



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT PLAN ELEV. 'A' & 'B'
- A2 OPT. BASEMENT PLAN ELEV. 'A' & 'B'
- A3 GROUND FLOOR PLAN ELEV. 'A'
- A4 SECOND FLOOR PLAN ELEV. 'A'
- A5 OPT. GROUND FLOOR PLAN ELEV. 'A'
- A6 OPTIONAL SECOND FLOOR PLAN ELEV. 'A'
- A7 PART. STD. & OPT. GROUND FLOOR PLAN ELEV. 'B'
- A8 PART. STD. & OPT. SECOND FLOOR PLAN ELEV. 'B'
- A8 FRONT ELEVATION 'A'
- A9 RIGHT SIDE ELEVATION 'A'
- A10 REAR ELEVATION 'A' & 'B'
- A11 OPT. REAR ELEVATION 'A' & 'B'
- A11 LEFT SIDE ELEVATION 'A'
- A12 FRONT ELEVATION 'B'
- A13 RIGHT SIDE ELEVATION 'B'
- A14 LEFT SIDE ELEVATION 'B'
- A15 TYPICAL CROSS-SECTION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 TYPICAL WALL SECTION

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Areas:

		ELEVATION 'A'		ELEVATION 'B'	
		SF	SM	SF	SM
GROUND FLOOR PLAN	(0)	916.5	85.1		
SECOND FLOOR PLAN	(0)	1100.1	102.2		
SECOND FLOOR PLAN OTB	(0)	(3.6)	(0.3)	()	()
TOTAL AREA (0)		2013.0	187.0		
OPT. GROUND FLOOR PLAN	(1)	916.5	85.1		
OPTIONAL SECOND FLOOR PLAN	(1)	1100.1	102.2		
OPTIONAL SECOND FLOOR PLAN OTB	(1)	(3.6)	(0.3)	()	()
TOTAL AREA (1)		2013.0	187.0		
STD. & OPT. GROUND FLOOR PLAN	(2)			916.5	85.1
STD. & OPT. SECOND FLOOR PLAN	(2)			1100.1	102.2
STD. & OPT. SECOND FLOOR PLAN OTB	(2)	()	()	(3.6)	(0.3)
TOTAL AREA (2)				2013.0	187.0
COVERAGE INC PORCH		1177.3	109.4	1177.3	109.4
COVERAGE NOT INC PORCH		1132.3	105.2	1132.3	105.2

Gold Park Homes

Huntington & Nashville

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
 FIRM BCIN: 26995
 DATE: *J.P.*

SIGNATURE: _____

client **Gold Park Homes**
 project **Huntington & Nashville**

location **Kleinburg**
 marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30/01/2015	RA	RPA	5	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH
2	REVISED AREA CHART	30-Mar-15	cr	cr	6	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	11-Dec-15	cr	cr
3	CONFIRMED TRUSS LAYOUT FOR EL. 'B'	1-Jun-15	RPA	DJH	6	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CP
4	REVISED AS PER FLOOR & TRUSSES COORD.	9-Jun-15	RPA	DJH	7	ISSUED FOR PERMIT	24-FEB-16	JP	JP

RN design
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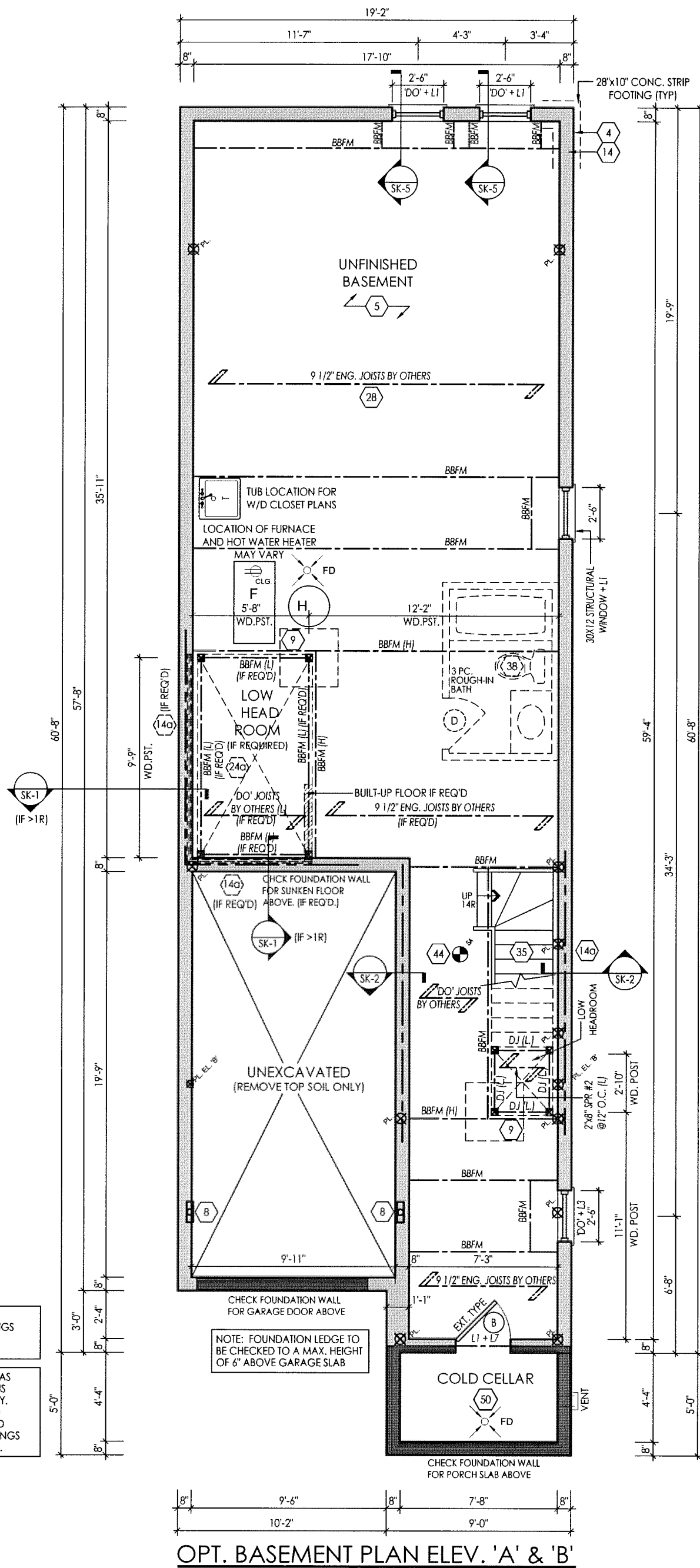
model **25-3**

scale **3/16" = 1'0"**

project # **14043**

page

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NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: FOUNDATION LEDGE TO BE CHECKED TO A MAX. HEIGHT OF 6" ABOVE GARAGE SLAB



MAR 04 2016
FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

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ARCHITECTURAL REVIEW & APPROVAL
FEB 29 2016
John G. Williams Limited, Architect

OPT. BASEMENT PLAN ELEV. 'A' & 'B'

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project Huntington & Nashville marketing name

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3	REVISED AS PER ENGINEERING COMM.	2-Jul-15	RPA	DJH	7				
4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	8				

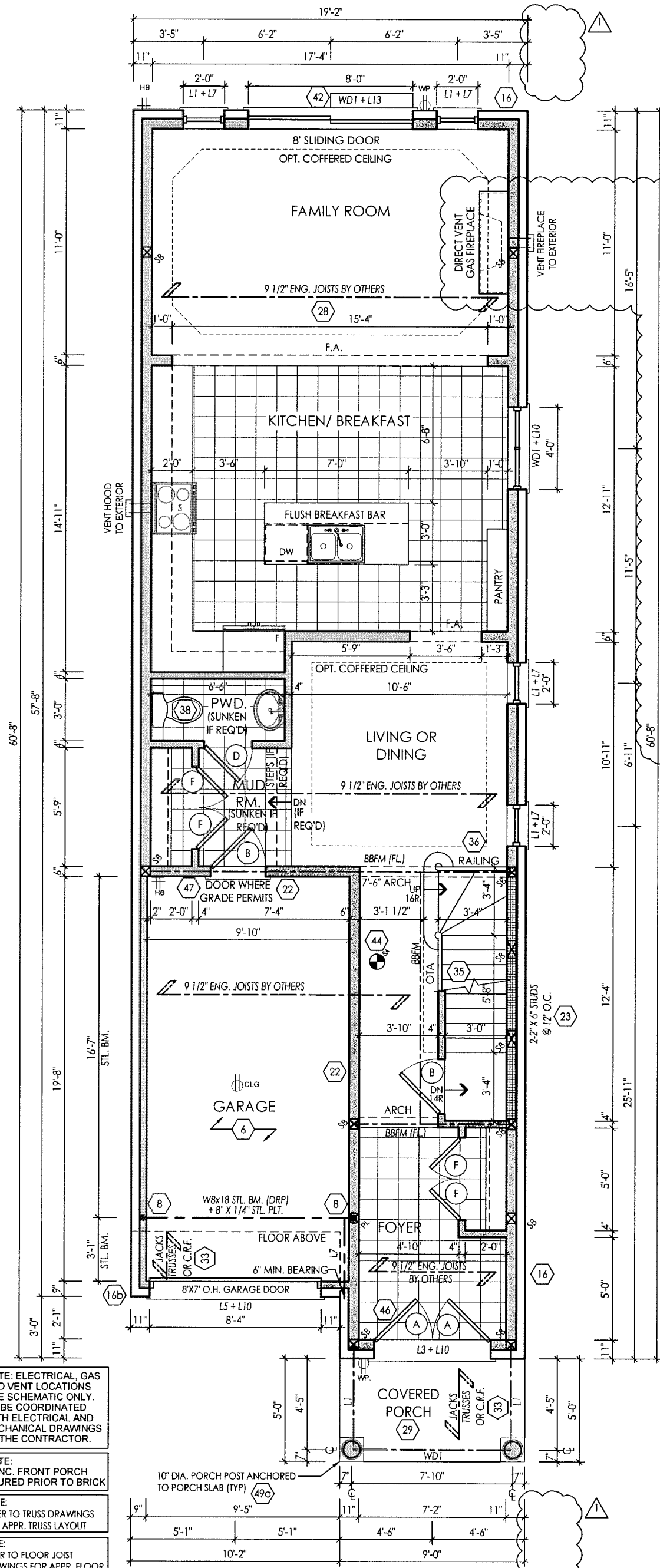
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model 25-3
scale 3/16" = 1'0"
project # 14043

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NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE



- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.
- NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK
- NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPR. FLOOR JOIST LAYOUT AND SPACING
- NOTE: U/S OF ARCH 7'6" TYP.

GROUND FLOOR PLAN ELEV. 'A'



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project	Huntington & Nashville				marketing name				
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△	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	11-Dec-15	cr	cr					

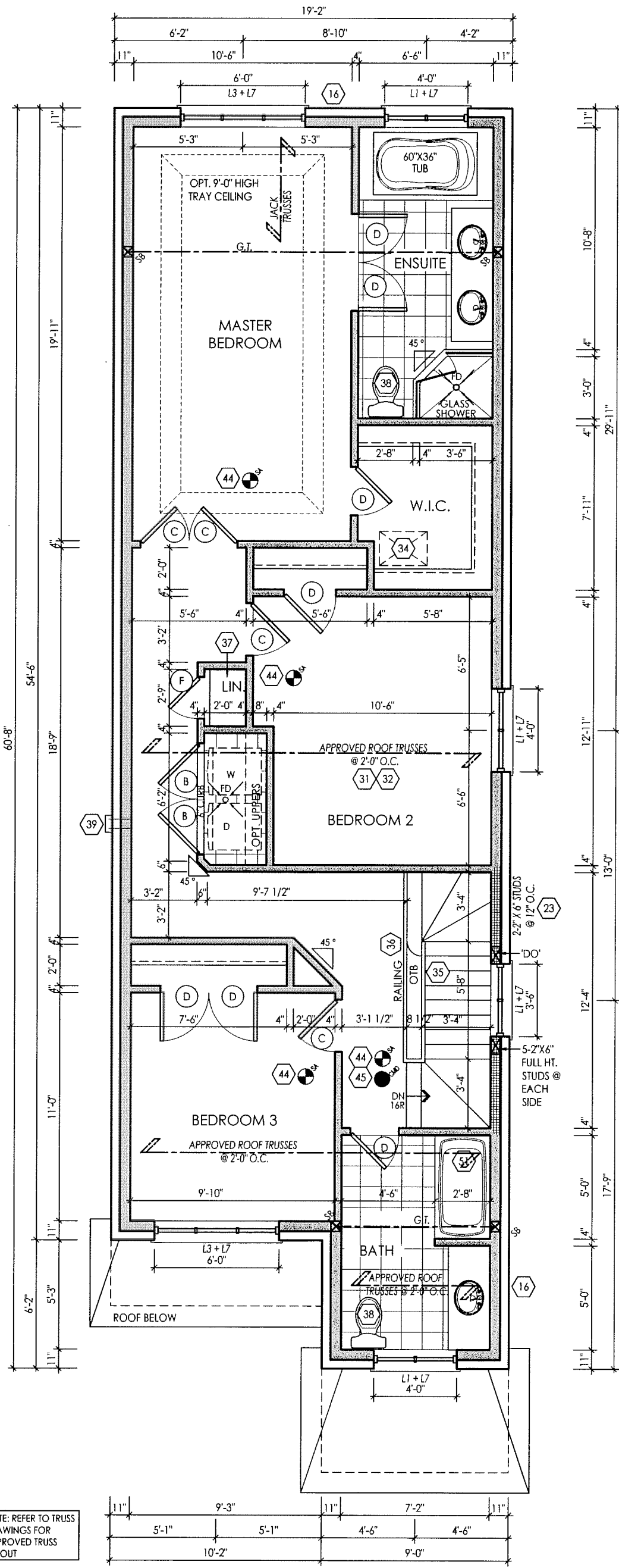


model 25-3
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 project # 14043

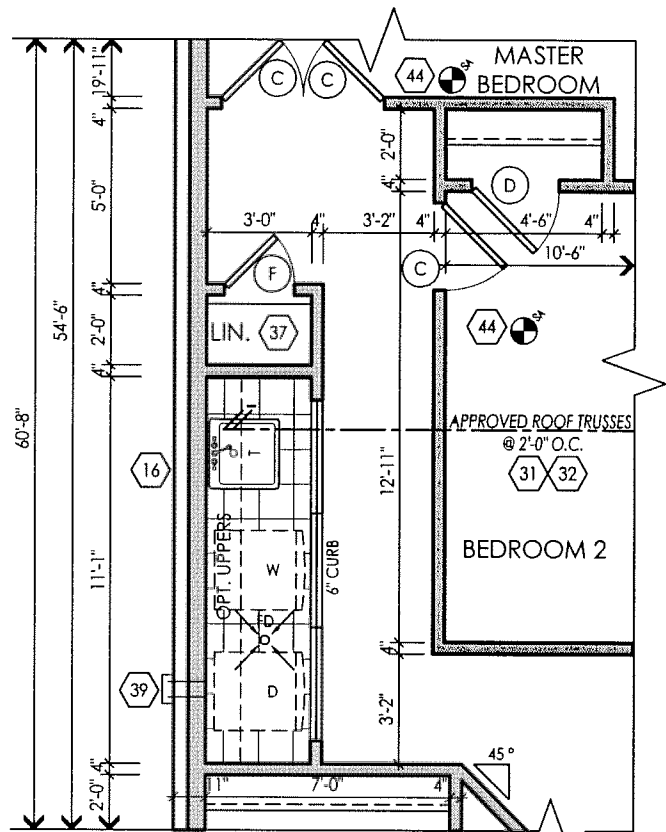
page

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NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE



