



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0. TITLE SHEET
- A1. BASEMENT FLOOR PLAN ELEV. 'A'
- A2. GROUND FLOOR PLAN ELEV. 'A'
- A3. MAIN FLOOR PLAN ELEV. 'A'
- A4. SECOND FLOOR PLAN ELEV. 'A'
- A5. PART. STD. & OPT. GROUND FLOOR PLAN ELEV. 'B'
- A6. PART. SECOND FLOOR PLAN ELEV. 'B'
- A7. OPT. GROUND FLOOR PLAN ELEV. 'A'
- A8. FRONT ELEVATION 'A'
- A9. RIGHT SIDE ELEVATION 'A'
- A10. PART. OPT. GRD. FLR. PLAN EL. 'A' & 'B' W/ LAUN.
- A11. LEFT SIDE ELEVATION 'A'
- A12. FRONT ELEVATION 'B'
- A13. RIGHT SIDE ELEVATION 'B'
- A14. LEFT SIDE ELEVATION 'B'
- A15. PARTIAL CROSS-SECTION 1
- A16. PARTIAL GROUND FLOOR WOD CONDITION
- A17. PARTIAL BASEMENT FLOOR WOD CONDITION
- A18. PARTIAL BASEMENT FLOOR ELEV 'A' CORNER UPGRADE
- A19. PARTIAL SECOND FLOOR ELEV 'A' CORNER UPGRADE
- A20. CORNER UPGRADE FRONT ELEVATION 'A'
- A21. CORNER UPGRADE RIGHT SIDE ELEVATION 'A'
- A22. CORNER UPGRADE REAR ELEVATION 'A'
- A23. FRONT ELEVATION 'B' (LOT 65)
- A24. RIGHT SIDE ELEVATION 'B' (LOT 65)
- A25. LEFT SIDE ELEVATION 'B' (LOT 65)
- A26. REAR ELEVATION 'A' & 'B' (LOT 65)
- A27. PARTIAL HALF WALL ELEVATION
- A28. REAR UPGRADE ELEVATION 'A' LOT 131
- A29. WOD REAR UPGRADE ELEVATION 'A'
- A30. WOD REAR UPGRADE ELEVATION 'B' LOT 128
- A31. REAR UPGRADE ELEVATION 'B' LOT 122
- A32. PARTIAL SECOND FLOOR PLAN ELEV. 'A' & 'B' REAR UPGRADE LOTS 131,126,122,128
- D1. CONSTRUCTION NOTES
- D2. CONSTRUCTION NOTES
- D3. CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'		ELEVATION 'A' CORNER UPGRADE	
	SF	SM	SF	SM	SF	SM
GROUND FLOOR PLAN	139.4	13.0	139.4	13.0	155.7	14.4
MAIN FLOOR PLAN	1608.2	149.4	1608.2	149.4	1641.1	152.4
SECOND FLOOR PLAN	1593.5	148.0	1597.4	148.4	1626.5	151.1
TOTAL AREA (0)	3341.1	310.4	3345.0	310.8	3423.3	318.0
OPT. GROUND FLOOR PLAN	660.8	61.4	660.8	61.4	N/A	N/A
TOTAL AREA (1)	3862.5	358.8	3866.4	359.2	3423.3	318.0
COVERAGE INC PORCH	1798.7	167.1	1814.5	168.6	1906.6	177.1
COVERAGE NOT INC PORCH	1608.2	149.4	1608.2	149.4	1583.1	147.0

Gold Park Homes Mclaughlin and Mayfield The Verdi

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Verdi

RN design
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model
41-6

scale
3/16" = 1'0"

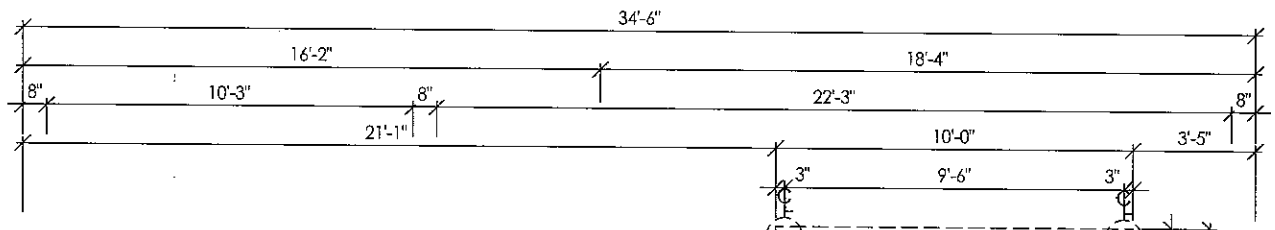
project #
13098

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	fk	RPA	6	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm
2	REVISED AREA CHART	30-Mar-15	cr	cr	7	ISSUED FOR PERMIT	26-JAN-16	jp	jp
3	ROOF TRUSS COORDINATION.	14-May-15	RPA	DJH	8	ISSUED CORNER UPG FOR REVIEW	30-May-16	jp	jp
4	ADDED FLUSH TO BREAKFAST BAR NOTE	3-Sep-15	cr	cr	9	REVISED AS PER CLIENT COMMENTS	21-Jun-16	JP	JP
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					P	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP

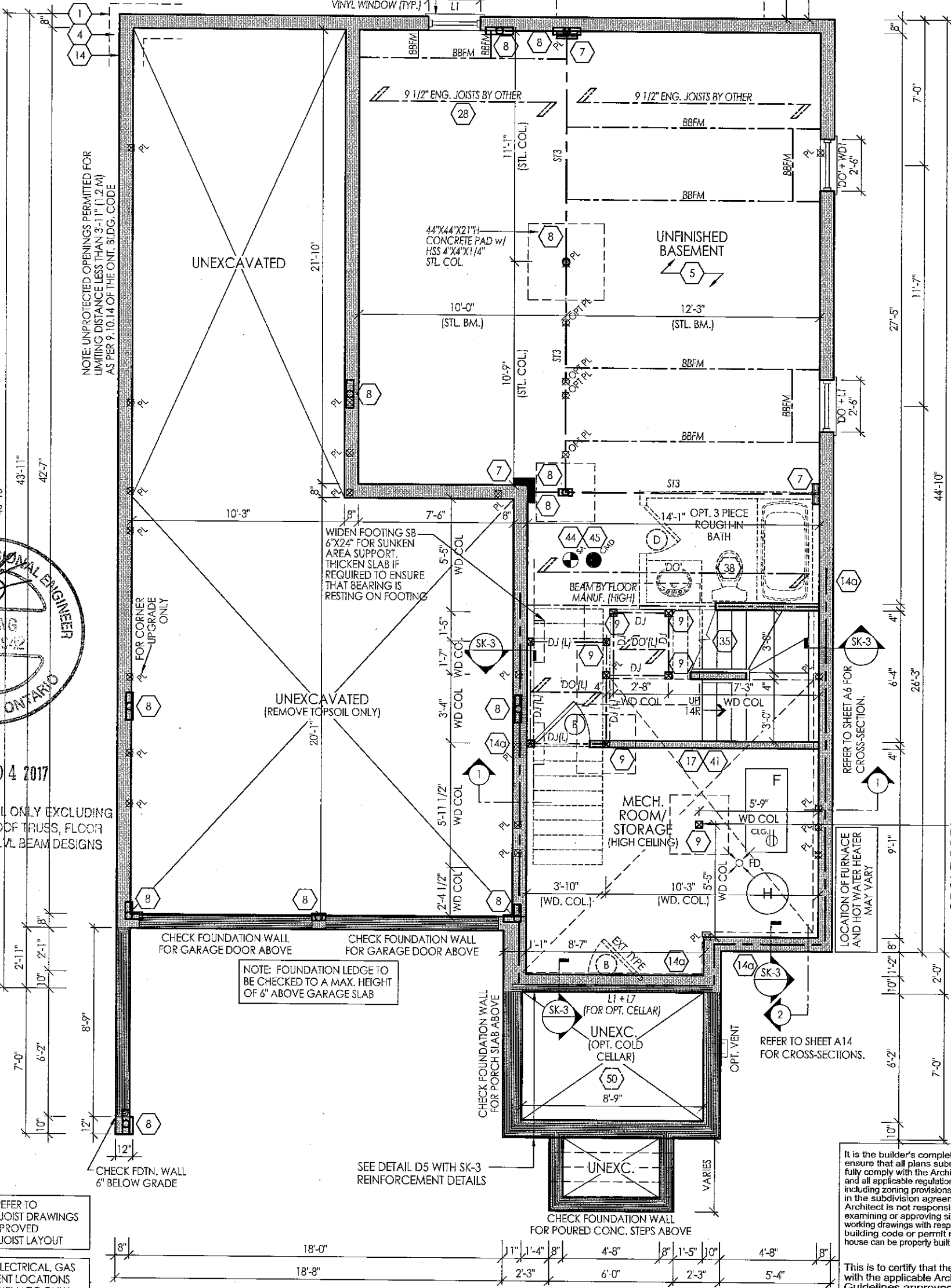


page

A0



TYPICAL CONCRETE STRIP FOOTING TO BE 19"X6" ON 150kPa SLS AS PER SOIL REPORT BY OTHERS



NOTE: UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCE LESS THAN 3'-1" (1.2 M) AS PER 9.10.14 OF THE ONT. BLDG. CODE

30"X12" STRUCTURAL VINYL WINDOW (TYP.)

44"X44"X21" H CONCRETE PAD w/ HSS 4"X4"X1/4" STL. COL.

WIDEN FOOTING SB 6"X24" FOR SUNKEN AREA SUPPORT. THICKEN SLAB IF REQUIRED TO ENSURE THAT BEARING IS RESTING ON FOOTING

UNEXCAVATED (REMOVE TOPSOIL ONLY)

CHECK FOUNDATION WALL FOR GARAGE DOOR ABOVE

NOTE: FOUNDATION LEDGE TO BE CHECKED TO A MAX. HEIGHT OF 6" ABOVE GARAGE SLAB

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

CHECK FOUNDATION WALL FOR POURED CONC. STEPS ABOVE

3-2"X4" BUILT UP COLUMN ON 24"X24"X10 CONC PAD (COLUMN TO SIT ON METAL COLUMN BASE SET INTO CONC PAD)

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MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL. BEAM DESIGNS

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

BASEMENT FLOOR PLAN ELEV. 'A'

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QUALIFIED DESIGNER BCIN: 38688
 FIRM BCIN: 26995
 DATE: 19-Apr-17

SIGNATURE: *[Signature]*

client **Gold Park Homes**
 project **Mclaughlin and Mayfield**

location **Brampton**
 marketing name **The Verdi**

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5	ISSUED FOR PERMIT	1-Jan-16	jp	jp
2	REVISED LOCATION OF WD. COLUMNS AT MECHANICAL ROOM	14/01/2016	jp	jp	6	REVISED AS PER ENGINEER COMMENTS FOR WOODEN BALCONY	16-May-16	jp	jp
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	7	ADDED WOOD POST IN MECH. ROOM FOR POINT LOAD ABOVE	29-Aug-16	es	es
4	ENG. COMMENTS COORDINATION	26-Jan-16	jp	jp	8	MAIN STAIR REVISED/ISSUED FOR PERMIT	21-Sep-16	jm	jm
					9	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	mm	jp

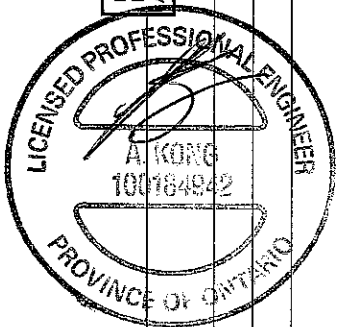
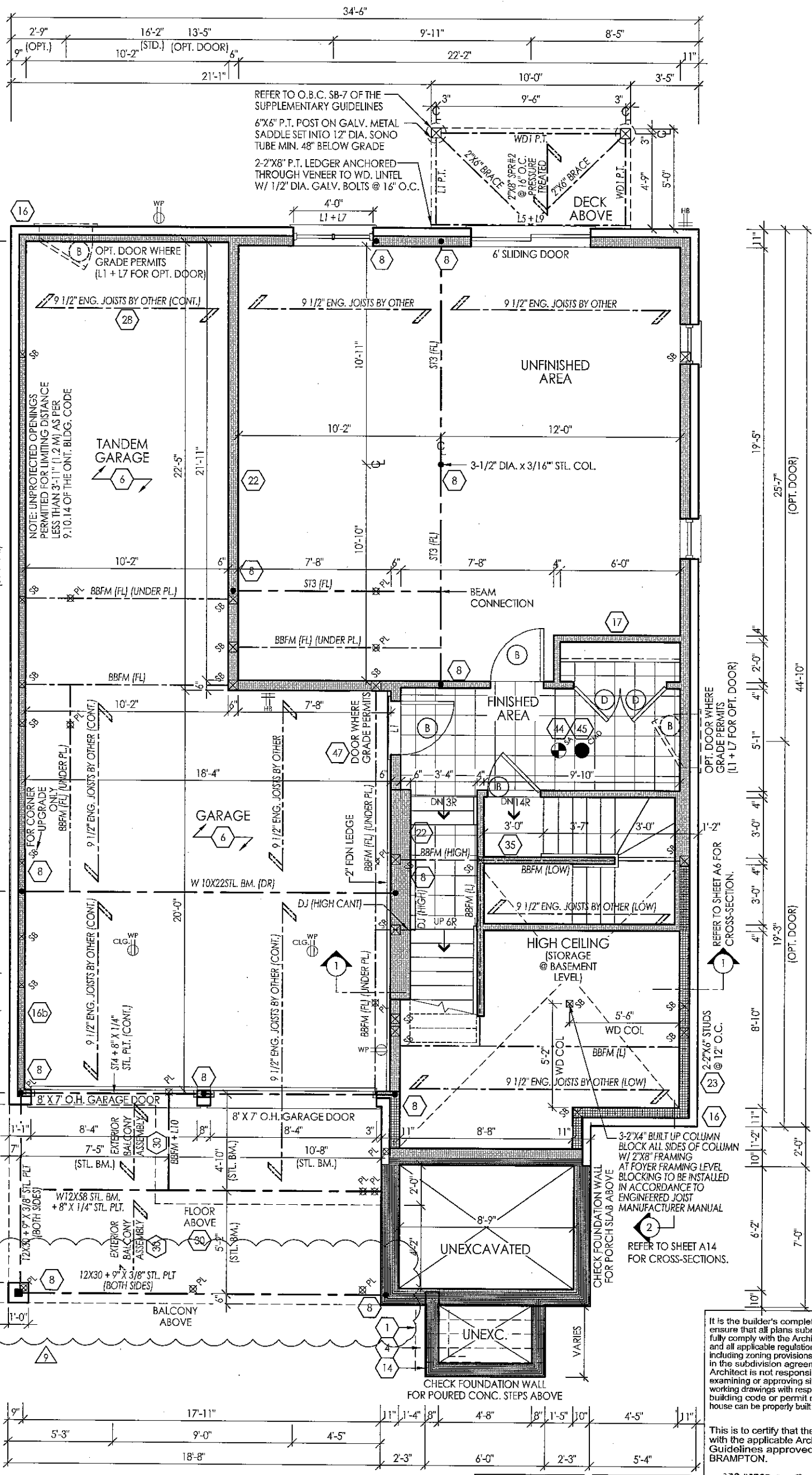
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model **41-6**
 scale **3/16" = 1'0"**
 project # **13098**

page **A1**

ARCHITECTURAL REVIEW & APPROVAL
[Signature]
 John G. Williams Limited, Architect



GROUND FLOOR PLAN ELEV. 'A'

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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SIGNATURE: *J.P.*

client: **Gold Park Homes** location: **Brampton**

project: **Mclaughlin and Mayfield** marketing name: **The Verdi**

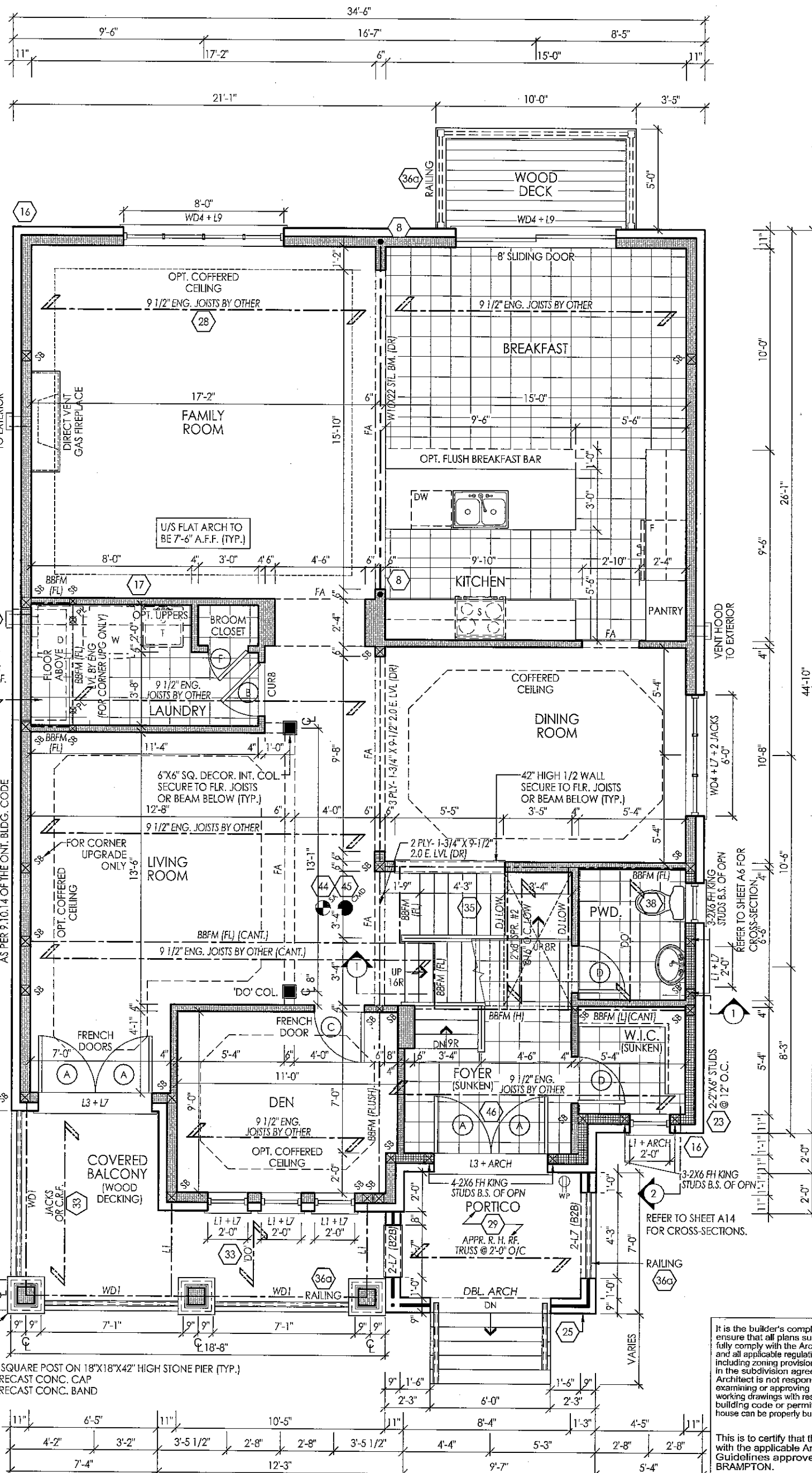
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1	ISSUED FOR CLIENT REVIEW.	30/01/2015	jk	RPA	7	ADDED SB IN MECH ROOM FOR POINT LOAD ABOVE	29-Aug-16	es	es
2	REVISED LOCATION OF GROUND TO FOYER STAIR	14/01/2016	jp	jp	8	MAIN STAIR REVISED/ISSUED FOR PERMIT	21-Sep-16	JM	JM
3	REVISED PER FLOOR COORDINATION	15-Jan-16	sm	jm	9	STRUCTURE REVISED AS PER SITE CONDITIONS	14-Nov-16	JM	JM
4	ENG. COMMENTS COORDINATION	25-Jan-16	jp	jp	10	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
5	ISSUED FOR PERMIT	26-Jan-16	jp	jp					
6	REVISED AS PER ENGINEER COMMENTS FOR WOODEN BALCONY	16-May-31	jp	jp					



model: **41-6**

scale: **3/16" = 1'0"** project #: **13098**

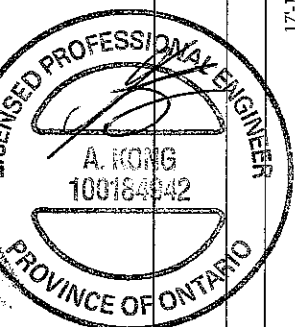
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MAIN FLOOR PLAN ELEV. 'A'

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

NOTE: UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONT. BLDG. CODE



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL. BEAM DESIGN

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

10'X10' SQUARE POST ON 18'X18'X42" HIGH STONE PIER (TYP.) W/ 4" PRECAST CONC. CAP W/ 8" PRECAST CONC. BAND

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

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ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: 36688
 FIRM BCIN: 26995
 DATE: 19-Apr-17

