



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT PLAN ELEV. 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PARTIAL OPT. ENSUITE
- A5 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A6 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR ELEVATION 'A' & 'B'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 LEFT SIDE ELEVATION 'B'
- A13 TYPICAL CROSS SECTION
- A14 PART. BASEMENT PLAN ELEV. 'A' & 'B' WOD CONDITION
- A14 PART. GROUND FLOOR PLAN ELEV. 'A' & 'B' WOD CONDITION
- A15 PARTIAL REAR ELEVATION 'A' & 'B' WOD CONDITION
- A16 REAR UPGRADE ELEVATION 'A' LOT 129
- A17 REAR UPGRADE ELEVATION 'A' LOT 123
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	1098.6	102.1	1098.6	102.1
SECOND FLOOR PLAN	1457.8	135.4	1474.8	137.0
SECOND FLOOR PLAN OTB	(2.2)	(0.2)	(2.2)	(0.2)
TOTAL AREA	2554.2	237.3	2571.2	238.9
COVERAGE INC PORCH	1541.5	143.2	1541.5	143.2
COVERAGE NOT INC PORCH	1491.1	138.5	1491.1	138.5

Gold Park Homes
Mclaughlin and
Mayfield
The Strauss

File C:\RN_Standards\comp\AsP\B\A\ 9452113035 - 41-1 FINAL.dwg Plotted: May 03, 2017 By: Lauren O

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

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client
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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30-JAN-15	CR	DJH	5	ISSUED FOR PERMIT	1/26/2016	HZ	JP
2	ROOF TRUSS COORDINATION	14-May-15	RPA	DJH	6	ADDED WOD CONDITION FOR REVIEW	29-MAY-16	SM	JP
3	REVISED BASEMENT AS PER UPDATED FLOOR JOIST LAYOUTS	15-Sep-15	CR	CR	7	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP
4	REVISED PER ENG. COMMENTS & FLOOR COORDINATION	15-JAN-16	SM	JM	8	REVISED AS PER OBC SB-12 2017 UPDATE	6-Apr-17	ES	ES
					9	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	AM	JP

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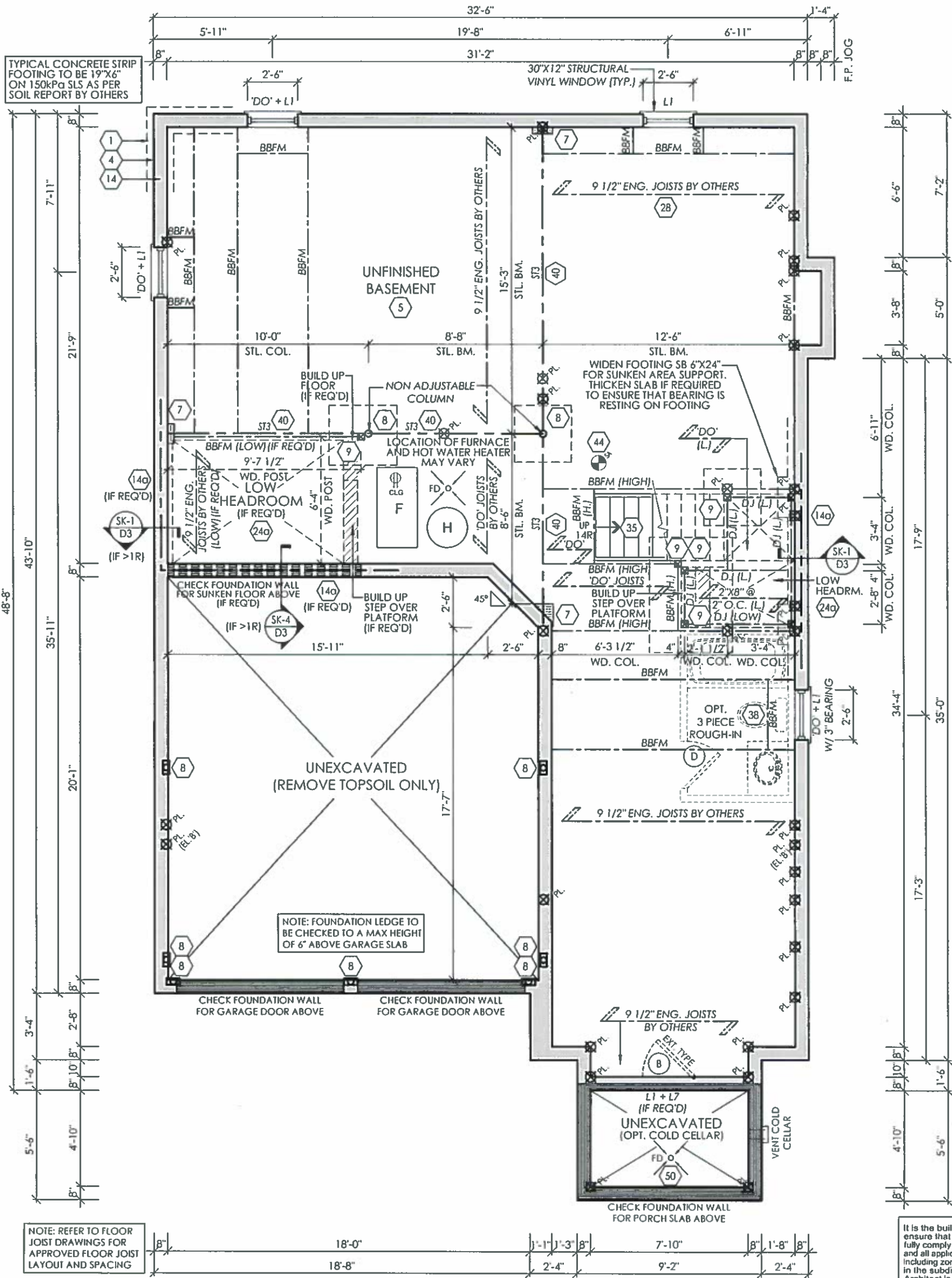
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3/16" = 1'0"

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A0



BASEMENT PLAN ELEV. 'A' & 'B'

MAY 04 2017

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ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGN



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

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2	REVISED AS PER UPDATED FLOOR JOIST LAYOUTS	15-SEP-17	5	CR	CR	6	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	NM JP
3	REVISED PER ENG. COMMENTS & FLOOR COORDINATION	15-JAN-17	6	SM	JM	7			
4	ISSUED FOR PERMIT	1/26/2017	6	HZ	JP	8			