SECOND FLOOR PLAN ELEV. 'A'



PART. SEC. FLR. PLAN FOR OPT. LAUNDRY LAYOUT (STD. PLAN ONLY)

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FIRM BCIN: 26995
DATE: 1.1.16

SIGNATURE:

client Gold Park Homes
project Huntington & Nashville

location Kleinburg
marketing name

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4	REVISED AS PER CLIENT COMMENTS	16-Dec-15	CR	CR	8				

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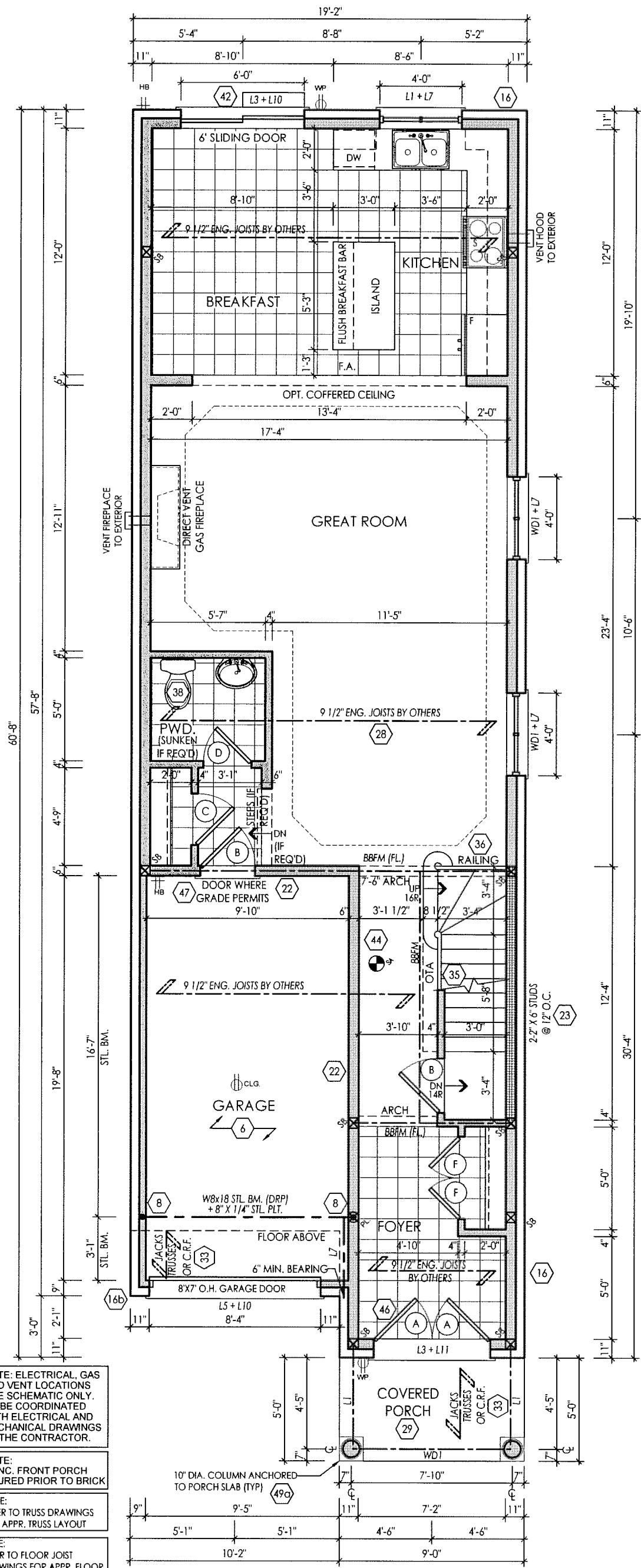


model 25-3
scale 3/16" = 1'0"
project # 14043

page

A4

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- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPR. FLOOR JOIST LAYOUT AND SPACING
- NOTE: U/S OF ARCH 7'6" TYP.

OPT. GROUND FLOOR PLAN ELEV. 'A'



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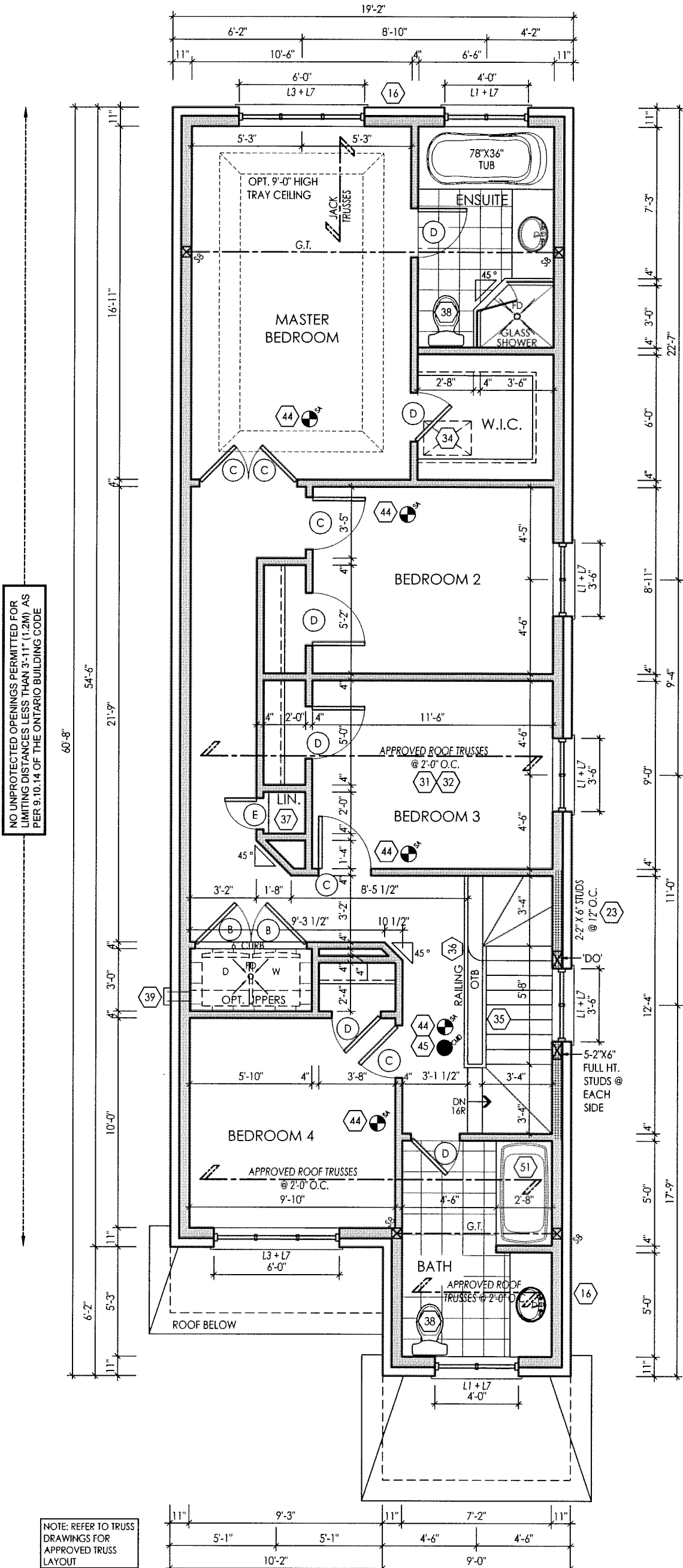
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model 25-3
 scale 3/16" = 1'0"
 project # 14043
 page **A5**



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OPTIONAL SECOND FLOOR PLAN ELEV. 'A'

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client Gold Park Homes					location Kleinburg				
project Huntington & Nashville					marketing name				
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model
25-3

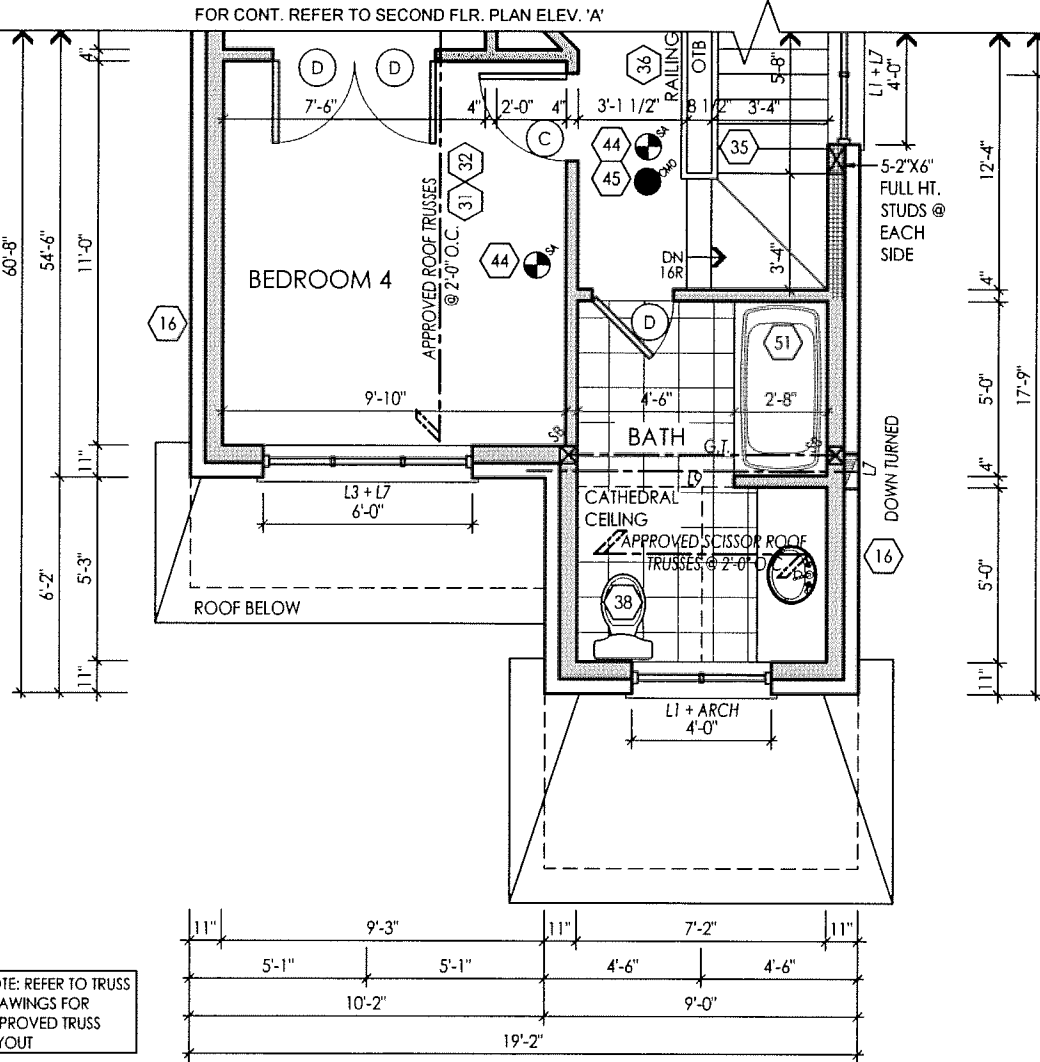
scale
3/16" = 1'0"

project #
14043

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FOR CONT. REFER TO SECOND FLR. PLAN ELEV. 'A'

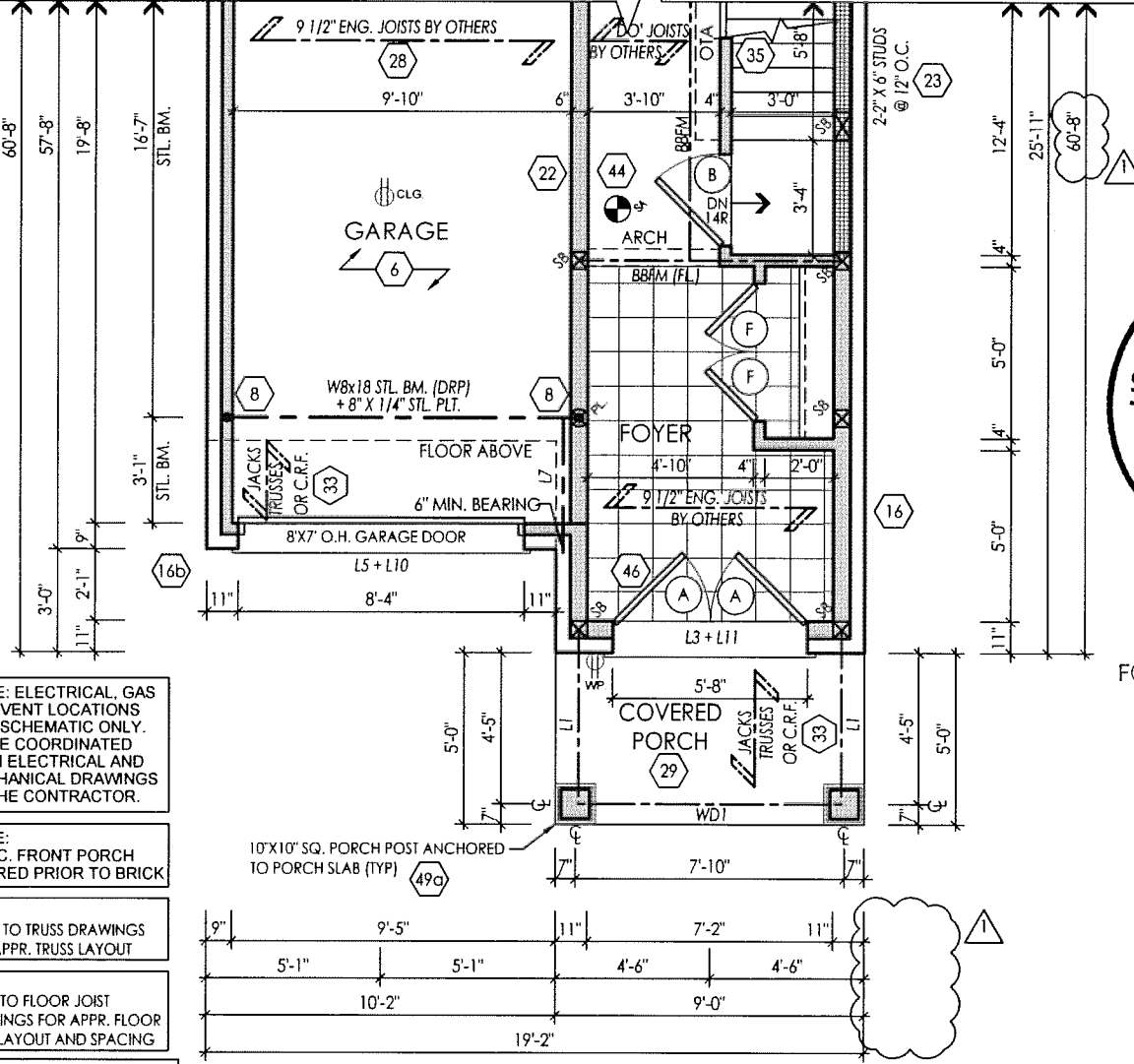
NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) PER 9.10.14 OF THE ONTARIO BUILDING CODE