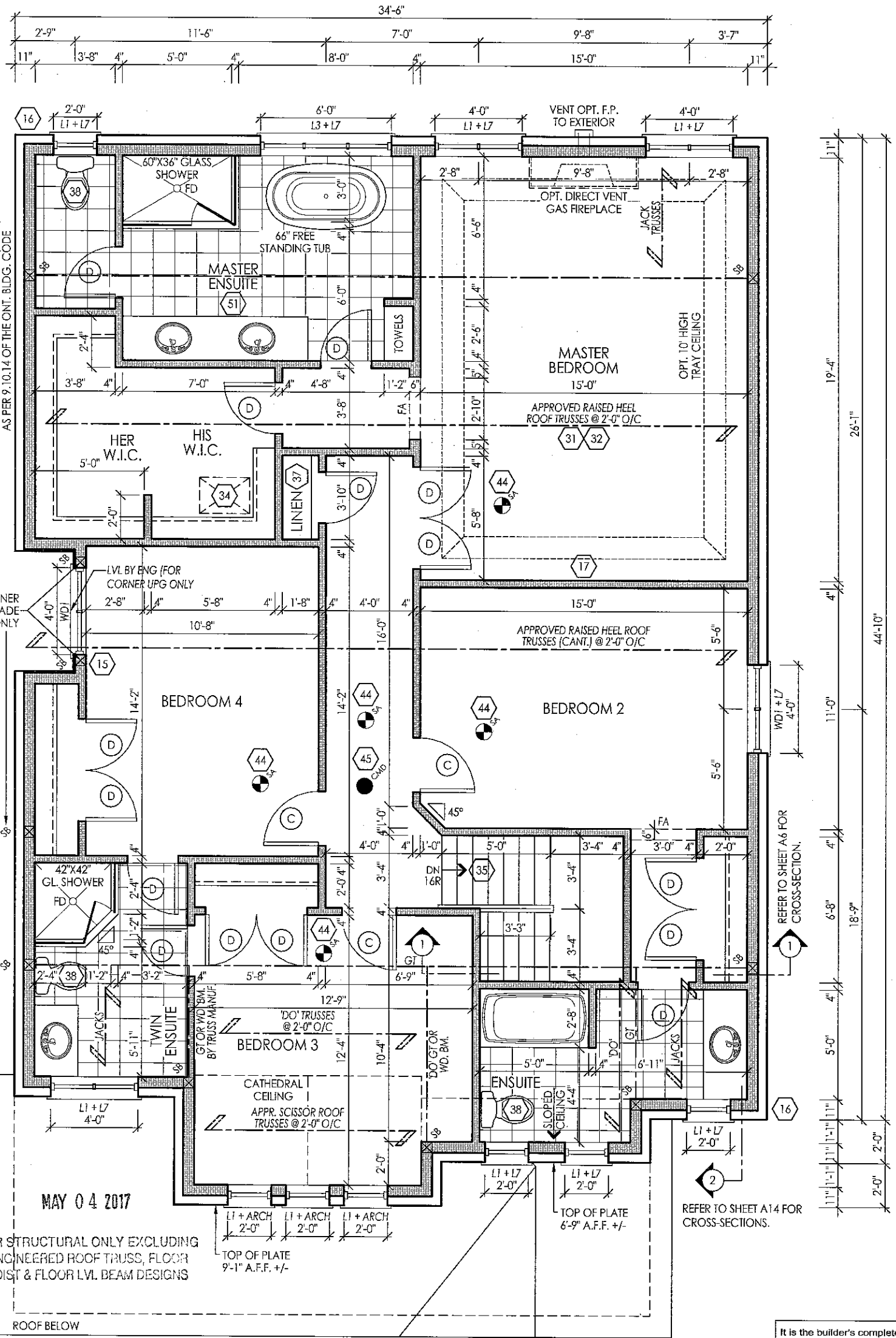
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client				location					
Gold Park Homes				Brampton					
project				marketing name					
Mclaughlin and Mayfield				The Verdi					
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model 41-6
 scale 3/16" = 1'0"
 project # 13098

page **A3**



NO UNPROJECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

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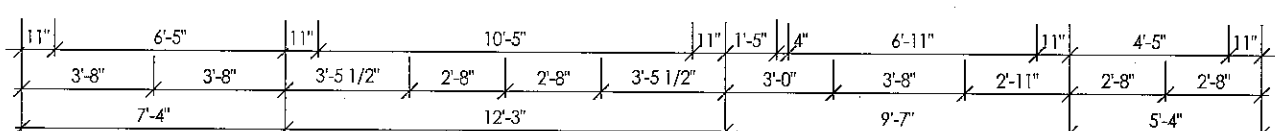
FOR CORNER UPGRADE ONLY

MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL. BEAM DESIGNS

TOP OF PLATE 9'-1" A.F.F. +/-

REFER TO SHEET A14 FOR CROSS-SECTIONS.



SECOND FLOOR PLAN ELEV. 'A'

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

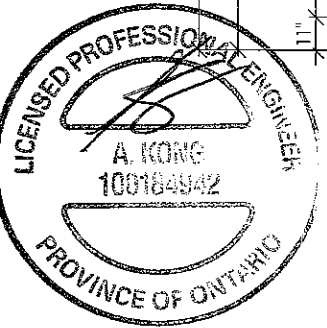
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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017
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SIGNATURE:

client Gold Park Homes location Brampton
project Mclaughlin and Mayfield marketing name The Verdi

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3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jrn	7				
4	ENG. COMMENTS COORDINATION	26-Jan-16	jp	jp	8				

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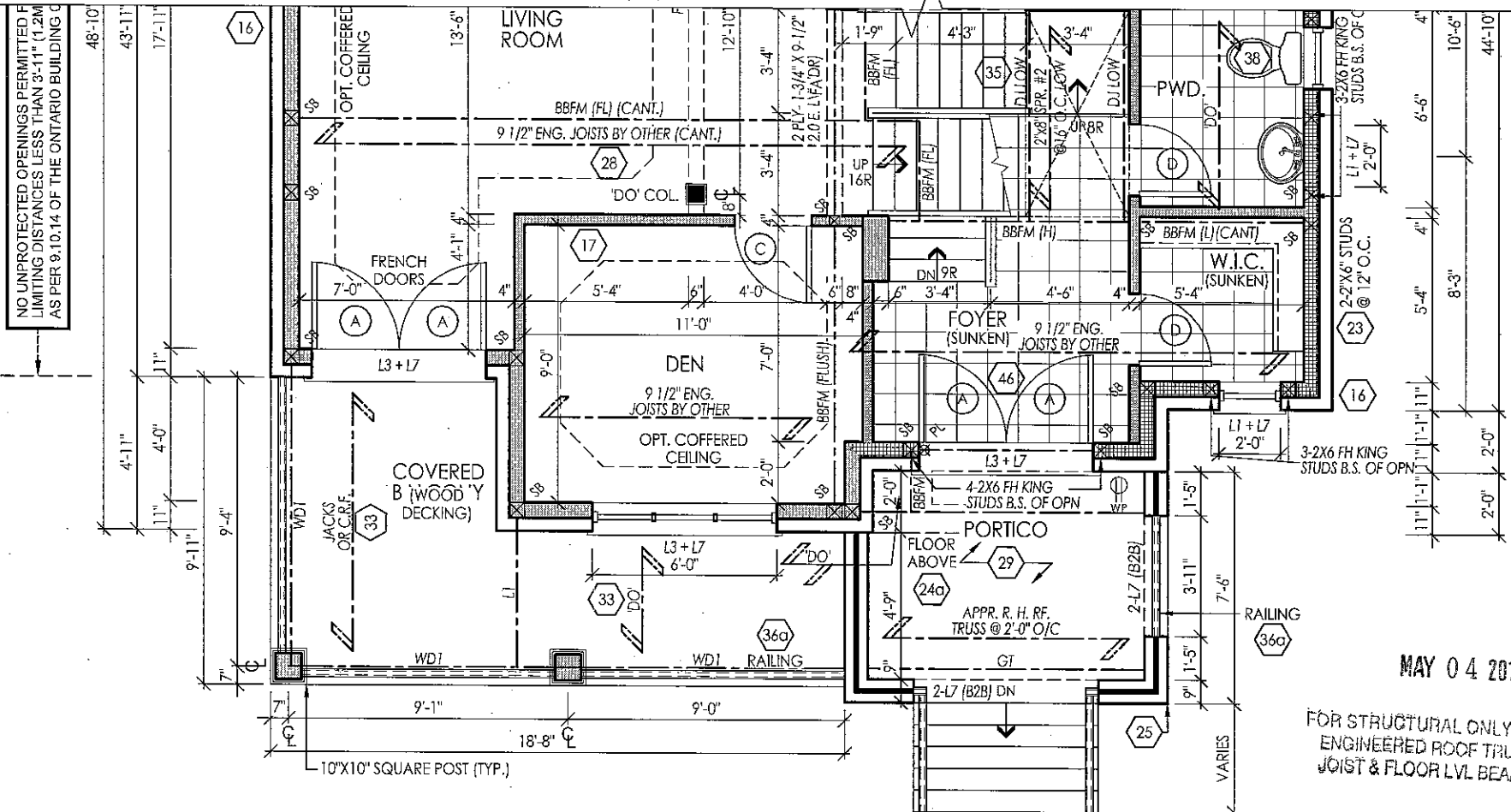


model 41-6
scale 3/16" = 1'0" project # 13098

page

A4

FOR CONTINUATION REFER TO MAIN FLOOR PLAN ELEVATION 'A'



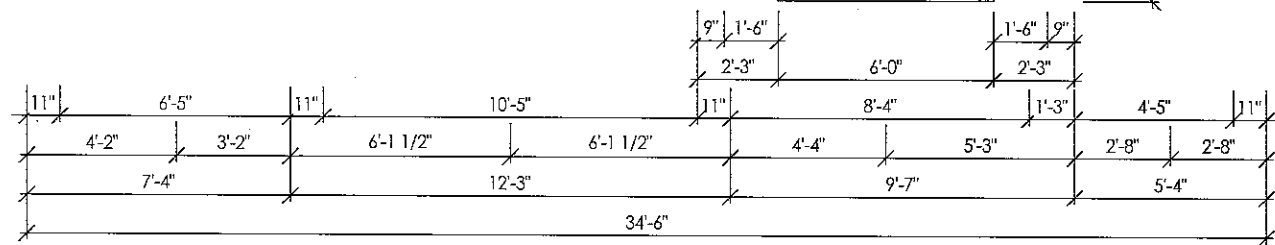
MAY 04 2017

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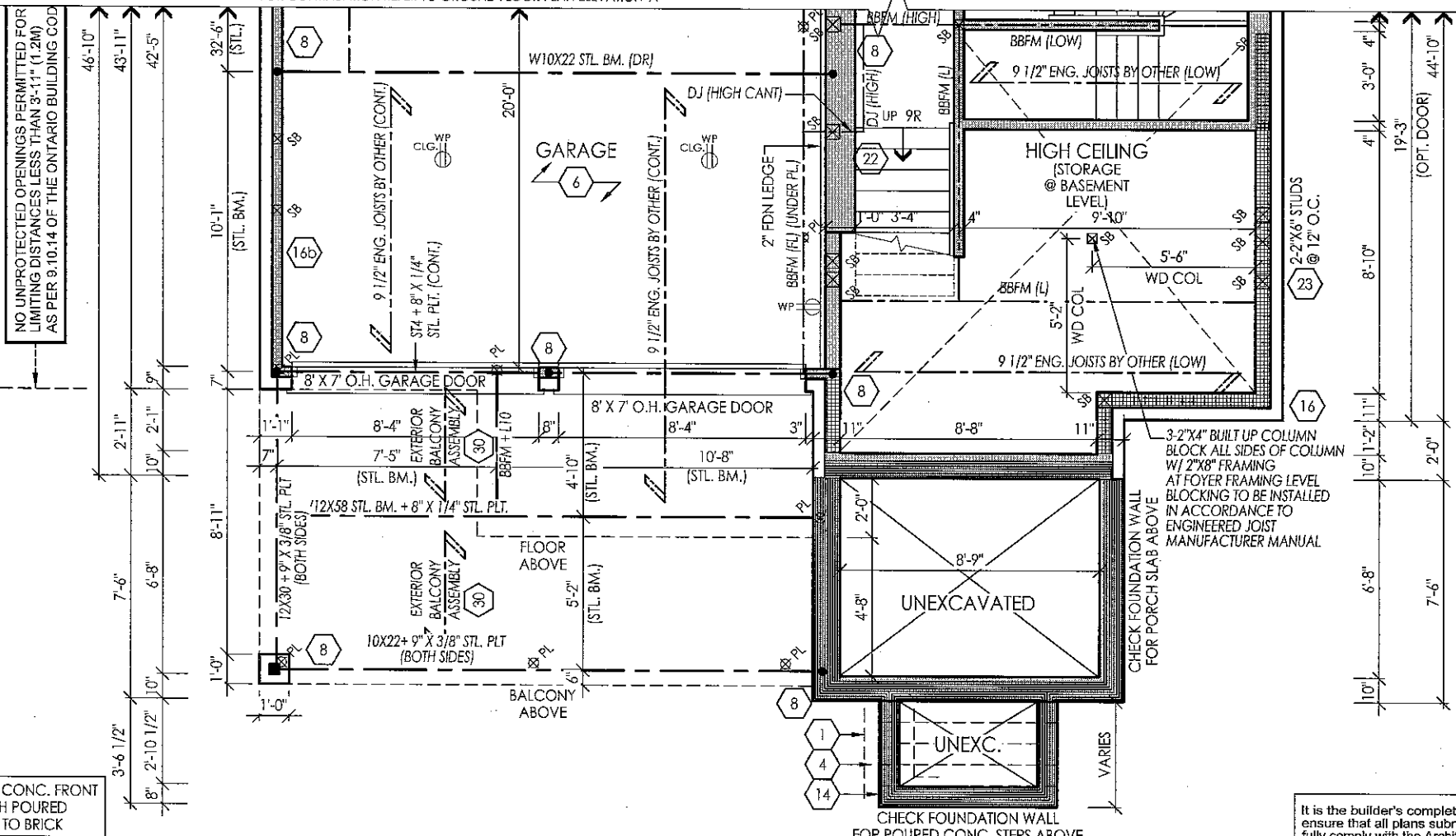


PART. MAIN FLOOR PLAN ELEV. 'B'

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

FOR CONTINUATION REFER TO GROUND FLOOR PLAN ELEVATION 'A'



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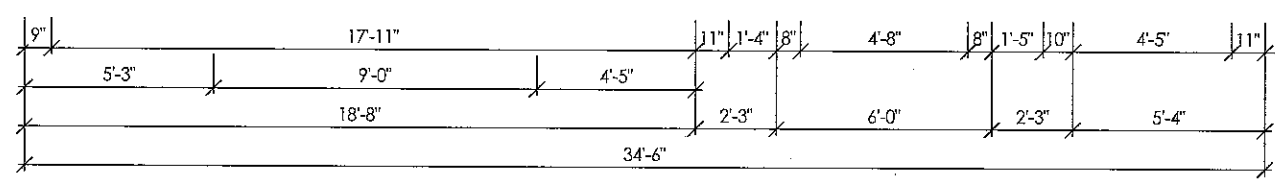
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ARCHITECTURAL REVIEW & APPROVAL
MAY 14 2017
John G. Williams Limited, Architect

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PART. STD. & OPT. GROUND FLOOR PLAN ELEV. 'B'

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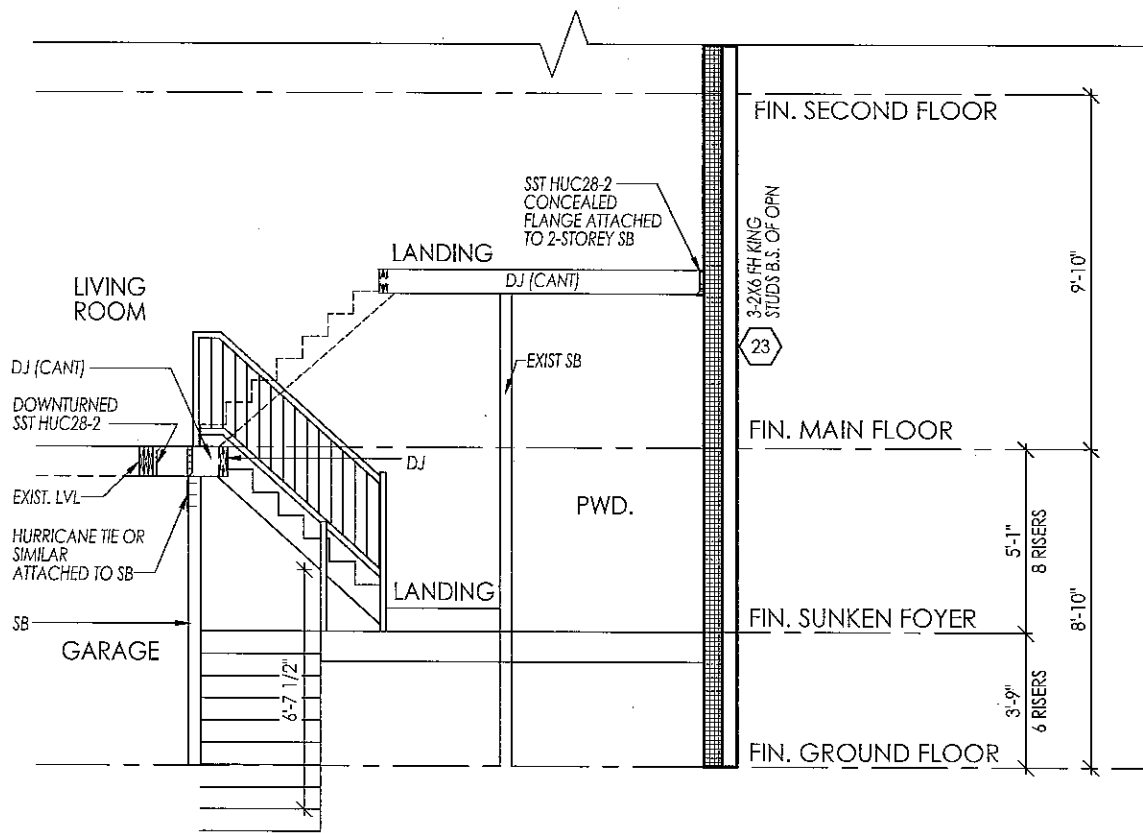
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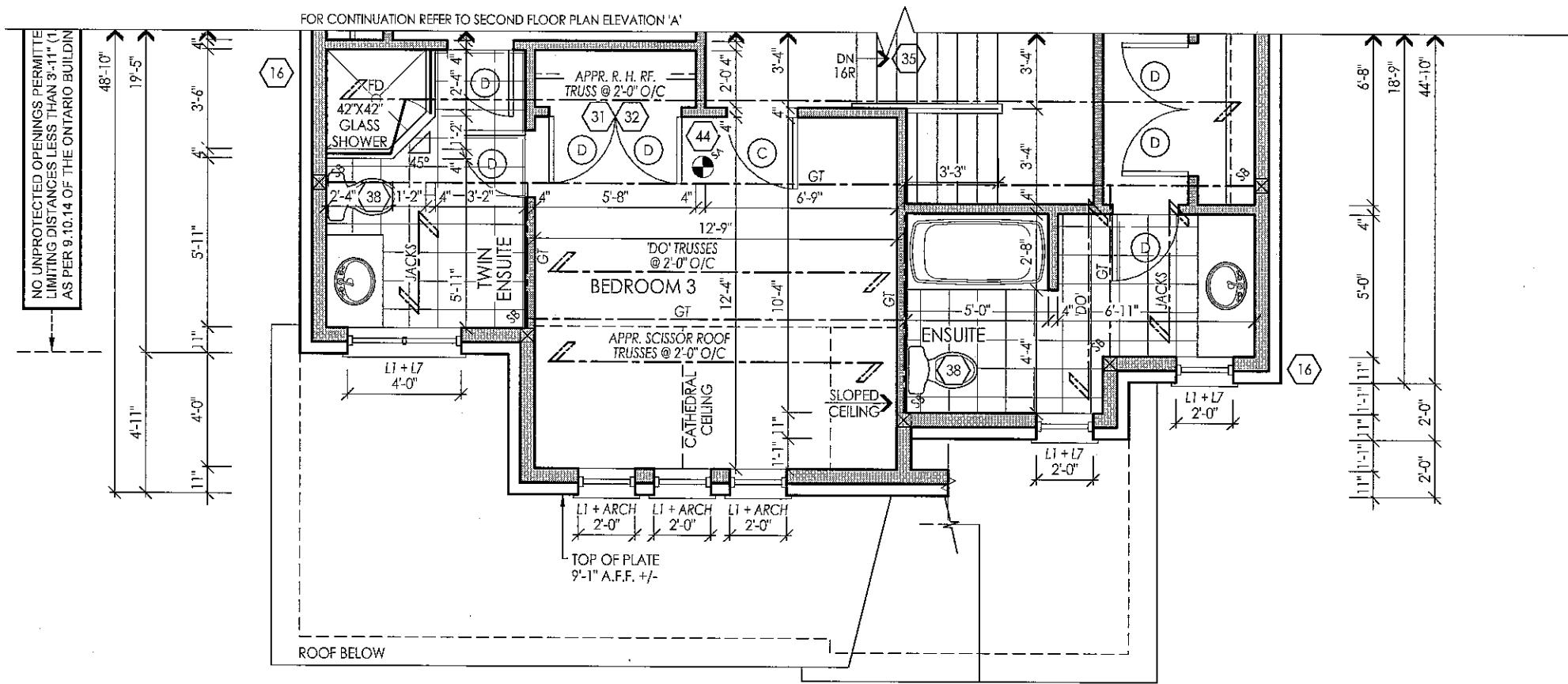
model 41-6
scale 3/16" = 1'0"
project # 13098

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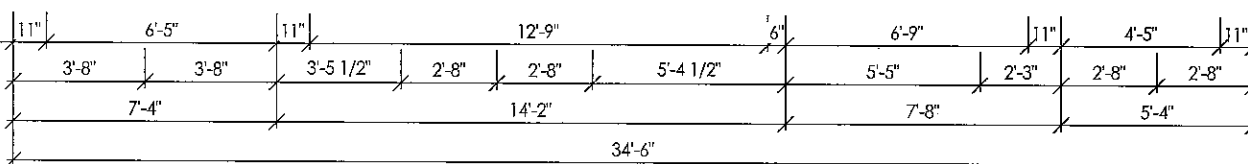
A5



