

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information				
Building number, street name		Plan number/ other description	Unit no. 42-03 'B'	Lot/con. 22
Municipality	Postal code			
B. Individual who reviews and takes responsibility for design activities				
Name	Firm			
Julio Pinzon	RN Design Limited			
Street address	Postal code	Province	Unit no.	Lot/con.
8395 Jane Street	L4K 5Y2	Ontario	203	
Municipality	Fax number	E-mail		
Vaughan	(905) 738-3177	julio@rndeign.com		
Telephone number	Cell number			
C. Design activities undertaken by individual identified in Section B. [Building Code Division C, Part 3 Table 3.5.2.1				
☒ House ☐ Small Buildings ☐ Large Buildings ☐ Complex Buildings		☐ HVAC – House ☐ Building Services ☐ Detection, Lighting and Power ☐ Fire Protection		
☐ Building Structural ☐ Plumbing – House ☐ Plumbing – All Buildings ☐ On-site Sewage Systems				
Description of designer's work				
Review of the site plan design and working drawings for Lot 22 model CARLTON 42-03 'B' STD. Design responsibility excludes any structural design and specifications outside of the scope of Part 9 of the OBC.				
D. Declaration of Designer				
I, <u>Julio Pinzon</u>		declare that (choose one as appropriate):		
(print name)				
☒ I review and take responsibility for the design work on behalf of a firm registered under Division C, Part 3, subsection 3.2.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories:				
Individual BCIN: <u>38688</u>				
Firm BCIN: <u>26995</u>				
☐ I review and take responsibility for the design work and am qualified in the appropriate category as an "other designer" under Division C, Part 3, subsection 3.2.5 of the Building Code.				
Individual BCIN: _____				
Basis for exemption from registration: _____				
☐ The design work is exempt from the registration and qualification requirements of the Building Code.				
Basis for exemption from registration and qualification: _____				
I certify that:				
1. The information contained in this schedule is true to the best of my knowledge.				
2. I have authority to bind the corporation or partnership (if applicable).				
February 16, 2017		Signature of Designer		
Date				

*For the purposes of this form, "individual" means the "person" referred to in Division C, Part 3, Clause 3.2.4.7. (1)(d), Division C, Part 3, Article 3.2.5.1. and all other persons who are exempt from qualification under Division C, Part 3, Subsections 3.2.4. and 3.2.5.

NOTE:

1. Firm and Individual BCIN numbers are not required for building permit applications submitted prior to January 1, 2006
2. Schedule 1 does not need to be completed by architects, or holders of a Certificate of Practice or a Temporary License under the Architects Act

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

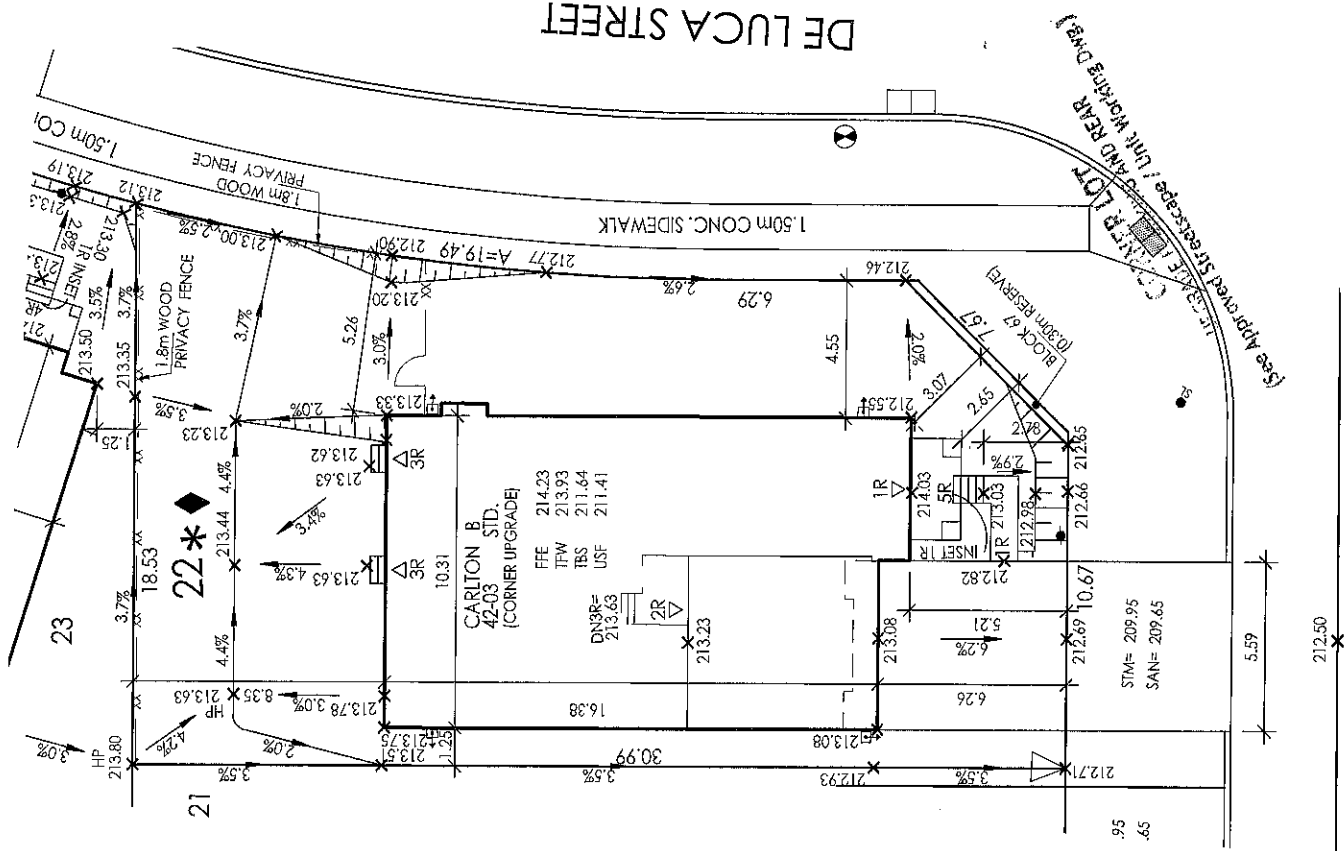
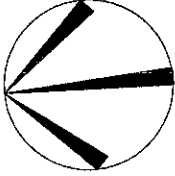
ARCHITECTURAL REVIEW & APPROVAL