**PART. STD. & OPT.
SECOND FLOOR PLAN ELEV. 'B'**

FOR CONT. REFER TO GROUND FLR. PLAN ELEV. 'A'

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**PART. STD. & OPT.
GROUND FLOOR PLAN ELEV. 'B'**



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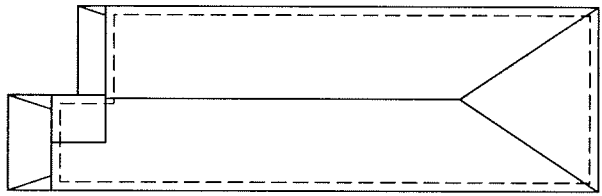
ARN design
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model **25-3**
scale **3/16" = 1'0"**
project # **14043**

page

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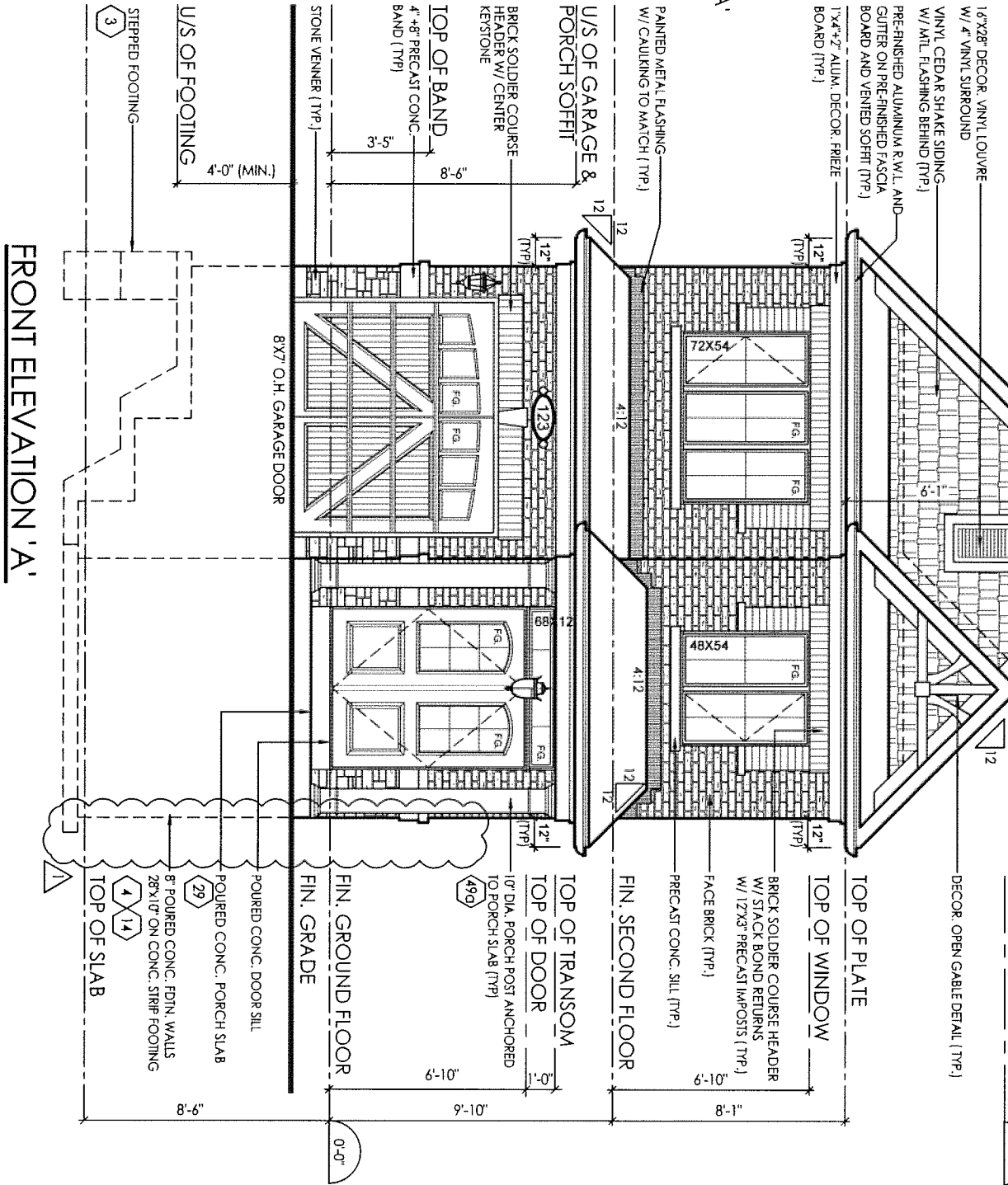


ROOF PLAN ELEV. 'A'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" S/P @ 24" O.C. WITH A 2"x4" S/P VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



FRONT ELEVATION 'A'

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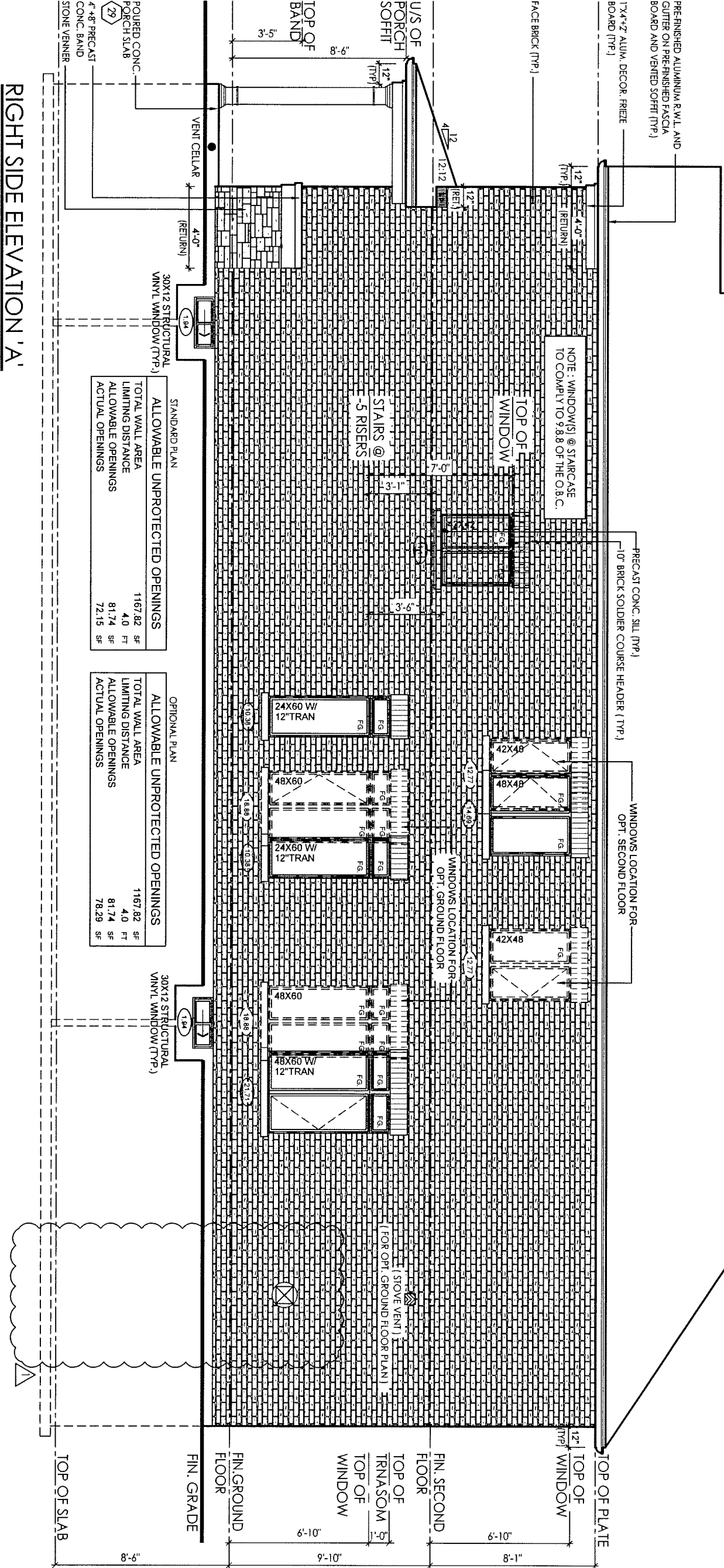
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RN design
 Imagine • Inspire • Create



model: **25-3**
 scale: **3/16" = 1'0"**
 project #: **14043**

page: **A8**



#210 SELF-SEALING ASPHALT SHINGLES
W/ FLASHING AT VALLEYS (TYP.)

PRE-FINISHED ALUMINUM R.W.L. AND
GUTTER ON PRE-FINISHED FASCIA
BOARD AND VENTED SOFFIT (TYP.)

1"x4"+2" ALUM. DECOR. FREEZE
BOARD (TYP.)

FACE BRICK (TYP.)

12" TOP OF PLATE
12" TOP OF WINDOW (TYP.)
6'-10" FIN. SECOND FLOOR
6'-10" TOP OF TRINASOM TOP OF WINDOW
9'-10" FIN. GROUND FLOOR
8'-6" TOP OF SLAB

NOTE: WINDOWS @ STAIRCASE
TO COMPLY TO 9.8.8 OF THE O.B.C.

10" PRECAST CONC. SILL (TYP.)
10" BRICK SOLDIER COURSE HEADER (TYP.)