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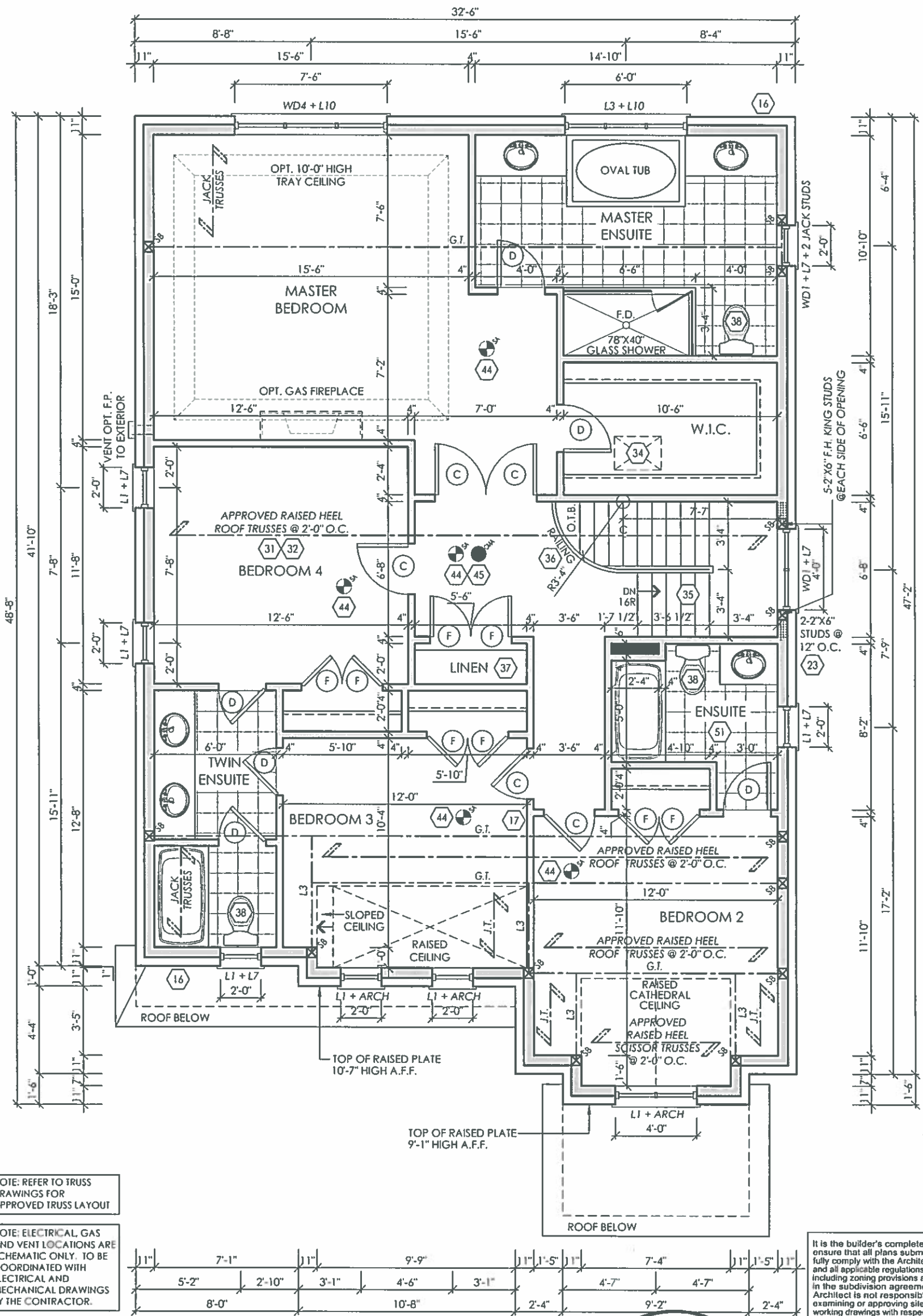
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scale
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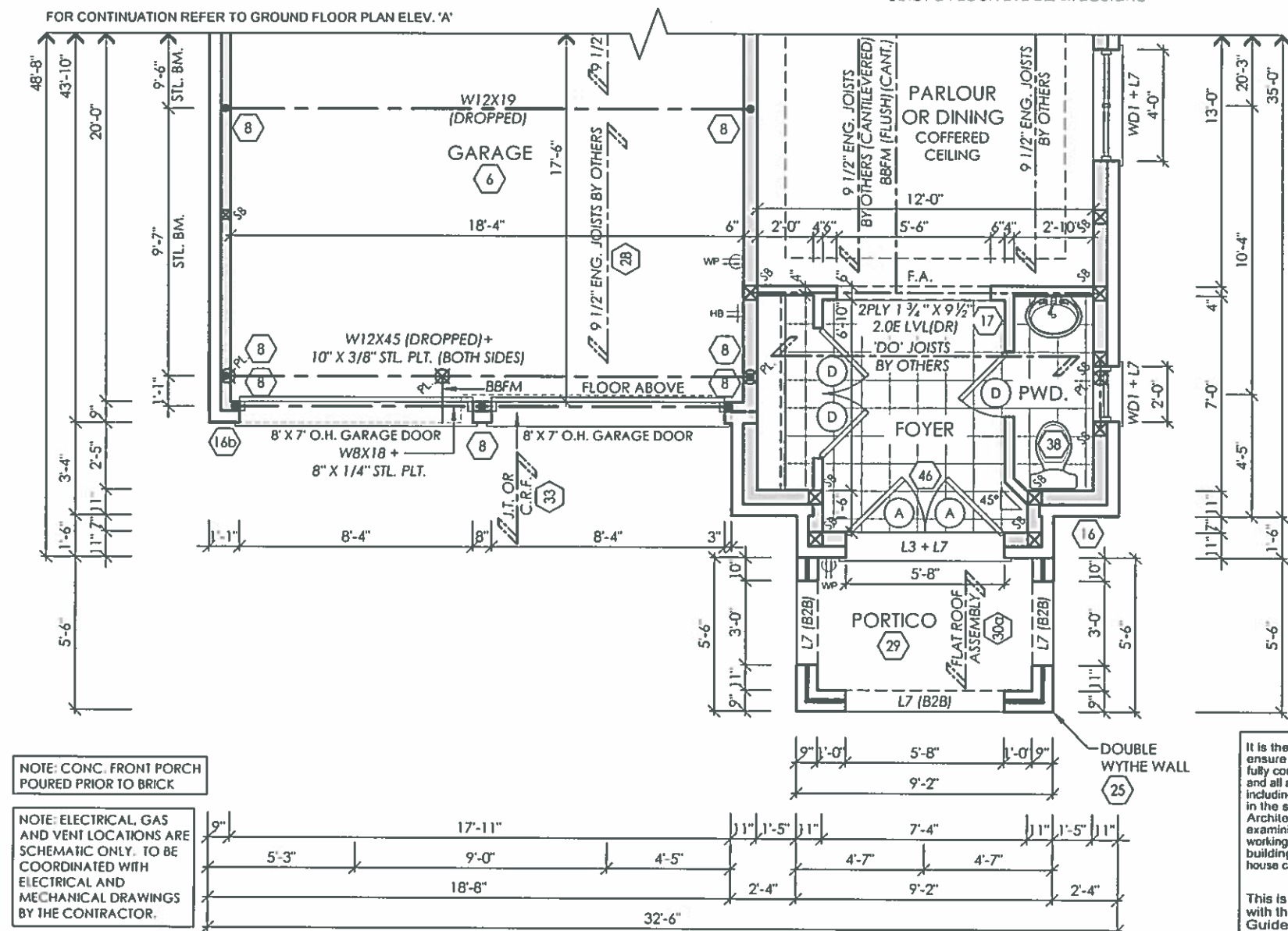
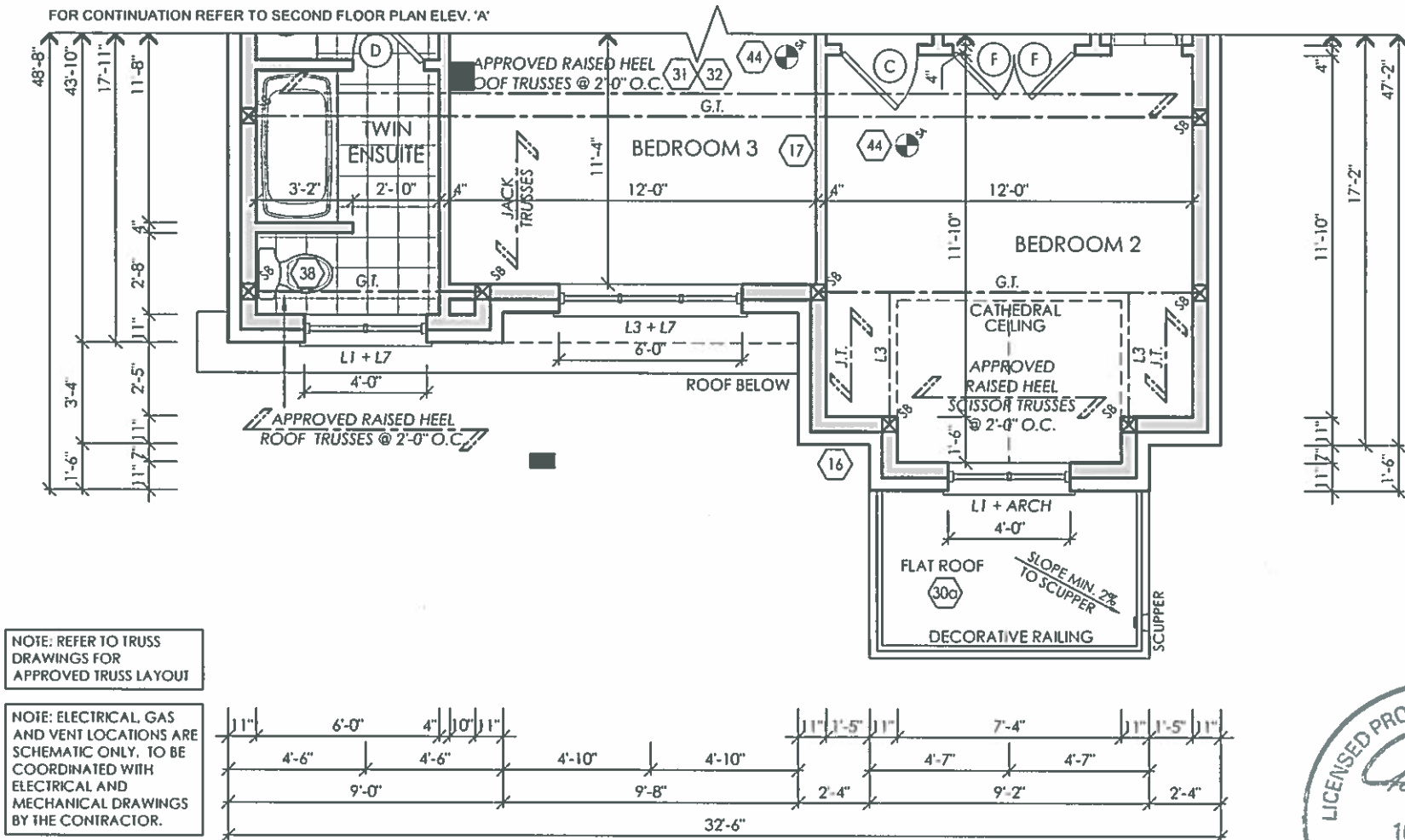
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A circular professional seal for a Licensed Professional Engineer in the Province of Ontario. The seal features a stylized signature 'A. Kong' and the license number '100184942' in the center. The text 'LICENSED PROFESSIONAL ENGINEER' is curved along the top, and 'PROVINCE OF ONTARIO' is curved along the bottom.