STAIR CROSS-SECTION 1



PART. SECOND FLOOR PLAN ELEV. 'B'



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John C. Williams Limited, Architect

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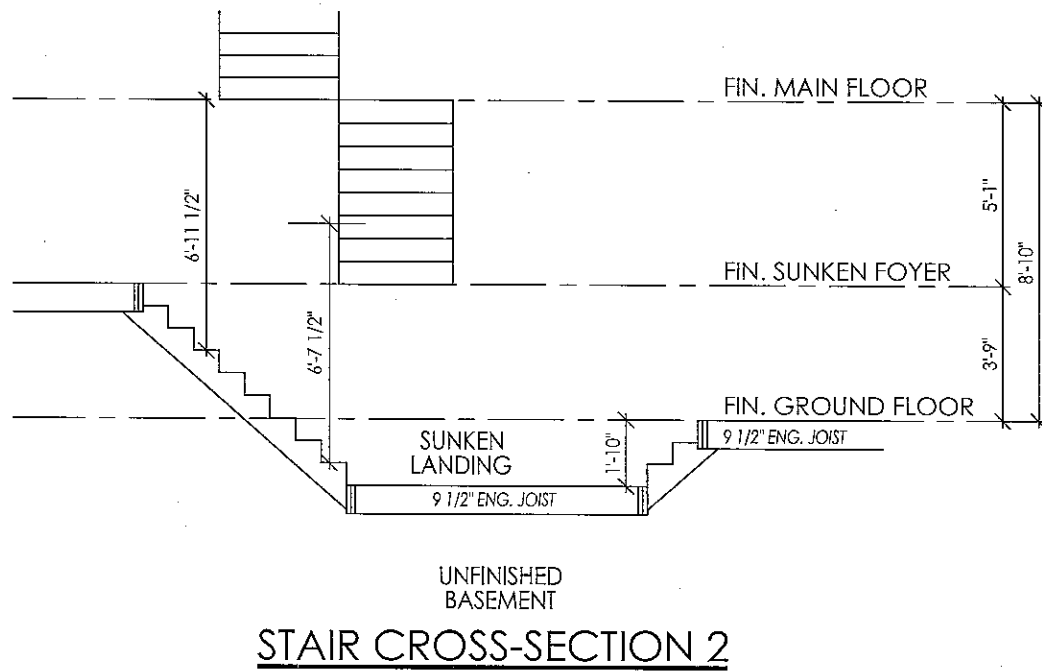
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client					location				
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project					marketing name				
McLaughlin and Mayfield					The Verdi				
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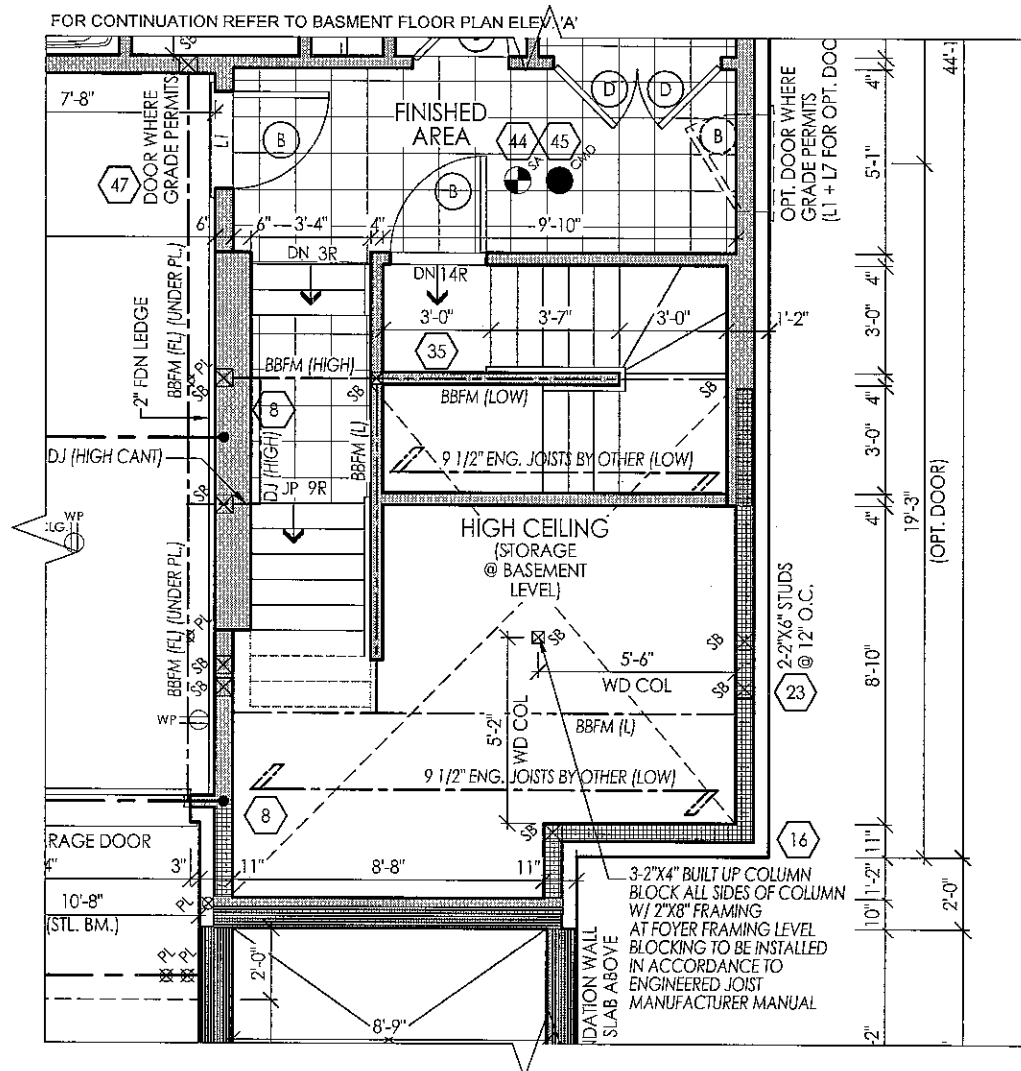


model 41-6
scale 3/16" = 1'0"
project # 13098

page A6



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MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed:
Dated: MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 1117 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE: _____

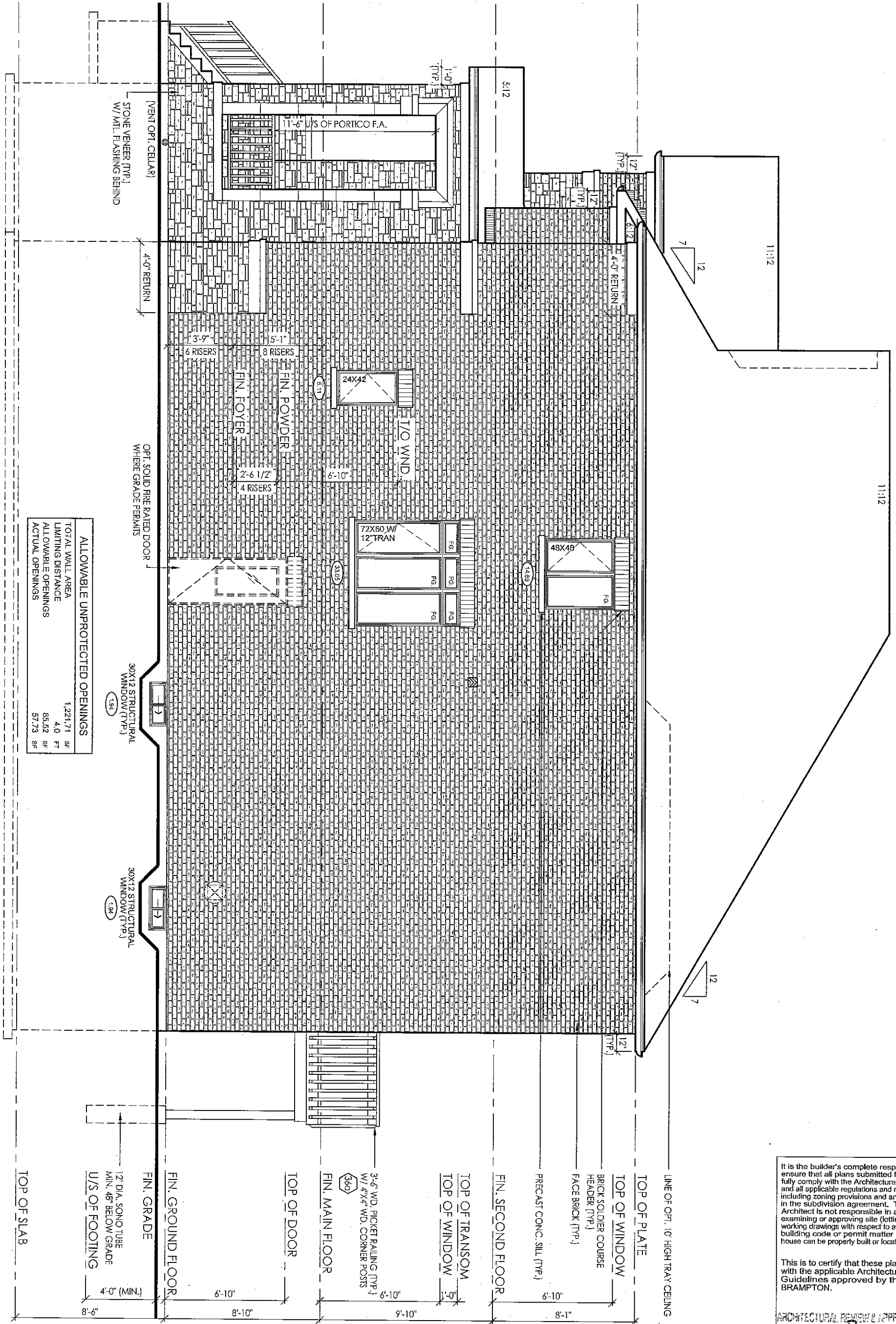
client					location				
Gold Park Homes					Brampton				
project					marketing name				
Mclaughlin and Mayfield					The Verdi				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR PERMIT	1-JAN-16	JP	JP	5	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP
2	REVISED AS PER ENGINEER COMMENTS FOR WOODED DECK	31-MAY-16	JP	JP					
3	ADDED SB IN MECH ROOM FOR POINT LOAD ABOVE	29-AUG-16	ES	ES					
4	MAIN STAIR REVISED/ISSUED FOR PERMIT	21-SEPT-16	JM	JM					



model 41-6
scale 3/16" = 1'0"
project # 13098

page **A7**

RIGHT SIDE ELEVATION 'A'



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,221.71 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	85.82 SF
ACTUAL OPENINGS	57.73 SF

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ARCHITECTURAL REVIEW / APPROVAL

[Signature]

John G. Williams Limited, Architect

File: C:_RN_Standards\temp\AcPublish_9452113089-41-6-FINAL.dwg Plotted: May 03, 2017 By: Lauren O

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
 FIRM BCIN: 26995
 DATE: 19-Apr-17

[Signature]

SIGNATURE:

client	Gold Park Homes	location	Brampton
project	Mclaughlin and Mayfield	marketing name	The Verdi

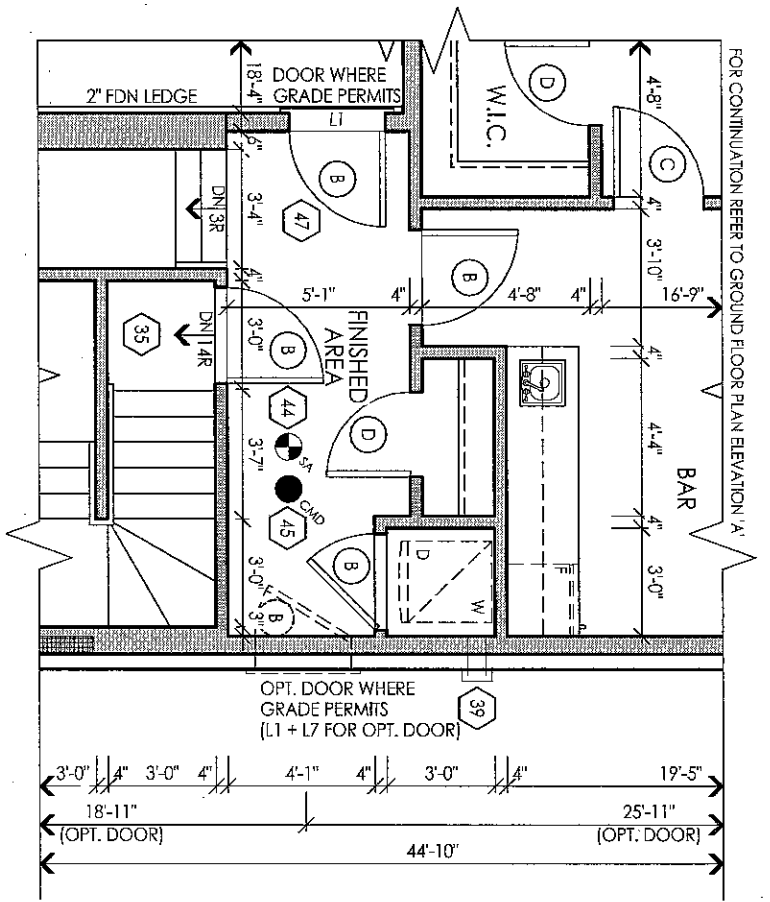
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1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
2	ISSUED FOR PERMIT	26-Jan-16	jp	jp	6				
3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jm	jp	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				

RN design
 Imagine • Inspire • Create



model 41-6
 scale 3/16" = 1'0"
 project # 13098

page **A9**

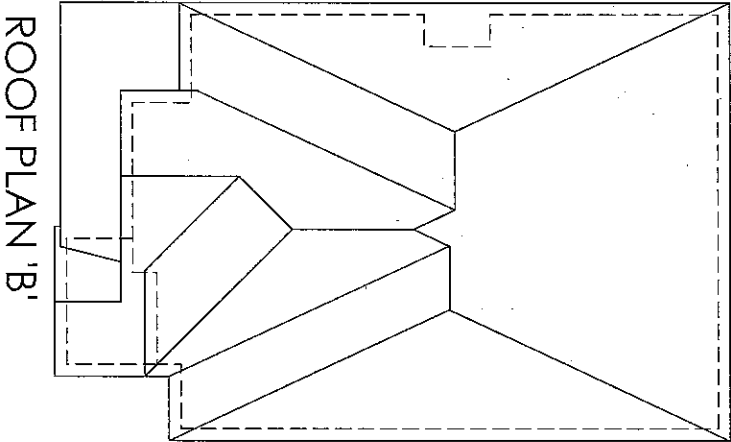
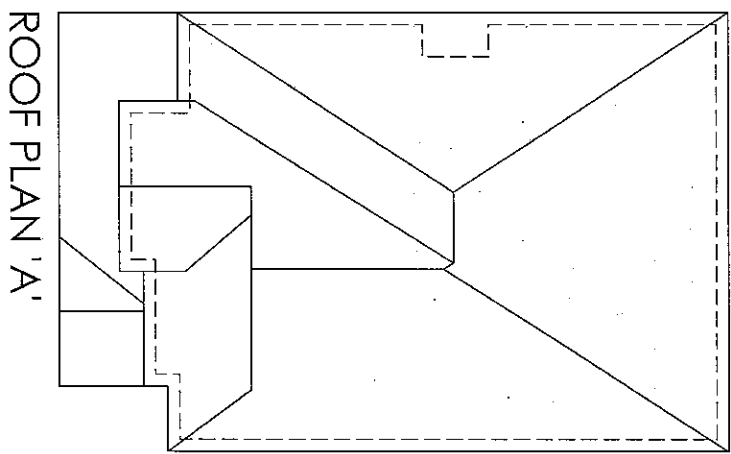


PART. OPT. GRD. FLR. PLAN
EL. 'A' & 'B' W/LAUN.

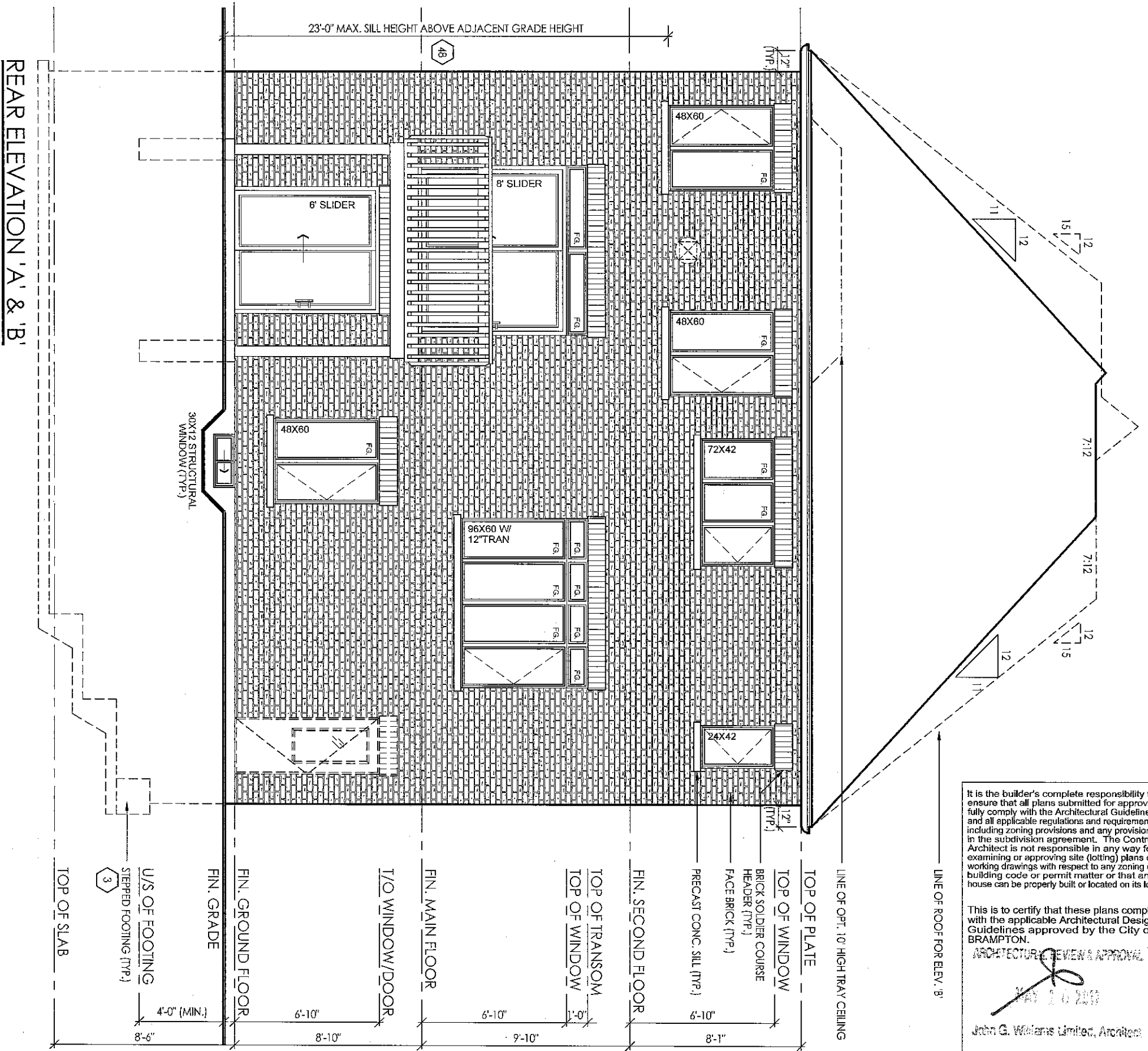
NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.