WINDOWS LOCATION FOR
OPT. SECOND FLOOR

WINDOWS LOCATION FOR
OPT. GROUND FLOOR

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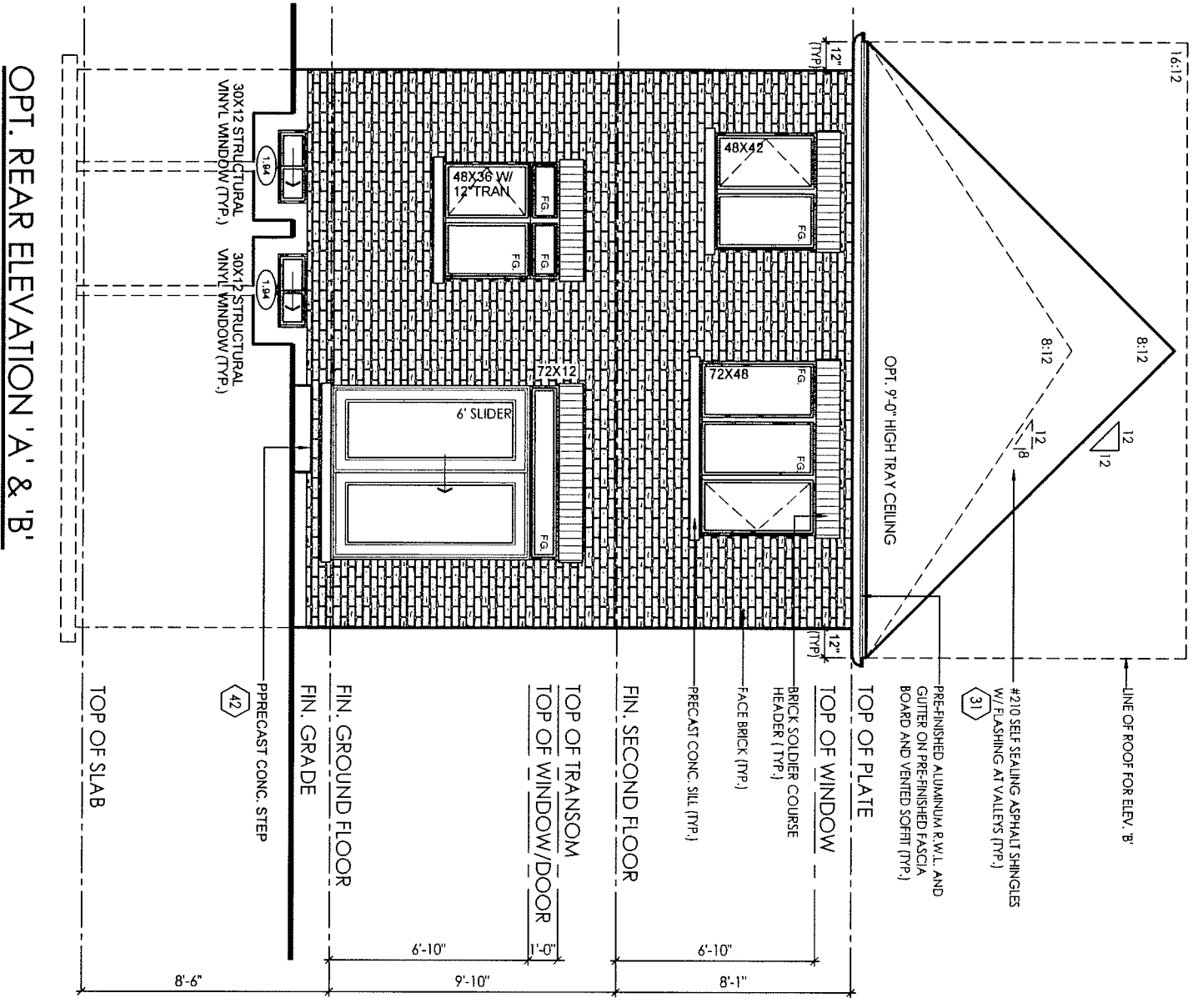
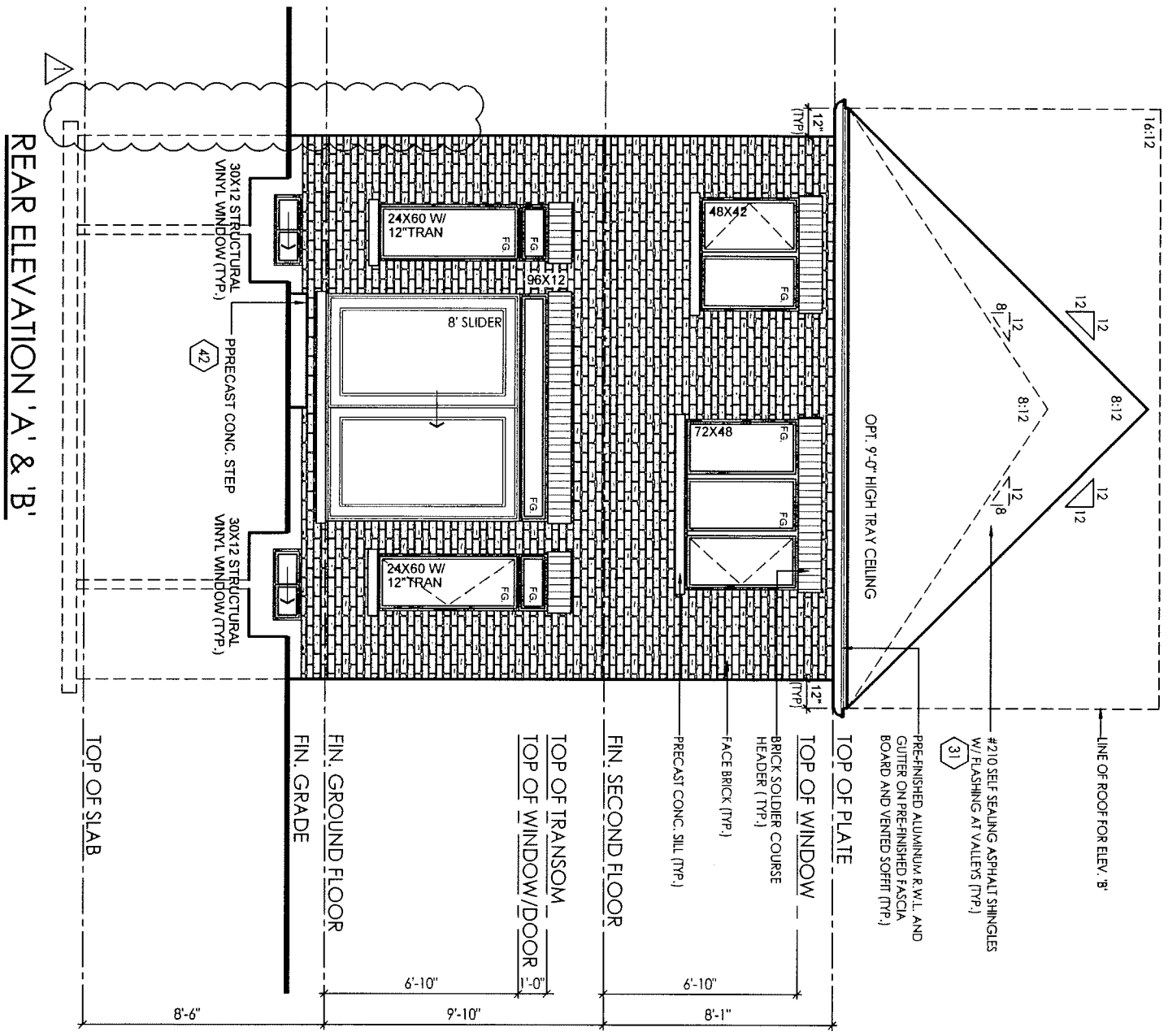
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location Kleinburg
project Huntington & Nashville
marketing name

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project # 14043

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ARCHITECTURAL REVIEW & APPROVAL

[Signature]
FEB 29 2016

John G. Williams Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: *[Signature]*

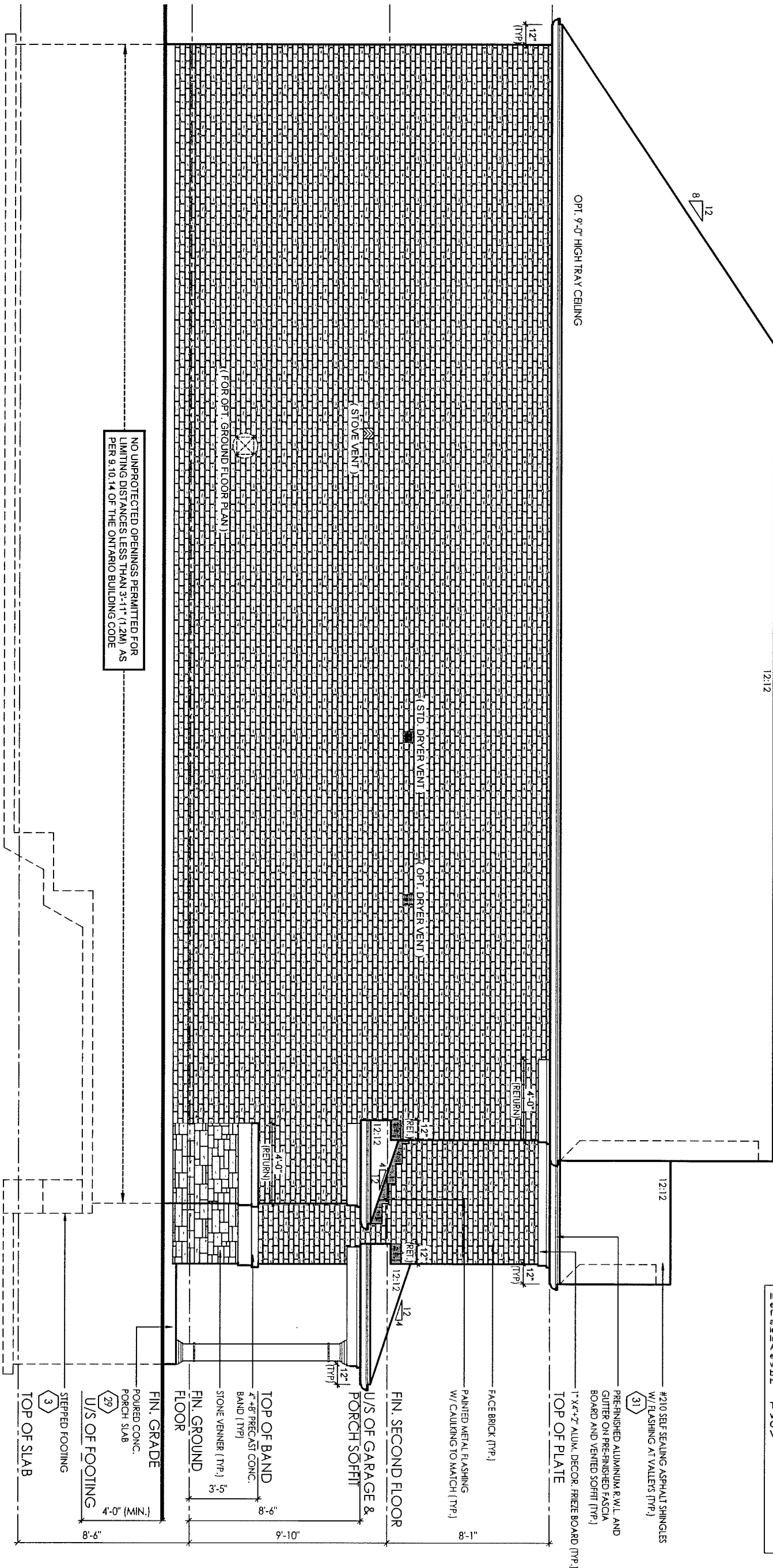
SIGNATURE: _____

client		Gold Park Homes		location		Kleinburg			
project		Huntington & Nashville		marketing name					
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30/01/2015		RA	RPA				
2	REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE	11-Dec-15		cr	cr				
2	REVISED AS PER CLIENT COMMENTS	16-Dec-15		CR	CR				
3	ISSUED FOR PERMIT	24-FEB-16		JP	JP				



model 25-3
scale 3/16" = 1'0"
project # 14043
page A10

LEFT SIDE ELEVATION 'A'



NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

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ARCHITECTURAL REVIEW & APPROVAL
 FEB 29 2016
 John G. Williams Limited, Architect

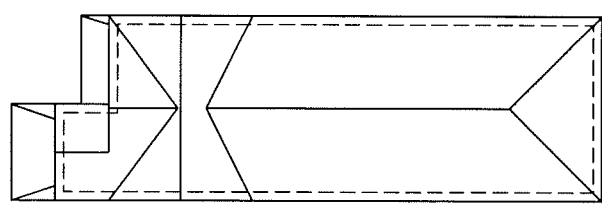
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 FRM BCIN: 26995
 DATE: *J.P.*
 SIGNATURE: _____

client	Gold Park Homes				location	Kleinburg			
project	Huntington & Nashville				marketing name				
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4					8				



model 25-3
 scale 3/16" = 1'0"
 project # 14043
 page A11

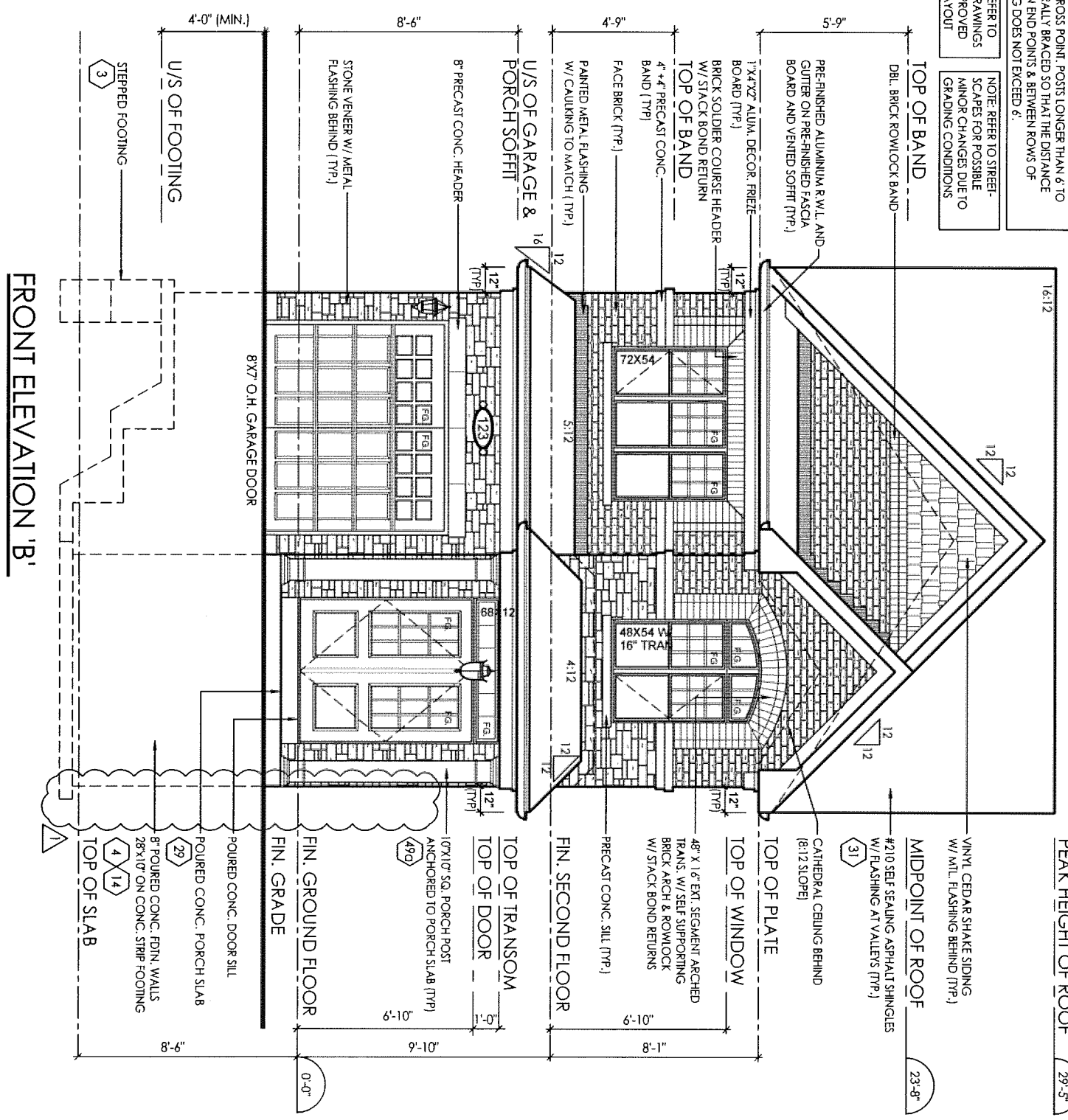


ROOF PLAN ELEV. 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION 'B'