FEB 15 2017

Jana G. Williams Limited, Architect

NOTE

UNDER-SLAB WEEPER DRAIN NETWORKS TO BE INSTALLED TO CAPTURE GROUND WATER SEEPAGE ASSOCIATED WITH SEASONAL AND PERIODIC HIGH WATER TABLE WITH THE SHALLOW SAND UNIT BENEATH THE SITE.
UNDER-SLAB DRAINAGE NETWORK TO CONSIST OF 100mm DIAMETER PERFORATED TILES WRAPPED IN GEOTEXTILE AND EMBEDDED IN CSA FINE CONCRETE AGGREGATE AT MAXIMUM 5000 O/C. BENEATH BASEMENT SLAB.
PERIMETER AND UNDER-SLAB DRAINS TO BE DRAINED BY GRAVITY INTO THE MUNICIPAL STORM SEWER SERVICES.
PROVIDE ROUGH-IN FOR SUMP PIT.



ROTONDO CRESCENT

SITE PLAN REVIEW

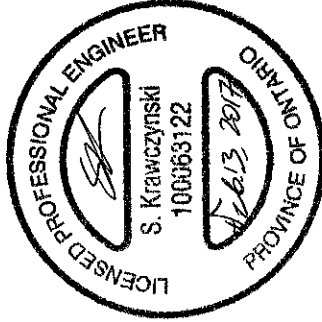
LOT NO. 22..... REGISTERED PLAN

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR THE DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT ☒ REVIEWED BY **SK**.....
COMMENTS AS NOTED ☐ DATE **Feb. 13, 2017**.....

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN NO.	RD3
ZONE	LOT 22
LOT NUMBER	499.69
LOT AREA(m) ²	179.5
BLDG AREA(m) ²	35.9%
LOT COVERAGE(%)	2
NO. OF STOREYS	9.13
MEAN HEIGHT(m)	
PEAK HEIGHT(m)	
DECK LINE(m)	

LEGEND

FFE	FINISHED FLOOR ELEVATION	☒	BEL PEDISTAL
TFW	TOP OF FOUNDATION WALL	☒	CABLE PEDISTAL
TBS	TOP OF BASEMENT SLAB	☐	CATCH BASIN
USF	UNDER SIDE FOOTING @ REAR	☒	ENGINEERED FILL
USFR	UNDER SIDE FOOTING @ REAR	☒	HYDRO CONNECTION
USFG	UNDER SIDE FOOTING @ GARAGE	☒	FIRE HYDRANT
TEF	TOP OF ENGINEERED FILL	☒	STREET LIGHT
R	NUMBER OF RISERS TO GRADE	☒	MAIL BOX
WOD	WALKOUT DECK	☒	TRANSFORMER
LOB	LOOKOUT BASEMENT	☒	SEWER CONNECTIONS 2
REV	REVERSE PLAN	☒	SEWER CONNECTIONS 1
STD	STANDARD PLAN	☒	WATER CONNECTION
DOOR	DOOR	☒	WATER VALVE
WINDOW	WINDOW	☒	HYDRANT AND VALVE
PC	AIR CONDITIONING	☒	HYDRO METER
ET	DOWN SPOUT TO SPLASH PAD	☒	GAS METER
ET	SWALE DIRECTION	☒	MANHOLE - STORM
ET	SUMP PUMP	☒	MANHOLE - SANITARY
ET		☒	POTENTIAL HIGH WATER LEVEL (SEE NOTE ON THIS DRAWING)
ET		☒	CHAINLINK FENCE
ET		☒	XX PRIVACY FENCE
ET		☒	XXX SOUND BARRIER
ET		☒	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NO.	DESCRIPTION	DATE	DWN	CHK
1.	ISSUED FOR REVIEW	JAN.11/17	ET	JP
2.	ISSUED FOR REVIEW	FEB.3/17	ET	JP
3.	ISSUED FOR REVIEW	FEB.8/17	ET	JP
4.	ISSUED FINAL	FEB.13/17	ET	JP

RN DESIGN LTD.
8395 JANE STREET, SUITE 203
VAUGHAN, ONTARIO L4K 5Y2
T: 905-738-3177 | F: 905-738-5449

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36498
FIRM BCIN: 26995
DATE: **FEB 13 2017**

SIGNATURE:

CLIENT: **GOLD PARK HOMES**

PROJECT/LOCATION: **KLEINBURG GLEN-PH2
VAUGHAN, ON**

DRAWING: **SITE PLAN**

DRAWN BY: **ET**
SCALE: **1:250**
PROJECT NO.: **14043**
LOT NUMBER: **LOT 22**