REAR ELEVATION 'A' & 'B'



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ARCHITECTURAL REVIEW & APPROVAL
MAY 16 2017
John G. Williams Limited, Architects

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: *[Signature]*

SIGNATURE:

client	Gold Park Homes				location	Brampton			
project	Mclaughlin and Mayfield				marketing name	The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
2	ISSUED FOR PERMIT	26-Jan-16	jp	jp	6				
3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jm	jp	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				



model 41-6
scale 3/16" = 1'0"
project # 13098
page A10



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

John G. Williams Limited, Architect

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 FIRM BCIN: 26995
 DATE: 19-Apr-17

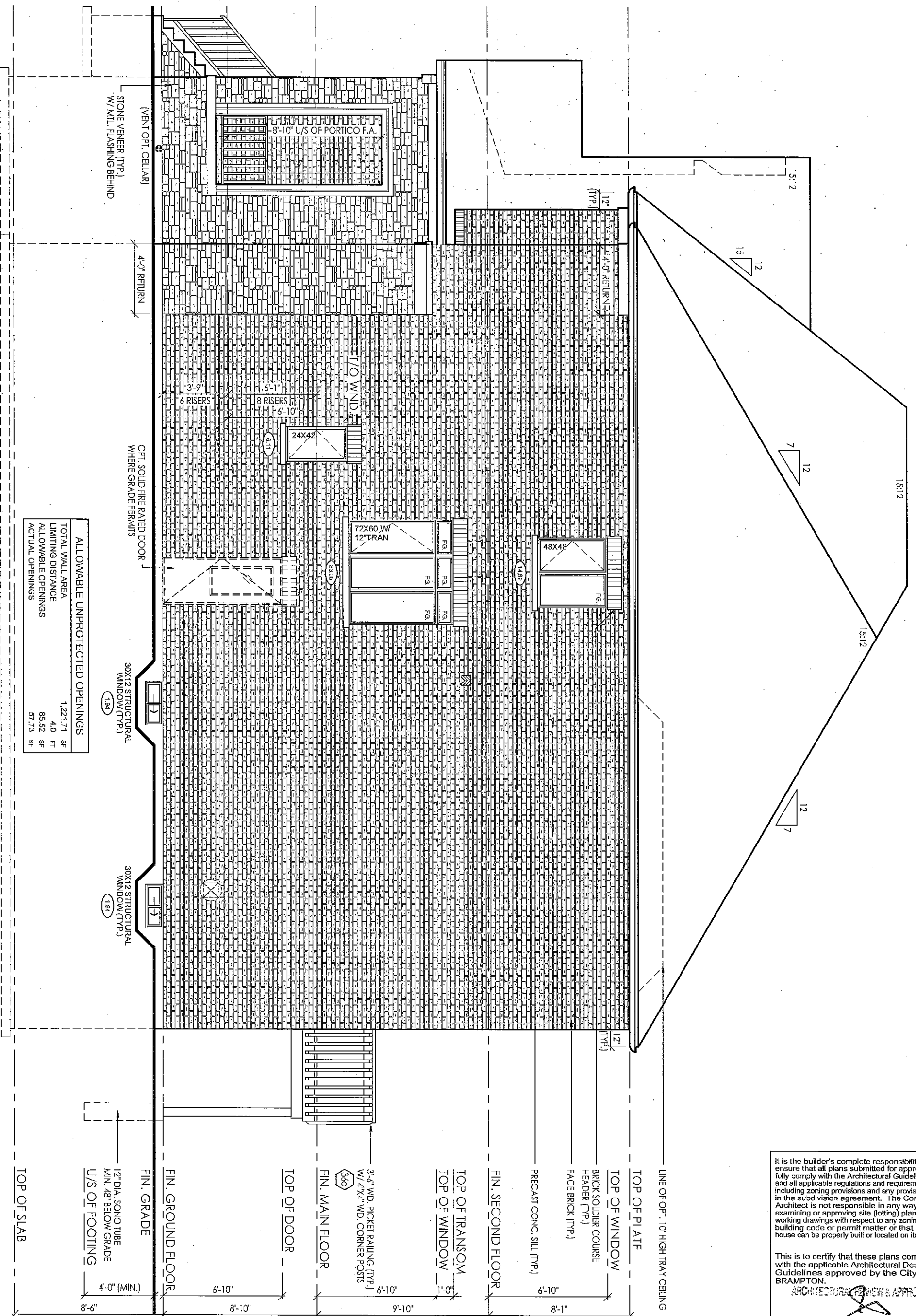
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client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name	The Verdi						
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
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3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jm	jp	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				



model 41-6
 scale 3/16" = 1'0"
 project # 13098
 page A12

RIGHT SIDE ELEVATION 'B'



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,221.71 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	86.52 SF
ACTUAL OPENINGS	57.73 SF

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 FIRM BCIN: 26995
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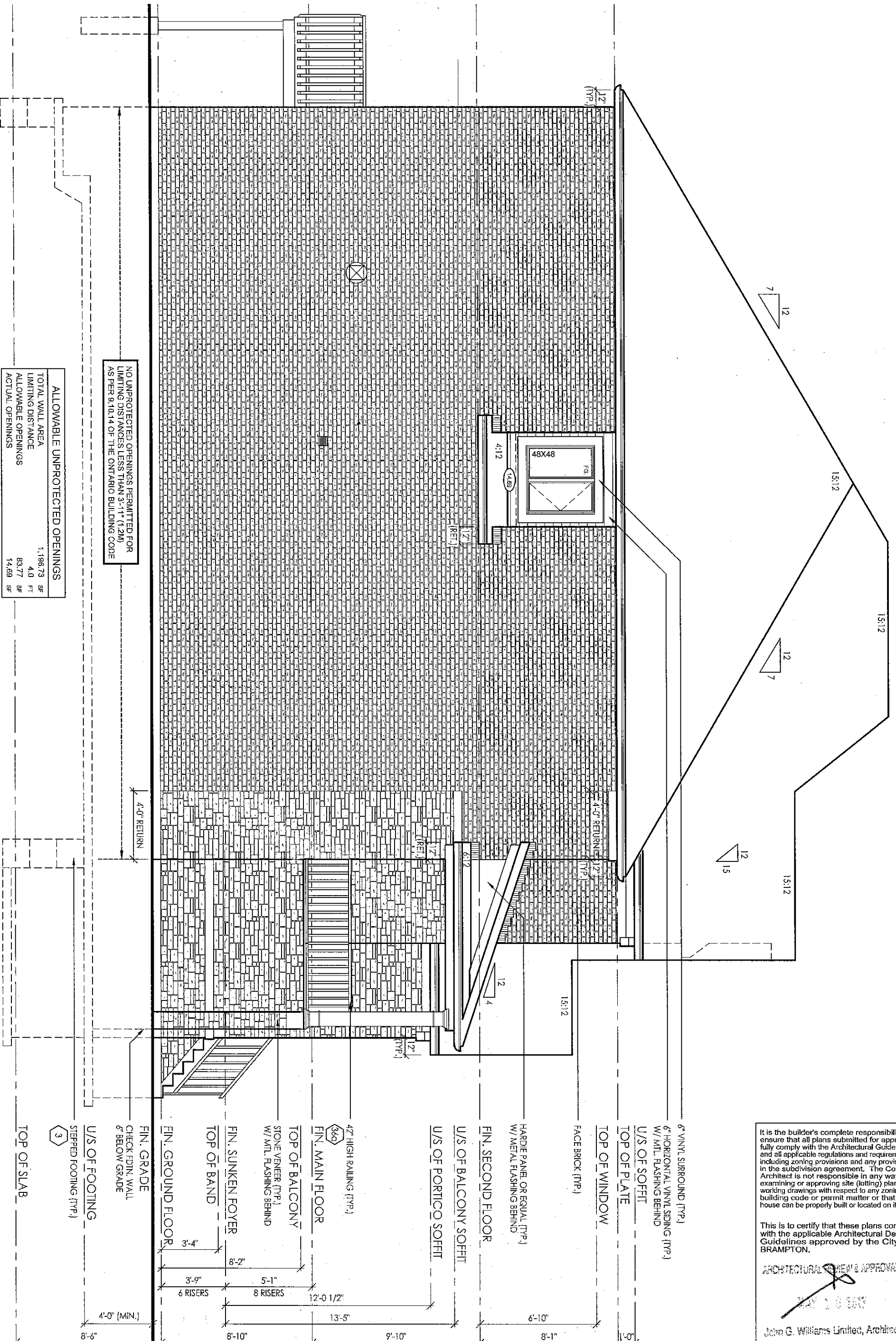
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client	Gold Park Homes		location	Brampton	
project	McLaughlin and Mayfield		marketing name	The Verdi	
#	revisions	date	dwn	chk	#
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2	ISSUED FOR PERMIT	26-Jan-16	jp	jp	6
3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jm	jp	7
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MAM	JP	8



model 41-6
 scale 3/16" = 1'0"
 project # 13098
 page A13

LEFT SIDE ELEVATION 'B'



ALLOWABLE UNPROTECTED OPENINGS

TOTAL WALL AREA	1,196.73 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	83,777 SF
ACTUAL OPENINGS	14,689 SF

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-1" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

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ARCHITECTURAL REVIEW APPROVAL
 MAY 10 2017
 John G. Williams Limited, Architect

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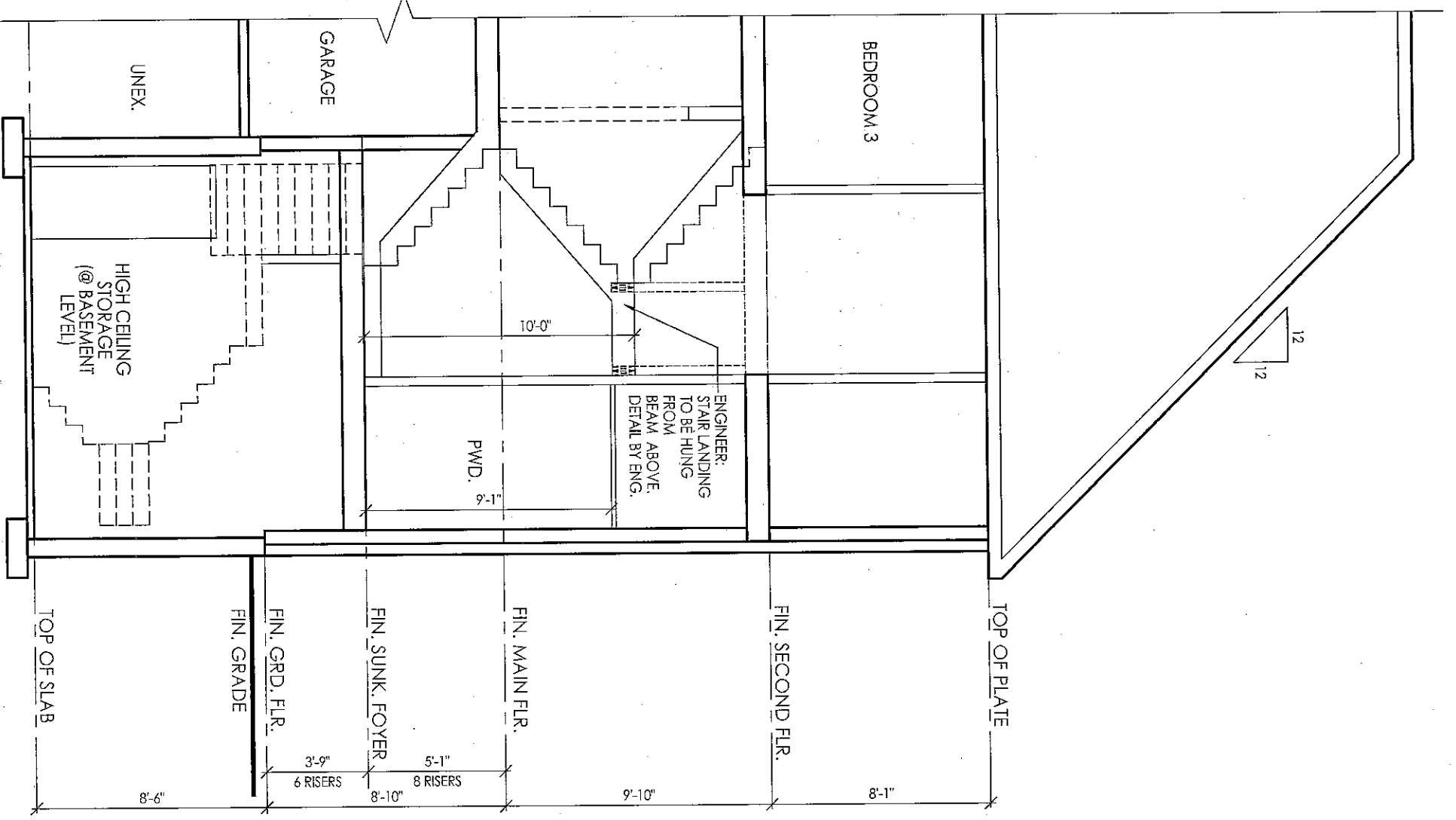
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client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name	The Verdi						
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1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
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3	ISSUED FOR CLIENT REVIEW - ROOF PITCH REVISED	4-May-16	jrn	JP	7				
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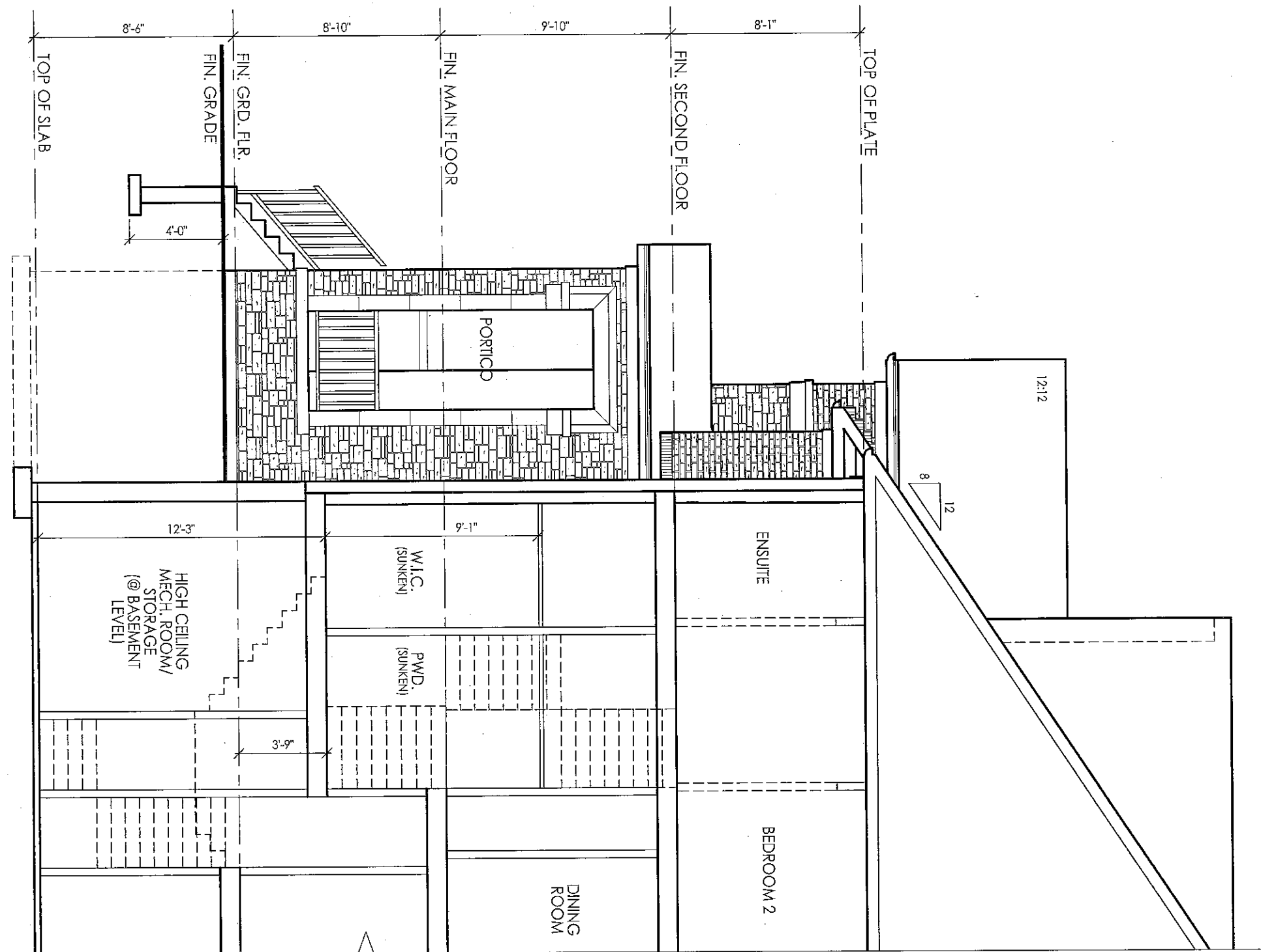


model 41-6
 scale 3/16" = 1'0"
 project # 13098
 page A14

PARTIAL CROSS-SECTION 1



PARTIAL CROSS-SECTION 2



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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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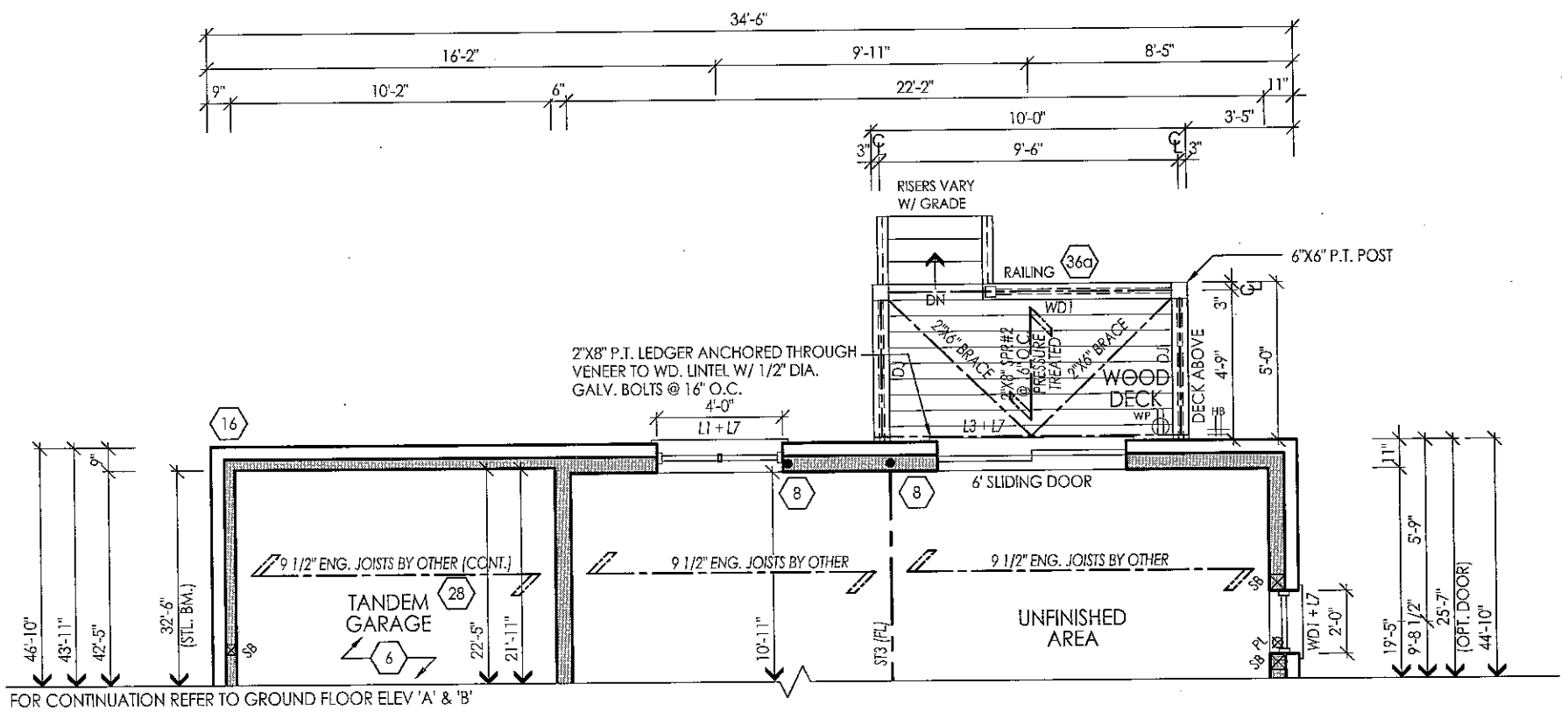
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project		Mclaughlin and Mayfield		marketing name		The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
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4					8				



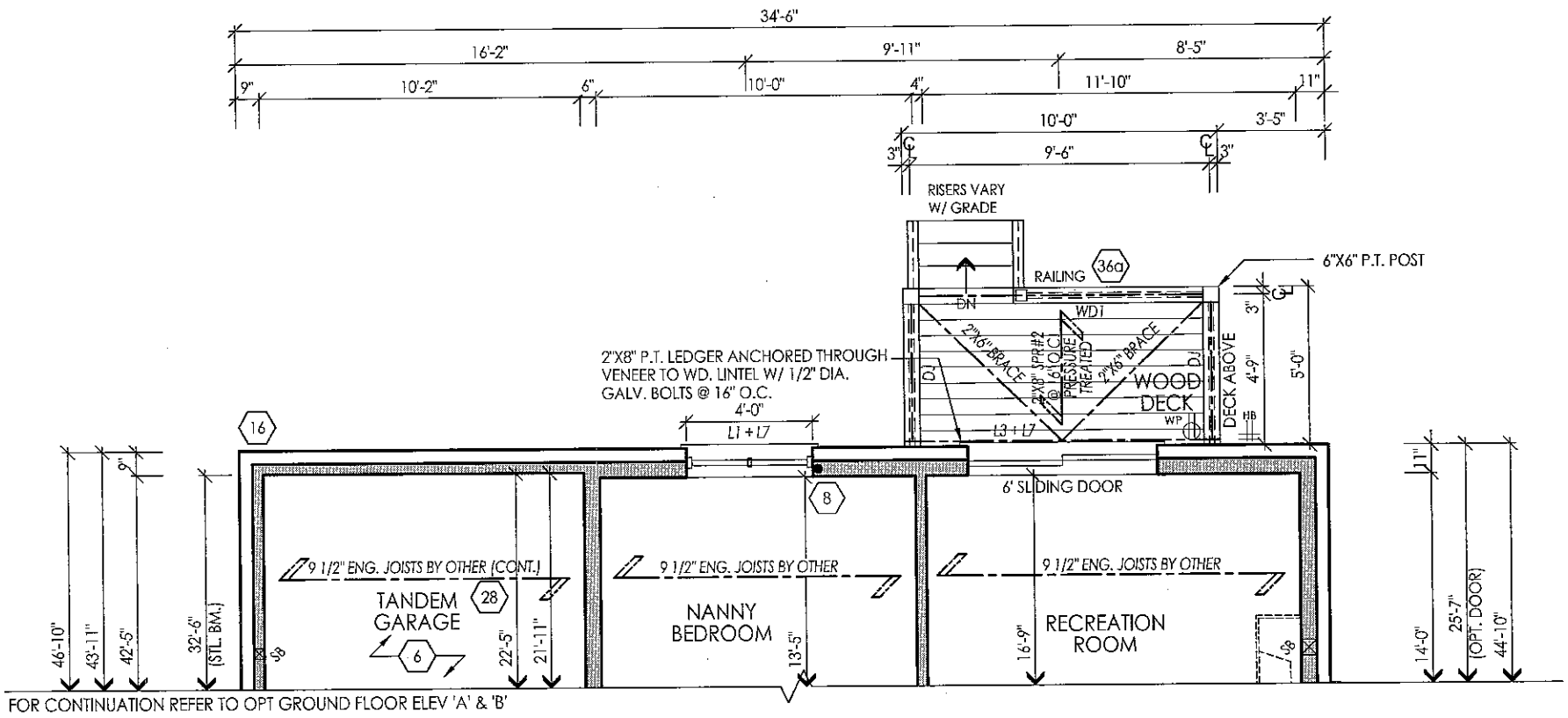
model 41-6
 scale 3/16" = 1'0"
 project # 13098

page A15

PARTIAL GROUND FLOOR WOD CONDITION



PARTIAL OPT. GROUND FLOOR WOD CONDITION



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017
John G. Williams Limited, Architect

