



Drawing List:

- Α0 TITLE SHEET
- BASEMENT PLAN ELEV. 'A' & 'B' Α1
- OPT. BASEMENT PLAN ELEV. 'A' & 'B' Α2
- GROUND FLOOR PLAN ELEV. 'A'
- SECOND FLOOR PLAN ELEV. 'A'
 - PART. SEC. FLR. PLAN FOR OPT. LAUNDRY LAYOUT (STD. P.
- OPT. GROUND FLOOR PLAN ELEV. 'A' Α5
- OPTIONAL SECOND FLOOR PLAN ELEV. 'A'
- PART. STD. & OPT. GROUND FLOOR PLAN ELEV. 'B' PART. STD. & OPT. SECOND FLOOR PLAN ELEV. 'B'
- Α8 FRONT ELEVATION 'A'
- RIGHT SIDE ELEVATION 'A'
- A10 REAR ELEVATION 'A' & 'B' OPT. REAR ELEVATION 'A' & 'B'
- A11 LEFT SIDE ELEVATION 'A'
- A12 FRONT ELEVATION 'B'
- A13 RIGHT SIDE ELEVATION 'B'
- A14 LEFT SIDE ELEVATION 'B'
- A15 TYPICAL CROSS-SECTION
- **CONSTRUCTION NOTES**
- **CONSTRUCTION NOTES** CONSTRUCTION NOTES D3
- TYPICAL WALL SECTION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

Areas:

	ŀ	ELEVATK	'A' MC	ELEVATION 'B'		
		SF	SM	SF	SM	
GROUND FLOOR PLAN	(0)	916.5	85.1			
SECOND FLOOR PLAN	(0)	1100.1	102.2			
SECOND FLOOR PLAN OTB	(0)	(3.6)	(0.3)	()	()	
TOTAL AREA (0)		2013.0	187.0			
OPT. GROUND FLOOR PLAN	(1)	916.5	85.1			
OPTIONAL SECOND FLOOR PLAN	(1)	1100.1	102.2			
ORTION OFFICIAL FLOOR	(1)	(3.6)	(0.3)	0	()	
TOTAL AREA (1)		2013.0	187.0			
STD. & OPT. GROUND FLOOR PLAN	(2)			916.5	85.1	
STD. & OPT. SECOND FLOOR	(2)	***************************************		1100.1	102.2	
PLAN STD. & OPT. SECOND FLOOR PLAN OTB	(2)	0	()	(3.6)	(0.3)	
TOTAL AREA (2)				2013.0	187.0	
COVERAGE INC PORCH		1177.3	109.4	1177.3	109.4	
COVERAGE NOT INC PORCH		1132.3	105.2	1132.3	105.2	

Gold Park Homes

Huntington & Nashville

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS

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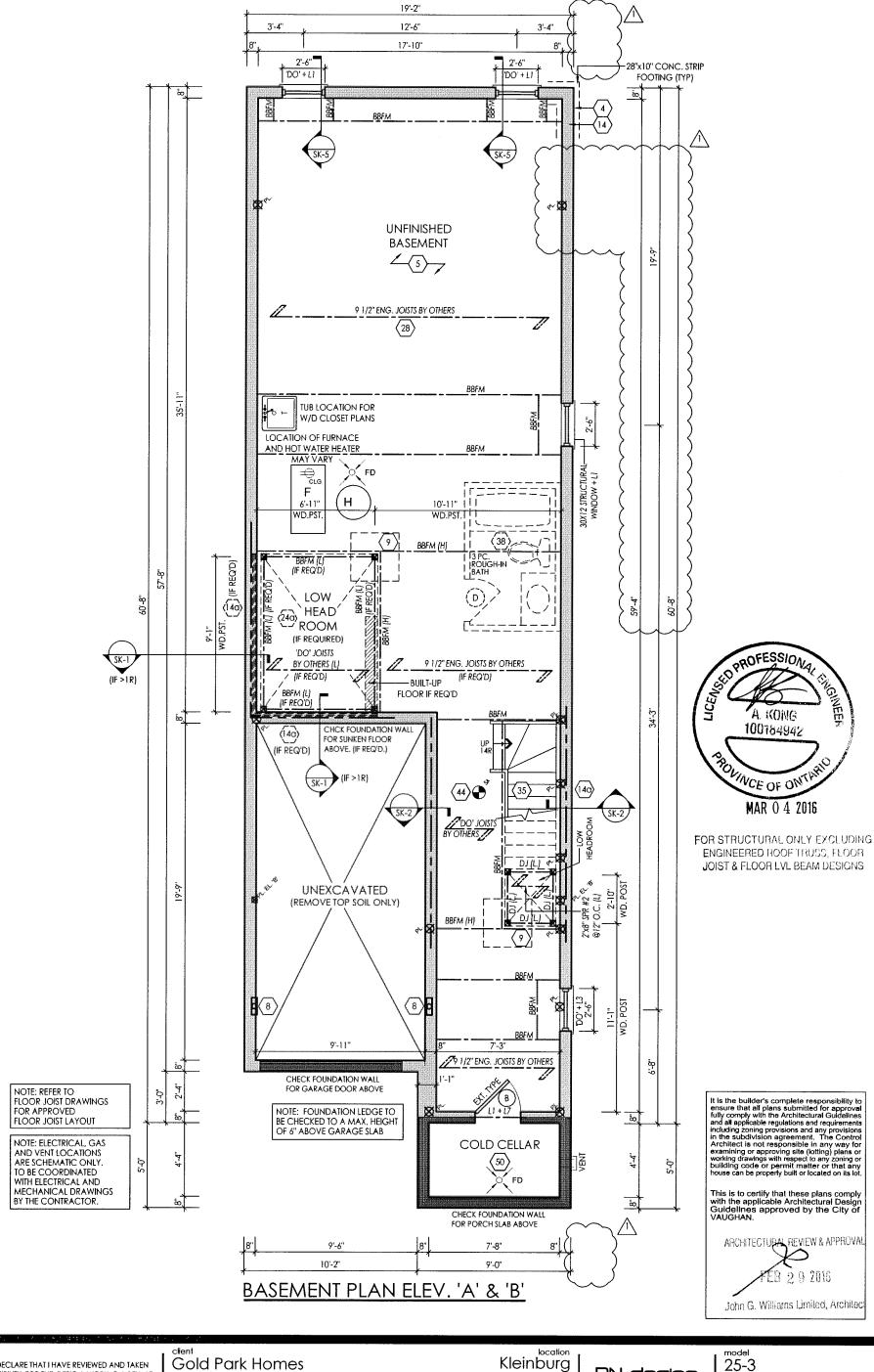


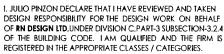
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Gold Park Homes