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JOIST & FLOOR LVL BEAM DESIGNS

John G. Williams Limited, Architect

A4



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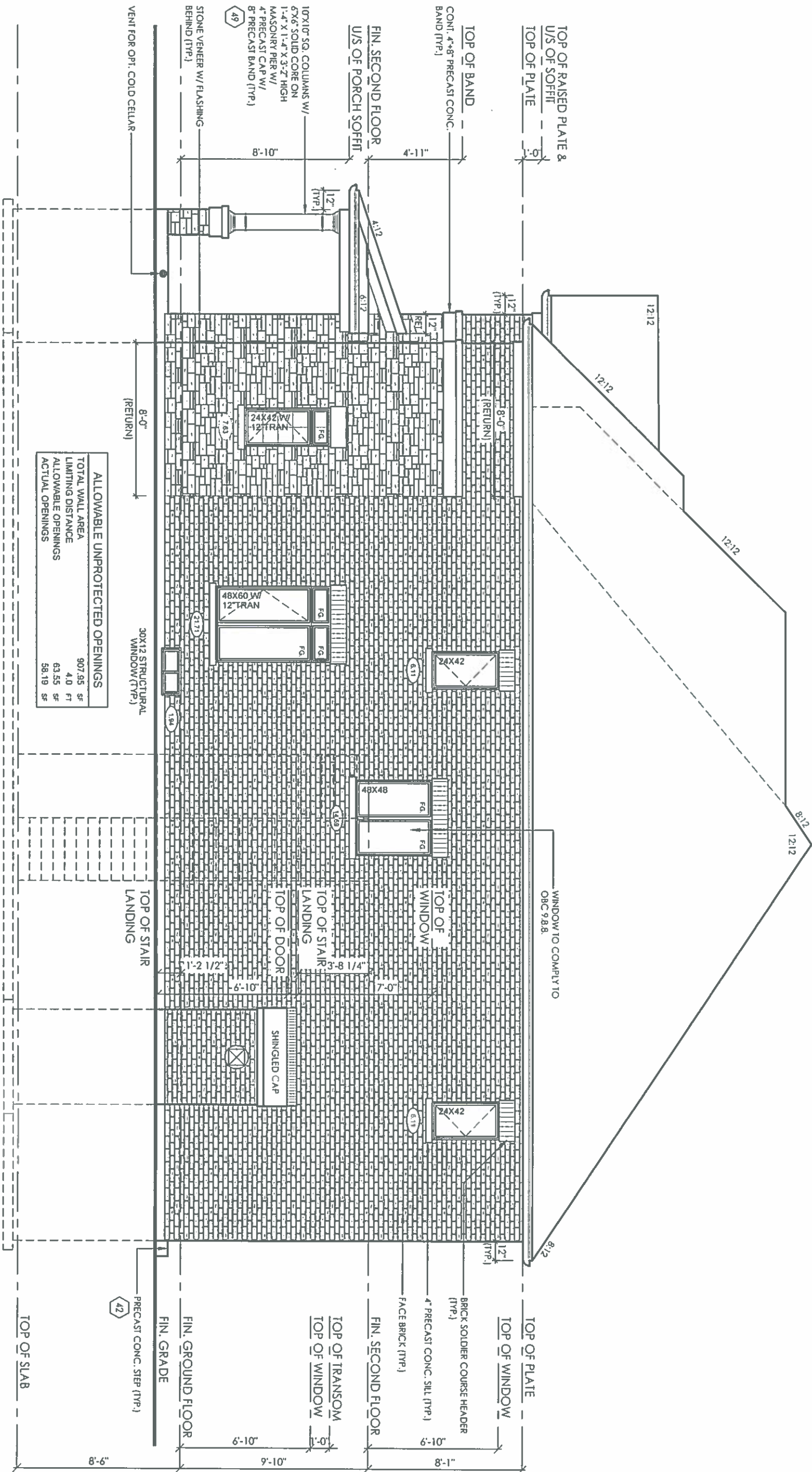
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RIGHT SIDE ELEVATION 'A'



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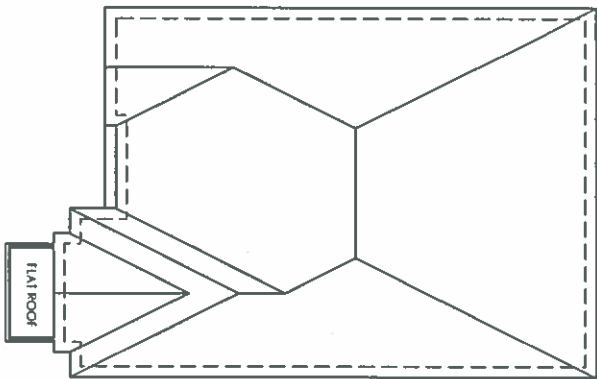
A7