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FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

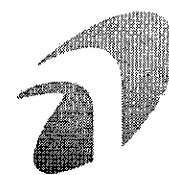
project
Mclaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD CONDITION	12-May-16	JR	JP	5				
2	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	6				
3					7				
4					8				

location
Brampton

marketing name
The Verdi

RN design
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model
41-6

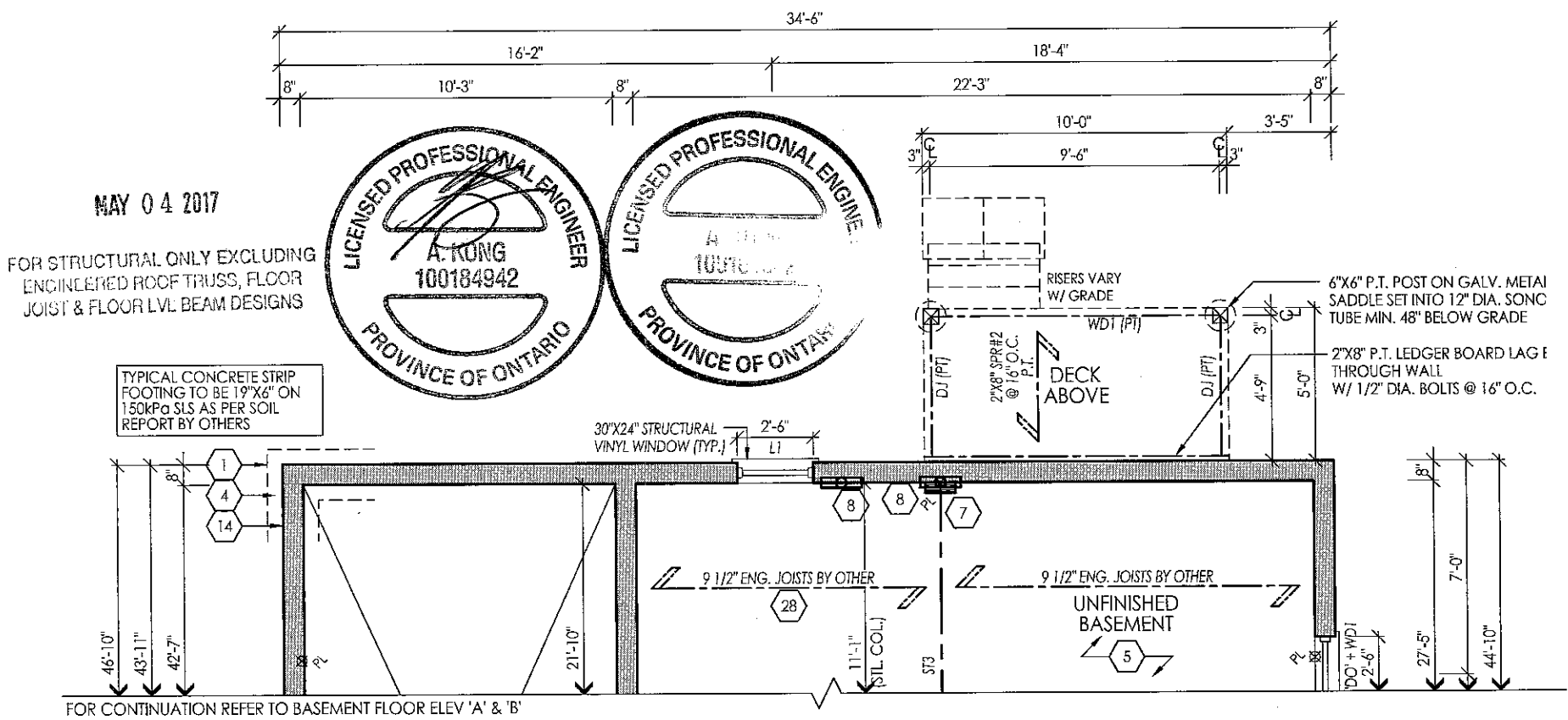
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project #
13098

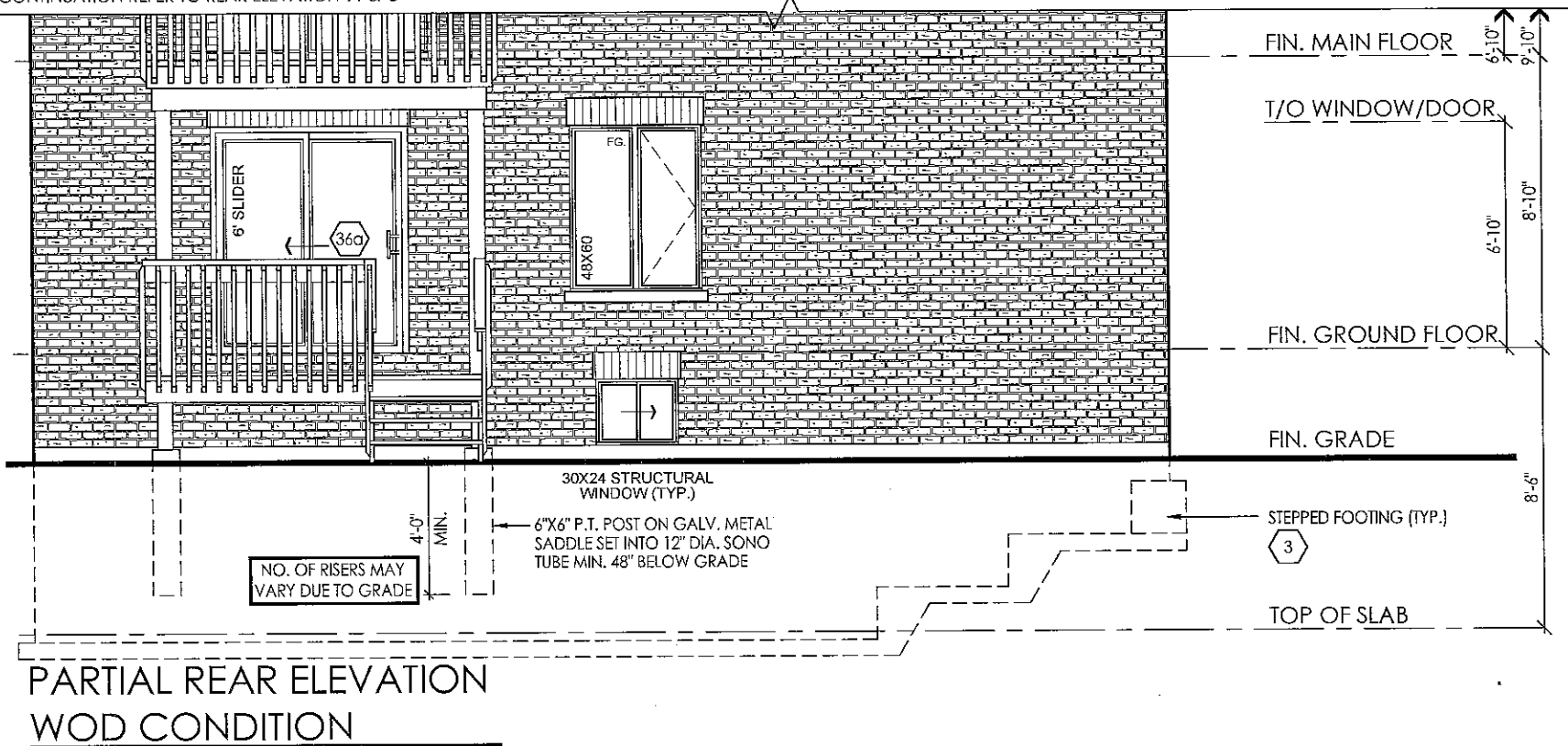
page

A16

PARTIAL BASEMENT FLOOR WOD CONDITION



FOR CONTINUATION REFER TO REAR ELEVATION 'A' & 'B'



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ARCHITECTURAL REVIEW & APPROVAL

MAY 10 2017

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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26795
DATE: 19-Apr-17

SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Verdi

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ADDED WOD CONDITION	12-May-16	JR	JP	5				
2	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	6				
3					7				
4					8				

RN design
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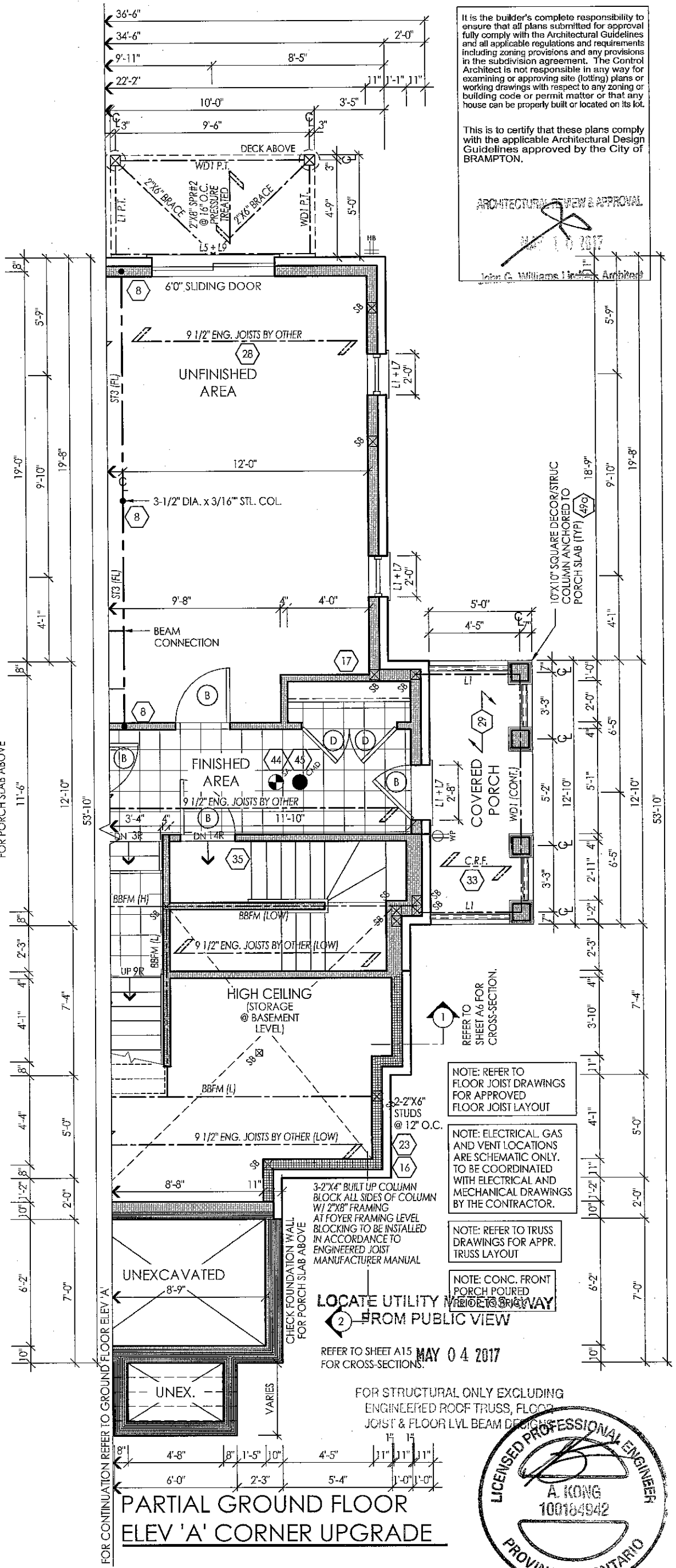
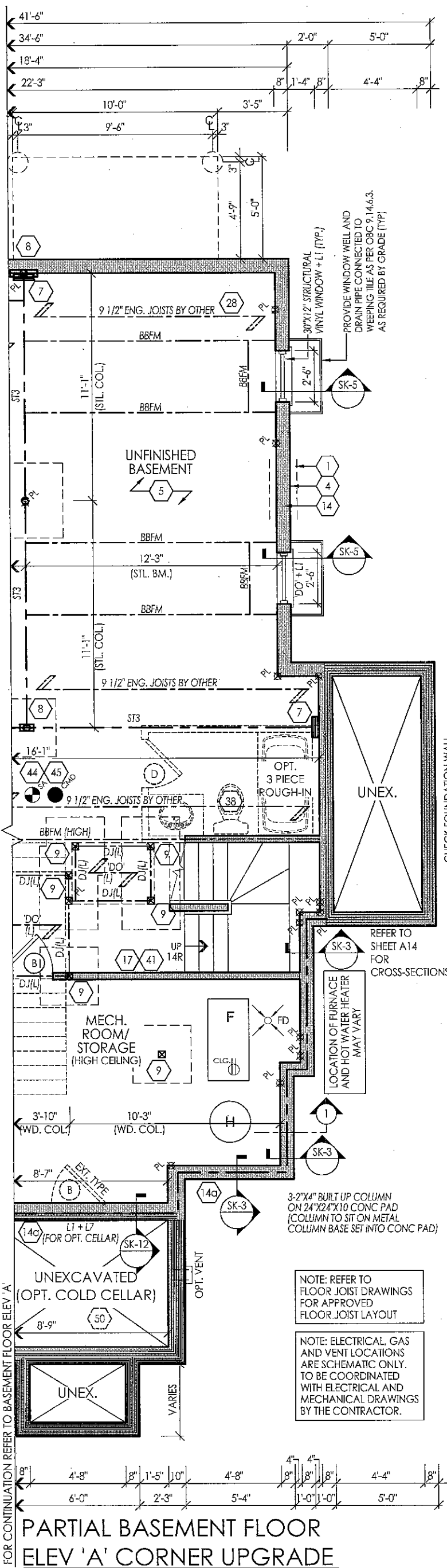
model
41-6

scale
3/16" = 1'0"

project #
13098

page

A17



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ARCHITECTURAL REVIEW & APPROVAL

MAY 04 2017

John C. Williams Architect

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 FIRM BCIN: 26995
 DATE: 19-Apr-17

SIGNATURE: *[Signature]*

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Verdi

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED CORNER UPG FOR REVIEW	30-May-16	JR	JS	5	ADDED WOOD COLUMN IN MECH ROOM FOR POINT LOAD ABOVE	29-Aug-16	ES	ES
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6	MAIN STAIR REVISED/ISSUED FOR PERMIT	21-Sep-16	JM	JM
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-JULY-16	JM	JM	7	REVISED AS PER OBC SB-12 2017 UPDATE	6-Apr-17	es	es
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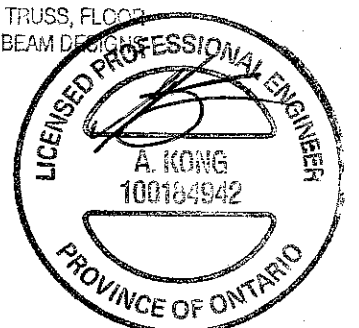


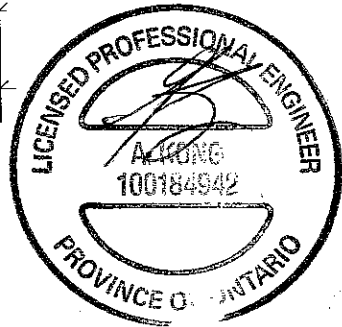
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scale
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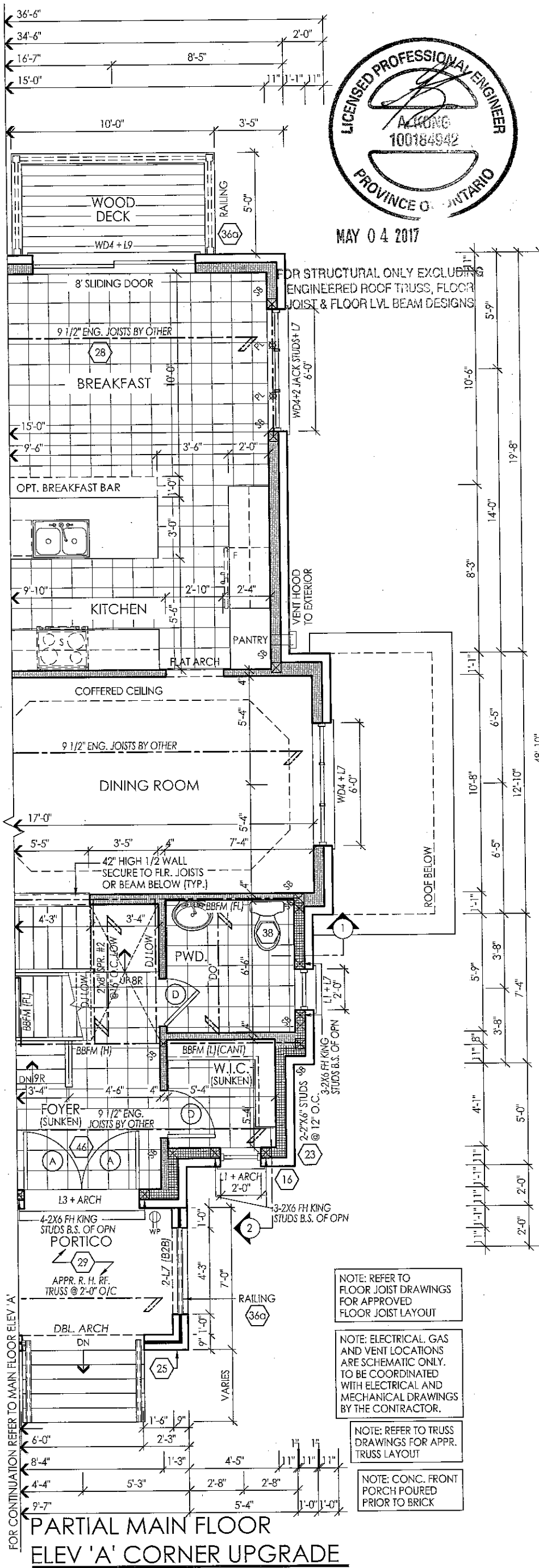
project #
13098

page
A18





MAY 04 2017

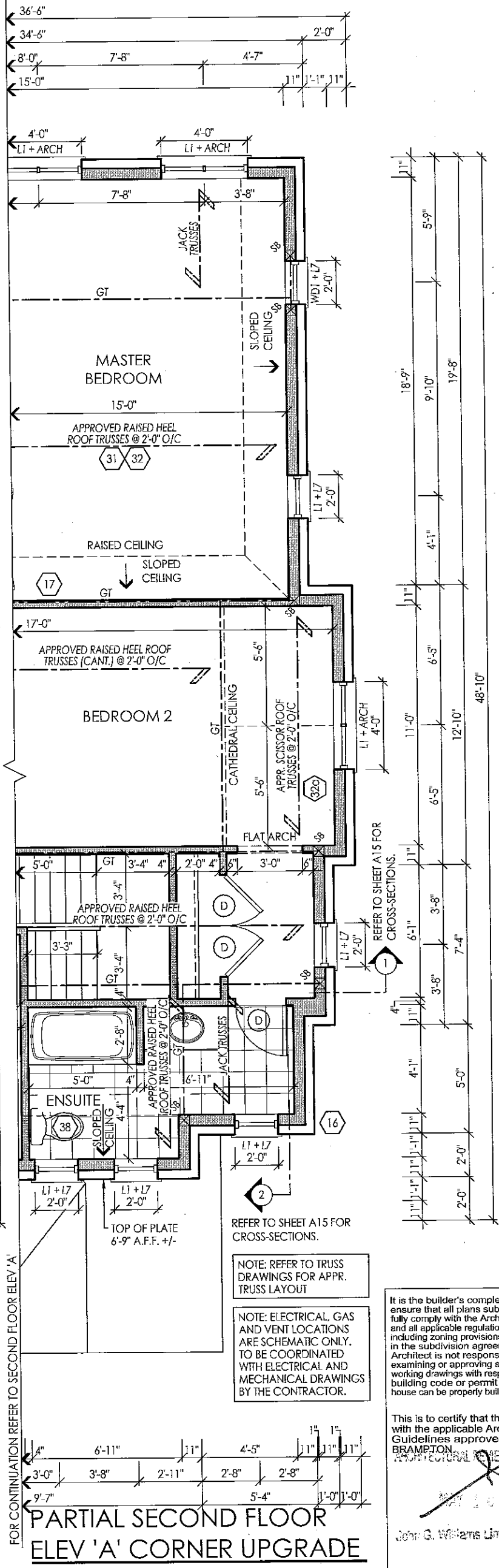


NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK



NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

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File: C:\RN_Standards\temp\AcPublish_045213098 - 41-6-FINAL.dwg Plotted: May 03, 2017 By: Lauren O

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SIGNATURE: *[Signature]*

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1	ISSUED CORNER UPG FOR REVIEW	30-May-16	J	JS	5	REVISED PER OBC SB-12 2017 UPDATE	4/6/2017	ES	ES
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	27-JULY-16	MM	JM	7				
4	REVISED PER FLOOR COORDINATION	16-AUG-16	JR	XX	8				



client: Gold Park Homes
 location: Brampton
 project: Mclaughlin and Mayfield
 marketing name: The Verdi

model: 41-6
 scale: 3/16" = 1'0"
 project #: 13098

page: **A19**

GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	4822.00 SF	401.51 m ²
FRONT GLAZING AREA	196.79 SF	18.28 m ²
LEFT SIDE GLAZING AREA	1.6 SF	1.49 m ²
RIGHT SIDE GLAZING AREA	195.12 SF	18.13 m ²
REAR GLAZING AREA	269.16 SF	25.00 m ²
TOTAL GLAZING AREA	677.07 SF	62.90 m ²
TOTAL GLAZING PERCENTAGE	15.67 %	

#210 SELF SEALING ASPHALT SHINGLES
W/ FLASHING AT VALLEYS (TYP.)