project

marketing name **Huntington & Nashville**

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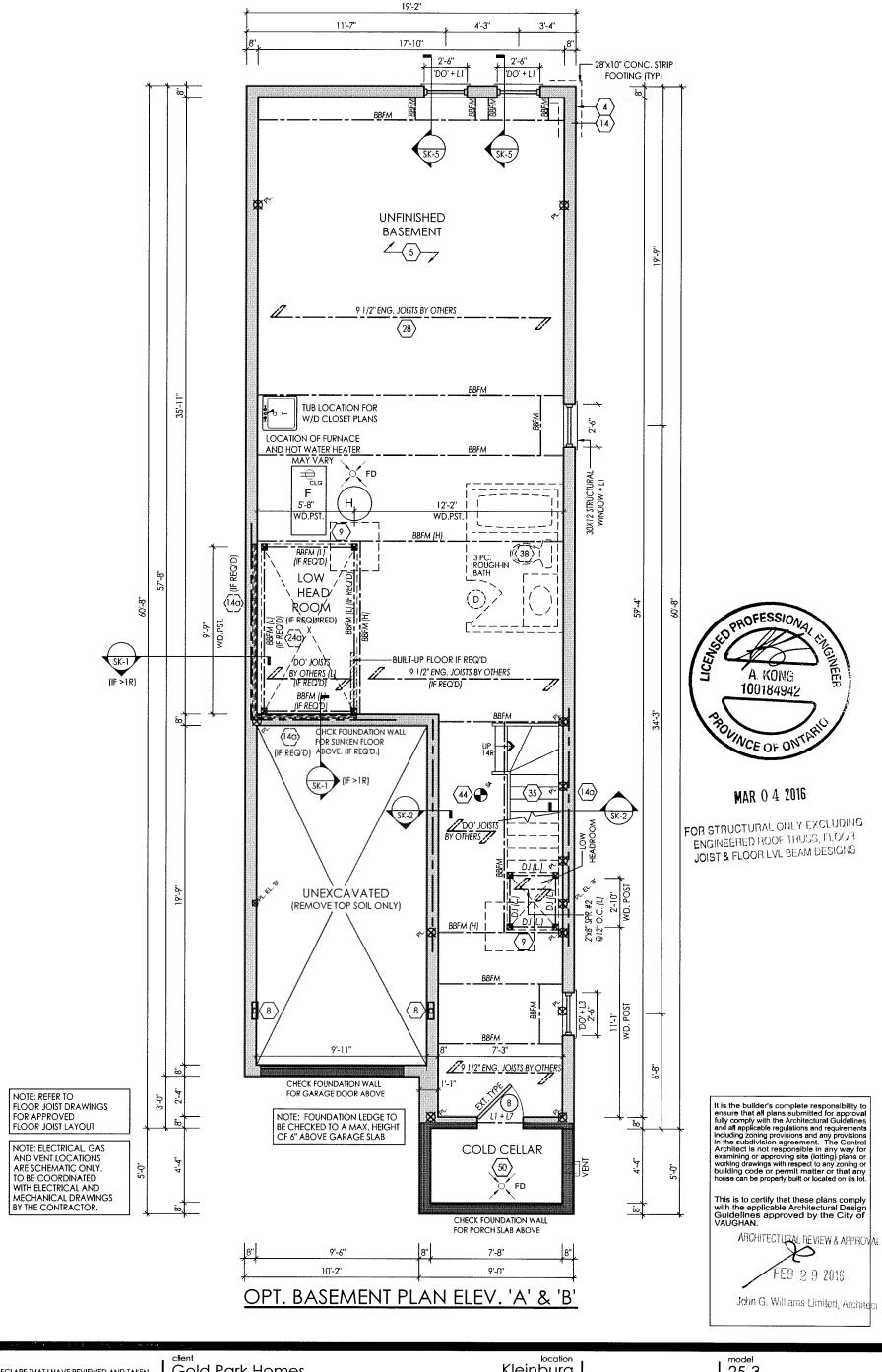


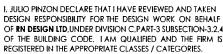
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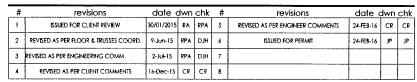




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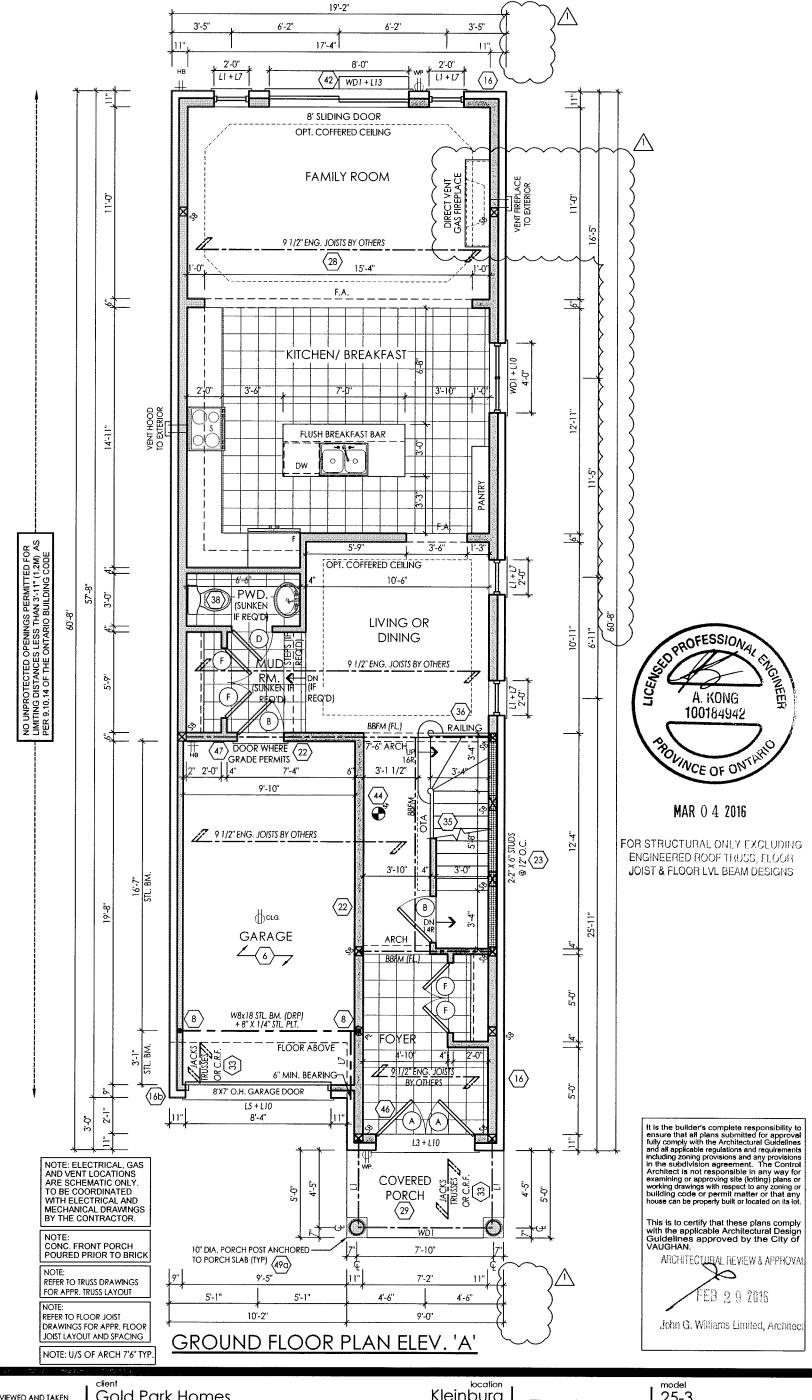
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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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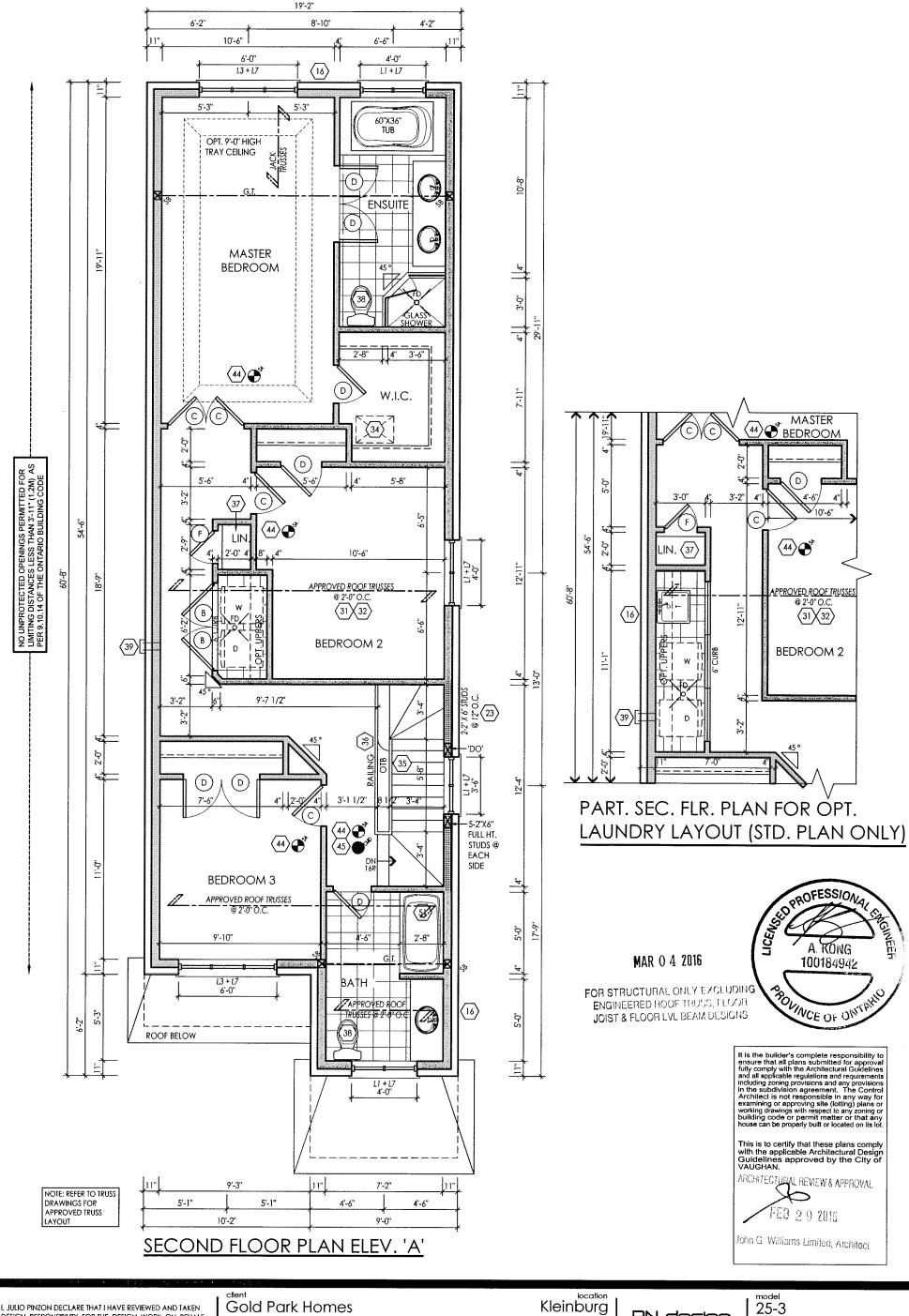
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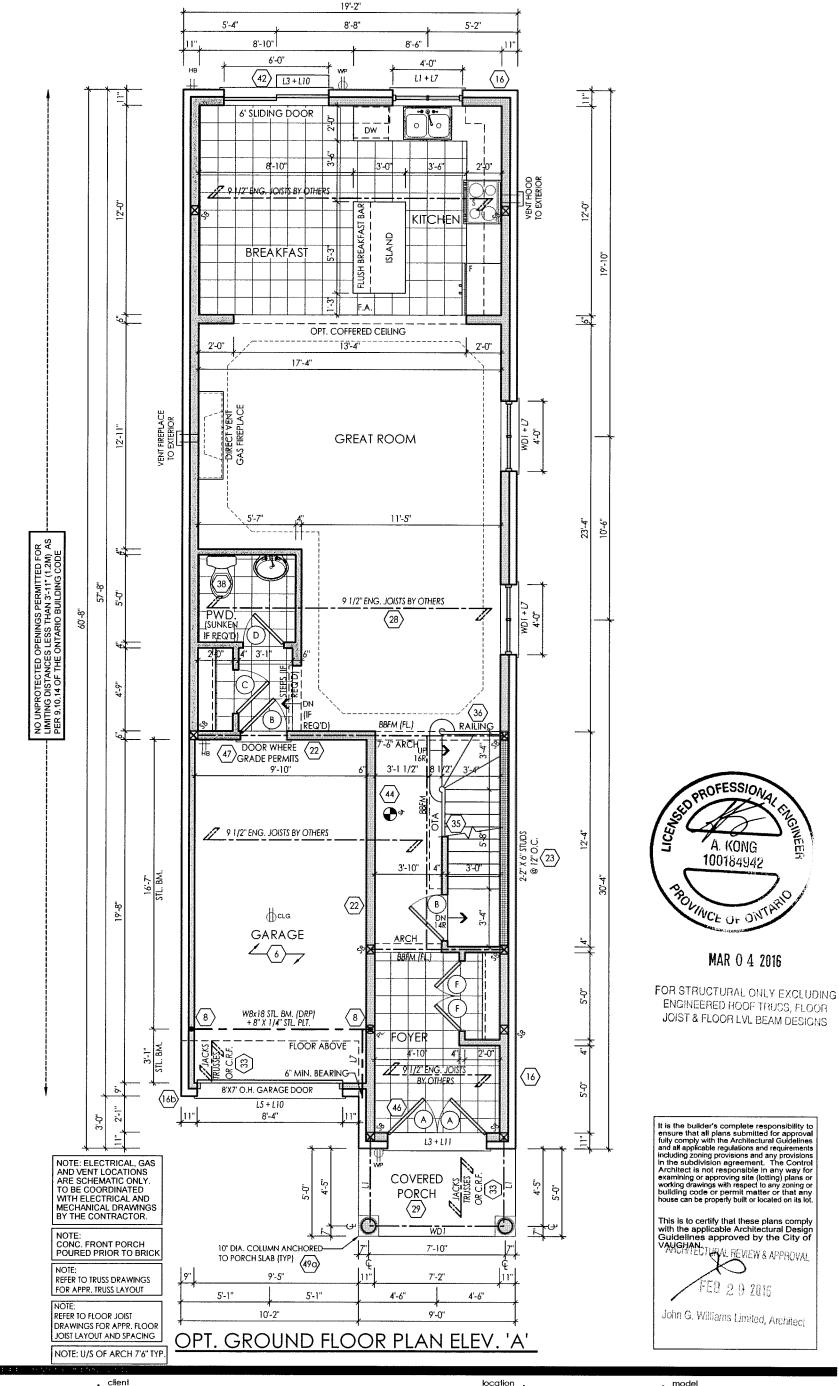
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Gold Park Homes Kleinburg marketing name **Huntington & Nashville** date dwn chk revisions date dwn chk # revisions ISSUED FOR PERMIT ISSUED FOR CLIENT REVIEW 30/01/2015 RA RPA 5 24-FEB-16 JP JP 9-Jun-15 RPA D3H 6 REVISED AS PER FLOOR & TRUSSES COORD. 2 2-Jul-15 RPA DJH 7 3 REVISED AS PER ENGINEERING COMM.