This architectural elevation drawing shows the front facade of a building. The structure features a brick masonry finish. Key elements include:

- Roofline:** A gabled roof with a peak height of 8'-12". The roof pitch is indicated as 16:12 on the left and 12:12 on the right.
- Floor Levels:** The drawing indicates the "FIN. GROUND FLOOR" and "FIN. SECOND FLOOR".
- Windows:**
 - A large central window labeled "8' SLIDER".
 - Two smaller windows flanking the slider, each labeled "60X60 W/ 12'TRAN".
 - Three small square windows above the slider, each labeled "FG."
 - Three small square windows below the slider, each labeled "FG."
 - Two small square windows at the top corners, each labeled "72X42".
 - Two small square windows at the bottom corners, each labeled "90X48".
- Structural Details:**
 - "30X12 STRUCTURAL WINDOW (TYP.)" labels are placed near the top corners.
 - "PRECAST CONC. STEP (TYP.)" is noted near the base.
 - "BRICK SOLDIER COURSE HEADER (TYP.)" and "FACE BRICK (TYP.)" describe the masonry construction.
 - "4" PRECAST CONC. SILL (TYP.)" is noted near the base of the windows.
- Dimensions:**
 - Overall width: 8'-10"
 - Overall height: 8'-12"
 - Window heights: 6'-10", 8'-0", 8'-10", 8'-1"
 - Slab thickness: 12"
- Other Labels:**
 - "TOP OF PLATE", "TOP OF WINDOW", "TOP OF TRANSOM", "TOP OF SLAB", "LINE OF ROOF FOR EL. '8' ONLY", "OPT. 100' HIGH TRAY CEILING".

John G. Williams Limited, Architect

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ROOF PLAN EL. 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES w/ FLASHING AT VALLEYS (TYP.)

31

6"x4" DECOR. PRECAST CONC. DETAIL (TYP.)

1" X 8" + 1" X 2" ALUM. FASCIA BOARD (TYP.)

1" X 6" + 1" X 4" DECOR. ALUM. FRIEZE BOARD (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

TOP OF PLATE

1" X 6" DECOR. ALUM. FRIEZE BOARD (TYP.)

8" PROFILED PRECAST CONC. SURROUND (TYP.)

FACE BRICK (TYP.)

4" PRECAST CONC. SILL (TYP.)

PAINTED METAL FLASHING w/ CAULKING TO MATCH (TYP.)

U/S OF GARAGE SOFFIT

8" PRECAST CONC. HEADER w/ CENTER KEYSTONE (TYP.) STONE VENEER w/ FLASHING BEHIND (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

U/S OF FOOTING

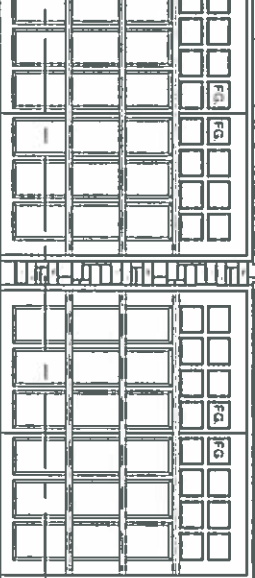
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STEPPED FOOTING (TYP.)

4'-0" (MIN.)

8' X 7' O.H. GARAGE DOOR

8' X 7' O.H. GARAGE DOOR



FRONT ELEVATION 'B'

PEAK HEIGHT OF ROOF

33'-5"

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MIDPOINT OF ROOF

25'-11"

LINE OF INTERIOR CATHEDRAL CEILING (8:12 SLOPE)

48" DIA. HALF ROUND TRANSOM w/ 8" PROFILED PRECAST CONC. SURROUND w/ CENTER KEYSTONE

1" X 4" + 1" X 4" DECOR. ALUM. FRIEZE BOARD (TYP.)

12"x10" DECOR. PRECAST CONC. CORNICE DETAIL (TYP.)

TOP OF PLATE

TOP OF WINDOW

TOP OF BAND

CONT. 4"x8" PRECAST CONC. BAND (TYP.)

16" PREFIN. MIL. DECOR. RAILING

4"x4"x8" PRECAST CONC. DETAIL

TOP OF PARAPET

FIN. SECOND FLOOR

TOP OF TRANSOM & U/S OF FLAT ARCH

TOP OF DOOR

EXTERIOR: 8" PROFILED PRECAST CONC. SURROUND w/ PRECAST CENTER KEYSTONE

INTERIOR: 20'-34" X 82" EXT. DOORS w/ FINED GLASS INSERTS w/ 48" X 18" TRANSOM w/ 8" PROFILED PRECAST CONC. SURROUND

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. DOOR SILL

POURED CONC. PORCH SLAB

8" POURED CONC. FDN WALLS ON 19"x6" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

8'-6"

9'-10"

8'-10"

6'-10"

1'-6"

11'-2"

0'-0"

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DATE: 19-Apr-17

SIGNATURE:

client					location				
Gold Park Homes					Brampton				
project					marketing name				
McLaughlin and Mayfield					The Strauss				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30-JAN-17	CR	DJH	5				
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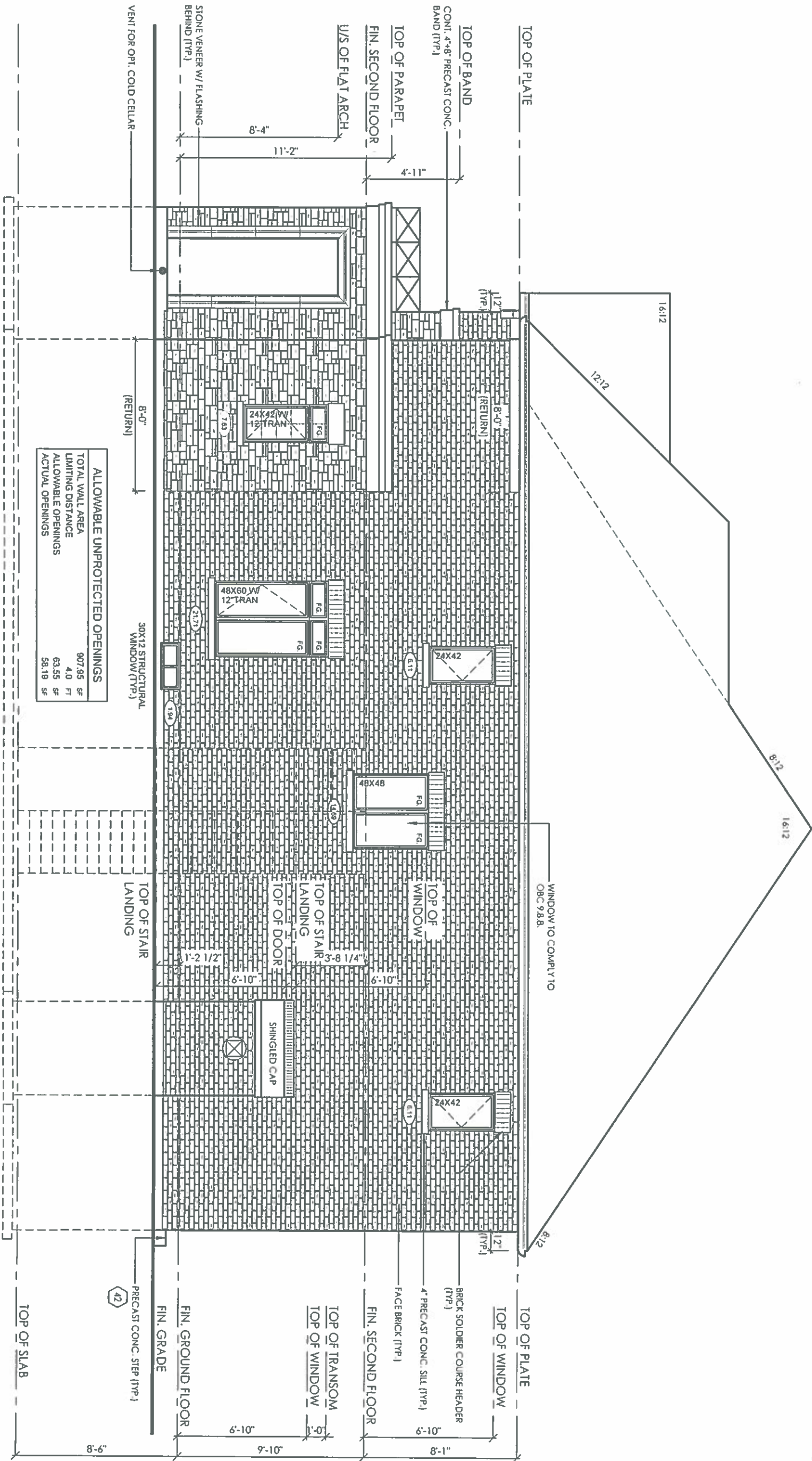
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project # 13098