8"X16" PRECAST CONC. DETAIL (TYP.)

LINE OF CATHEDRAL CEILING (9:1:2)

8" SELF SUPP. PRECAST ARCH (TYP.)
W/ CENTER KEYSTONE
W/ 8" PRECAST RETURNS

24"X18" EXT. ARCH TRANSOM (TYP.)

8" PRECAST HEADER (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND
GUTTER ON PRE-FINISHED FASCIA
BOARD AND VENTED SOFFIT (TYP.)

1"X6" DECOR. FRIEZE BOARD (TYP.)

TOP OF BAND

8" PRECAST SURROUND (TYP.)

FACE BRICK (TYP.)

4" PRECAST CONC. SILL (TYP.)

PAINTED MTL. FLASHING (TYP.)
W/ CAULKING TO MATCH

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR/WINDOW

10"X10" SQUARE POST ON
18"X18"X42" HIGH STONE PIER (TYP.)

W/ 4" PRECAST CONC. CAP
W/ 8" PRECAST CONC. BAND
ANCHORED TO SLAB BELOW

TOP OF PIER CAP

42" HIGH RAILING (TYP.)

FIN. MAIN FLOOR

TOP OF BALCONY

8" PRECAST HEADER (TYP.)
W/ CENTER KEYSTONE

TOP OF BAND

STONE VENEER (TYP.)
W/ MTL. FLASHING BEHIND

FIN. GROUND FLOOR

FIN. GRADE

U/S OF FOOTING

STEPPED FOOTING (TYP.)

3

4

14

29

49

360

48

49

23

36

412

18X36

PEAK HEIGHT OF ROOF (41'-1")

18"X36" FALSE WINDOW (TYP.)
W/ BLACK GLASS
W/ 8"X2" VINYL HEADER
W/ 4" VINYL SURROUND
W/ 6" VINYL SILL

TOP OF FALSE WINDOW

DECOR. "CEDAR SHAKE" STYLE SIDING (TYP.)
W/ MTL. FLASHING BEHIND
MID POINT OF ROOF

(39'-11")

11:12

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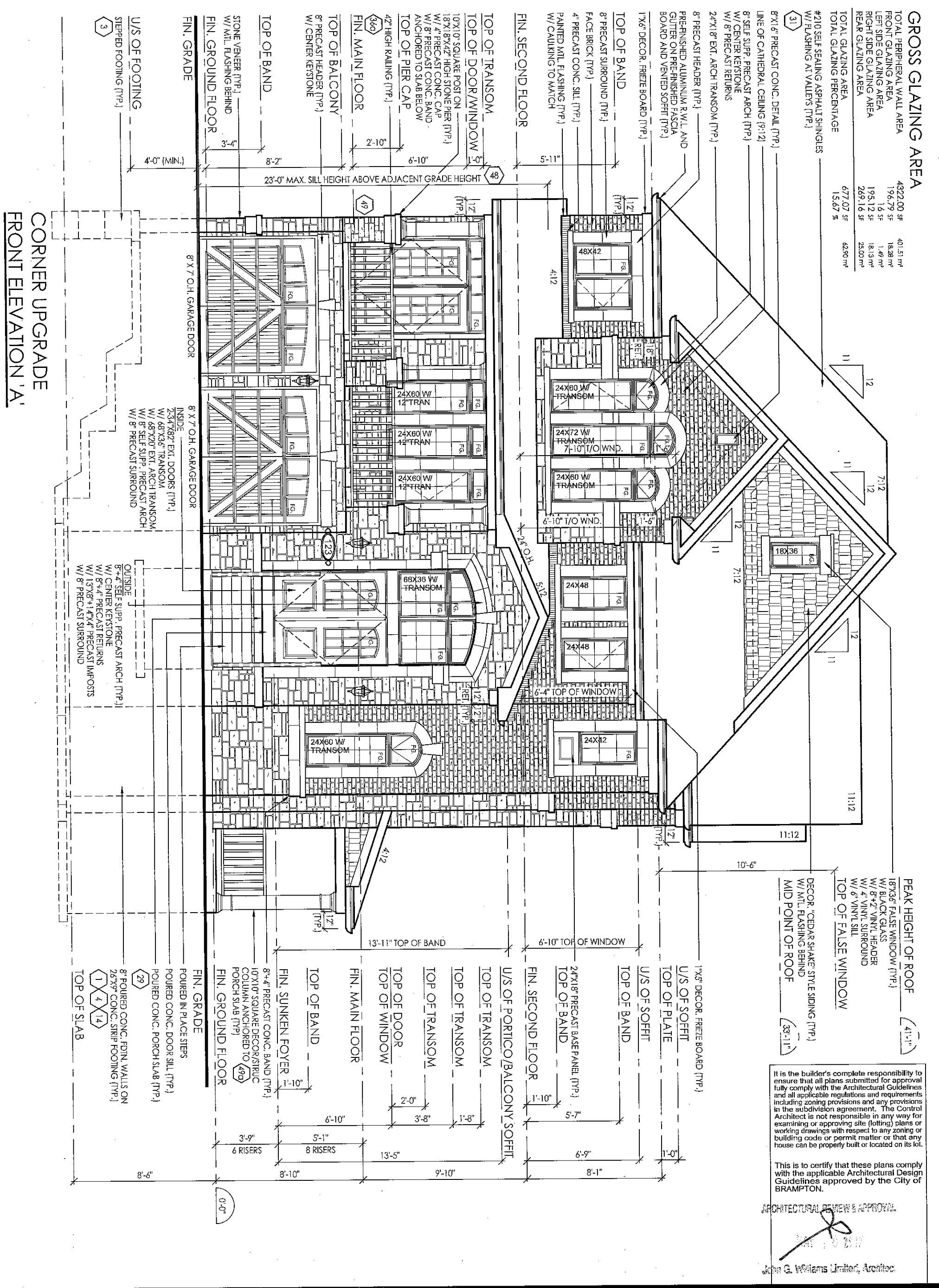
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ARCHITECTURAL REVIEW & APPROVAL
[Signature]
John G. Williams Limited, Architect

**CORNER UPGRADE
FRONT ELEVATION 'A'**



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QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

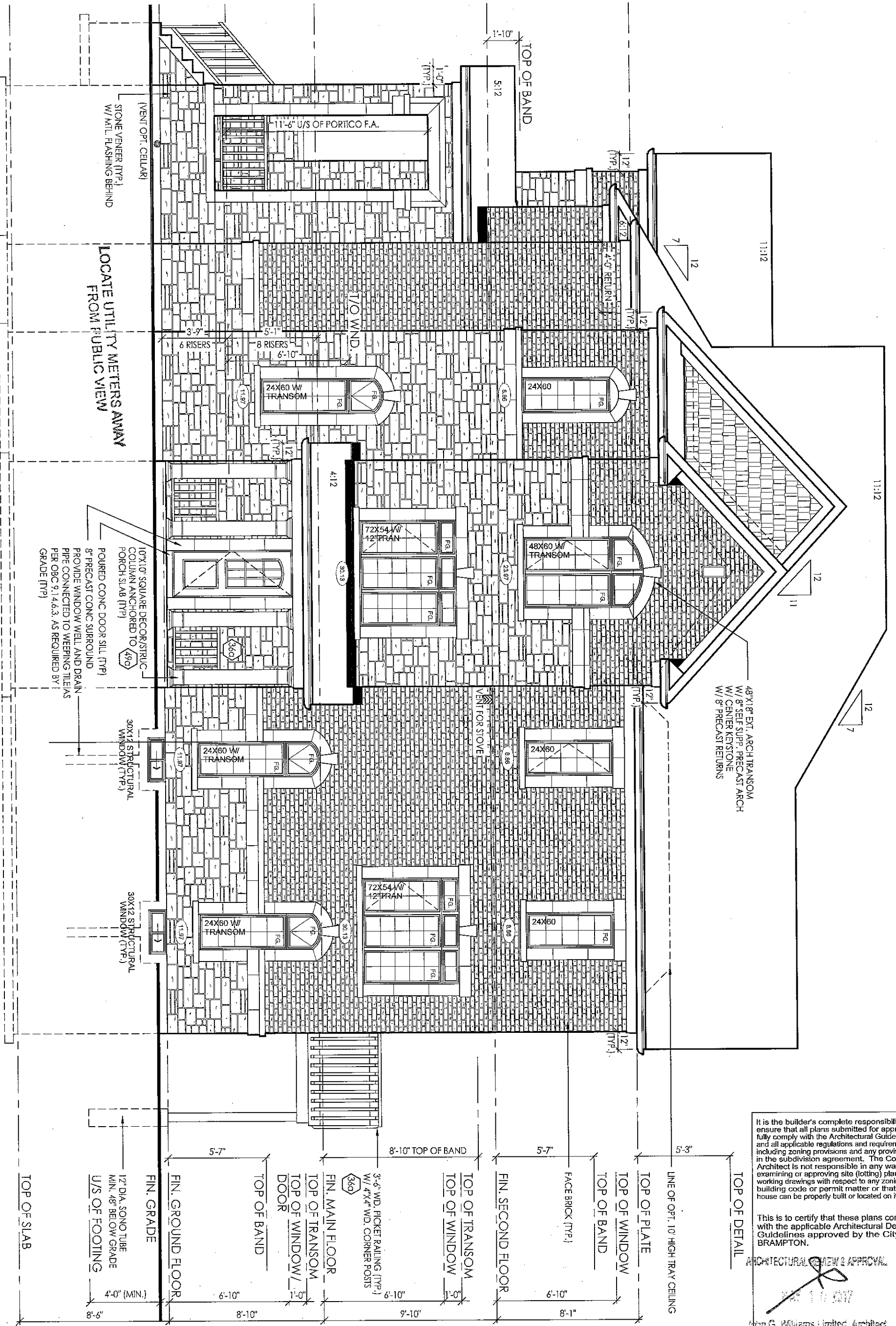
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client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name	The Verdi						
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED CORNER UPG FOR REVIEW	30-May-16	J	J	5				
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6				
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	7				
4					8				



model 41-6
scale 3/16" = 1'0"
project # 13098
page
A20

**CORNER UPGRADE
RIGHT SIDE ELEVATION 'A'**



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DATE: 19-Apr-17

SIGNATURE: *[Signature]*

client	Gold Park Homes				location	Brampton			
project	McLaughlin and Mayfield				marketing name	The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED CORNER UPG FOR REVIEW	30-May-16	Jr	js	5				
2	ISSUED FOR PERMIT	19-Jun-16	JR	JP	6				
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	7				
4					8				

RN design
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model 41-6
scale 3/16" = 1'0"
project # 13098

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**CORNER UPGRADE
REAR ELEVATION 'A'**



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ARCHITECTURAL DESIGN & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

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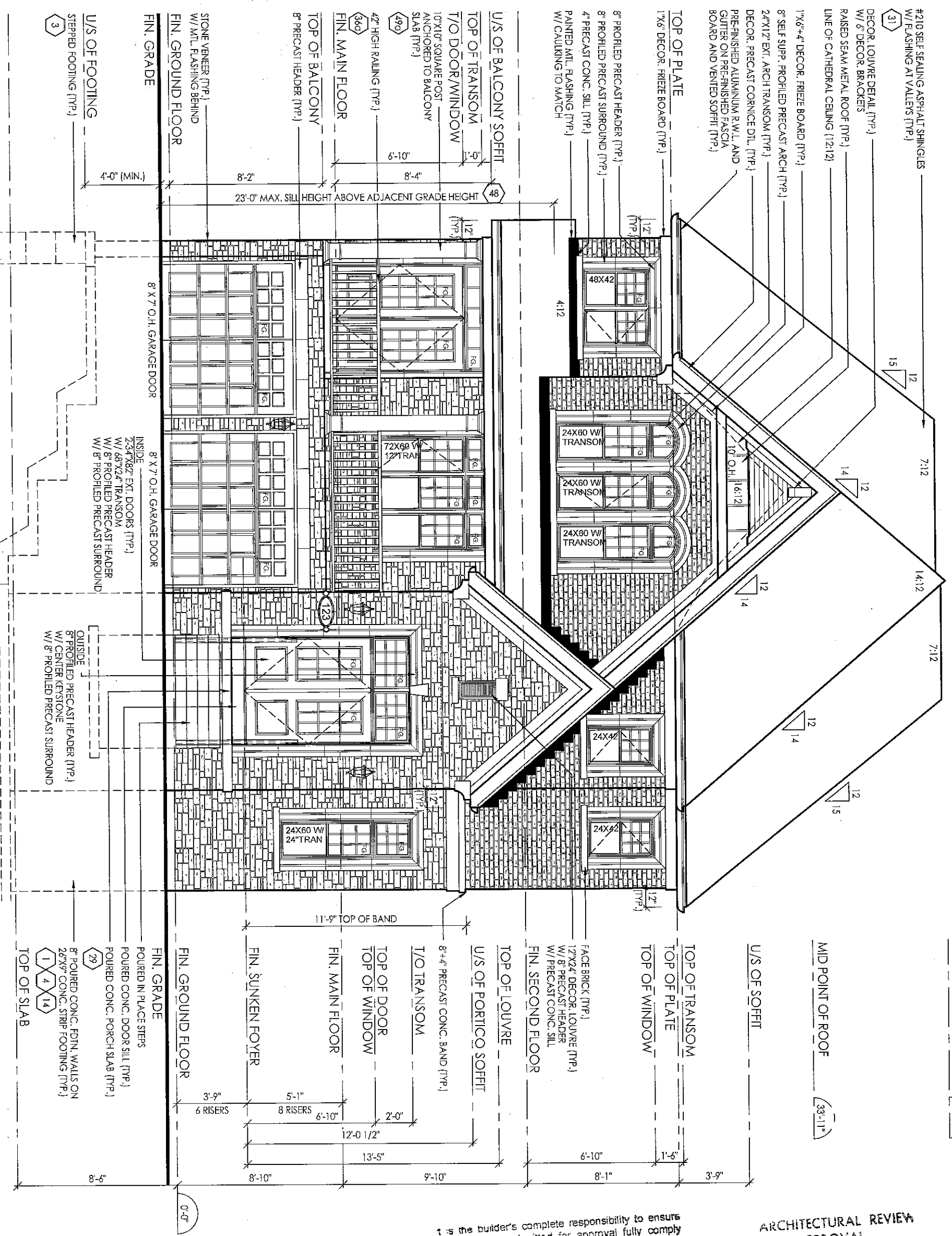
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client	Gold Park Homes				location	Brampton			
project	McLaughlin and Mayfield				marketing name	The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED CORNER UPG FOR REVIEW	30-May-16	Jr	js	5				
2	ISSUED FOR PERMIT	19-Jul-16	JR	JP	6				
3	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	7				
4					8				



model 41-6
scale 3/16" = 1'0"
project # 13098
page A22

FRONT ELEVATION 'B'
(LOT 65)



PEAK HEIGHT OF ROOF (41'-2")

MID POINT OF ROOF (33'-11")

U/S OF SOFFIT

TOP OF WINDOW

TOP OF PLATE

TOP OF TRANSOM

FIN. SECOND FLOOR

U/S OF PORTICO SOFFIT

8'-4" PRECAST CONC. BAND (TYP.)

T/O TRANSOM

TOP OF WINDOW

FIN. MAIN FLOOR

FIN. SUNKEN FOYER

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

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ARCHITECTURAL REVIEW AND APPROVAL
CITY OF BRAMPTON
Signed: *[Signature]*
Dated: **MAY 10 2017**
JOHN G. WILLIAMS LIMITED, ARCHITECT

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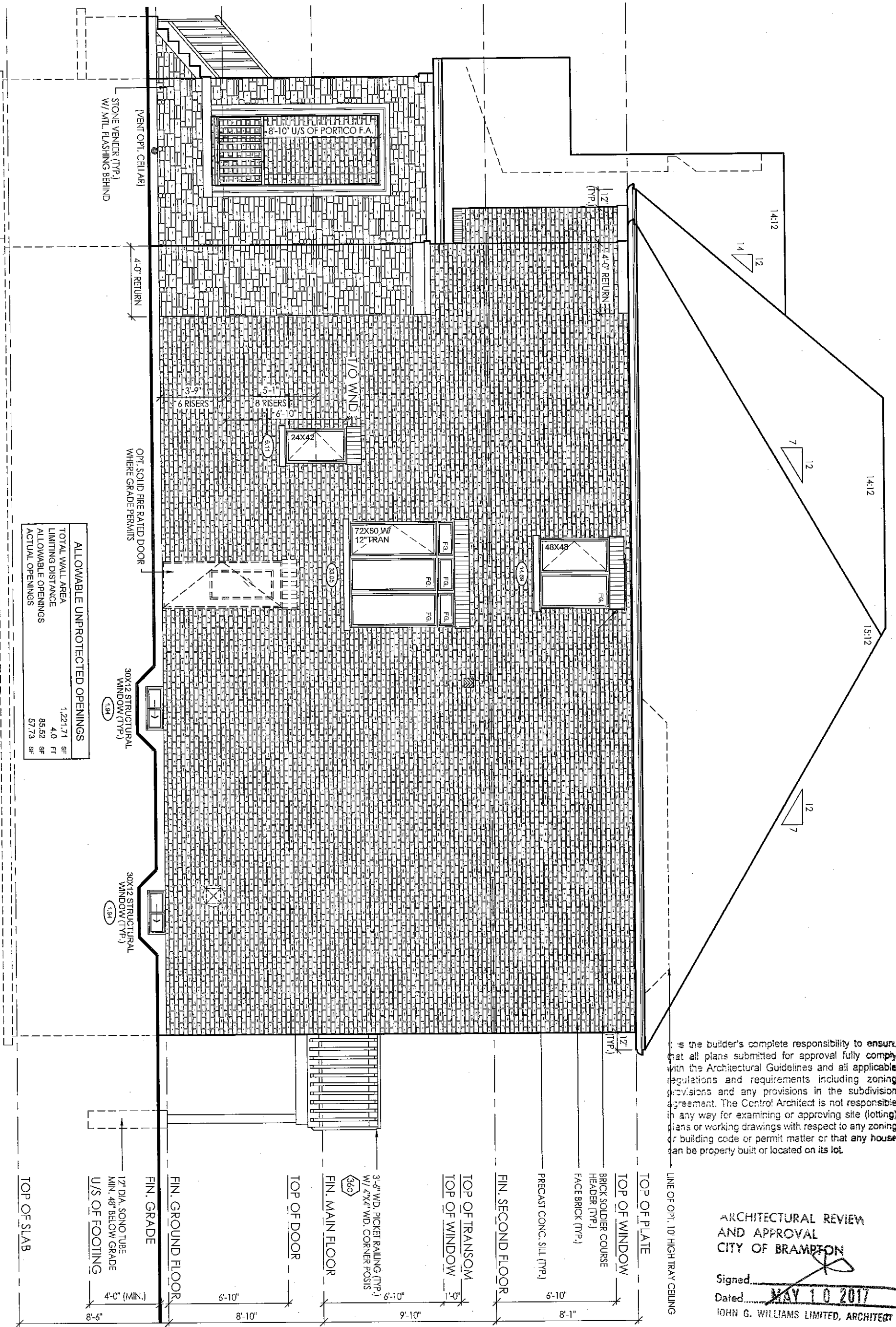
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project	Mclaughlin and Mayfield		marketing name	The Verdi	
#	revisions	date	dwn	chk	#
1	ISSUED FOR CLIENT REVIEW	08-AUG-16	SM	JM	
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP	

model 41-6
scale 3/16" = 1'0"
project # 13098

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RN design
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RIGHT SIDE ELEVATION 'B'
(LOT 65)



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,221.71 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	85.52 SF
ACTUAL OPENINGS	57.73 SF