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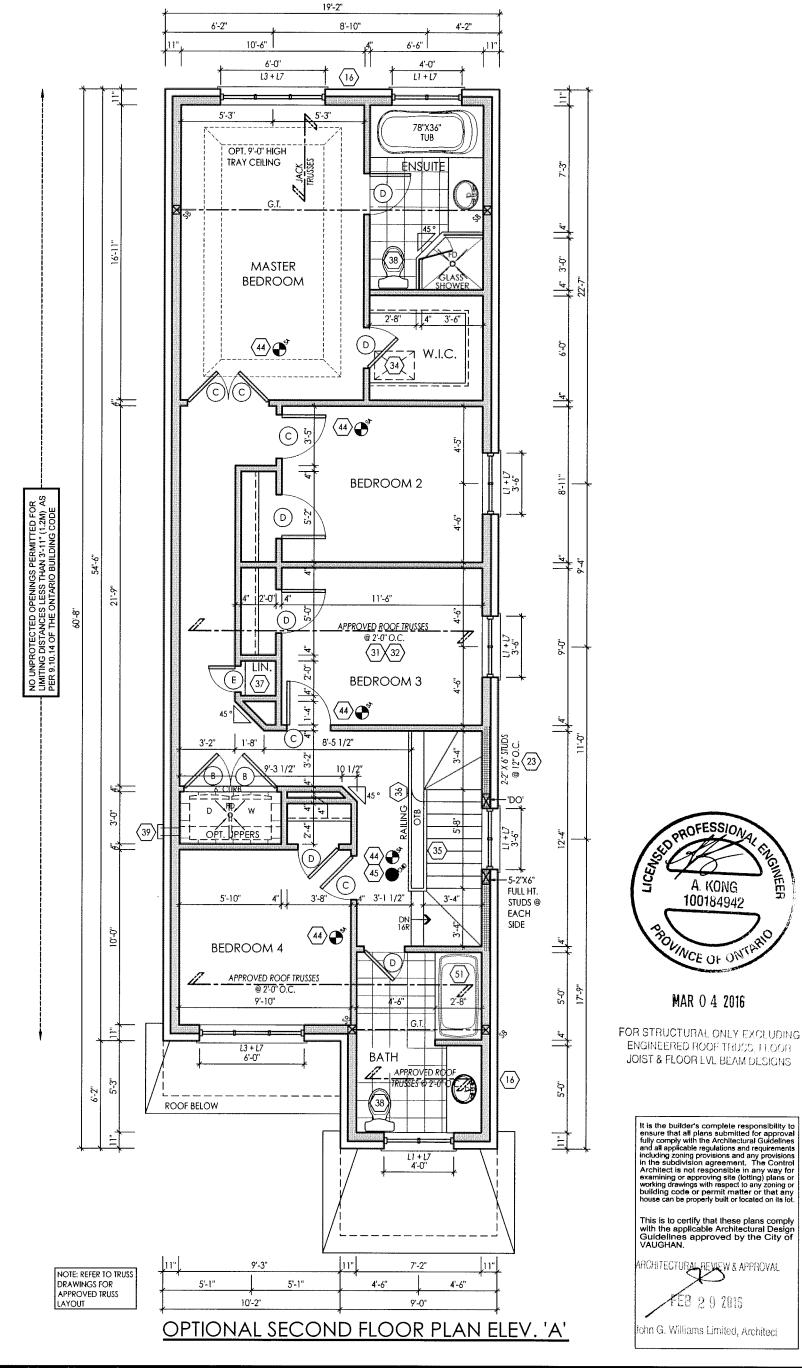