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RIGHT SIDE ELEVATION 'B'



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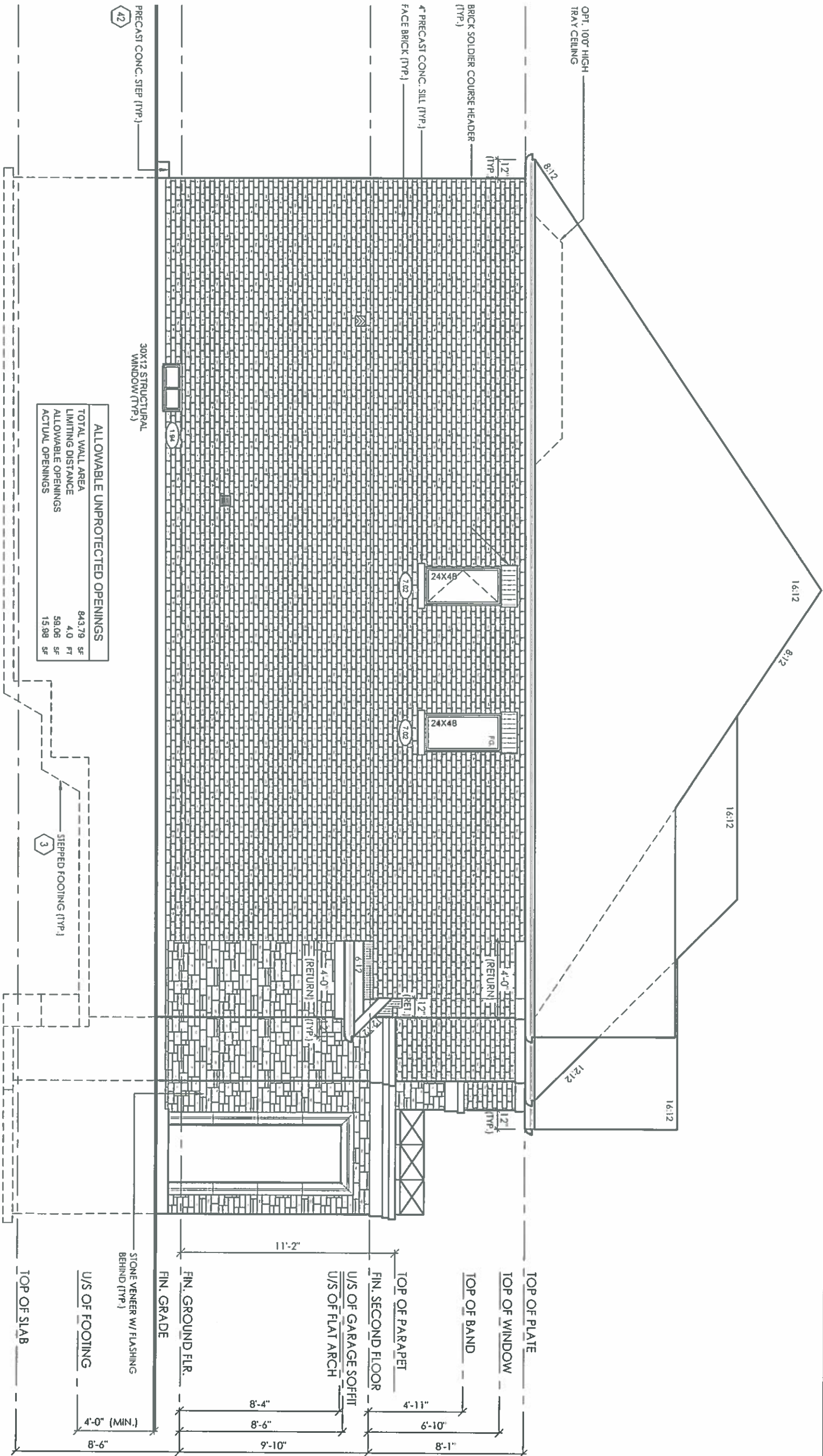
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LEFT SIDE ELEVATION 'B'



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A12

The elevation drawing shows a roof structure with the following dimensions and features:

- Top Section:**
 - Overall width: 32'-6"
 - Left overhang: 5'-11"
 - Central span: 19'-8"
 - Right overhang: 6'-11"
 - Right edge slope: 1'-4"
- Structural Elements:**
 - Two vertical support lines are shown within the 19'-8" span.
 - A horizontal line is drawn 8" below the top edge on the left.
 - A horizontal line is drawn 8" below the top edge on the right.
- Bottom Section:**
 - Overall width: 10'-0"
 - Left overhang: 9'-7"
 - Central span: 8'-6"
 - Right overhang: 3"
 - Right edge slope: 3"
- Labels:**
 - FP, JOG (Front Porch, Joint Opening) is labeled on the right side.

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JOIST & FLOOR LVL BEAM DESIGNS