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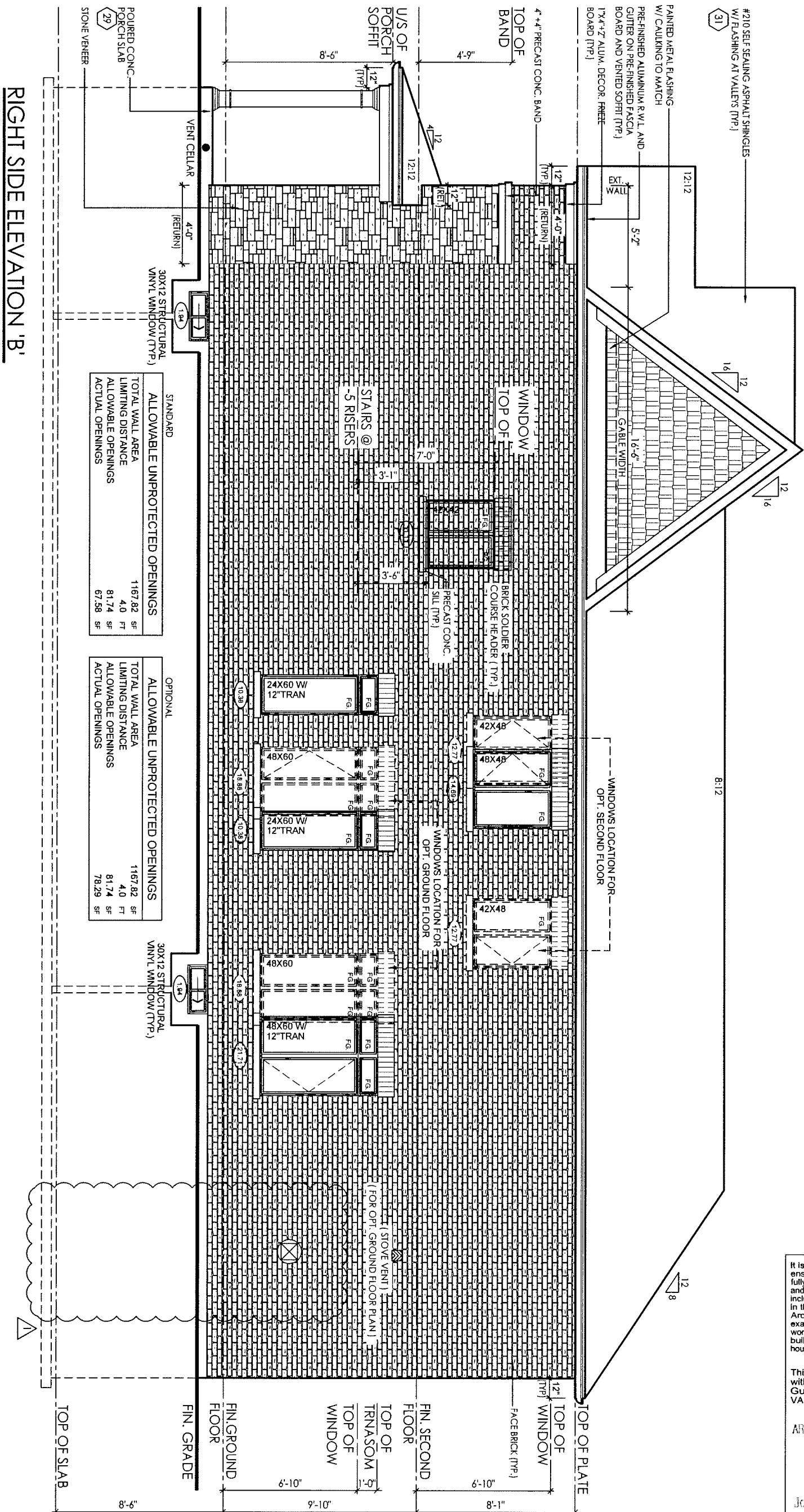
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3	ISSUED FOR PERMIT	24-FEB-16	JP	JP					



model 25-3
 scale 3/16" = 1'0"
 project # 14043

page **A12**



STANDARD

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
LIMITING DISTANCE	81.74 SF
ALLOWABLE OPENINGS	67.58 SF
ACTUAL OPENINGS	

OPTIONAL

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
LIMITING DISTANCE	81.74 SF
ALLOWABLE OPENINGS	78.29 SF
ACTUAL OPENINGS	

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ARCHITECTURAL REVIEW & APPROVAL

FEB 29 2015

John G. Williams Limited, Architect

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 FIRM BCIN: 26995
 DATE: *J.P.*
 SIGNATURE: _____

client Gold Park Homes
 project Huntington & Nashville

location Kleinburg
 marketing name

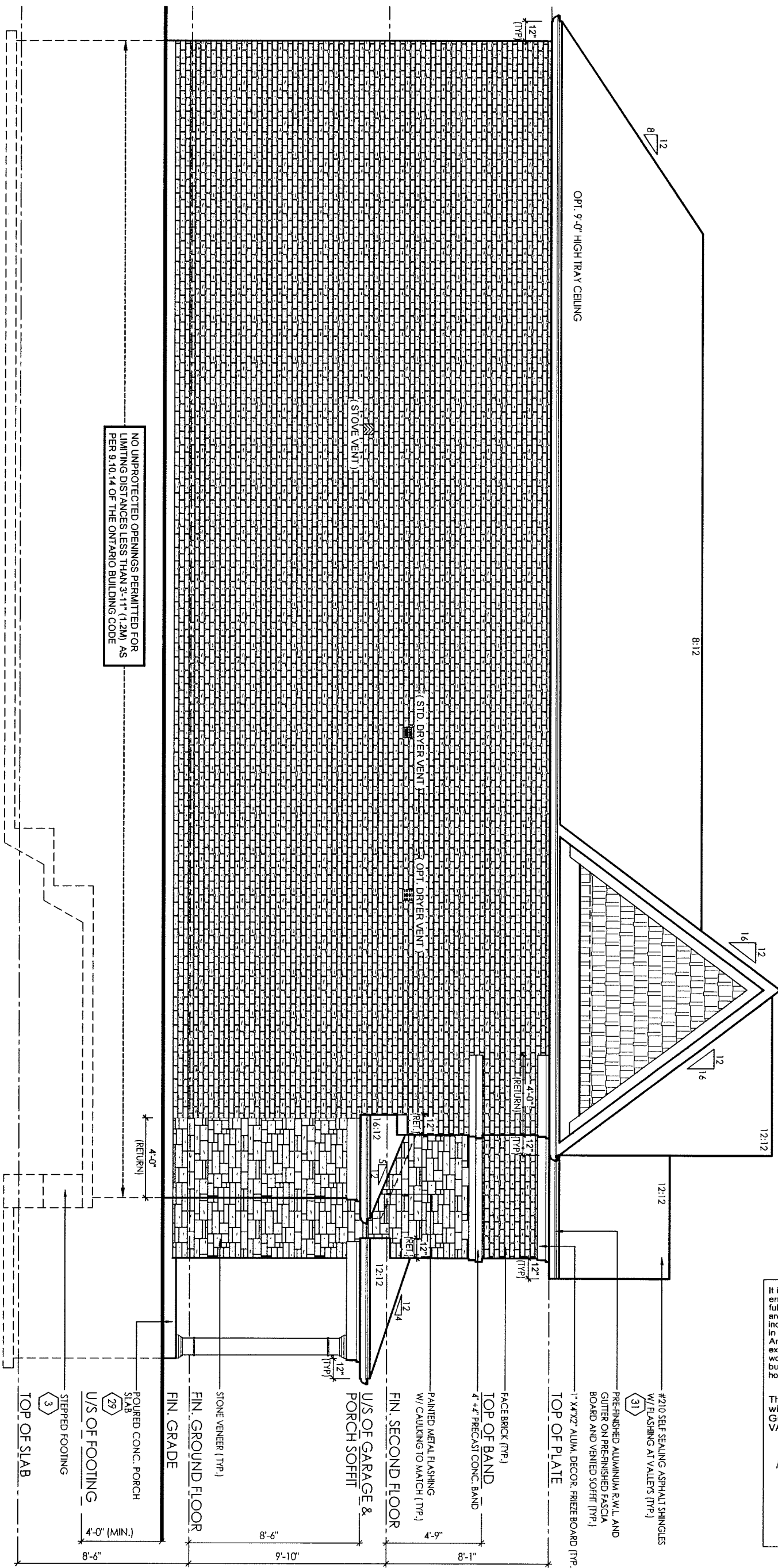
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model 25-3
 scale 3/16" = 1/0"
 project # 14043

page A13

LEFT SIDE ELEVATION 'B'



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ARCHITECTURAL REVIEW & APPROVAL
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client
Gold Park Homes

location
Kleinburg

project
Huntington & Nashville

marketing name

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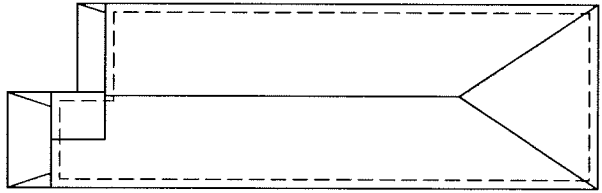


model
25-3

scale
3/16" = 1'0"

project #
14043

page
A14

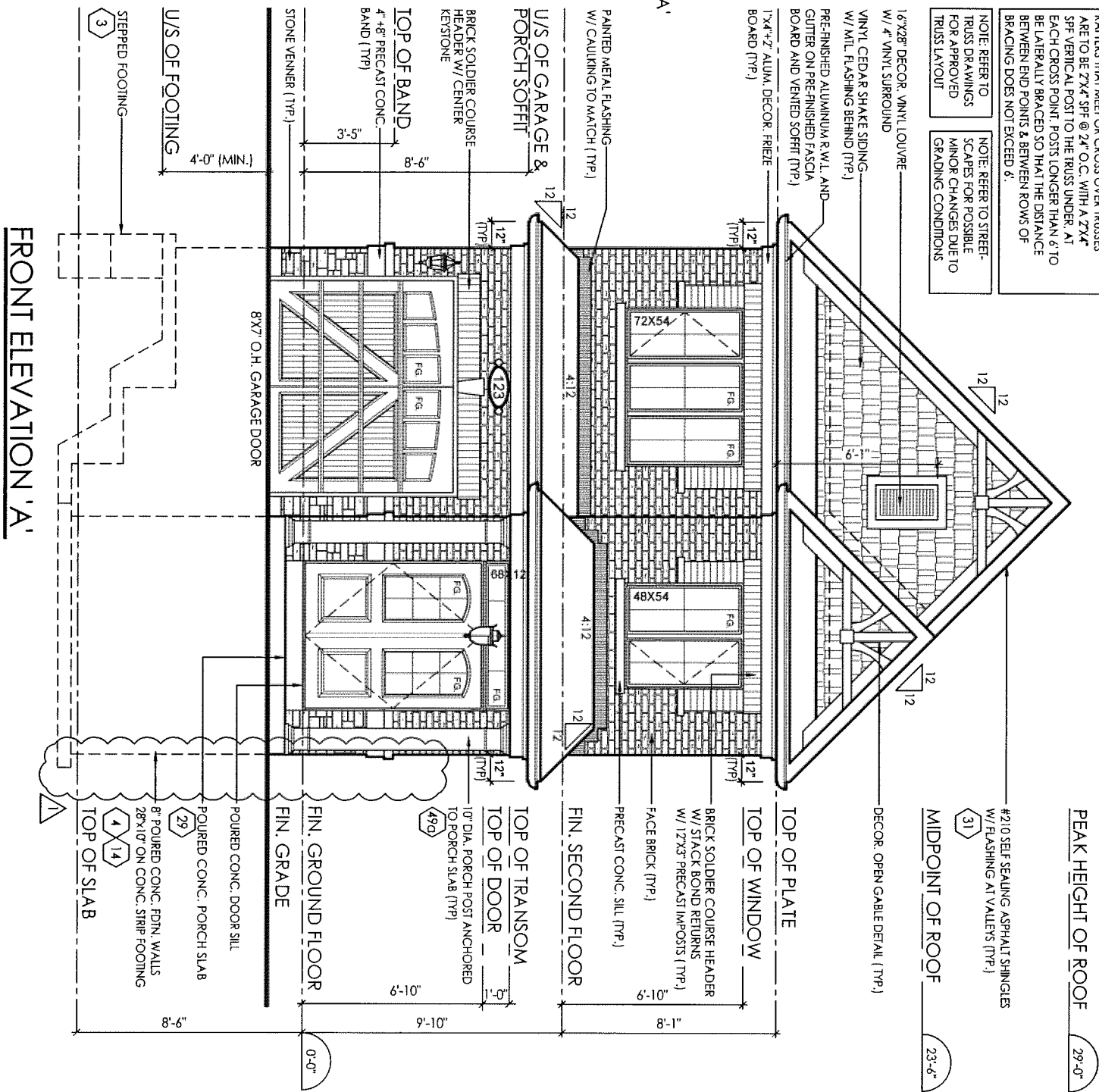


ROOF PLAN ELEV. 'A'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF PARTS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SFP @ 24" O.C. WITH A 2"x4" SFP VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION 'A'

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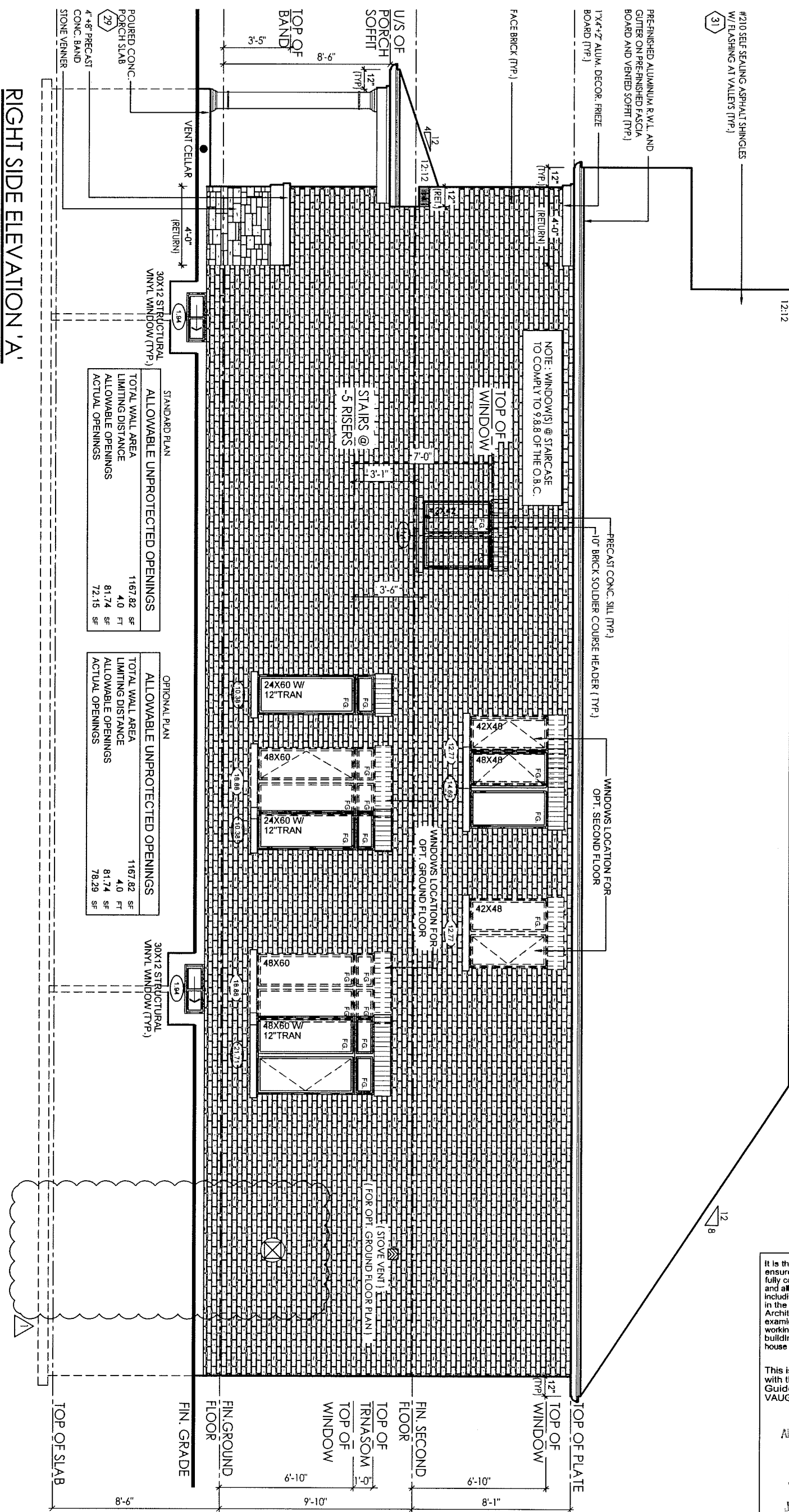


model
25-3

scale
3/16" = 1'0"

project #
14043

page
A8



STANDARD PLAN

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
LIMITING DISTANCE	81.74 SF
ALLOWABLE OPENINGS	72.15 SF
ACTUAL OPENINGS	