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ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed: *[Signature]*
Dated: MAY 10 2017
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client	Gold Park Homes				location	Brampton			
project	Mclaughlin and Mayfield				marketing name	The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	03-AUG-16	SM	JM					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP					

model 41-6
scale 3/16" = 1'0"
project # 13098

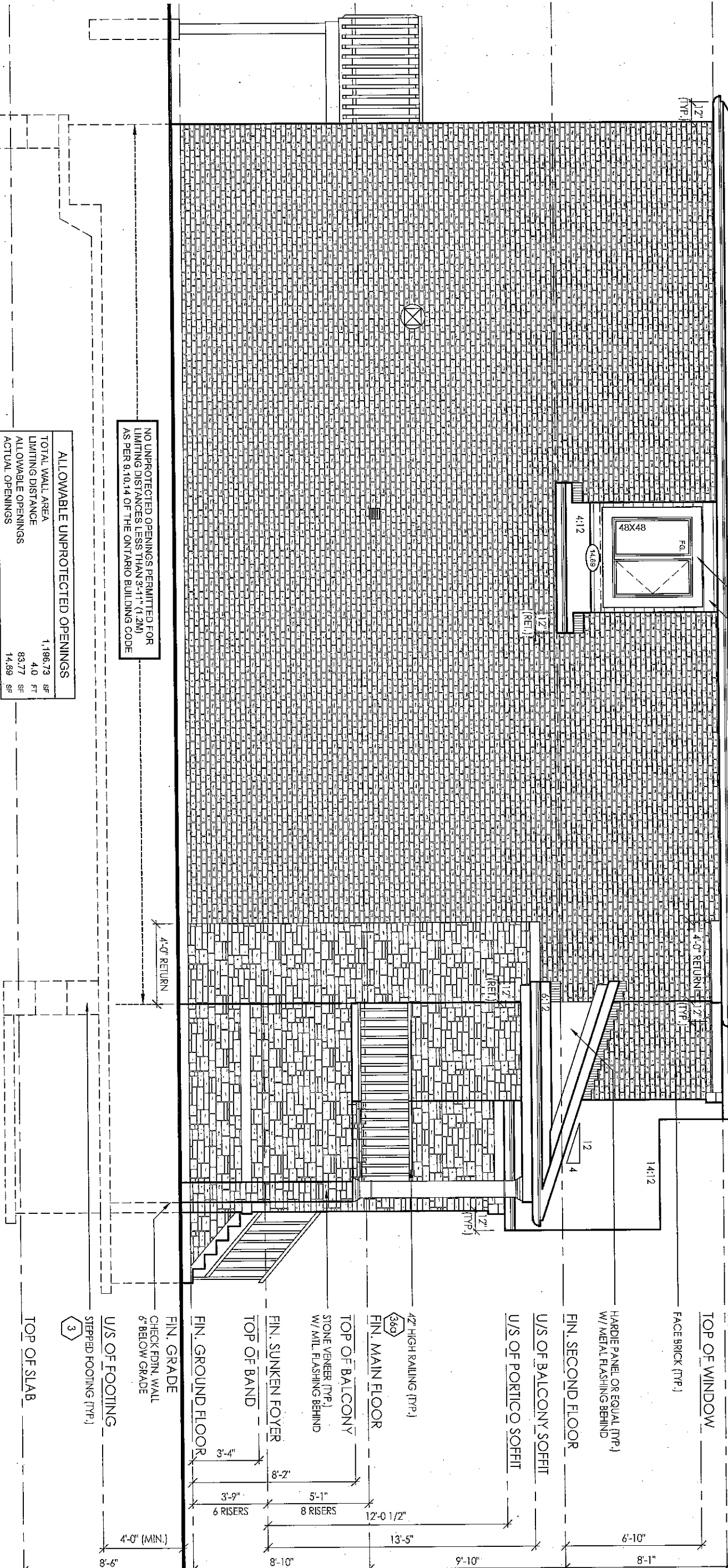
page **A24**

RN design
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LEFT SIDE ELEVATION 'B'
(LOT 65)


ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,196.73 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	83.77 SF
ACTUAL OPENINGS	14.89 SF

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE




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ARCHITECTURAL REVIEW AND APPROVAL
CITY OF BRAMPTON

Signed: 
Dated: MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

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FIRM BCIN: 26995
DATE: 

SIGNATURE:

client		location							
Gold Park Homes		Brampton							
project		marketing name							
McLaughlin and Mayfield		The Verdi							
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	ANA	JP					

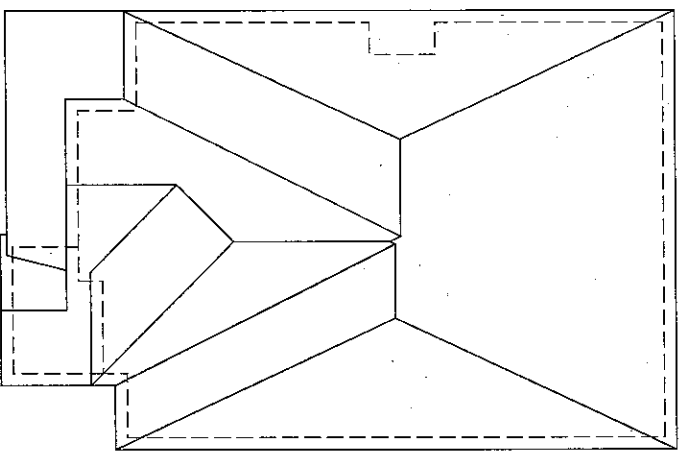
RN design
Imagine • Inspire • Create



model 41-6
scale 3/16" = 1'0"
project # 13098

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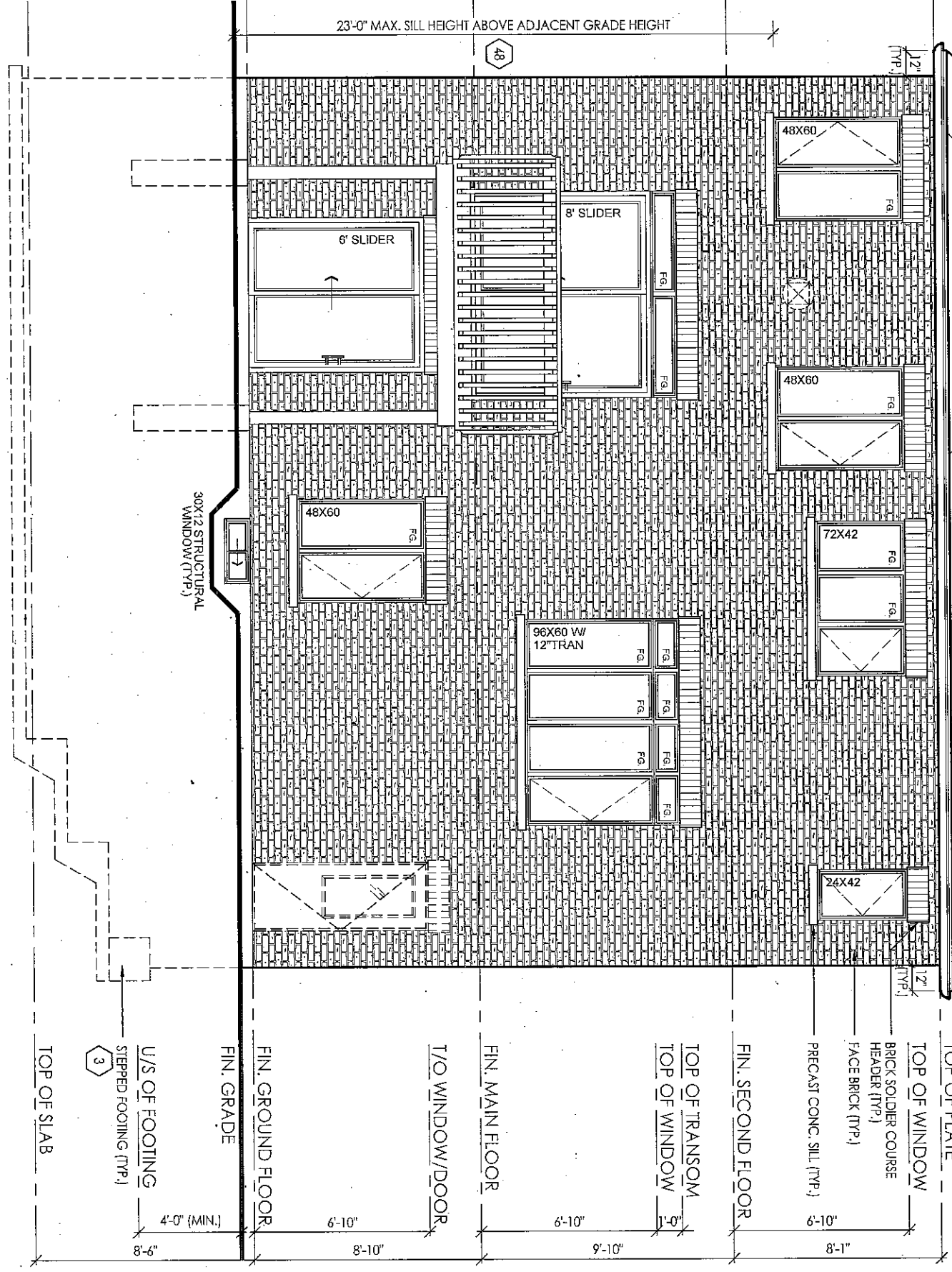
ROOF PLAN 'B'
(LOT 65)



NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

REAR ELEVATION 'A' & 'B'
(LOT 65)



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ARCHITECTURAL REVIEW AND APPROVAL
CITY OF BRAMPTON

Signed _____
Dated MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

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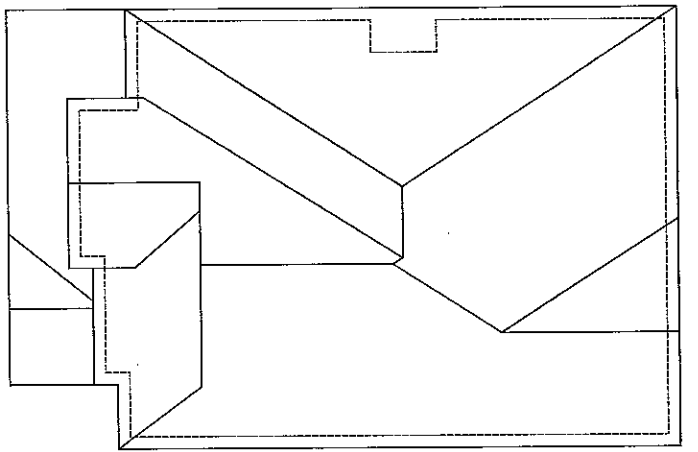
QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
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SIGNATURE: J.P.

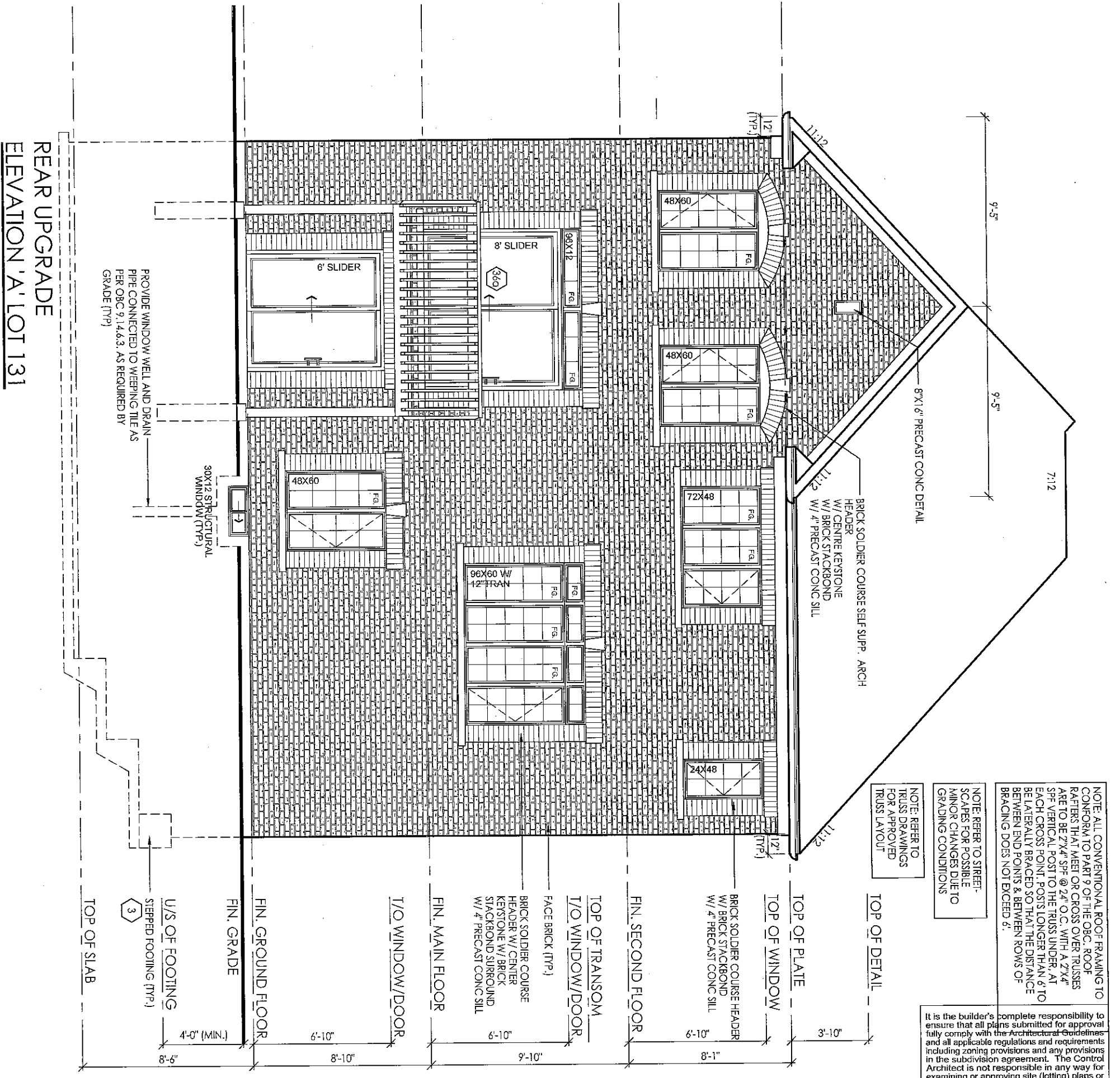
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project	Mclaughlin and Mayfield			marketing name	The Verdi				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	05-AUG-16	SM	JM					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	15-APR-17	MM	JP					



model 41-6
scale 3/16" = 1'0"
project # 13098
page A26



ROOF PLAN 'A'
REAR UPGRADE



REAR UPGRADE
ELEVATION 'A' LOT 131

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RATERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SP @ 24" O.C. WITH A 2"x4" SP VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

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NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

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ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

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DATE: *J.P.*

SIGNATURE: _____

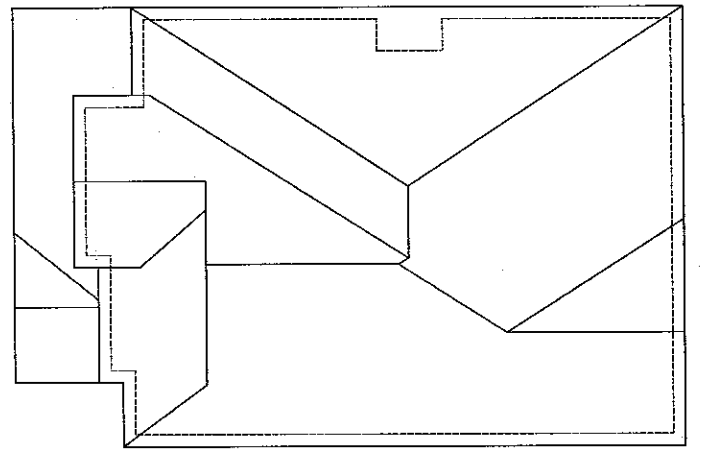
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project	McLaughlin and Mayfield				marketing name	The Verdi			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP					

model 41-6
scale 3/16" = 1'0"
project # 13098

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RN design
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ROOF PLAN 'A'
REAR UPGRADE

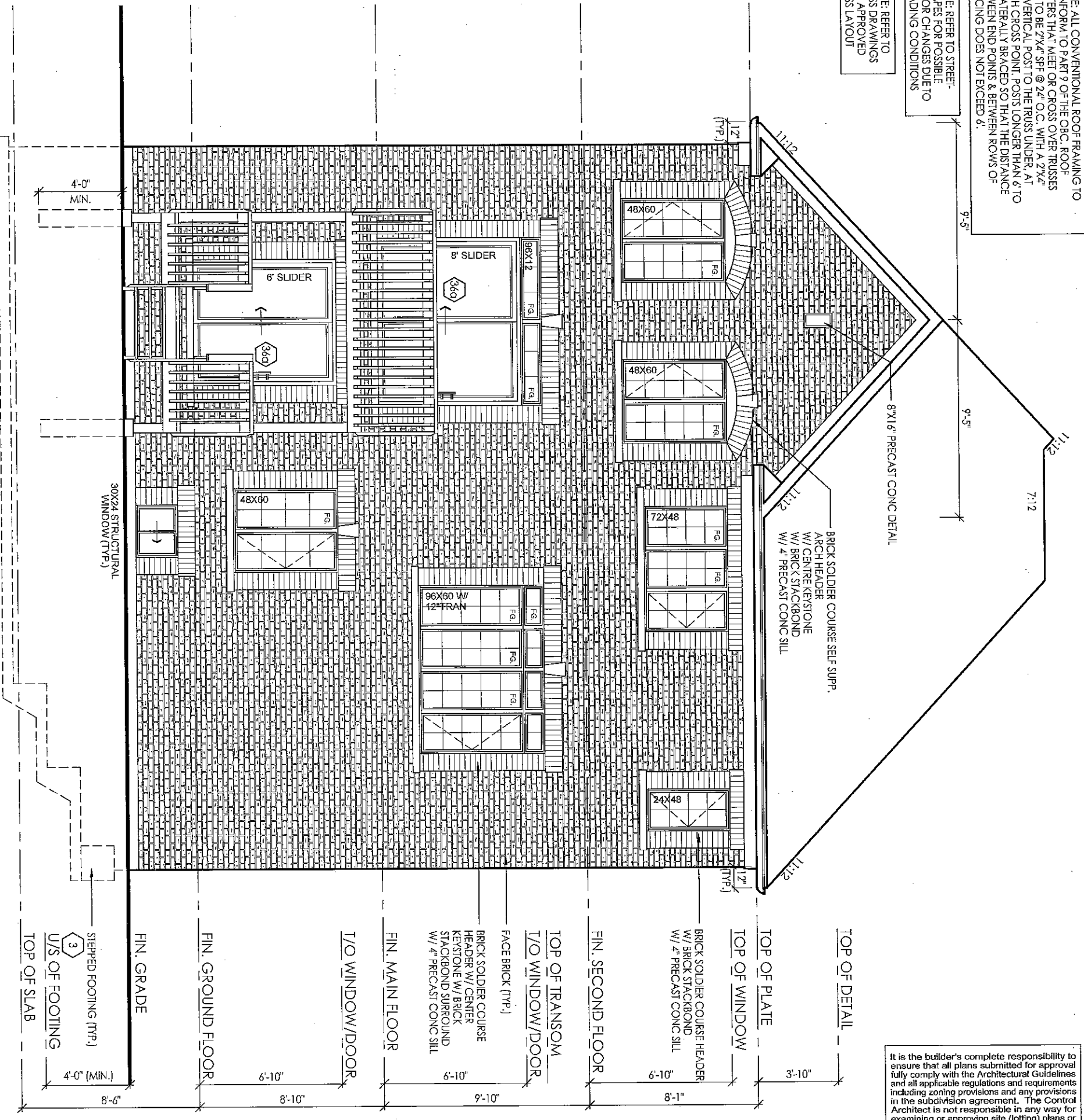


NOTE: ALL CONVENTIONAL ROOF-FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. ALL EACH CROSS POINT POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

WOD REAR UPGRADE
ELEVATION 'A'



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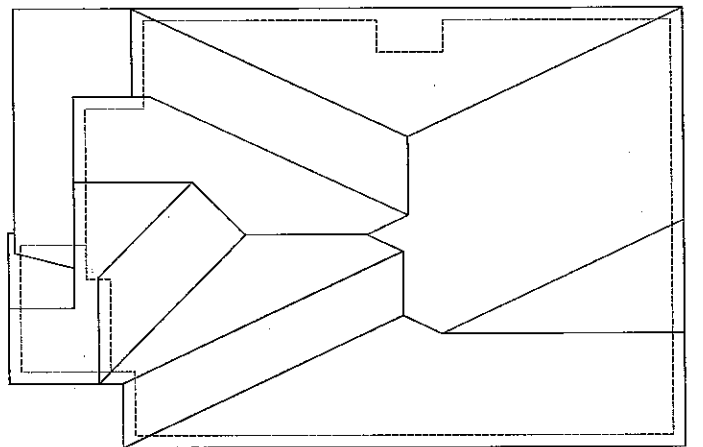
QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.17
SIGNATURE:

client	Gold Park Homes		location	Brampton	
project	Mclaughlin and Mayfield		marketing name	The Verdi	
#	revisions	date	dwn	chk	#
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP	
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model 41-6
scale 3/16" = 1'0"
project # 13098

page A29

RN design
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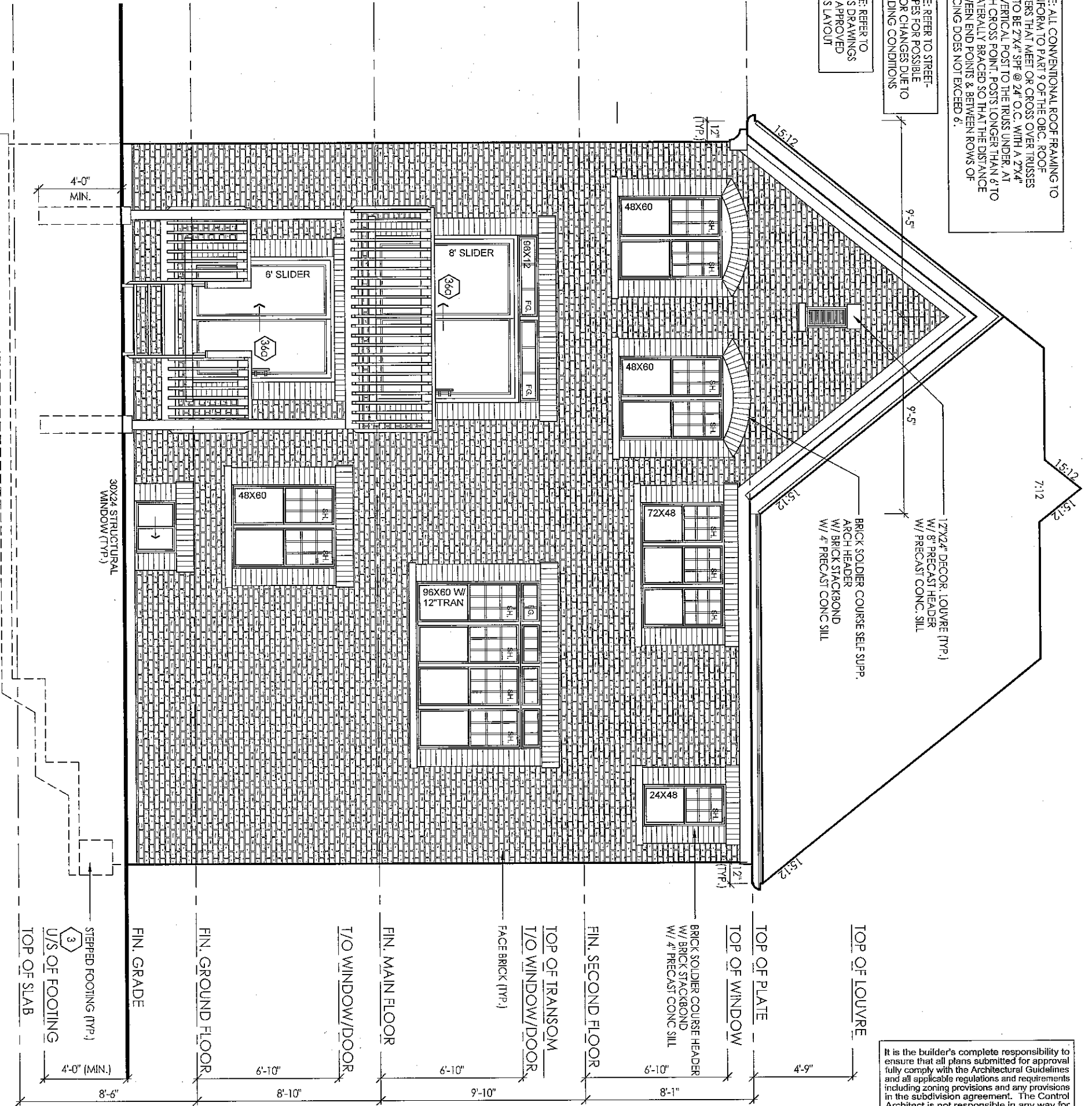
**ROOF PLAN 'B'
REAR UPGRADE**