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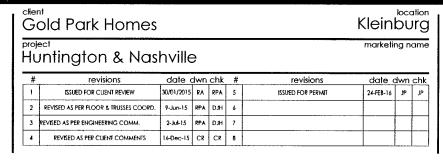




I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3, 2, 4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

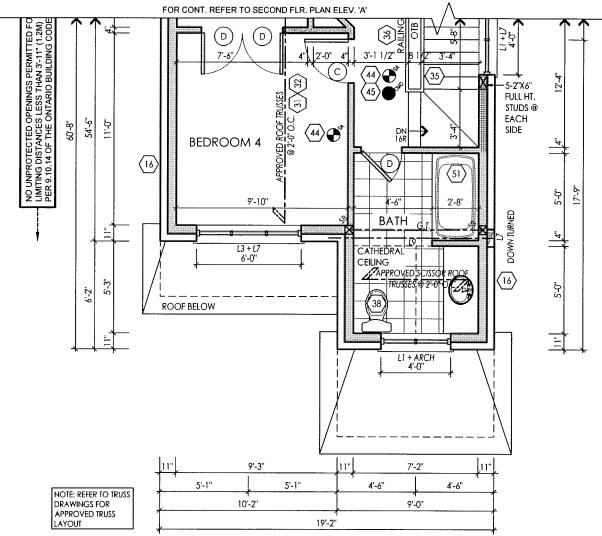
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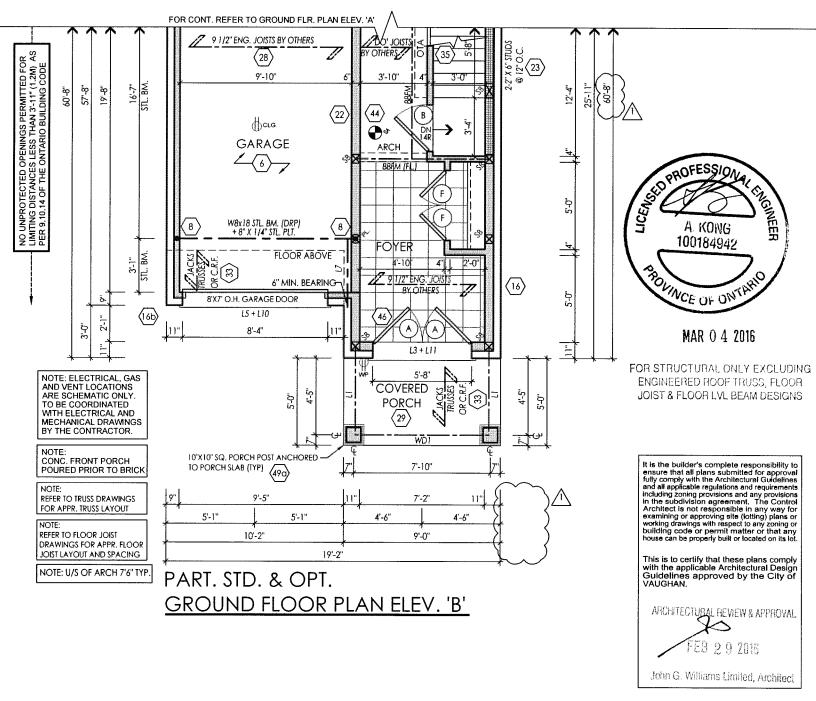


25-3 project# scale 3/16" = 1'0" 14043 page



PART. STD. & OPT.

SECOND FLOOR PLAN ELEV. 'B'



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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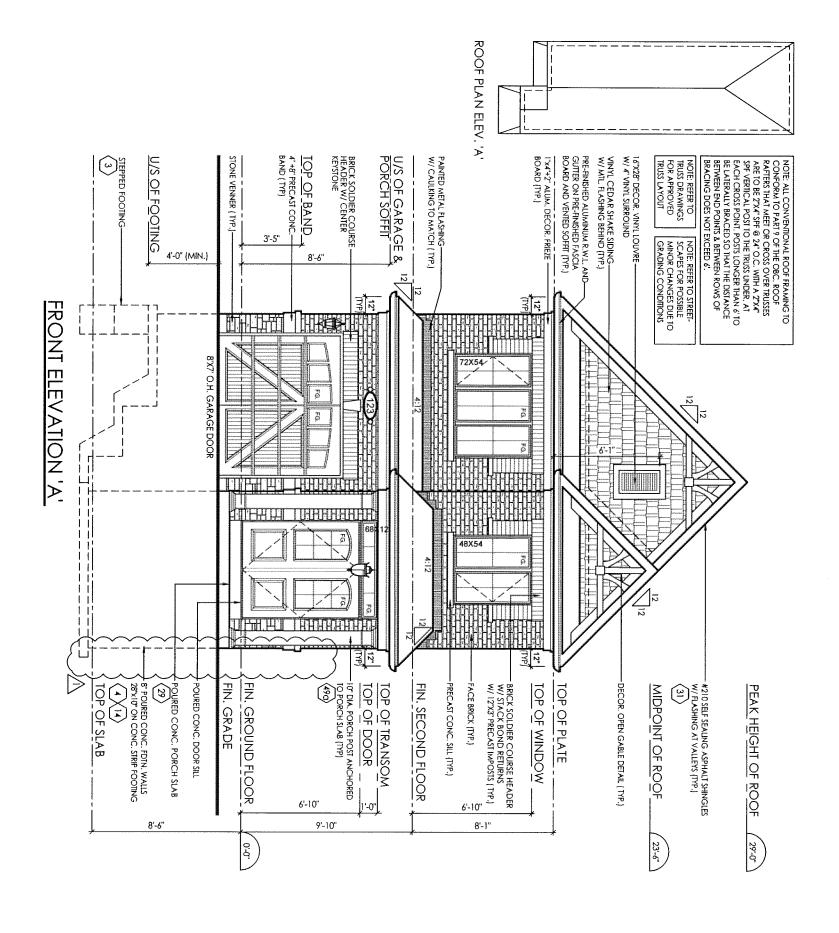
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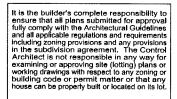
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ARCHITECTURAL REVIEW & APPROVAL EB 2 9 7016