OPTIONAL PLAN

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
LIMITING DISTANCE	81.74 SF
ALLOWABLE OPENINGS	78.29 SF
ACTUAL OPENINGS	

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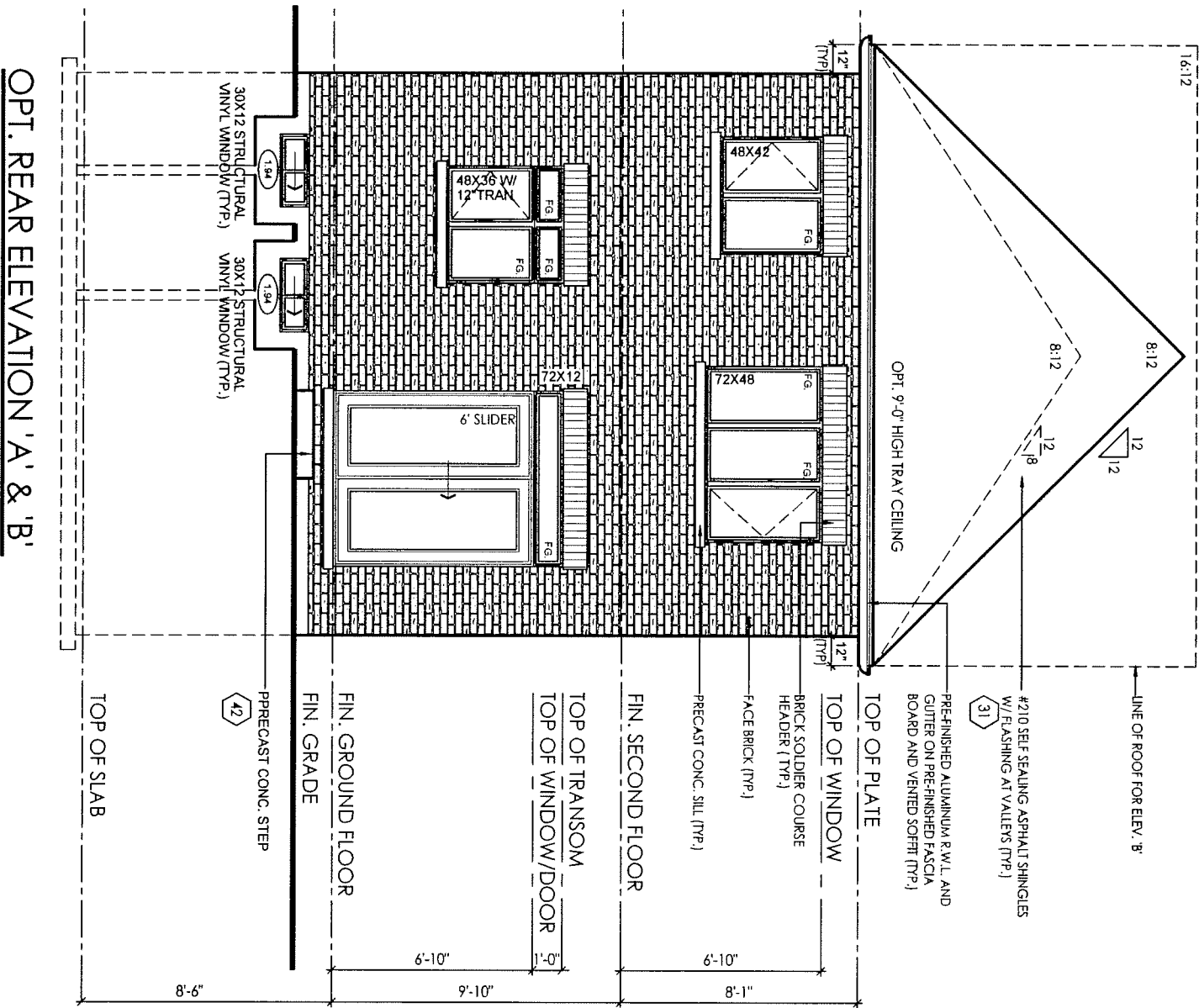
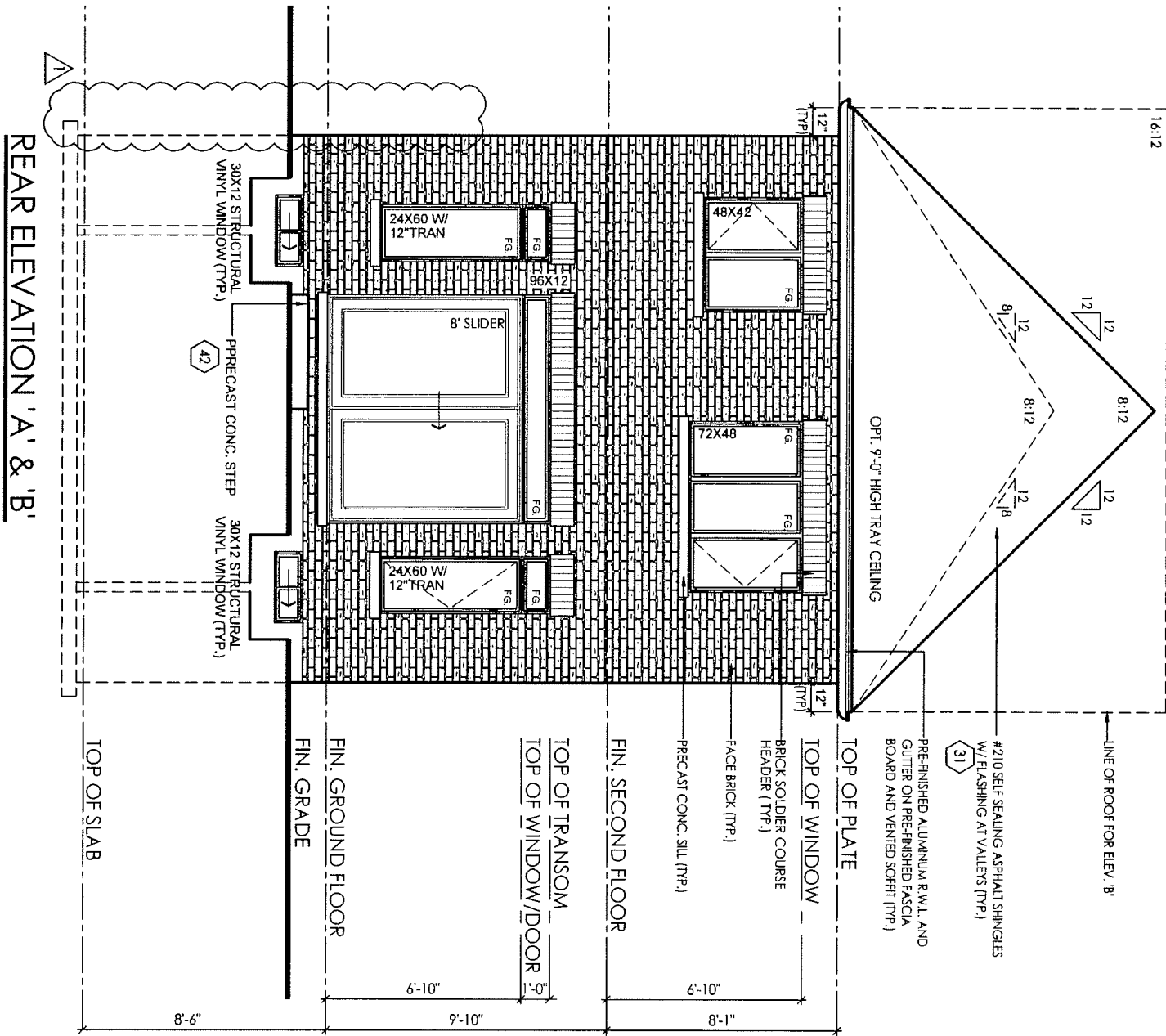
QUALIFIED DESIGNER BCIN: 38688
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client	Gold Park Homes				location	Kleinburg			
project	Huntington & Nashville				marketing name				
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model 25-3
 scale 3/16" = 1'0"
 project # 14043
 page A9



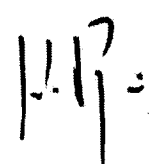
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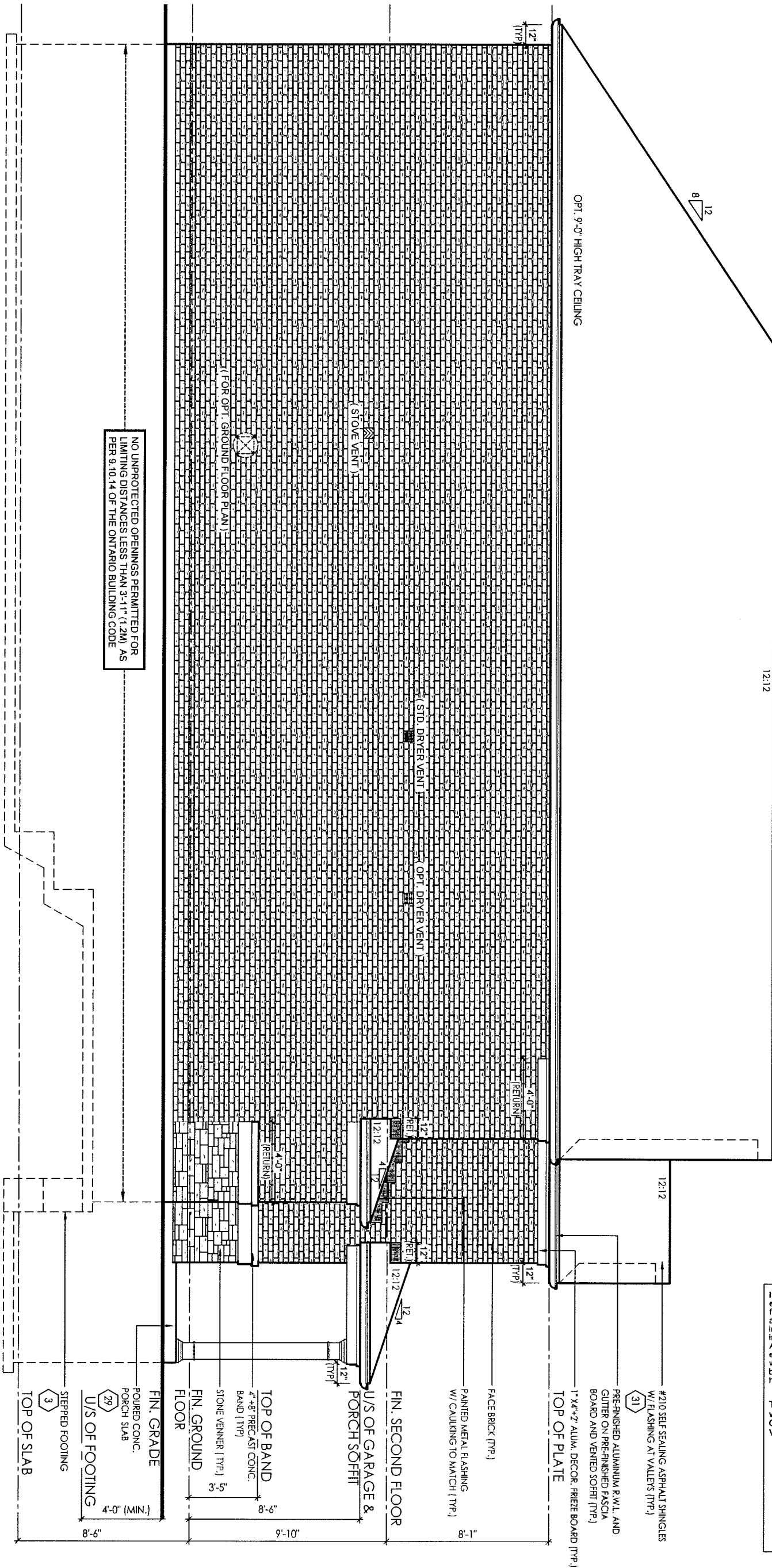
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model 25-3
 scale 3/16" = 1'0"
 project # 14043

page **A10**

LEFT SIDE ELEVATION 'A'



