

| BUILDING STATISTICS       |          |
|---------------------------|----------|
| REG. PLAN No.             | XXM-XXXX |
| ZONE                      | RS1      |
| LOT NUMBER                | 19L      |
| LOT AREA(m) <sup>2</sup>  | 238.31   |
| BLDG AREA(m) <sup>2</sup> | 102.0    |
| LOT COVERAGE(%)           | 42.8%    |
| No. OF STOREYS            | 2        |
| MEAN HEIGHT(m)            | 7.85     |
| PEAK HEIGHT(m)            | N/A      |
| DECK LINE(m)              | N/A      |

### LEGEND

|                                                  |                             |                   |                          |
|--------------------------------------------------|-----------------------------|-------------------|--------------------------|
| FFE                                              | FINISHED FLOOR ELEVATION    |                   | BELL PEDESTAL            |
| TFW                                              | TOP OF FOUNDATION WALL      |                   | CABLE PEDESTAL           |
| TBS                                              | TOP OF BASEMENT SLAB        |                   | CATCH BASIN              |
| USF                                              | UNDER SIDE FOOTING          |                   | ENGINEROED FILL          |
| USFR                                             | UNDER SIDE FOOTING @ REAR   |                   | HYDRA CONNECTION         |
| USFG                                             | UNDER SIDE FOOTING @ GARAGE |                   | FIRE HYDRANT             |
| TEF                                              | TOP OF ENGINEERED FILL      |                   | SIRET LIGHT              |
| R                                                | NUMBER OF RISERS TO GRADE   |                   | MAIL BOX                 |
| WOD                                              | WALKOUT DECK                |                   | TRANSFORMER              |
| LOB                                              | LOOKOUT BASEMENT            |                   | SEWER CONNECTIONS 2 LOTS |
| WOB                                              | WALK OUT BASEMENT           |                   | SEWER CONNECTIONS 1 LOT  |
| REV                                              | REVERSE PLAN                |                   | WATER CONNECTION         |
| STD                                              | STANDARD PLAN               |                   | WATER VALVE CHAMBER      |
| △                                                | DOOR                        |                   | HYDRANT AND VALVE        |
| □                                                | WINDOW                      |                   | HYDRO MEIER              |
|                                                  | AIR CONDITIONING            |                   | GAS METER                |
|                                                  | DOWN SPOUT TO SPLASH PAD    |                   | MANHOLE - STORM          |
|                                                  | SWALE DIRECTION             |                   | MANHOLE - SANITARY       |
|                                                  | SUMP PUMP                   |                   |                          |
| <br>                                             |                             |                   |                          |
|                                                  |                             | CHAIN/ LINK FENCE |                          |
|                                                  |                             | PRIVACY FENCE     |                          |
|                                                  |                             | SOUND BARRIER     |                          |
| <br>                                             |                             |                   |                          |
| FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE |                             |                   |                          |

[illegible]

I JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN

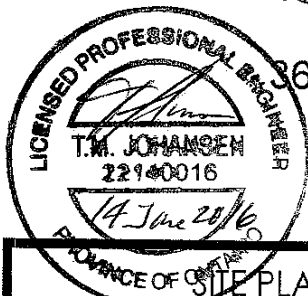
I, Julio Pinzon declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classifications.

QUALIFIED DESIGNER BCIN 38588

FIRM BCIN 26995

DATE \_\_\_\_\_

SIGNATURE



# ~~0~~ SITE PLAN REVIEW

LOT NO. 19L REGISTERED PLAN 65M-4500

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION  
SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE  
RESPONSIBILITY FOR THE DESIGN AND DETAILS SHALL REMAIN  
WITH THE DESIGNER.

NO COMMENT

☒ REVIEWED BY [Signature]

COMMENTS AS NOTED

DATE APR 20, 2016



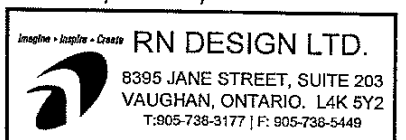
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

ARCHITECTURAL REVIEW &amp; APPROVAL

APR 21 1968

John G. Williams Limited, Architect



**CLIENT**

GOLD PARK HOMES

PROJECT/LOCATION

KLEINBURG GLEN  
VAUGHAN, ON

## DRAWING

## SITE PLAN

DRAWN BY

SD11

SCALE

1.250

PROJECT No. \_\_\_\_\_

14043

LOT NUMBER

191