John G. Williams Limited, Architect

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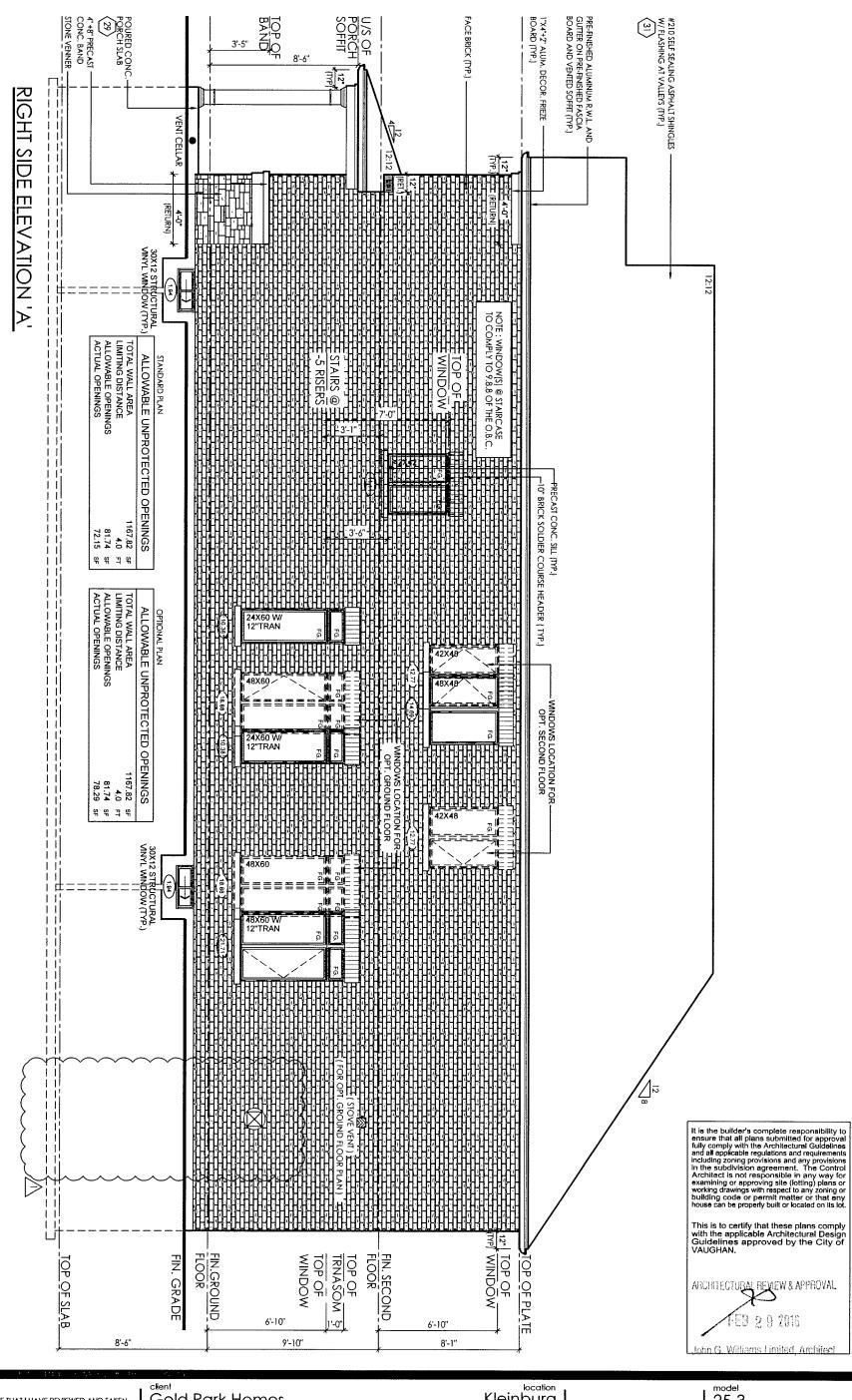
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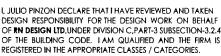
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scale 3/16" = 1'0"	project # 14043
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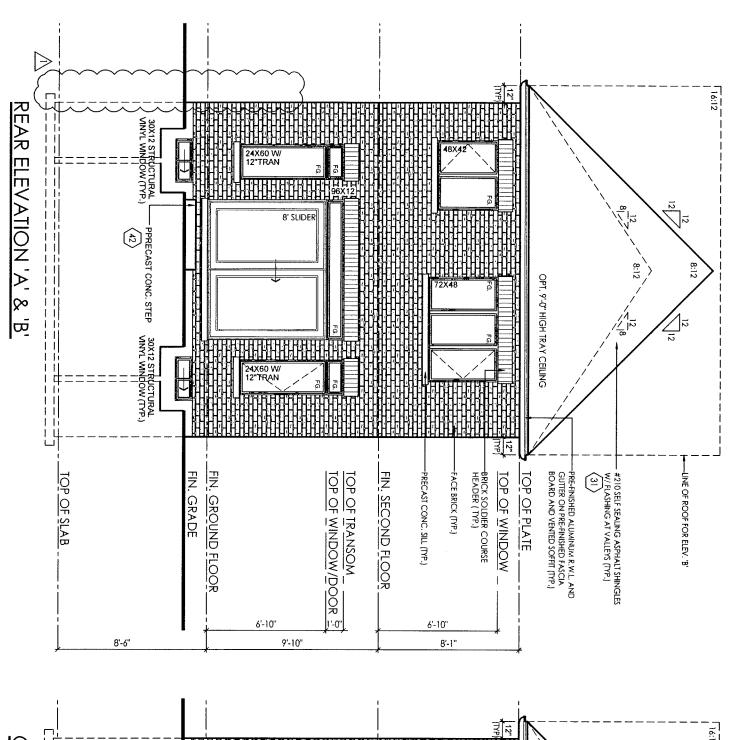
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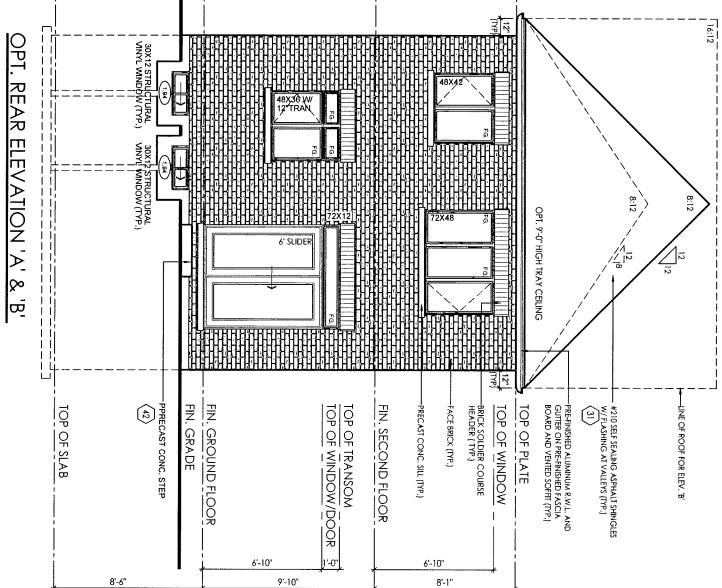


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ARCHITECTURAL REVIEW & APPROVAL FEB 2 9 2016

John G. Williams Limited, Architect

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QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

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client Gol	d Park Homes	Kleinburg						
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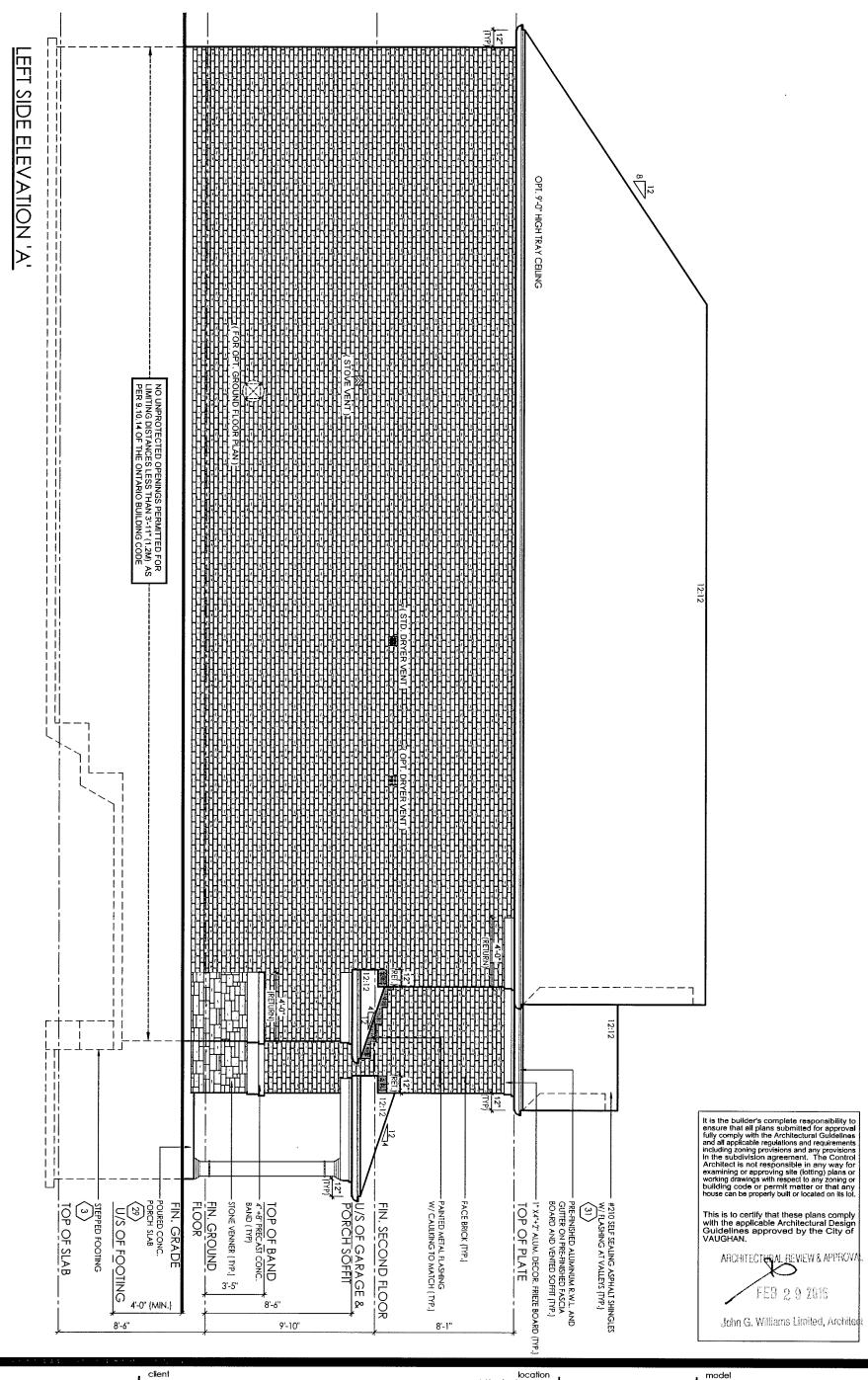
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scale 3/16" = 1'0"	project # 14043





