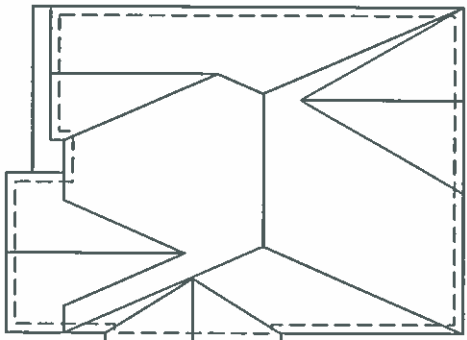
ARN design
Imagine - Inspire - Create



model: 41-5
scale: 3/16" = 1'0"
project #: 13098

page

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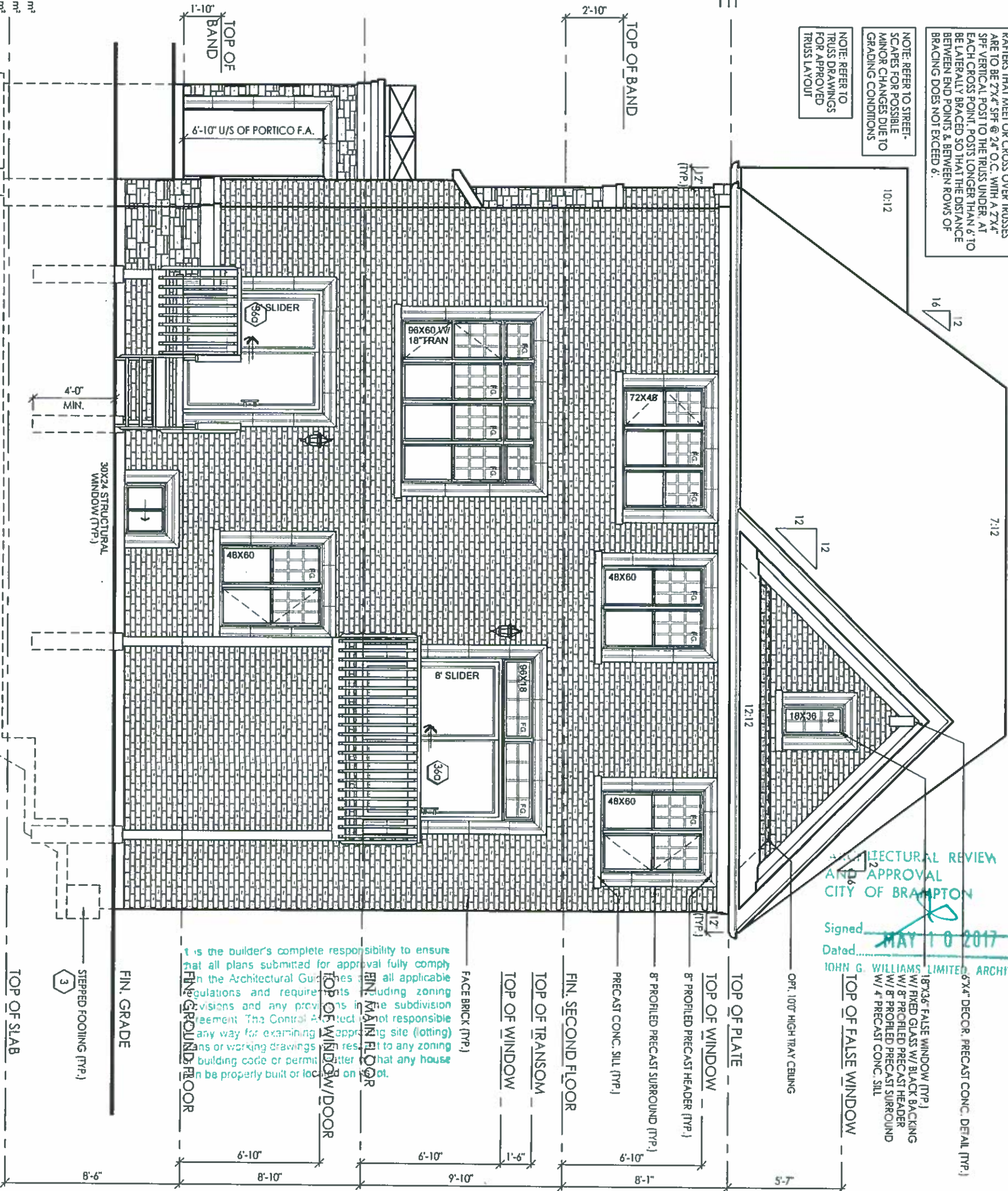


ROOF PLAN 'B'
CORNER UPGRADE

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



ARCHITECTURAL REVIEW AND APPROVAL CITY OF BRAMPTON

Signed: JOHN G. WILLIAMS LIMITED ARCHITECT
Dated: MAY 10 2017

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning divisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings. It is the responsibility of the building code or permit officer to ensure that any house can be properly built or located on the lot.

GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	4382.05 SF	407.09 m ²
FRONT GLAZING AREA	185.04 SF	17.19 m ²
LEFT SIDE GLAZING AREA	0 SF	0.00 m ²
RIGHT SIDE GLAZING AREA	179.5 SF	16.48 m ²
REAR GLAZING AREA	248.50 SF	23.09 m ²
TOTAL GLAZING AREA	613.04 SF	56.95 m ²
TOTAL GLAZING PERCENTAGE	13.99 %	

REAR ELEVATION 'B'
CORNER UPGRADE

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FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

location
Brampton

project
McLaughlin and Mayfield

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	11-AUG-16	SM	JM					
2	ISSUED FOR PERMIT	4-DEC-16	JM	JM					
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	AM	JP					

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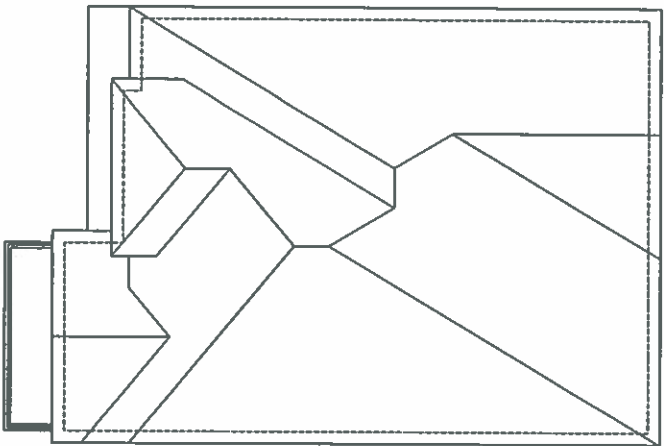
model
41-5

scale
3/16" = 1'0"

project #
13098

page

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ROOF PLAN 'B'
REAR UPGRADE

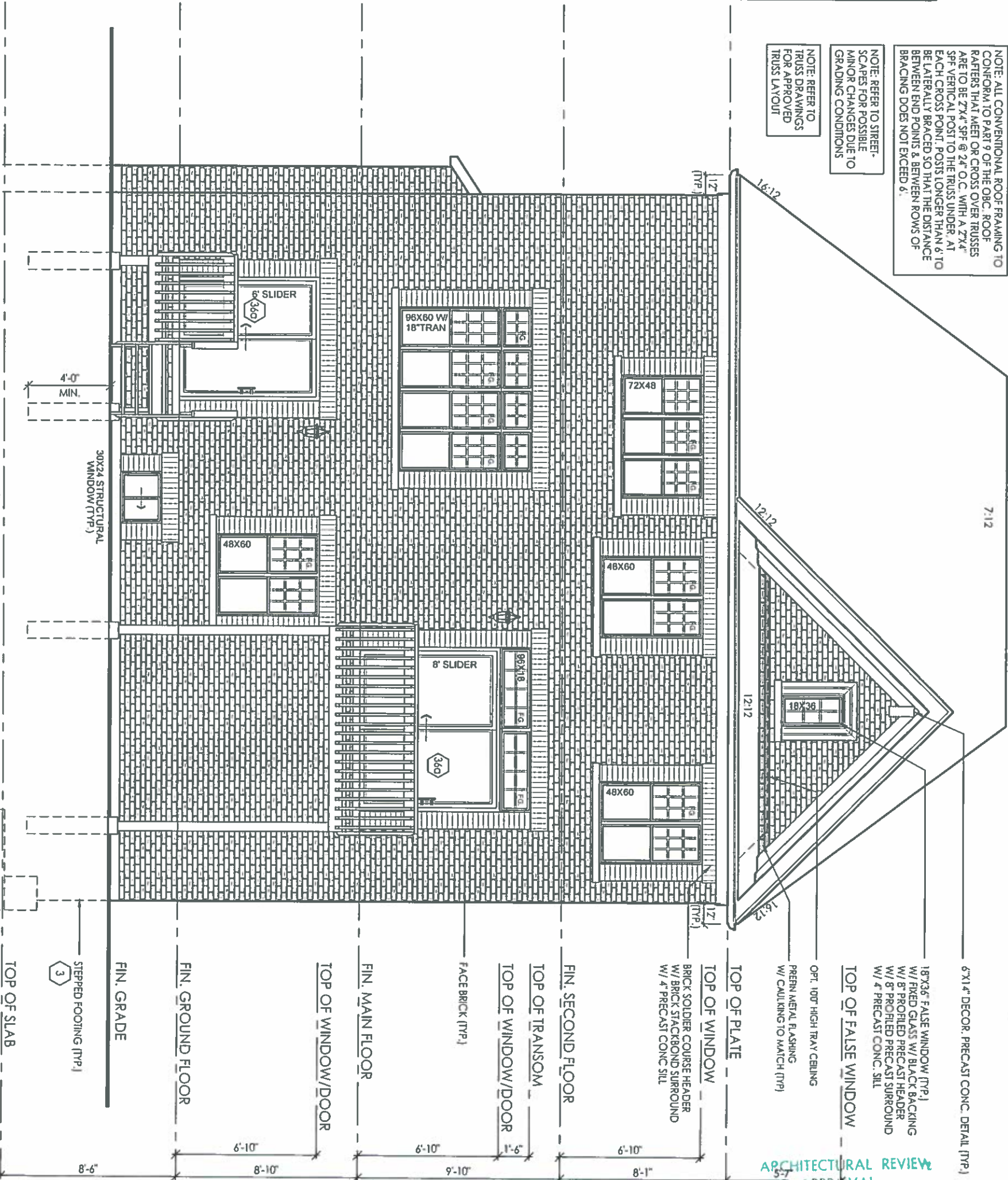
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for errors or omissions in these plans or for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