Signed _____
Dated MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

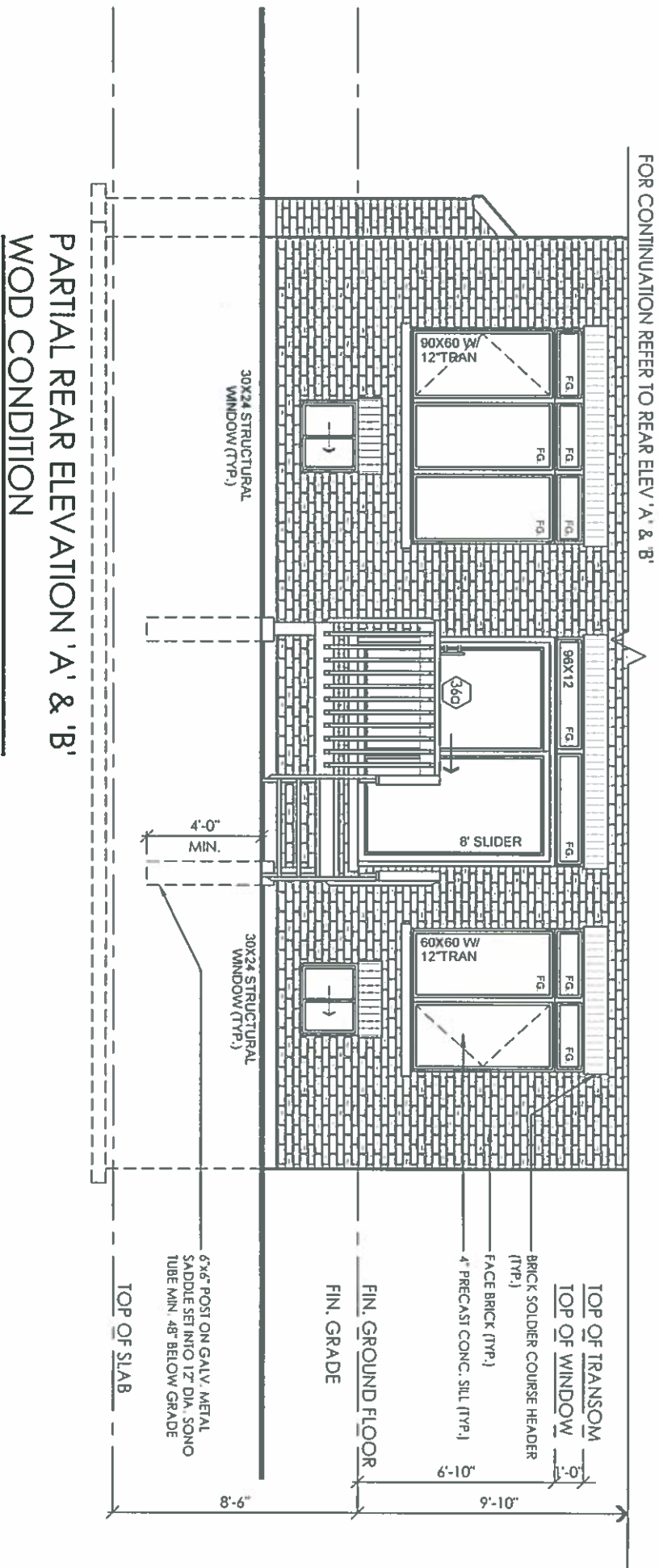
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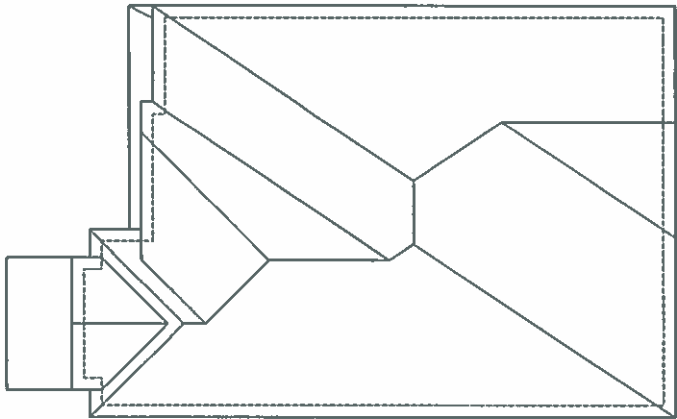
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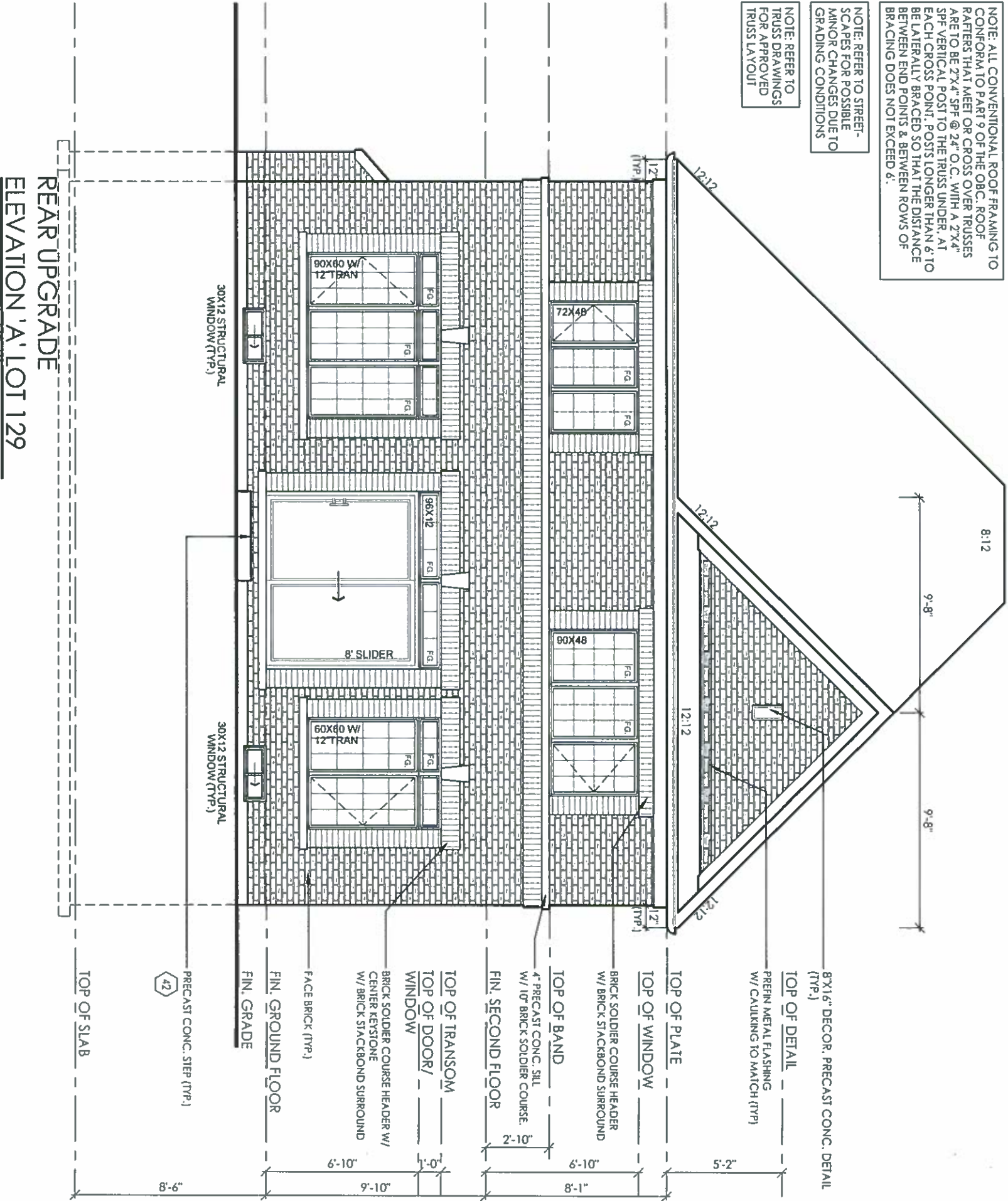


ROOF PLAN 'A'
REAR UPGRADE

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SP- VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:

38688
26995

SIGNATURE:

J. Pinzon

client
Gold Park Homes

project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	17-OCT-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	18-APR-17	AMM	JP					

location
Brampton

marketing name
The Strauss

RN design
Imagine • Inspire • Create



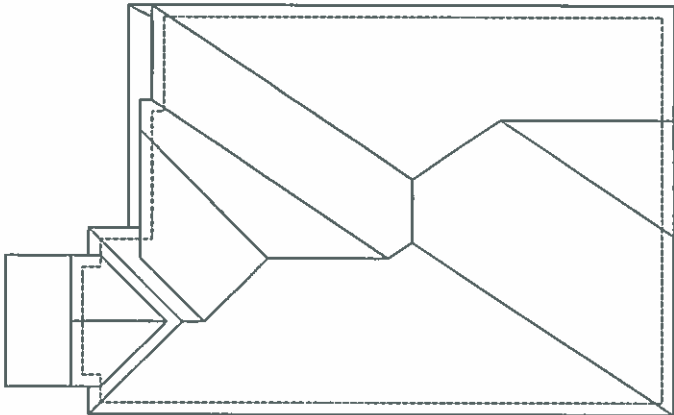
model
41-1

scale
3/16" = 1'0"

project #
13098

page

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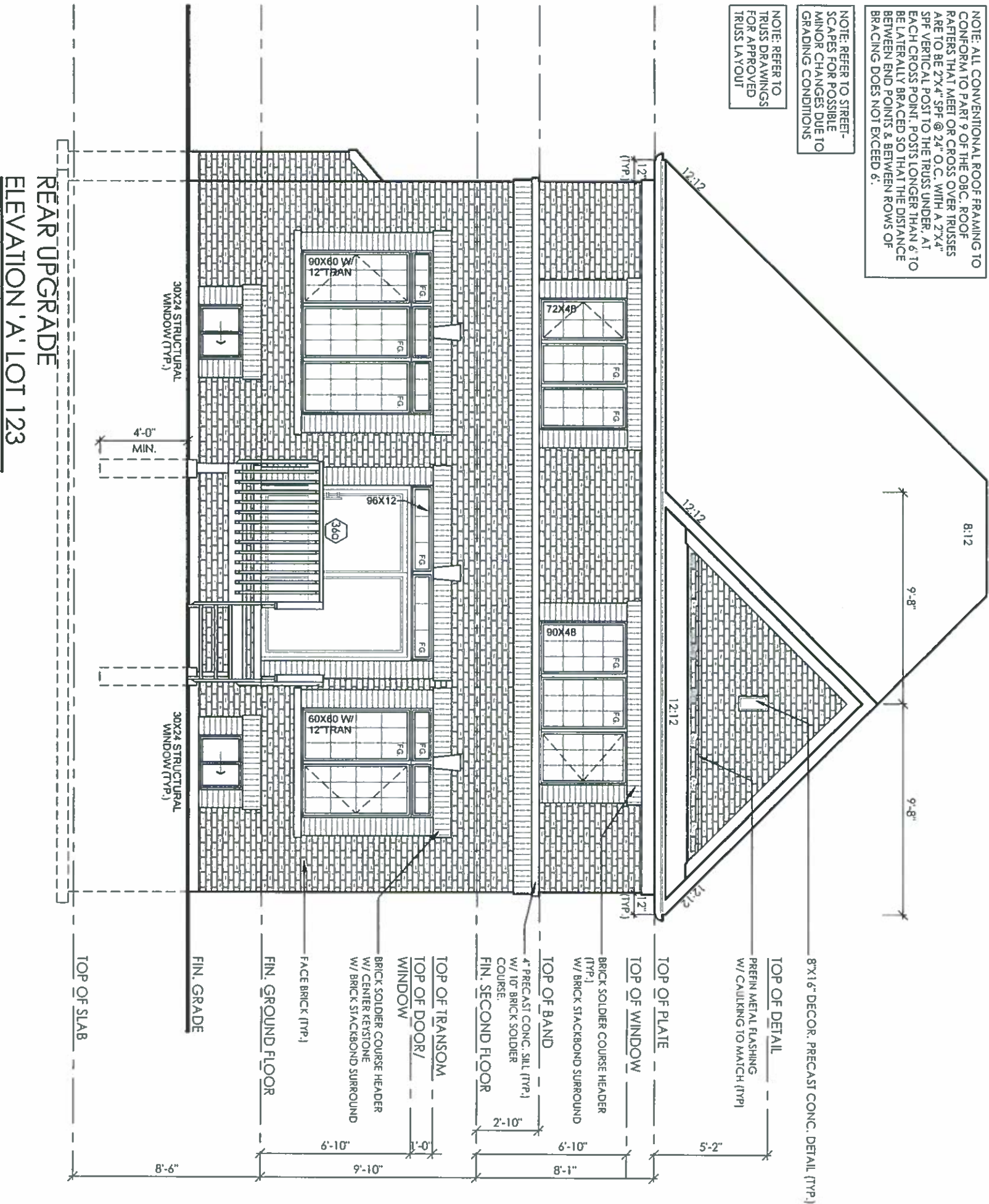


ROOF PLAN 'A'
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NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

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1	ISSUED FOR CLIENT REVIEW	12 OCT-16	AD	JP					
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RN design
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model
41-1

scale
3/16" = 1'0"

project #
13098

page

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- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- O.B.C. SB-3 WALL = EW1b (SIC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE "X" GYPSUM BD.
- 17** **INTERIOR STUD WALLS:**
- O.B.C. 1.9.23.10.1.
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 18** **BEARING STUD WALL (BASEMENT):**
- 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DBL 2" X 4" OR 2" X 6" TOP PLATE.
- 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB
- 19** **PARTY WALL - BLOCK:**
- O.B.C. SB-3 WALL = B6e (SIC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- 19a** **PARTY WALL - BLOCK (AGAINST GARAGE):**
- O.B.C. SB-3 WALL = B5c (SIC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REQ. INSULATION VALUES:
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- | | |
|-----------------------------|---------|
| -RIGID INSULATION | = 20.00 |
| -LOW DENSITY CONCRETE BLOCK | = 1.70 |
| -WOOD FRAME W/ GYPSUM | = 2.72 |
| -AIR FILM - MOVING | = 0.68 |
| -AIR FILM - STILL | = 0.17 |
| TOTAL "R" VALUE | = 25.27 |
- 19b** **FIREWALL:**
- O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (SIC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M.) OF BUILDING AREA. O.B.C. 1.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
- EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)
- 20** **PARTY WALL - FOUNDATION:**
- O.B.C. 9.15.4.2.
- 7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- 21** **PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (SIC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
- 2 ROWS 2"x4" (38mmX 89mm) STUDS @ 16" (400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE "X" GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- 22** **GARAGE WALL & CEILING:**
- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS.
- R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.. FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOT TO ENCR OACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
- 22a** **WALLS ADJACENT TO ATTIC SPACE:**
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- 2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
- R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.
- 23** **DOUBLE VOLUME WALLS:**
- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
- SOLID BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 I.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

- 24** **EXPPOSED FLOOR:**
- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT

- 24a** **SUNKEN FINISHED AREAS:**
- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.

- 25** **DOUBLE MASONRY WYTHE WALL:**
- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

- 25a** **CORBEL MASONRY VENEER:**
- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

- FLOOR ASSEMBLIES:** FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

- 26** **SILL PLATE:**
- O.B.C. 9.23.7.
- 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

- 27** **BRIDGING & STRAPPING:**
- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- d) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

- 28** **FLOOR ASSEMBLY:**
- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

- 29** **PORCH SLAB:**
- O.B.C. 9.39.1.4.
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
- IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"

- 30** **EXTERIOR BALCONY ASSEMBLY:**
- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- EXTERIOR GUARD AS PER #36a
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

- 30a** **EXTERIOR FLAT ROOF ASSEMBLY:**
- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
- 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

- ROOF ASSEMBLIES**
- 31** **TYPICAL ROOF:**
- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

- 32** **CEILING:**
- R60 (RSI 10.56) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

- 32a** **VAULTED OR CATHEDRAL CEILING:**
- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

- 2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
- 2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
- R31 (RSI 5.46) INSULATION
- MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD

- 33** **CONVENTIONAL FRAMING:**
- O.B.C. TABLE A6 OR A7
- 2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
- 2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
- CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
- HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

- 34** **ATTIC ACCESS HATCH:**
- OBC 9.19.2.1. & SB-12 3.1.1.8.(1)
- 19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