I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

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Gold Park Homes

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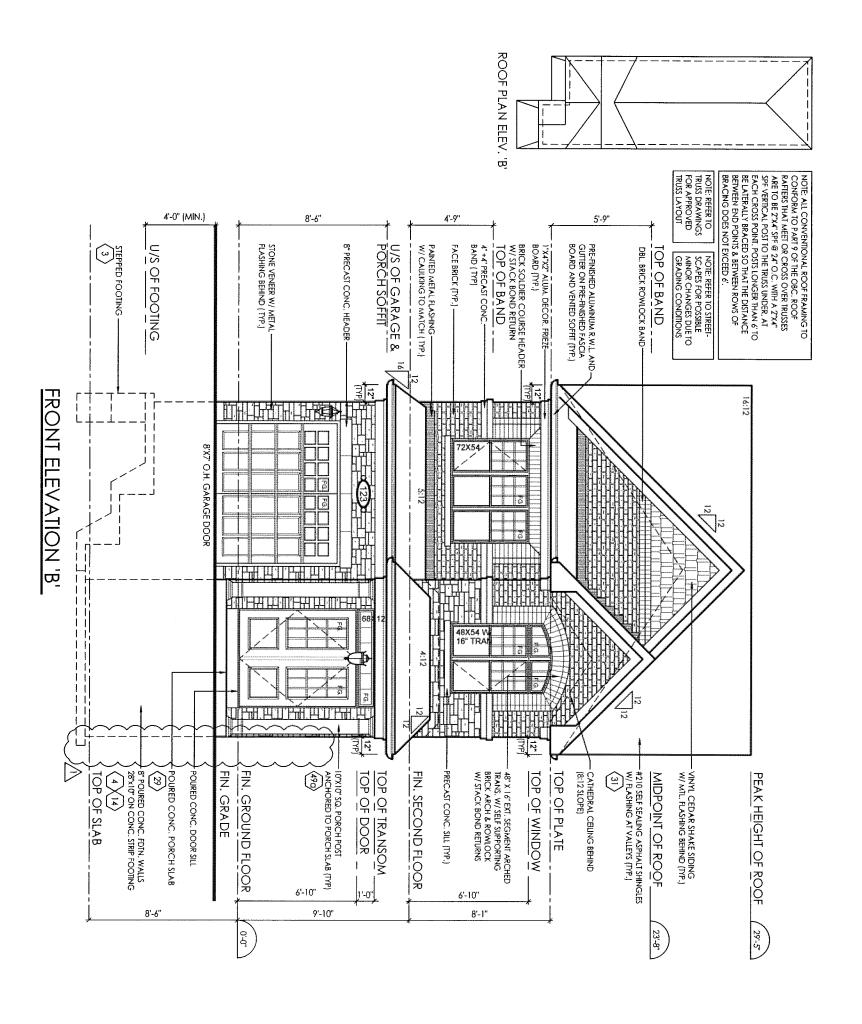
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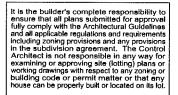


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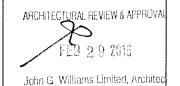
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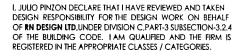






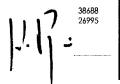
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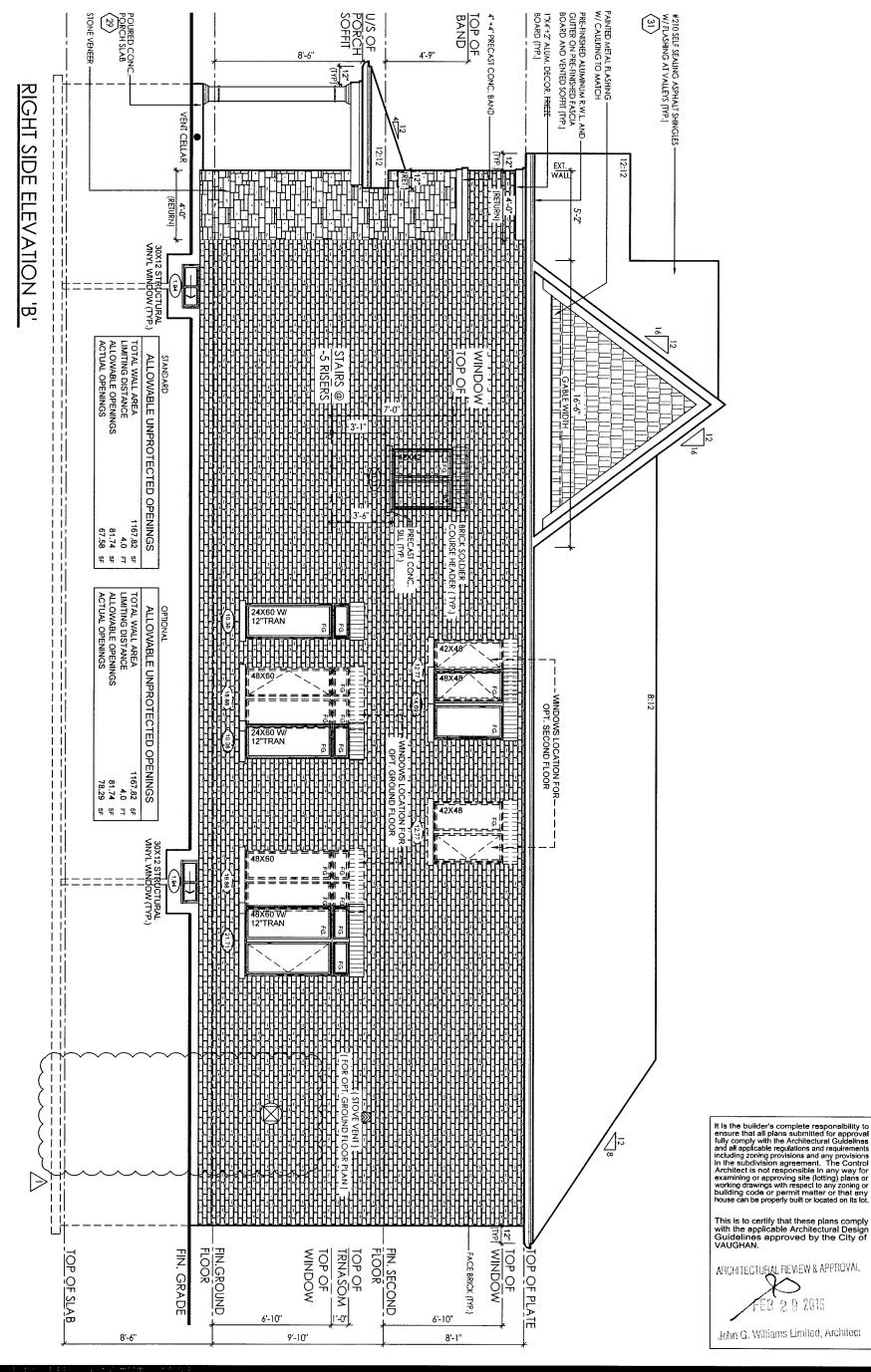
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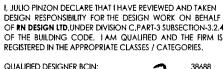