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NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed _____
Dated **MAY 10 2017**
JOHN G. WILLIAMS LIMITED, ARCHITECT

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project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP					
2	ISSUED FOR PERMIT	1-DEC-16	JM	JM					
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP					

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model
41-5

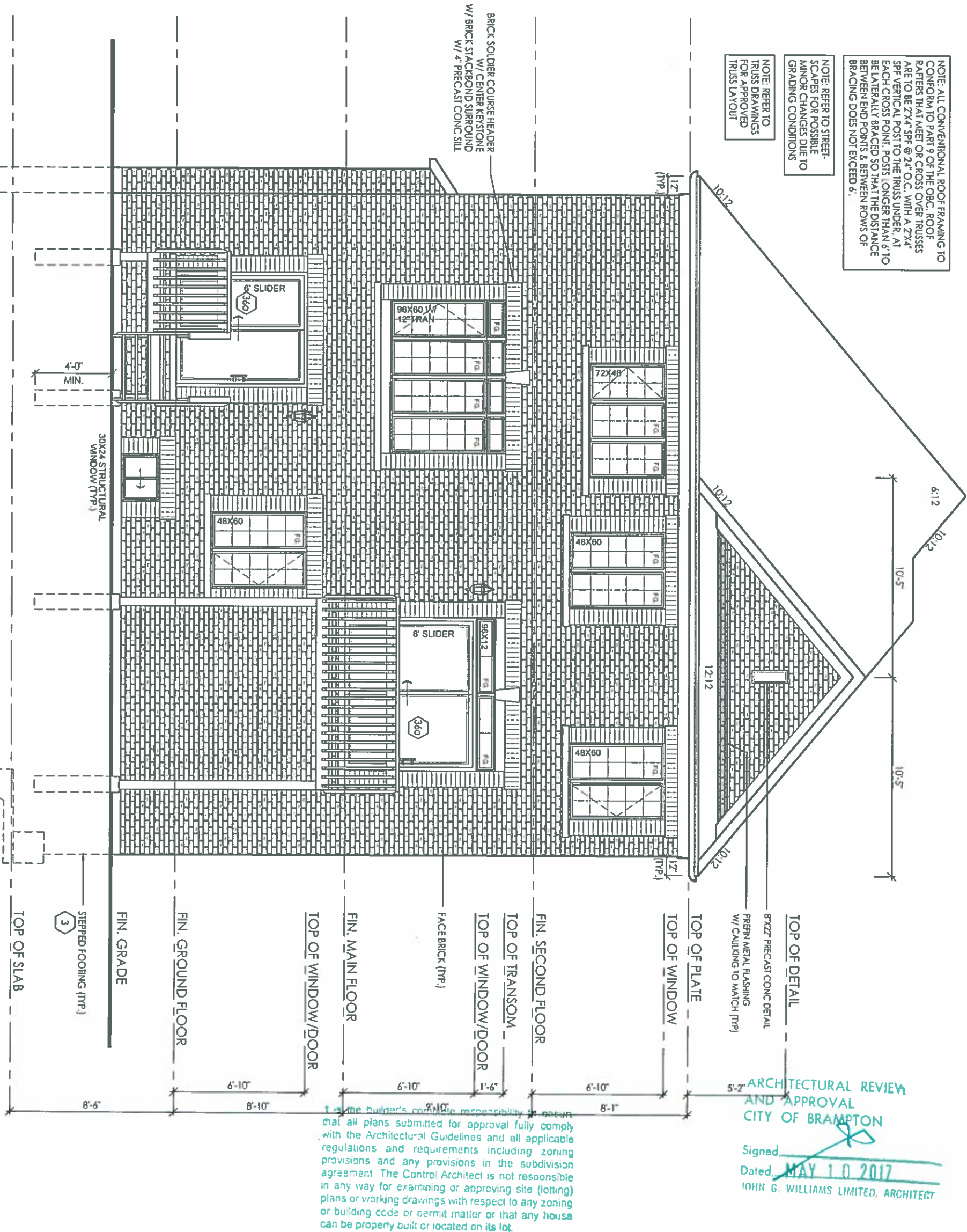
scale
3/16" = 1'0"