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client
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location
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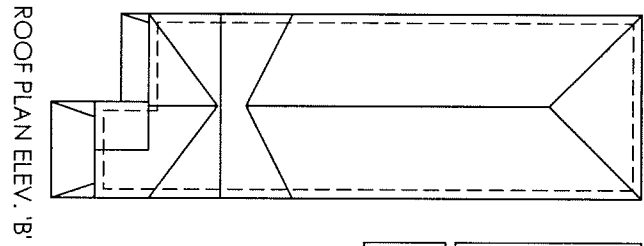


model
 25-3

scale
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project #
 14043

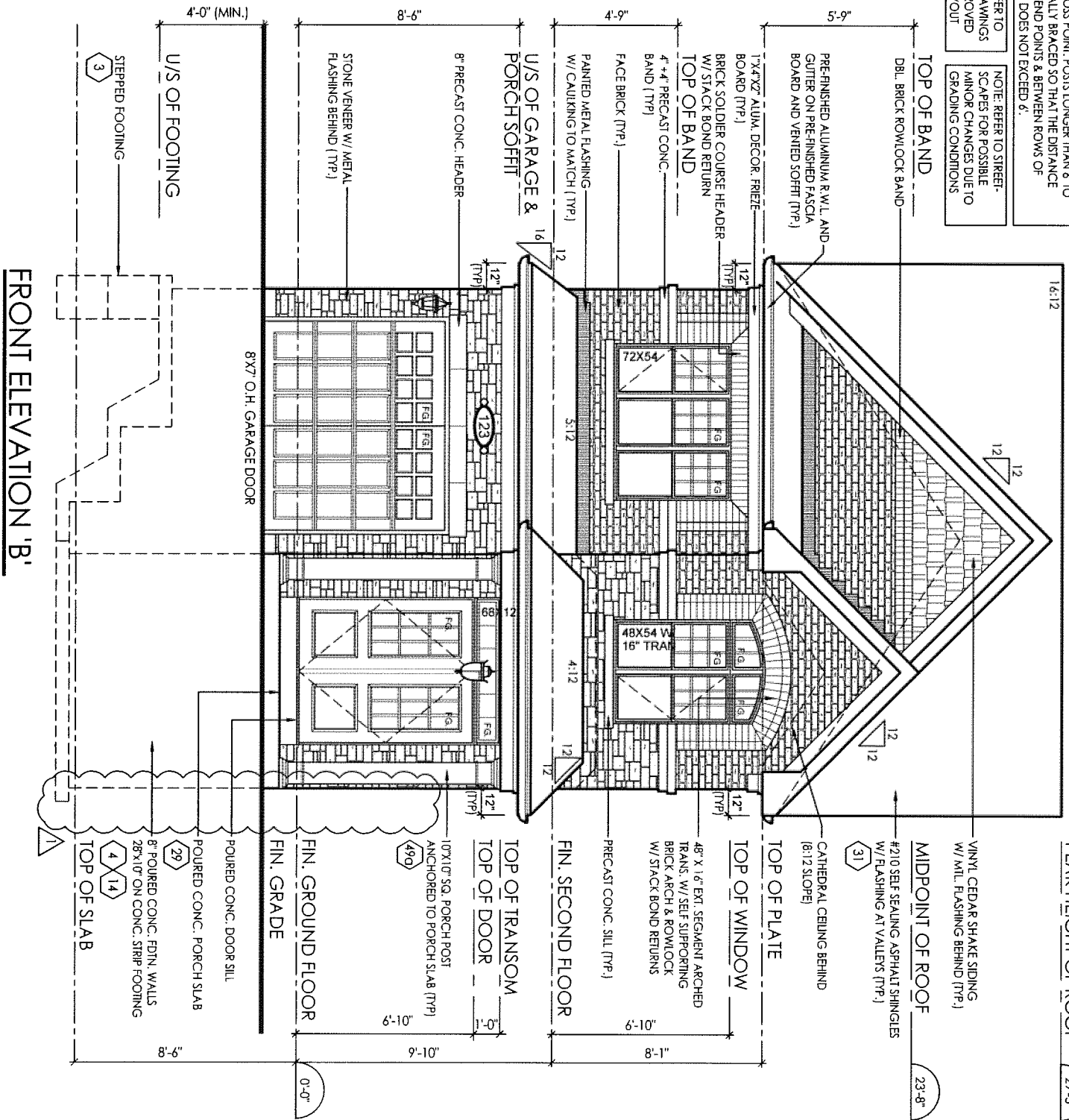
page
 A11



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client **Gold Park Homes**
project **Huntington & Nashville**

location **Kleinburg**
marketing name _____

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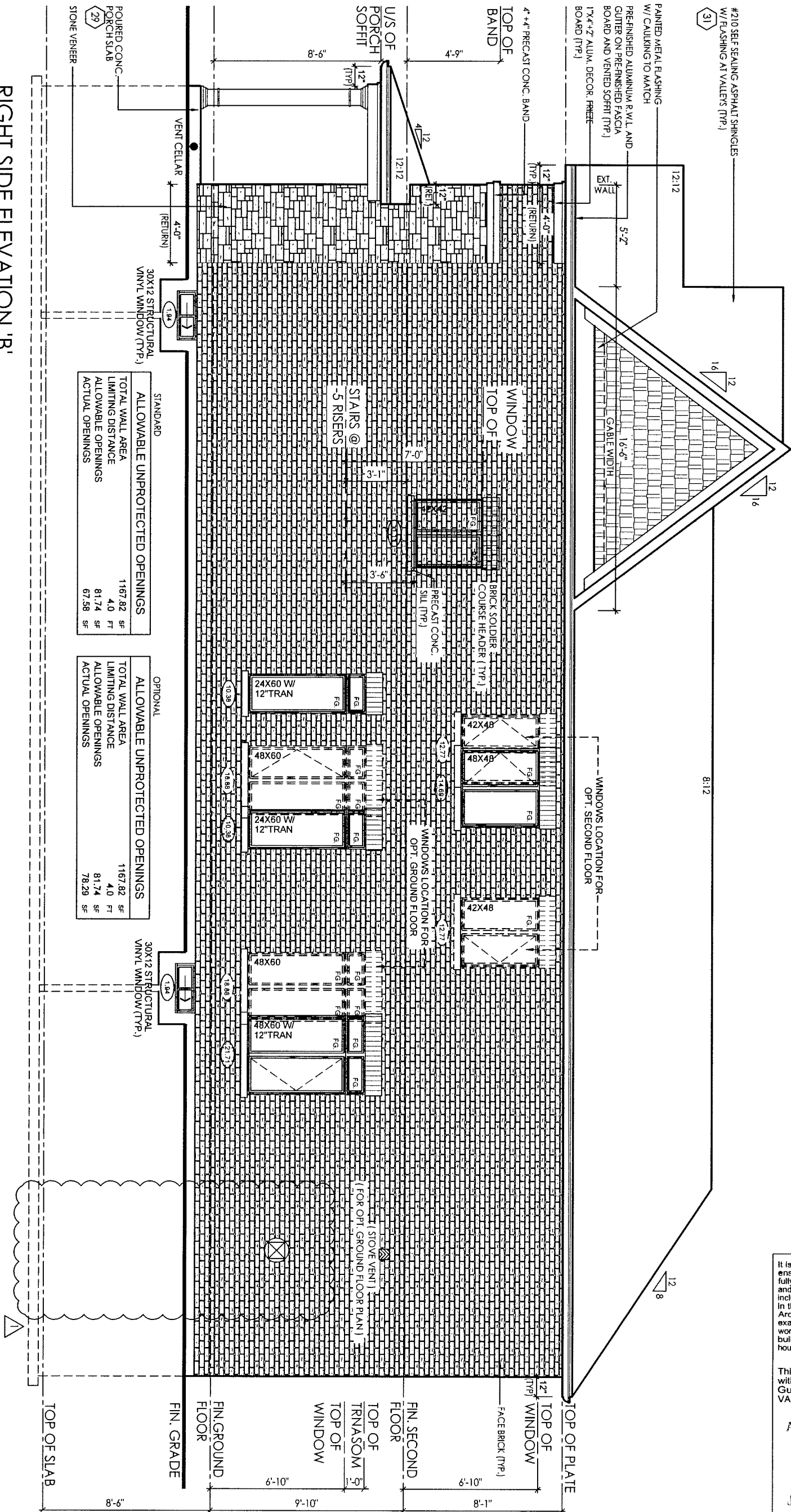


model **25-3**
scale **3/16" = 1'0"**
project # **14043**

page

A12

RIGHT SIDE ELEVATION 'B'



STANDARD

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
LIMITING DISTANCE	81.74 SF
ALLOWABLE OPENINGS	67.58 SF
ACTUAL OPENINGS	

OPTIONAL

ALLOWABLE UNPROTECTED OPENINGS	1167.82 SF
TOTAL WALL AREA	4.0 FT
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SIGNATURE: _____

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project: **Huntington & Nashville** marketing name: _____

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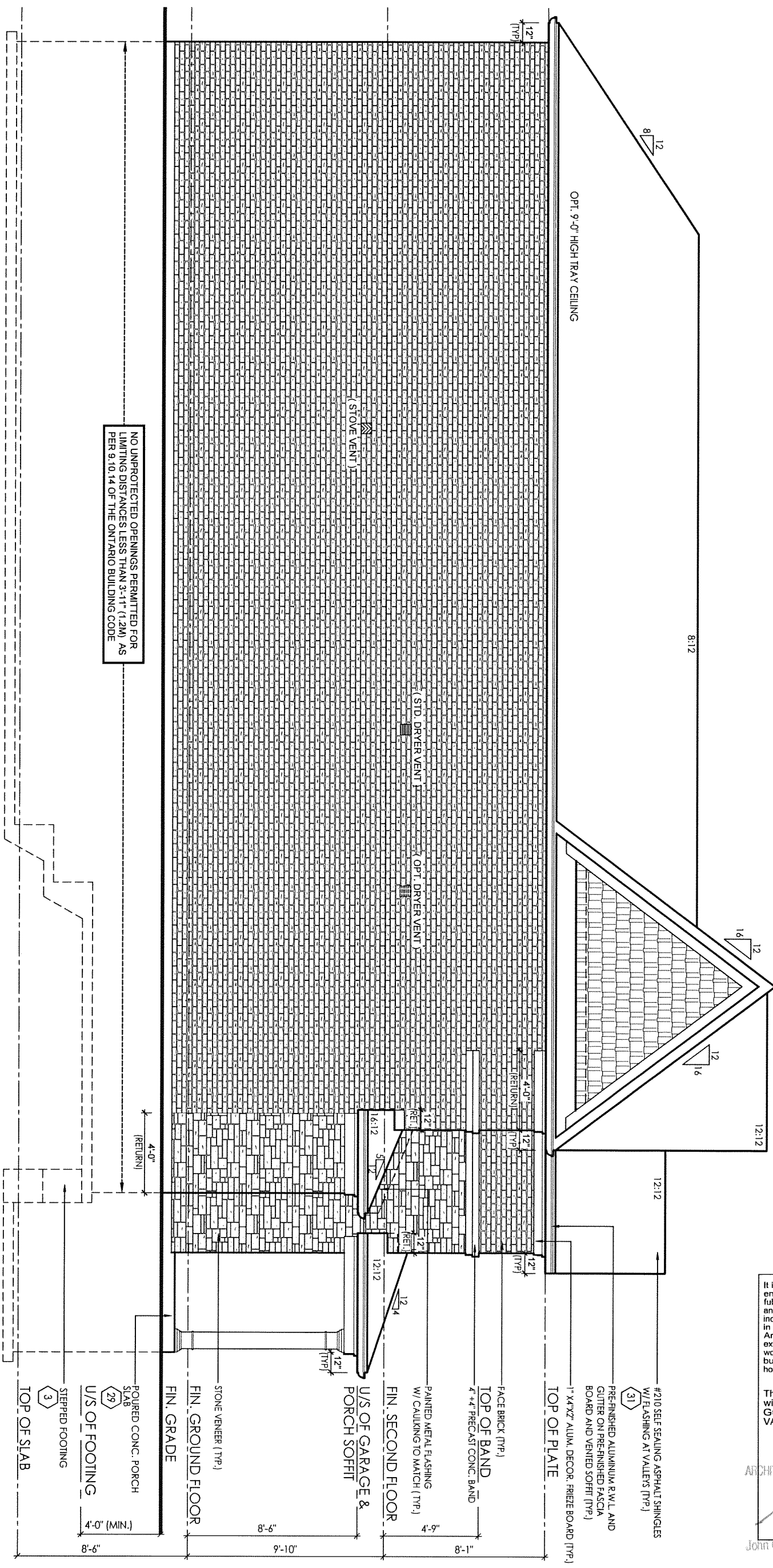
RN design
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model: **25-3**
scale: **3/16" = 1'0"** project #: **14043**

page: **A13**

LEFT SIDE ELEVATION 'B'



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ARCHITECTURAL REVIEW & APPROVAL
 FEB 29 2016
 John G. Williams Limited, Architect

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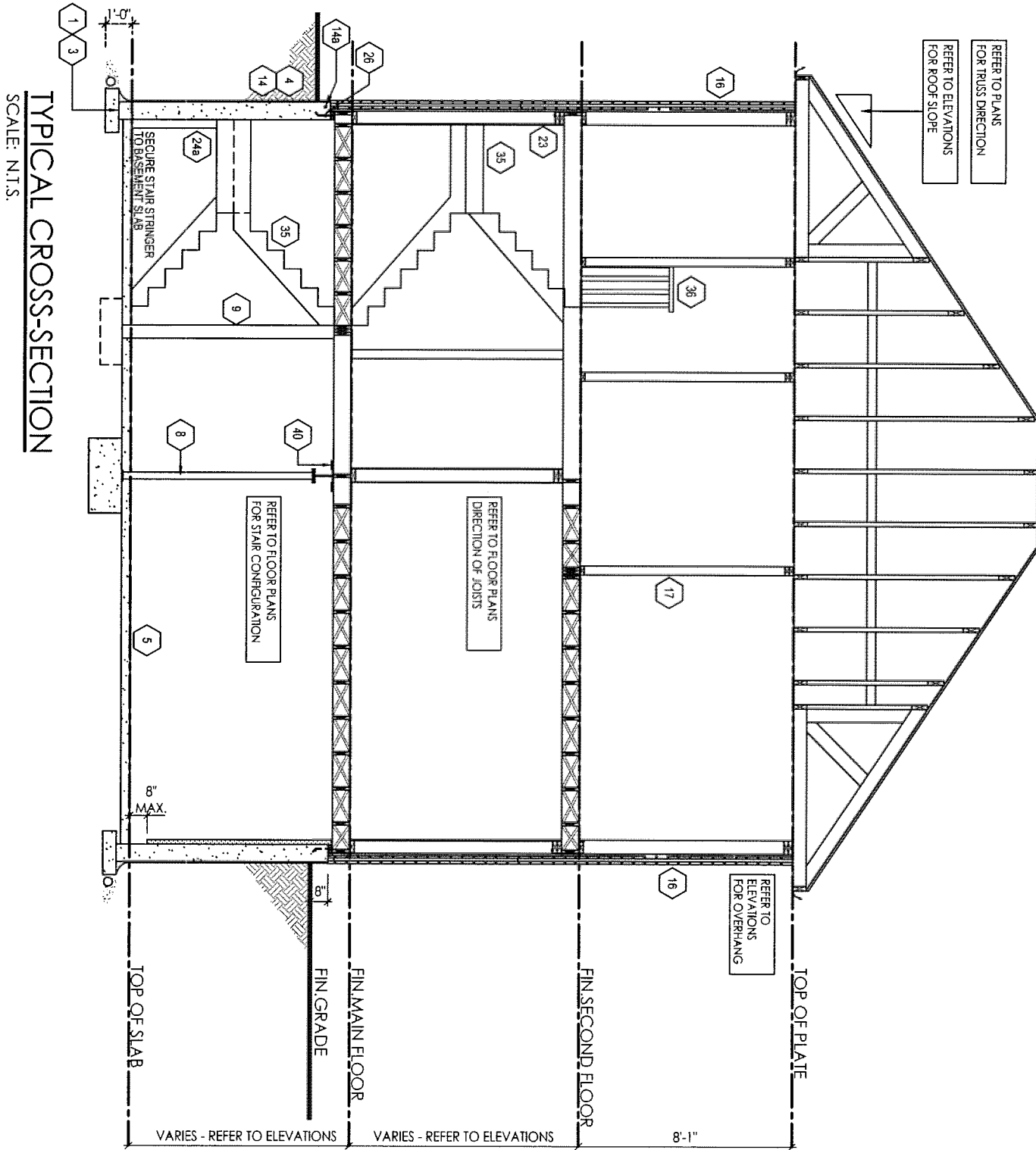
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model **25-3**
 scale **3/16" = 1'0"**
 project # **14043**
 page **A14**



TYPICAL CROSS-SECTION
SCALE: N.T.S.