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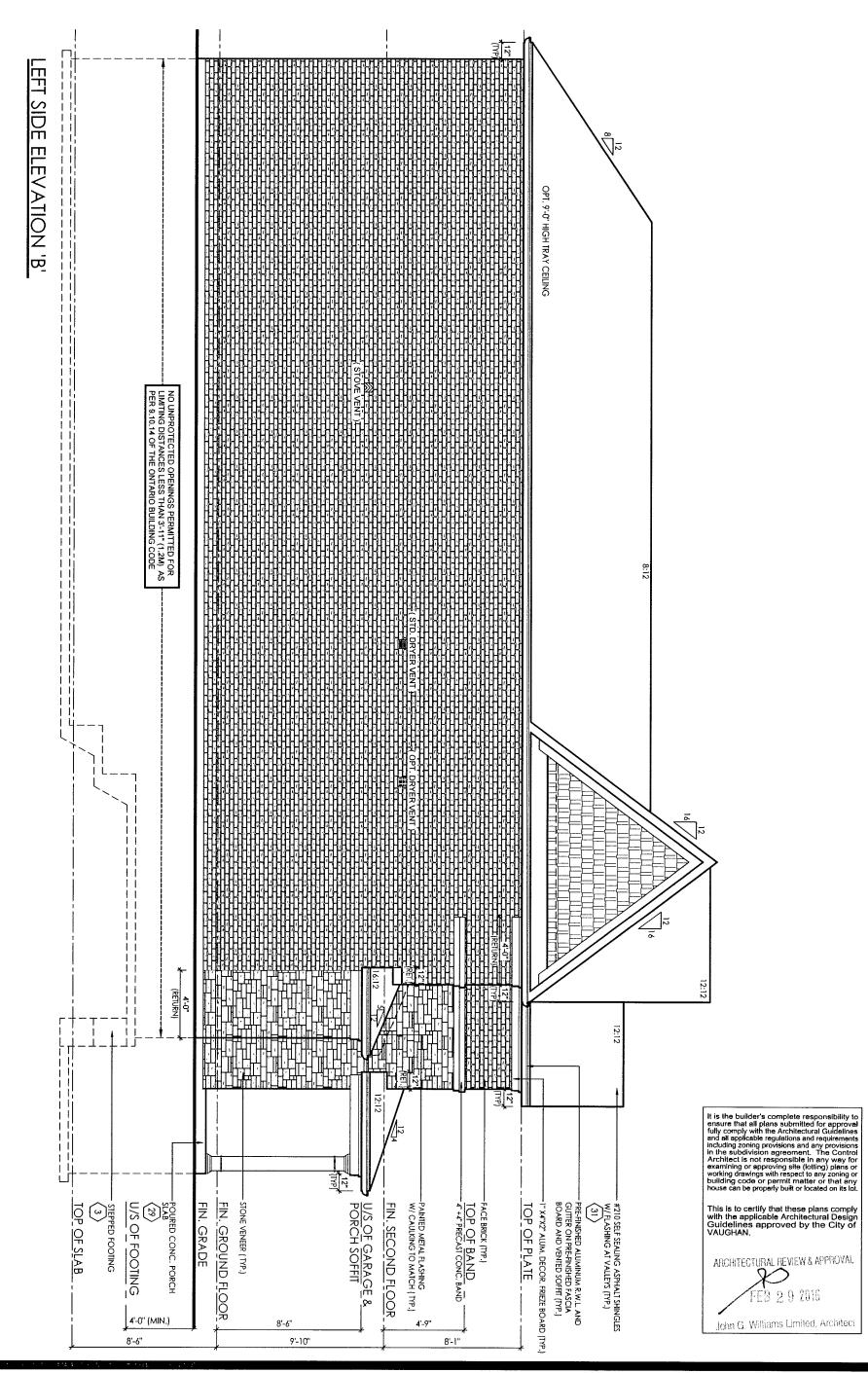




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I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4
OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS
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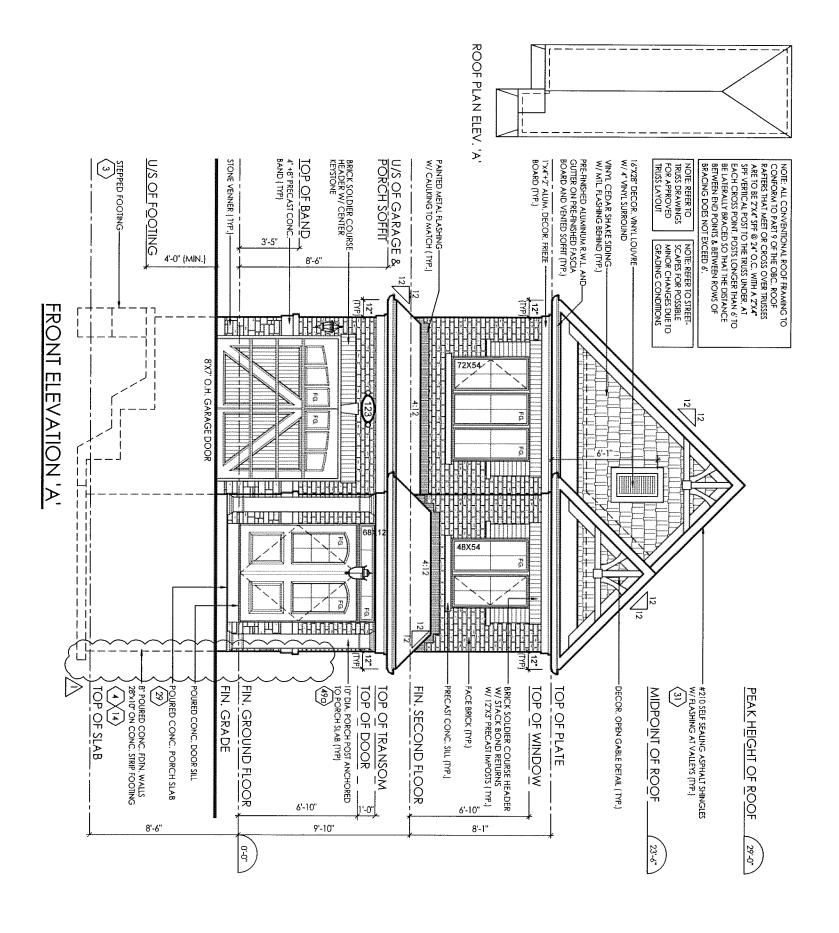
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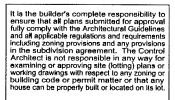
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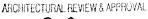
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John G. Williams Limited, Architect

1, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD.UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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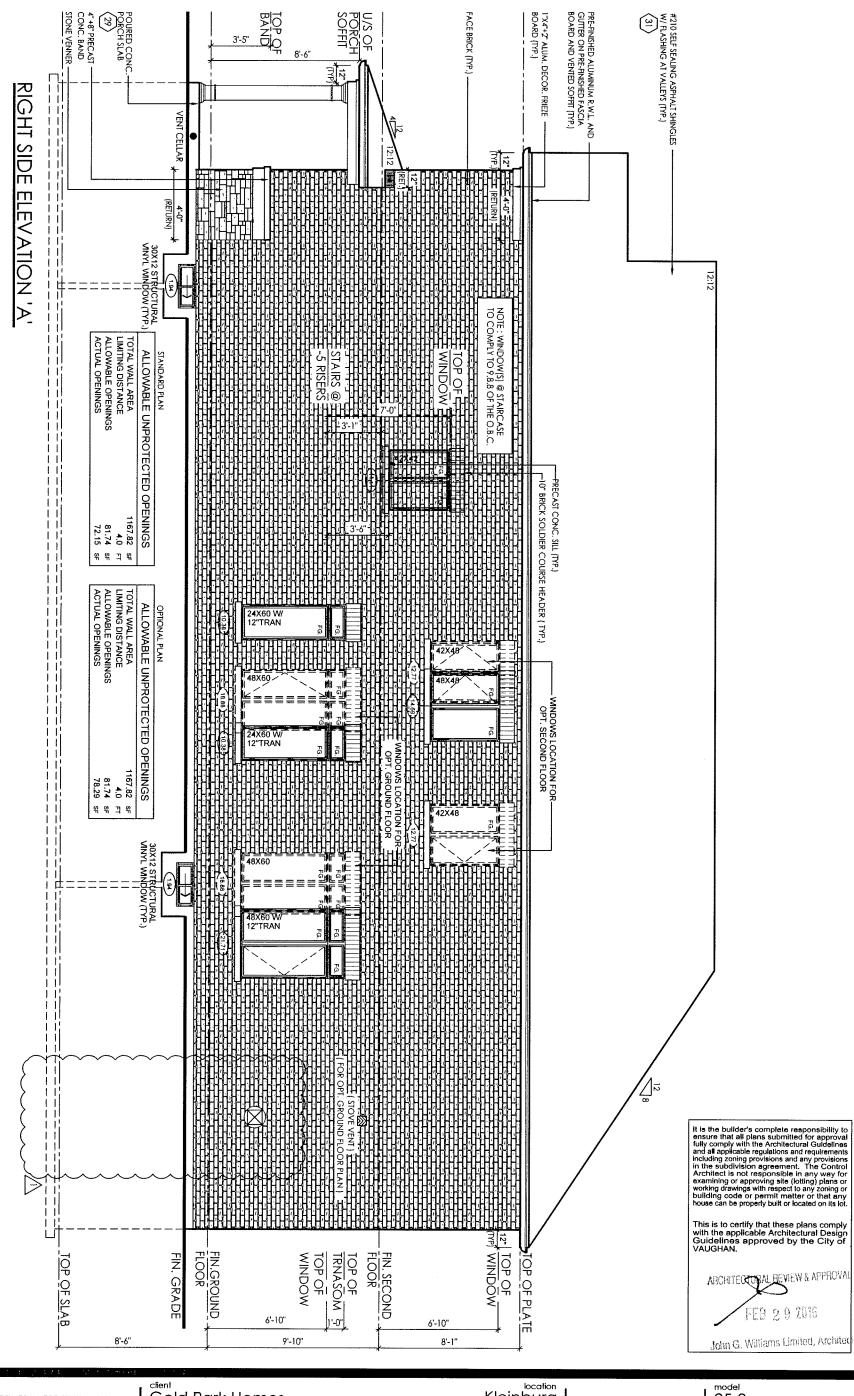
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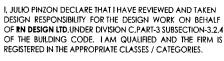
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Kleinburg Gold Park Homes marketing name Huntington & Nashville