project #
13098

page

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WOD REAR UPGRADE ELEVATION 'A'



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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	09 MAY 17	JP	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19 APR 17	AIM	JP					

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model
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scale
3/16" = 1'0"

project #
13098

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.
-BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-FIG. 10 HAVE CONTINUOUS KEY
-FIG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER -1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING- -1 STOREY - 10" X 4" (255mm X 100mm)
-2 STOREY - 14" X 4" (360mm X 100mm)
-3 STOREY - 18" X 5" (460mm X 120mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY - 16" X 4" (410mm X 100mm)
-1 STOREY STUD - 12" X 4" (305mm X 100mm)
-2 STOREY MASONRY - 26" X 9" (660mm X 230mm)
-2 STOREY STUD - 18" X 5" (457mm X 130mm)
-3 STOREY MASONRY - 36" X 14" (914mm X 360mm)
-3 STOREY STUD - 24" X 8" (609mm X 200mm)

STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.
-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

BASEMENT SLAB:

O.B.C. 9.13. & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPOOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPOOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12-3.1.1.7 (5))
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPOOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPOOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7.(6))
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

GARAGE SLAB / EXTERIOR SLAB:

-4" (100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

PILASTERS:

O.B.C. 9.15.5.3.
PILASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.
OR
BEAM POCKET
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)
STRUCTURAL COLUMNS

-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mmX 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4"x4"x1/4" (100mmX 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)
COL SPACING: FIG SIZE:
2 STOREY
-MAX. 9'-10" (2997mm) - 34" X 34" X 16" (860mmX 860mmX 400mm)
-MAX. 16'-0" (4880mm) - 44" X 44" X 21" (1120mmX 1120mmX 530mm)
3 STOREY
-MAX. 9'-10" (2997mm) - 40" X 40" X 19" (1010mmX 1010mmX 480mm)
-MAX. 16'-0" (4880mm) - 51" X 51" X 24" (1295mmX 1295mmX 610mm)
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

CLIENT SPECIFIC REVISIONS

WOOD COLUMN:

OBC 9.17.4.1, 9.17.4.2, & 9.17.4.3.
-5 1/2" x 5 1/2" (140mm x 140mm) SOLID WOOD COLUMN - OR
-3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER
W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 6 MIL POLY
-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9'-10" COL SPACING)
-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/ 9'-10" COL SPACING)

BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2"x8"x12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11
WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"x11"x 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

FOUNDATION WALL:

O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- 1.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL
REDUCTION OF THICKNESS:
O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPOOFING & WATERPROOFING:

-DAMPPOOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.
-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-BRACE W/ CONT. 16 GAUGE STEEL T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD.
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR
-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

client

Gold Park Homes

project

Mclaughlin and Mayfield

location

Brampton

marketing name

The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	tk	RFA	5				
2	ISSUED FOR PERMIT	1/26/2016	JP	JP	6				
3	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	es	es	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MAA	JP	8				