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE:

SIGNATURE:

J.P.

client
Gold Park Homes
project
Huntington & Nashville

location
Kleinburg
marketing name

RN design
Imagine • Inspire • Create



model
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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	30/01/2015	RA	RPA	5				
2	ISSUED FOR PERMIT	24-FEB-16	JP	JP	6				
3					7				
4					8				

- 36b EXTERIOR GUARDS @ JULIET BALCONY:**
- FOR RAILING SPANNING MAXIMUM OF 6'-0".
 - PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
 - GUARDS TO BE 3'-6" (1070mm)
 - FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
 - FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
 - VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8" MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
 - PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37** -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38** -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39** -CAPPED DRYER VENT
- 40** -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.
- 41** -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42** -PRECAST CONC. STEP
-2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44** SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45** CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46** -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47** -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER. WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)
- 48** -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49 EXTERIOR COLUMN W/ MASONRY PIER:**
- MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
 - TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
 - 14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
 - 3/4" AIR SPACE AROUND POST.
 - OR
 - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
 - 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
 - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

- 490 EXTERIOR COLUMN:**
- MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
 - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.
- 50 COLD CELLARS:**
- FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
 - COVER VENT W/ BUG SCREEN
 - WALL MOUNTED LIGHT FIXTURE
 - L1+L7 FOR DOOR OPENING
 - 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
 - INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

- 51 STUD WALL REINFORCEMENT:**
- O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.3.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
 - GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

- FRAME CONSTRUCTION:**
- ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
 - ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
 - JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
 - BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
 - DOUBLE STUDS @ OPENINGS
 - DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
 - DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
 - DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
 - BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
- APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

- WINDOWS:**
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
 - WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.8 W/(m2.K) OR
 - AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS & 31 FOR FIXED WINDOWS
 - BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
 - SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
 - FOR GROSS GLAZED AREAS LESS THAN 17%

- ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE J.**
- THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED: THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6, OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52).
 - OR
 - WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED, THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT:
 - a) THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS NOT LESS THAN R60 (RSI 10.55).
 - b) THE MINIMUM EFFICIENCY OF THE HRV IS INCREASED BY NOT LESS THAN 8 PERCENTAGE POINTS,
 - c) THE MINIMUM AFUE OF THE SPACE HEATING EQUIPMENT IS INCREASED BY NOT LESS THAN 2 PERCENTAGE POINTS,
 - d) THE MINIMUM EF OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY NOT LESS THAN 4 PERCENTAGE POINTS.



FOR STRUCTURAL ONLY

GROSS GLAZING AREA STD. 'A'

TOTAL PERIPHERAL WALL AREA	2893.21 SF	268.78 m²
FRONT GLAZING AREA	41.89 SF	3.89 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	74.22 SF	6.90 m²
REAR GLAZING AREA	126.26 SF	11.73 m²
TOTAL GLAZING AREA	242.37 SF	22.52 m²
TOTAL GLAZING PERCENTAGE	8.38 %	

GROSS GLAZING AREA OPT. 'A'

TOTAL PERIPHERAL WALL AREA	2893.21 SF	268.78 m²
FRONT GLAZING AREA	41.89 SF	3.89 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	77.61 SF	7.21 m²
REAR GLAZING AREA	104.27 SF	9.69 m²
TOTAL GLAZING AREA	223.77 SF	20.79 m²
TOTAL GLAZING PERCENTAGE	7.73 %	

GROSS GLAZING AREA STD. 'B'

TOTAL PERIPHERAL WALL AREA	2893.21 SF	268.78 m²
FRONT GLAZING AREA	48.31 SF	4.49 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	74.22 SF	6.90 m²
REAR GLAZING AREA	126.26 SF	11.73 m²
TOTAL GLAZING AREA	248.79 SF	23.11 m²
TOTAL GLAZING PERCENTAGE	8.60 %	

GROSS GLAZING AREA OPT. 'B'

TOTAL PERIPHERAL WALL AREA	2893.21 SF	268.78 m²
FRONT GLAZING AREA	48.31 SF	4.49 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	77.61 SF	7.21 m²
REAR GLAZING AREA	104.27 SF	9.69 m²
TOTAL GLAZING AREA	230.19 SF	21.38 m²
TOTAL GLAZING PERCENTAGE	7.96 %	

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

DOORS 46 47

A	865x2030x45 (2'10"x6'8"x1-3/4")
B	815x2030x35 (2'8"x6'8"x1-3/8")
C	760x2030x35 (2'6"x6'8"x1-3/8")
D	710x2030x35 (2'4"x6'8"x1-3/8")
E	460x2030x35 (1'6"x6'8"x1-3/8")
F	610x2030x35 (2'0"x6'8"x1-3/8")
G	OVER SIZED EXTERIOR DOOR

STEEL BEAMS

ST1	W 6 X 15
ST2	W 6 X 20
ST3	W 8 X 18
ST4	W 8 X 21
ST5	W 8 X 24

SCHEDULES

WOOD BEAMS

WD1	3/2" X 8" SPR	WD9	5/2" X 12" SPR
WD2	4/2" X 8" SPR	WD10	2/1 3/4" X 7 1/4" (2.0E) LVL
WD3	5/2" X 8" SPR	WD11	3/1 3/4" X 7 1/4" (2.0E) LVL
WD4	3/2" X 10" SPR	WD12	2/1 3/4" X 9 1/2" (2.0E) LVL
WD5	4/2" X 10" SPR	WD13	3/1 3/4" X 9 1/2" (2.0E) LVL
WD6	5/2" X 10" SPR	WD14	2/1 3/4" X 11 7/8" (2.0E) LVL
WD7	3/2" X 12" SPR	WD15	3/1 3/4" X 11 7/8" (2.0E) LVL
WDB	4/2" X 12" SPR		

LINTELS

L1	2/2" X 8" SPR	L10	4-7/8" X 3-1/2" X 5/16" L	L15	5-7/8" X 4" X 1/2" L
L3	2/2" X 10" SPR	L11	4-7/8" X 3-1/2" X 3/8" L	L16	7-1/8" X 4" X 3/8" L
L5	2/2" X 12" SPR	L12	4-7/8" X 3-1/2" X 1/2" L	L17	7-1/8" X 4" X 1/2" L
L7	3-1/2" X 3-1/2" X 1/4" L	L13	5-7/8" X 3-1/2" X 3/8" L		
L9	4" X 3-1/2" X 1/4" L	L14	5-7/8" X 3-1/2" X 1/2" L		

PLAN/ELEVATION LEGEND

	SMOKE ALARM 44		CARBON MONOXIDE ALARM (CMA) 45		FLOOR DRAIN
	WATERPROOF DUPLEX OUTLET		DOUBLE JOIST		SOLID BEARING (TO BE SAME WIDTH AS SUPPORTED MEMBER)
	VENTS AND INTAKES		PRESSURE TREATED LUMBER		POINT LOAD
	HOSE BIB		GIRDER TRUSS		FLAT ARCH
	EXHAUST FAN		ABOVE FINISHED FLOOR		2 STORY WALL
	COLD CELLAR VENT 50		EXT. LIGHT FIXTURE (WALL MOUNTED)		UNDER SIDE
	STOVE VENT		HYDRO METER		FIXED GLAZING
	FIRE PLACE VENT		GAS METER		GLASS BLOCK
	DRYER VENT				BLACK GLASS

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31 TYPICAL ROOF:

- O.B.C. 9.26.
- NO. 210 (30.5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2.
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

32 CEILING:

- R50 (RSI 8.8) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

28 FLOOR ASSEMBLY:

- O.B.C. 9.23.14.3, 9.23.14.4
- 5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

REFER TO FLOOR PLANS FOR FLOOR JOIST SIZE, SPACING & BRIDGING

14 FOUNDATION WALL:

- O.B.C. 9.15.4.2.
- FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally Supported Height.
- 8" (200mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN Laterally Supported Height.
- 10" (250mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
- FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. - T.9.15.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. - PART 4
- WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
- INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1. O.B.C. T.2.1.1.2.A.)
- BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

- O.B.C. 9.15.4.7.
- WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
- TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
- FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
- WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMP PROOFING & WATERPROOFING:

- DAMP PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
- WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
- FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.(3)
- WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
- WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP PROOFING.

5 BASEMENT SLAB :

- O.B.C. 9.13. & 9.16.
- 3" (75mm) CONCRETE SLAB
- 2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
- DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
- DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C.9.31.4.4.
- R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12 - 2.1.1.6 (5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)
- PROVIDE CONTINUOUS SEALANT BETWEEN CONC SLAB AND FOUNDATION WALL

16 BRICK VENEER CONSTRUCTION (TYPICAL):

- O.B.C. 9.23.
- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16
- 2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.

A/B MECHANICALLY SEALED or PROVIDE CONTINUOUS SEALANT AT OVERLAPPED JOINTS IN AIR/VAPOUR BARRIER (TYP)

SEALANT

HEADER WRAP IS TO EITHER OVERLAP AIR/VAPOUR BARRIER BY 4" or TO BE SEALED WITH CONTINUOUS CAULKING SEALANT (TYP)

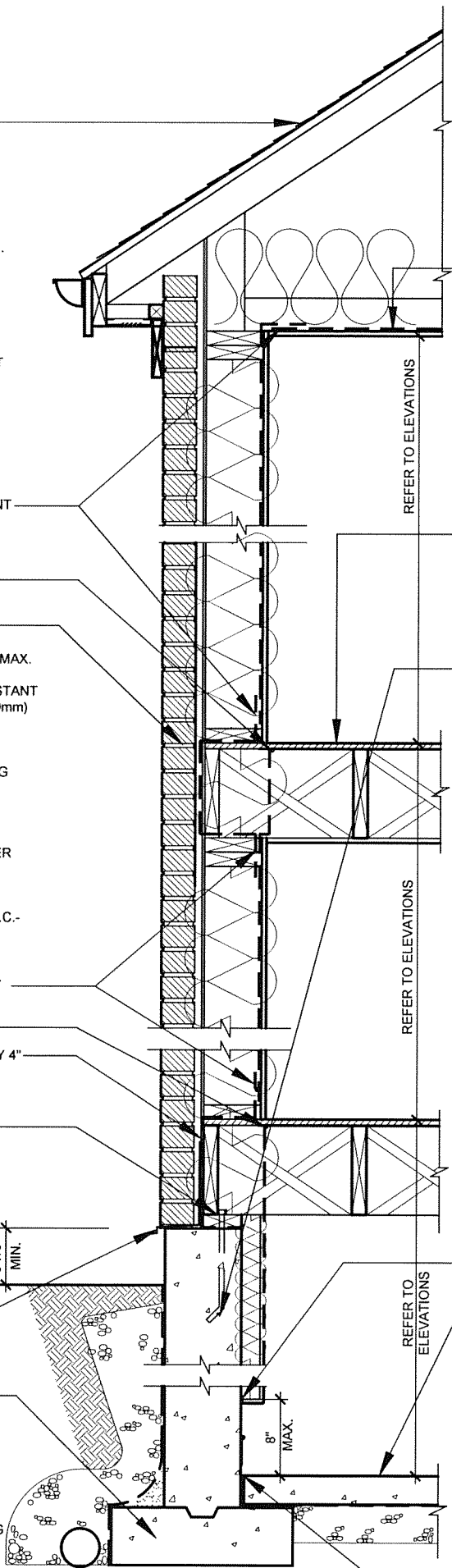
26 SILL PLATE:

- O.B.C. 9.23.7.
- 2" X 6" (38mm X 140mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
- FASTENED TO PLATE W/ NUTS AND WASHERS
- SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN. WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER OF MINERAL WOOL NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

METAL FLASHING TO EXTEND UP BEHIND BRICK MIN 6"

2 TYPICAL STRIP FOOTING:

- (EXTERIOR BEARING WALLS)
- O.B.C. 9.15.3. & 9.15.3.6
- 3 STOREY STUD - 26" X 9" (660mm X 230mm)
- BASED ON 16'-1" (4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 29psi (200kPa) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)



TYPICAL EXTERIOR WALL SECTION- BRICK

SCALE: 3/4" = 1'-0"



FOR STRUCTURAL ONLY

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688
FIRM BCIN: 26995
DATE: _____

SIGNATURE: _____

client Gold Park Homes
location Kleinburg
project Huntington & Nashville
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR PERMIT	24-FEB-16	JP	JP					

RN design
Imagine • Inspire • Create



model 25-3
scale 3/16" = 1'0"
project # 14043

page

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