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" S/P @ 24" O.C. WITH A 2"x4" S/P VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

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NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

**WOD REAR UPGRADE
ELEVATION 'B' LOT 128**



1 2"x4" DECOR. LOUVER (TYP.)
W/ 8" PRECAST HEADR
W/ PRECAST CONC. SILL

BRICK SOLDIER COURSE SELF SUPP.
ARCH HEADER
W/ BRICK STACKBOND
W/ 4" PRECAST CONC. SILL

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ARCHITECTURAL REVIEW & APPROVAL

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SIGNATURE:

client
Gold Park Homes

project
Mclaughlin and Mayfield

location
Brampton

marketing name
The Verdi

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP					

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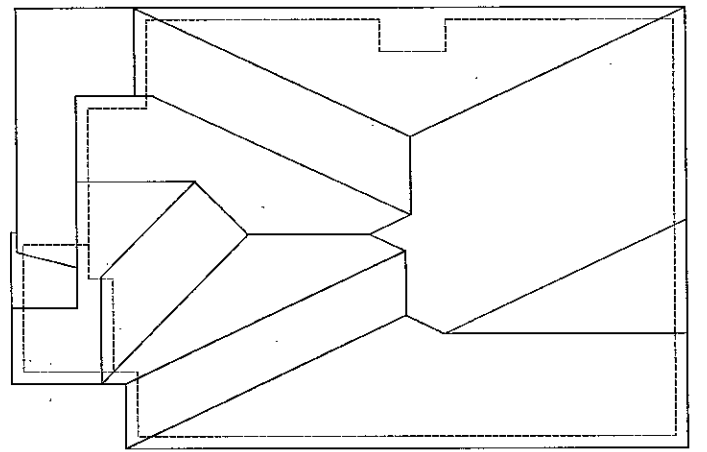


model
41-6

scale
3/16" = 1'0"

project #
13098

page
A30



ROOF PLAN 'B'
REAR UPGRADE

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NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL
MAY 10 2017
John G. Williams Limited, Architect

REAR UPGRADE
ELEVATION 'B' LOT 122

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 11.17.17

SIGNATURE:

client: Gold Park Homes
location: Brampton
project: McLaughlin and Mayfield
marketing name: The Verdi

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	12-OCT-16	AD	JP					
2	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	19-APR-17	MM	JP					

model: 41-6
scale: 3/16" = 1'0"
project #: 13098

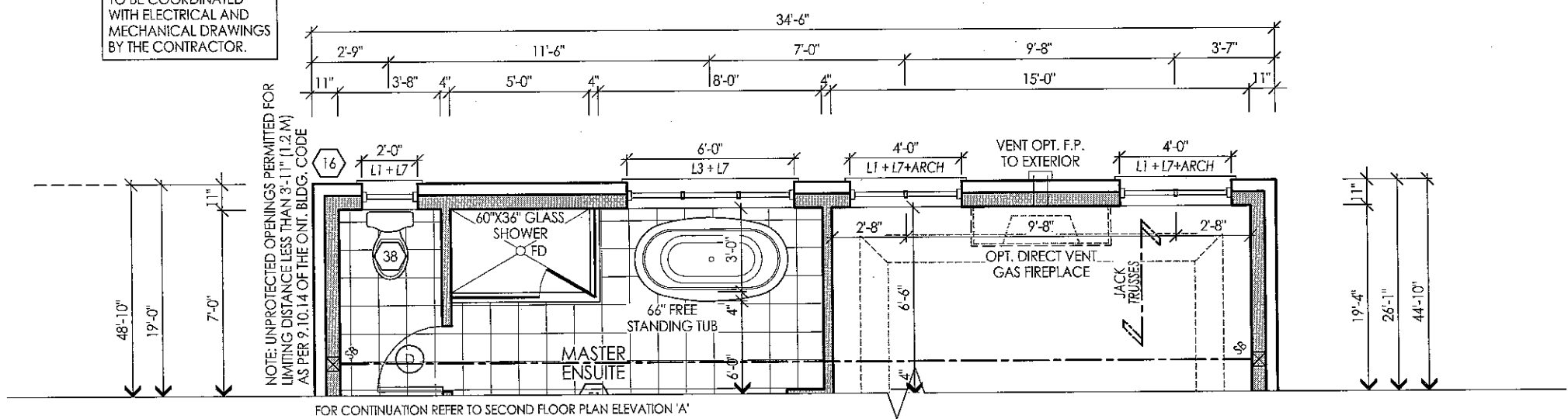
page: A31

RN design
imagine • inspire • create

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

PARTIAL SECOND FLOOR PLAN ELEV. 'A' & 'B' REAR UPGRADE LOTS 131,126,122,128



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF BRAMPTON

Signed _____
Dated MAY 10 2017
JOHN G. WILLIAMS LIMITED, ARCHITECT

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name
The Verdi

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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RN design
Imagine • Inspire • Create



model
41-6

scale
3/16" = 1'0"

project #
13098

page

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.
-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-F.T.G. TO HAVE CONTINUOUS KEY
-F.T.G. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-F.T.G. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER -1 STOREY -13" X 4" (330mm X 100mm)
-2 STOREY -19" X 6" (485mm X 150mm)
-3 STOREY -26" X 9" (660mm X 230mm)
SIDING -1 STOREY -10" X 4" (255mm X 100mm)
-2 STOREY -14" X 6" (360mm X 150mm)
-3 STOREY -18" X 8" (450mm X 230mm)

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY -16" X 4" (410mm X 100mm)
-1 STOREY STUD -12" X 4" (305mm X 100mm)
-2 STOREY MASONRY -26" X 9" (660mm X 230mm)
-2 STOREY STUD -18" X 5" (450mm X 130mm)
-3 STOREY MASONRY -36" X 14" (910mm X 360mm)
-3 STOREY STUD -24" X 8" (600mm X 230mm)

STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.
-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5/8" (16mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

BASEMENT SLAB:

O.B.C. 9.13. & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C. 9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12-3.1.1.7 (5))
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

SLAB ON GROUND:

O.B.C. 9.16.4.3.
-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7 (6))
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C. 9.31.4.4.
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

GARAGE SLAB / EXTERIOR SLAB:

O.B.C. 9.13.3.
-4" (100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (W2.9 X W2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

PILASTERS:

O.B.C. 9.15.5.3.
PILASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7/8" (200mm) SOLID.
OR
BEAM POCKET
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)
STRUCTURAL COLUMNS
-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BTM. PLATE
-FOR WOOD BEAMS, MIN. 4" X 4" X 1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)
COL. SPACING: FTG SIZE:
2 STOREY
-MAX. 9'-10" (2997mm) -34" X 34" X 16" (860mm X 860mm X 400mm)
-44" X 44" X 21" (1120mm X 1120mm X 530mm)
3 STOREY
-MAX. 9'-10" (2997mm) -40" X 40" X 19" (1010mm X 1010mm X 480mm)
-51" X 51" X 24" (1295mm X 1295mm X 610mm)
-MAX. 16'-0" (4880mm) -129.5mm X 129.5mm X 610mm
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

CLIENT SPECIFIC REVISIONS

WOOD COLUMN:

OBC 9.17.4.1, 9.17.4.2, & 9.17.4.3.
-5/8" x 5 1/2" (140mm x 140mm) SOLID WOOD COLUMN - OR
-3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8" (9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C.
-WRAP COLUMN BASE W/ 6 MIL POLY
-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/ 9'-10" COL SPACING)
-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/ 9'-10" COL SPACING)

BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2"x8"x12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
-WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"x11"x 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

FOUNDATION WALL:

O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-1" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2"x4" (38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL
REDUCTION OF THICKNESS:
O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK
DAMP PROOFING & WATERPROOFING:
-DAMP PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.
-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD.
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT INFORMATION: Gold Park Homes, Brampton, Mclaughlin and Mayfield. Includes signature of I. Julio Pinzon and date 19-Apr-17.

Table with 4 columns: #, revisions, date, dwn, chk. Shows revision history for the drawing.

Project information: model 41-6, scale 3/16" = 1'0", project # 13098. Includes RN design logo and page number D1.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

17 INTERIOR STUD WALLS:

O.B.C. T.9.23.10.1.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

18 BEARING STUD WALL (BASEMENT):

-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DBL. 2" X 4" OR 2" X 6" TOP PLATE.
-2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
-FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

19 PARTY WALL - BLOCK:

O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
-2" X 2" (38mm X 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
-ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

19a PARTY WALL - BLOCK (AGAINST GARAGE):

O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-2" X 4" (38mm X 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
-R20 (RSI 3.52) RIGID INSULATION
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT

REQ. INSULATION VALUES:

Table with 2 columns: INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90, and values for RIGID INSULATION, LOW DENSITY CONCRETE BLOCK, WOOD FRAME W/ GYPSUM, AIR FILM - MOVING, AIR FILM - STILL, TOTAL 'R' VALUE.

19b FIREWALL:

O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
-ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. T.3.2.2.4.7.
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
-2" X 2" (38mm X 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
-SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)

20 PARTY WALL - FOUNDATION:

O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

21 PARTY WALL - WOOD STUD:

O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-2 ROWS 2" X 4" (38mm X 89mm) STUDS @ 16" (400mm) O.C. W/ SEPARATE 2" X 4" (38mm X 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mm X 89mm) TOP PLATES
-SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
-5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

22 GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS.
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCR OACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4-3 1/4" (82mm) TOE NAILS
-BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

22a WALLS ADJACENT TO ATTIC SPACE:

-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-R22 (RSI 3.87) INSULATION
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

23 DOUBLE VOLUME WALLS:

O.B.C. 9.23.10.1.
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
-REFER TO PLAN FOR STUD SPECIFICATION
-STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS
-DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
-SOLID BRIDGING AT 3'-11" (1200mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12.T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

24 EXPOSED FLOOR:

FLOOR AS PER NOTE # 28
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-R31 (RSI 5.46) INSULATION
-VENTED ALUMINUM SOFFIT

24a SUNKEN FINISHED AREAS:

-USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
-WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
-FLOOR STRUCTURE AS PER NOTE # 28.

25 DOUBLE MASONRY WYTHE WALL:

O.B.C. 9.20.8.2.
-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
-SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
-6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

25a CORBEL MASONRY VENEER:

-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

FLOOR ASSEMBLIES:

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

26 SILL PLATE:

O.B.C. 9.23.7.
-2" X 4" (38mm X 89mm) PLATE
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

27 BRIDGING & STRAPPING:

O.B.C. 9.23.9.4.
a) STRAPPING
-1" X 3" (19mm X 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
-FASTENED TO SILL OR HEADER @ ENDS
b) BRIDGING
-1" X 3" (19mm X 64mm) OR 2" X 2" (38mm X 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
c) BRIDGING & STRAPPING
-c) & b) USED TOGETHER OR
-1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
d) FURRING OR PANEL TYPE CEILING
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

28 FLOOR ASSEMBLY:

O.B.C. 9.23.14.3, 9.23.14.4
-5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
-FLOOR JOISTS AS PER FLOOR PLANS

29 PORCH SLAB:

O.B.C. 9.39.1.4.
-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
-REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
-3" (75mm) END BEARING ON FOUNDATION WALL
-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
-IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION WALLS NOT TO EXCEED 8'-2"

30 EXTERIOR BALCONY ASSEMBLY:

-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
-2" X 4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2" X 4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2" X 8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
-EXTERIOR GUARD AS PER #36a
-SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
REQUIRED FOR OVER HEATED SPACES:

-ADD 2" X 2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

30a EXTERIOR FLAT ROOF ASSEMBLY:

-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
-2" X 8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
REQUIRED FOR OVER HEATED SPACES:
-ADD 2" X 2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

ROOF ASSEMBLIES

31 TYPICAL ROOF:

O.B.C. 9.26.
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
-TRUSS BRACING AS PER TRUSS MANUFACTURER
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

32 CEILING:

-R60 (RSI 10.56) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

32a VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26. & TABLE A4
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2" X 8" (38mm x 184mm) @ 16" O.C. W/ 2" X 2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
-2" X 10" (38mm x 235mm) @ 16" O.C. W/ 2" X 2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
-R31 (RSI 5.46) INSULATION
-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD

33 CONVENTIONAL FRAMING:

O.B.C. TABLE A6 OR A7
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
-2" X 4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
-CEILING JOISTS TO BE 2" X 6" (38mm X 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 ATTIC ACCESS HATCH:

OBC 9.19.2.1. & SB-12.3.1.1.8.(1)
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION

GENERAL:

35 PRIVATE STAIRS:

O.B.C. 9.8.4.
-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 8-1/4" (210mm)
-MIN. TREAD = 9-1/4" (235mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-MIN. WIDTH = 2'-10" (860mm) (BETWEEN WALL FACES)
-MIN. WIDTH = 2'-11" (900mm) (EXIT STAIRS, BETWEEN GUARDS)
ANGLED TREADS:
-MIN. RUN = 5 7/8" (150mm)
-MIN. AVG. RUN = 7 7/8" (200mm)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4
-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

35a PUBLIC STAIRS:

O.B.C. 9.8.4.
-MAX. RISE = 7-3/32" (180mm)
-MIN. RUN = 11" (280mm)
-MIN. TREAD = 11" (280mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-9" (2050mm)
-MIN. WIDTH = 2'-11" (900mm) (EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4
-2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS)
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:

O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

O.B.C. 9.8.7.3
-ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FINISH:

O.B.C. 9.8.9.6
-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)
-STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATTE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

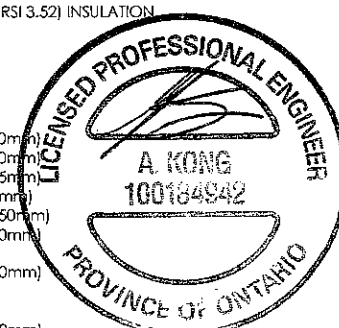
36 INTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3.
-GUARDS TO BE 3'-6" (1070mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36a EXTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3.
-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm)
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
-PICKETS TO HAVE 4" (100mm) MAX. SPACING
-PROVIDE MID-SPAN POSTS AS PER SB-7.
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD



MAY 04 2017

CLIENT SPECIFIC REVISIONS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: 19-Apr-17

SIGNATURE:

client Gold Park Homes location Brampton
project Mclaughlin and Mayfield marketing name The Verdi

Table with 4 columns: #, revisions, date, dwn chk. Contains 4 revision entries.

model 41-6
scale 3/16" = 1'0" project # 13098



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- 36b) **EXTERIOR GUARDS @ JULIET BALCONY:**
 - FOR RAILING SPANNING MAXIMUM OF 6'-0".
 - PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
 - GUARDS TO BE 3'-6" (1070mm)
 - FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
 - FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
 - VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
 - PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37) -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38) -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39) -CAPPED DRYER VENT
- 40) -1"X2" (19mmX38mm) BOTH SIDES OF STEEL
- 41) -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42) -PRECAST CONC. STEP
- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44) SMOKE ALARM, O.B.C.- 9.10.19.
 - PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
 - PROVIDE 1 IN EACH BEDROOM
 - PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
 - INSTALLED AT OR NEAR CEILING
 - ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
 - ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45) CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
 - WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
 - CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46) -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
- R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47) -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15. -R4 (RSI 0.70)
- 48) -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
 - 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
 - 2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49) **EXTERIOR COLUMN W/ MASONRY PIER:**
 - MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
 - TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
 - 14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
 - 3/4" AIR SPACE AROUND POST.
 - OR
 - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
 - 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

- 49o) **EXTERIOR COLUMN:**
 - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

- 50) **COLD CELLARS:**
 - FOR COLD CELLARS PROVIDE THE FOLLOWING:
 - VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
 - COVER VENT W/ BUG SCREEN
 - WALL MOUNTED LIGHT FIXTURE
 - L1+L7 FOR DOOR OPENING
 - 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI.0.7)
 - INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

- 51) **STUD WALL REINFORCEMENT:**
 - O.B.C. 9.5.2.3.
 - WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
 - GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

- FRAME CONSTRUCTION:**
 - ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
 - ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
 - JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
 - BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
 - DOUBLE STUDS @ OPENINGS
 - DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
 - DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
 - DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
 - BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
 -APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
 -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
 -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WINDOWS:
 -WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
 -WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
 -AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
 -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
 -SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
 -FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%



MAY 04 2017

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

CLIENT SPECIFIC REVISIONS

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DOORS 46, 47		SCHEDULES				WOOD BEAMS		PLAN/ELEVATION LEGEND	
A	865x2030x45 (2'10"x6'8"x1-3/4")	WD1	3/2" X 8" SPR	WD10	2/1 3/4" X 7 1/4" (2.0E) LVL	SMOKE ALARM 44	CARBON MONOXIDE ALARM (CMA) 45	FLOOR DRAIN	
B	815x2030x35 (2'8"x6'8"x1-3/8")	WD2	4/2" X 8" SPR	WD11	3/1 3/4" X 7 1/4" (2.0E) LVL	WATERPROOF DUPLEX OUTLET	DJ	DOUBLE JOIST	SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED MEMBER)
C	760x2030x35 (2'6"x6'8"x1-3/8")	WD3	5/2" X 8" SPR	WD12	2/1 3/4" X 9 1/2" (2.0E) LVL	VENTS AND INTAKES	PT	PRESSURE TREATED LUMBER	POINT LOAD
D	710x2030x35 (2'4"x6'8"x1-3/8")	WD4	3/2" X 10" SPR	WD13	3/1 3/4" X 9 1/2" (2.0E) LVL	HOSE BIB	GT	GIRDER TRUSS	FLAT ARCH
E	460x2030x35 (1'6"x6'8"x1-3/8")	WD5	4/2" X 10" SPR	WD14	2/1 3/4" X 11 7/8" (2.0E) LVL	EXHAUST FAN 38	AFF	ABOVE FINISHED FLOOR	2 STORY WALL
F	610x2030x35 (2'0"x6'8"x1-3/8")	WD6	5/2" X 10" SPR	WD15	3/1 3/4" X 11 7/8" (2.0E) LVL	COLD CELLAR VENT 50	BBFM	BEAM BY FLOOR MANUF	EXT. LIGHT FIXTURE (WALL MOUNTED)
G	OVER SIZED EXTERIOR DOOR	WD7	3/2" X 12" SPR	WD16	2/1 3/4" X 14" (2.0E) LVL	STOVE VENT	(FL)	FLUSH	HYDRO METER
		WD8	4/2" X 12" SPR	WD17	3/1 3/4" X 14" (2.0E) LVL	FIRE PLACE VENT	(DR)	DROPPED	GAS METER
		WD9	5/2" X 12" SPR			DRYER VENT	'DO'	REPEAT SAME JOIST SIZE	
							U/S	UNDER SIDE	
							FG	FIXED GLAZING	
							GB	GLASS BLOCK	
							BG	BLACK GLASS	

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
 FIRM BCIN: 26995
 DATE: JUNE 21/16

SIGNATURE: *[Signature]*

client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name	The Verdi						
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	30/01/2015	kk	RPA	5				
2	ISSUED FOR PERMIT	26-Jan-16	jp	jp	6				
3	REVISED AS PER OBC SB-12 2017 UPDATE	6-Apr-17	es	es	7				
4	REVISED AS PER ENG. COMMENTS & ISSUED FOR PERMIT	19-Apr-17	MM	JP	8				

model 41-6
 scale 3/16" = 1'0"
 project # 13098

page **D3**

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