- GENERAL:**
- 35** **PRIVATE STAIRS:**
- O.B.C. 9.8.4.
- | | | |
|----------------|----------|----------|
| -MAX. RISE | = 7-7/8" | (200mm) |
| -MIN. RUN | = 8-1/4" | (210mm) |
| -MIN. TREAD | = 9-1/4" | (235mm) |
| -MAX. NOSING | = 1" | (25mm) |
| -MIN. HEADROOM | = 6'-5" | (1950mm) |
| -MIN. WIDTH | = 2'-10" | (860mm) |
- (BETWEEN WALL FACES)
- MIN. WIDTH = 2'-11" (900mm)
- (EXIT STAIRS, BETWEEN GUARDS)
- ANGLED TREADS:
- | | | |
|----------------|----------|---------|
| -MIN. RUN | = 5 7/8" | (150mm) |
| -MIN. AVG. RUN | = 7 7/8" | (200mm) |
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

- HANDRAILS:**
- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS
- HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

- HEIGHT:**
- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

- PROJECTIONS:**
- O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

- 35a** **PUBLIC STAIRS:**
- O.B.C. 9.8.4.
- | | | |
|----------------|-----------|----------|
| -MAX. RISE | = 7-3/32" | (180mm) |
| -MIN. RUN | = 11" | (280mm) |
| -MIN. TREAD | = 11" | (280mm) |
| -MAX. NOSING | = 1" | (25mm) |
| -MIN. HEADROOM | = 6'-9" | (2050mm) |
| -MIN. WIDTH | = 2'-11" | (900mm) |
- (EXIT STAIRS, BETWEEN GUARDS)
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

- HANDRAILS:**
- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
- HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

- HEIGHT:**
- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

- PROJECTIONS:**
- O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

- TERMINATION:**
- O.B.C. 9.8.7.3
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

- FINISH:**
- O.B.C. 9.8.9.6
- TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCAT THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

- 36** **INTERIOR GUARDS:**
- O.B.C. SB-7 & 9.8.8.3.
- GUARDS TO BE 3'-6" (1070mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- INCLUDES WINDOWS OVER STAIRS, RAMPS & LANDINGS
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

- 36a** **EXTERIOR GUARDS:**
- O.B.C. SB-7 & 9.8.8.3.
- GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- PROVIDE MID-SPAN POSTS AS PER SB-7.
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17
SIGNATURE: 

client
Gold Park Homes

project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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3	REVISED AS PER OBC SB-12 UPDATE	6-Apr-17		ES	ES	7			
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17		NM	JP	8			

location
Brampton

marketing name
The Strauss

Imagine • Inspire • Create



model
41-1

scale
3/16" = 1'0"

project #
13098

page

D2

- 36b) EXTERIOR GUARDS @ JULIET BALCONY:**
- FOR RAILING SPANNING MAXIMUM OF 6'-0".
 - PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
 - GUARDS TO BE 3'-6" (1070mm)
 - FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
 - FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
 - VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
 - PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37)** -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38)** -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39)** -CAPPED DRYER VENT
- 40)** -1"x2" (19mmX38mm) BOTH SIDES OF STEEL.
- 41)** -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42)** -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44)** SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45)** CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46)** -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDEUGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47)** -GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)
- 48)** -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49) EXTERIOR COLUMN W/ MASONRY PIER:**
- MIN. 6"x6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
 - TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
 - 14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
 - 3/4" AIR SPACE AROUND POST.
 - OR
 - MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
 - 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.
- 49a) EXTERIOR COLUMN:**
- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.
- 50) COLD CELLARS:**
- FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
 - COVER VENT W/ BUG SCREEN
 - WALL MOUNTED LIGHT FIXTURE
 - L1-L7 FOR DOOR OPENING
 - 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
 - INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)
- 51) STUD WALL REINFORCEMENT:**
O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(i) & 3.8.3.13.(4)(c)
 - GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

FRAME CONSTRUCTION:

- ALL FRAMING LUMBER TO BE No. 1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
- BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
- APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WINDOWS:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

CLIENT SPECIFIC REVISIONS

SCHEDULES

DOORS 46 47	
A	865x2030x45 (2'10"x6'8"x1-3/4")
B	815x2030x35 (2'8"x6'8"x1-3/8")
C	760x2030x35 (2'6"x6'8"x1-3/8")
D	710x2030x35 (2'4"x6'8"x1-3/8")
E	460x2030x35 (1'6"x6'8"x1-3/8")
F	610x2030x35 (2'0"x6'8"x1-3/8")
G	OVER SIZED EXTERIOR DOOR

STEEL BEAMS	
S11	W 6 X 15
S12	W 6 X 20
S13	W 8 X 18
S14	W 8 X 21
S15	W 8 X 24

WOOD BEAMS			
WD1	3/ 2" X 8" SPR	WD10	2/ 1 3/4" X7 1/4" (2.0E) LVL
WD2	4/ 2" X 8" SPR	WD11	3/ 1 3/4" X7 1/4" (2.0E) LVL
WD3	5/ 2" X 8" SPR	WD12	2/ 1 3/4" X9 1/2" (2.0E) LVL
WD4	3/ 2" X 10" SPR	WD13	3/ 1 3/4" X9 1/2" (2.0E) LVL
WD5	4/ 2" X 10" SPR	WD14	2/ 1 3/4" X11 7/8" (2.0E) LVL
WD6	5/ 2" X 10" SPR	WD15	3/ 1 3/4" X11 7/8" (2.0E) LVL
WD7	3/ 2" X 12" SPR	WD16	2/ 1 3/4" X14" (2.0E) LVL
WD8	4/ 2" X 12" SPR	WD17	3/ 1 3/4" X14" (2.0E) LVL
WD9	5/ 2" X 12" SPR		

LINTELS			
L1	2/ 2" X 8" SPR	L9	4" X 3-1/2" X 1/4" L
L3	2/ 2" X 10" SPR	L10	4-7/8" X 3-1/2" X 5/16" L
L5	2/ 2" X 12" SPR	L11	4-7/8" X 3-1/2" X 3/8" L
L7	3-1/2" X 3-1/2" X 1/4" L	L12	4-7/8" X 3-1/2" X 1/2" L
L8	4-7/8" X 3-1/2" X 1/4" L	L13	5-7/8" X 3-1/2" X 3/8" L
		L14	5-7/8" X 3-1/2" X 1/2" L
		L15	5-7/8" X 4" X 1/2" L
		L16	7-1/8" X 4" X 3/8" L
		L17	7-1/8" X 4" X 1/2" L

- SMOKE ALARM **46**
- WATERPROOF DUPLEX OUTLET
- VENTS AND INTAKES
- HOSE BIB
- 38** EXHAUST FAN
- COLD CELLAR VENT **50**
- STOVE VENT
- FIRE PLACE VENT
- DRYER VENT

PLAN/ELEVATION LEGEND

- CARBON MONOXIDE ALARM (CMA) **45**
- DJ DOUBLE JOIST
- PT PRESSURE TREATED LUMBER
- GT GIRDER TRUSS
- AFF ABOVE FINISHED FLOOR
- BBFM BEAM BY FLOOR MANUF
- (FL) FLUSH
- (DR) DROPPED
- 'DO' REPEAT SAME JOIST SIZE
- U/S UNDER SIDE
- FG FIXED GLAZING
- GB GLASS BLOCK
- BG BLACK GLASS
- FLOOR DRAIN
- SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED MEMBER)
- POINT LOAD
- FLAT ARCH
- 2 STORY WALL
- EXT. LIGHT FIXTURE (WALL MOUNTED)
- HYDRO METER
- GAS MEIER

File C:\R\1 Standards\temp\Asp\Bldg_0402010228-41-1 Final.dwg Plotted May 03, 2017 By: Lauren D

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D3