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

model

41-5

scale

3/16" = 1'0"

project #

13098

page

D1

- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- 17** **INTERIOR STUD WALLS:**
- O.B.C. 1.9.23.10.1.
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 18** **BEARING STUD WALL (BASEMENT):**
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL 2" X 4" OR 2" X 6" TOP PLATE.
- 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB
- 19** **PARTY WALL - BLOCK:**
- O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- 19a** **PARTY WALL - BLOCK (AGAINST GARAGE):**
- O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REQ. INSULATION VALUES:
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- | | |
|-----------------------------|---------|
| -RIGID INSULATION | = 20.00 |
| -LOW DENSITY CONCRETE BLOCK | = 1.70 |
| -WOOD FRAME W/ GYPSUM | = 2.72 |
| -AIR FILM - MOVING | = 0.68 |
| -AIR FILM - STILL | = 0.17 |
| TOTAL "R" VALUE | = 25.27 |
- 19b** **FIREWALL:**
- O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. 1.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
- EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)
- 20** **PARTY WALL - FOUNDATION:**
- O.B.C. 9.15.4.2.
- 7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- 21** **PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- 2 ROWS 2"x4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- 22** **GARAGE WALL & CEILING:**
- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS.
- R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
- 22a** **WALLS ADJACENT TO ATTIC SPACE:**
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.
- 23** **DOUBLE VOLUME WALLS:**
- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
- SOUND BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

- 24** **EXPOSED FLOOR:**
- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT
- 24a** **SUNKEN FINISHED AREAS:**
- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.
- 25** **DOUBLE MASONRY WYTHE WALL:**
- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.
- 25a** **CORBEL MASONRY VENEER:**
- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)
- FLOOR ASSEMBLIES:**
- 26** **SILL PLATE:**
- O.B.C. 9.23.7.
- 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.
- 27** **BRIDGING & STRAPPING:**
- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- d) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.
- 28** **FLOOR ASSEMBLY:**
- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS
- 29** **PORCH SLAB:**
- O.B.C. 9.39.1.4.
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
- IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
- 30** **EXTERIOR BALCONY ASSEMBLY:**
- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- EXTERIOR GUARD AS PER #36a
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
- REQUIRED FOR OVER HEATED SPACES:**
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-1.9.29.5.3.)
- 30a** **EXTERIOR FLAT ROOF ASSEMBLY:**
- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
- 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:**
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)
- ROOF ASSEMBLIES**
- 31** **TYPICAL ROOF:**
- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.
- 32** **CEILING:**
- R60 (RSI 10.56) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)
- 32a** **VAULTED OR CATHEDRAL CEILING:**
- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR

-2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)

-R31 (RSI 5.46) INSULATION

-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD

33 **CONVENTIONAL FRAMING:**

O.B.C. TABLE A6 OR A7

-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)

-2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS

-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 **ATTIC ACCESS HATCH:**

OBC 9.19.2.1. & SB-12.3.1.1.B.(1)

-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

GENERAL:

35 **PRIVATE STAIRS:**

O.B.C. 9.8.4.

-MAX. RISE	= 7-7/8"	(200mm)
-MIN. RUN	= 8-1/4"	(210mm)
-MIN. TREAD	= 9-1/4"	(235mm)
-MAX. NOSING	= 1"	(25mm)
-MIN. HEADROOM	= 6'-5"	(1950mm)
-MIN. WIDTH	= 2'-10"	(660mm)
(BETWEEN WALL FACES)		
-MIN. WIDTH	= 2'-11"	(900mm)
(EXIT STAIRS, BETWEEN GUARDS)		
ANGLED TREADS:		
-MIN. RUN	= 5 7/8"	(150mm)
-MIN. AVG. RUN	= 7 7/8"	(200mm)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS		
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE		
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2		
-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE		

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS

-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS

-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

35a **PUBLIC STAIRS:**

O.B.C. 9.8.4.

-MAX. RISE	= 7-3/32"	(180mm)
-MIN. RUN	= 11"	(280mm)
-MIN. TREAD	= 11"	(280mm)
-MAX. NOSING	= 1"	(25mm)
-MIN. HEADROOM	= 6'-9"	(2050mm)
-MIN. WIDTH	= 2'-11"	(900mm)
(EXIT STAIRS, BETWEEN GUARDS)		
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS		
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2		
-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE		

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)

-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH

-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.

-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS)

- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6

- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

O.B.C. 9.8.7.3

- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FINISH:

O.B.C. 9.8.9.6

-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)

- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

36 **INTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.

-GUARDS TO BE 3'-6" (1070mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36a **EXTERIOR GUARDS:**

O.B.C. SB-7 & 9.8.8.3.

-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).

-GUARDS TO BE 3'-6" (1070mm)

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.

-PICKETS TO HAVE 4" (100mm) MAX. SPACING

-PROVIDE MID-SPAN POSTS AS PER SB-7.

-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	jk	RPA	5				
2	ISSUED FOR PERMIT	1/26/2016	JP	JP	6				
3	REVISED AS PER OBC SB-12 2017 UPDATE	7-Apr-17	as	as	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				

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model
41-5

scale
3/16" = 1'0"

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13098

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D2