revisions date dwn chk # revisions date dwn chk 30/01/2015 RA RPA ISSUED FOR CHENT REVIEW REMOVED FIREPLACE JOG PROJECTION ON SIDE OF HOUSE 11-Dec-15 cr cr REVISED AS PER CLIENT COMMENTS 16-Dec-15 CR CR 3 ISSUED FOR PERMIT 24-FEB-16 JP JP



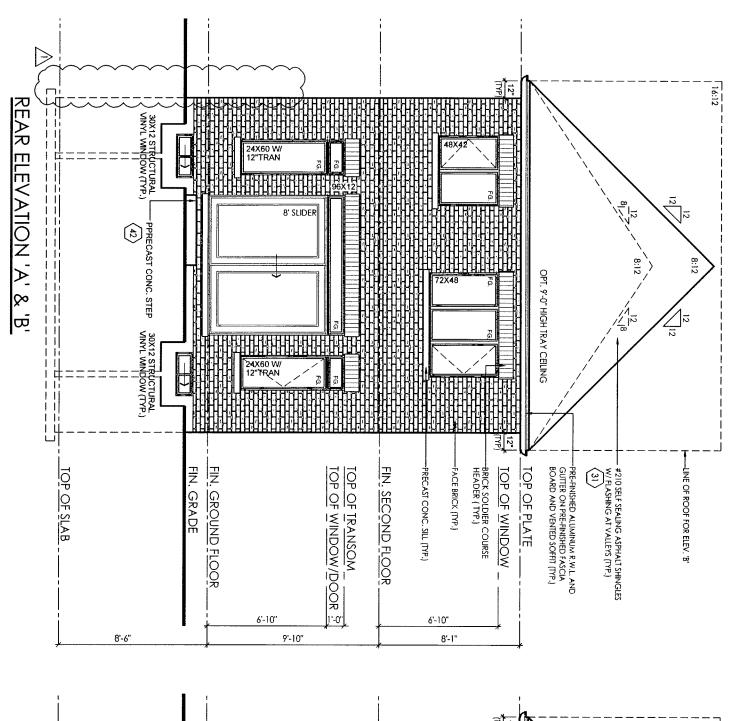


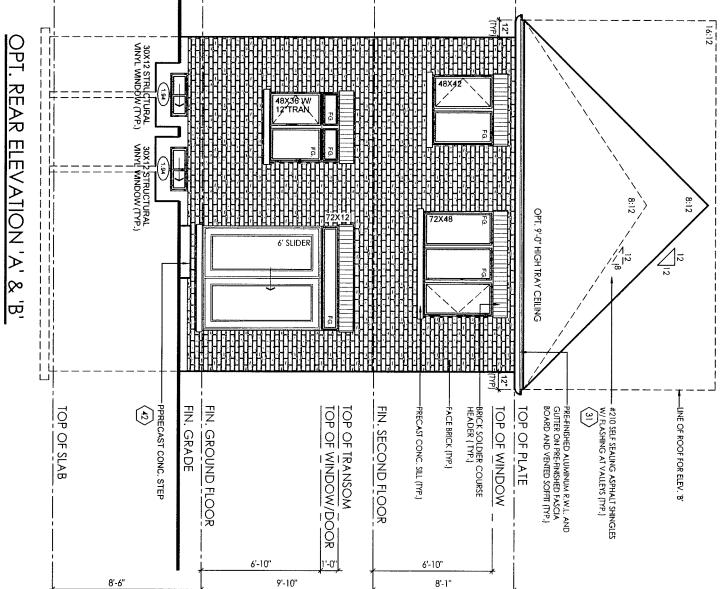
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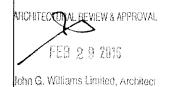






It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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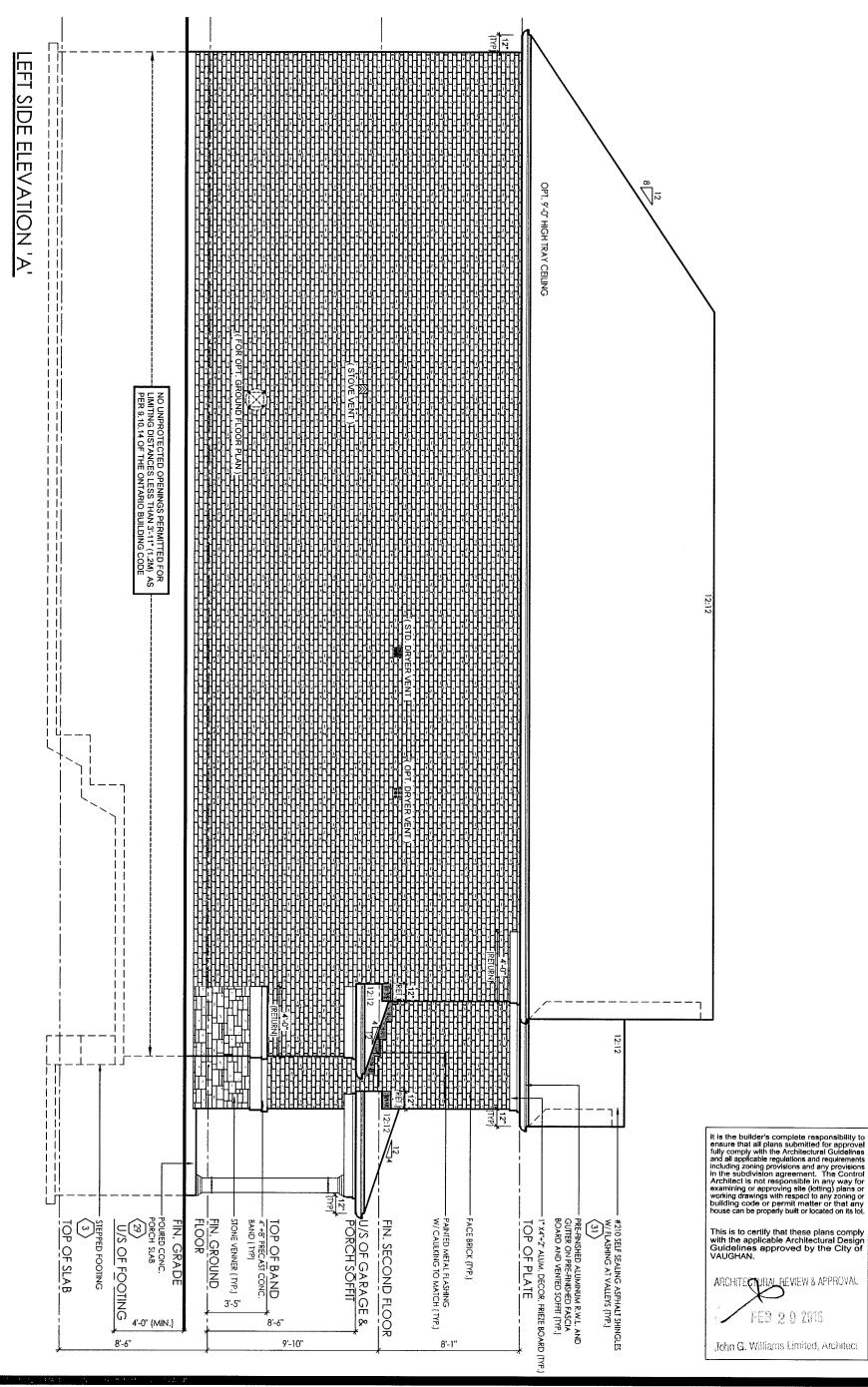
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REVISED AS PER CLIENT COMMENTS



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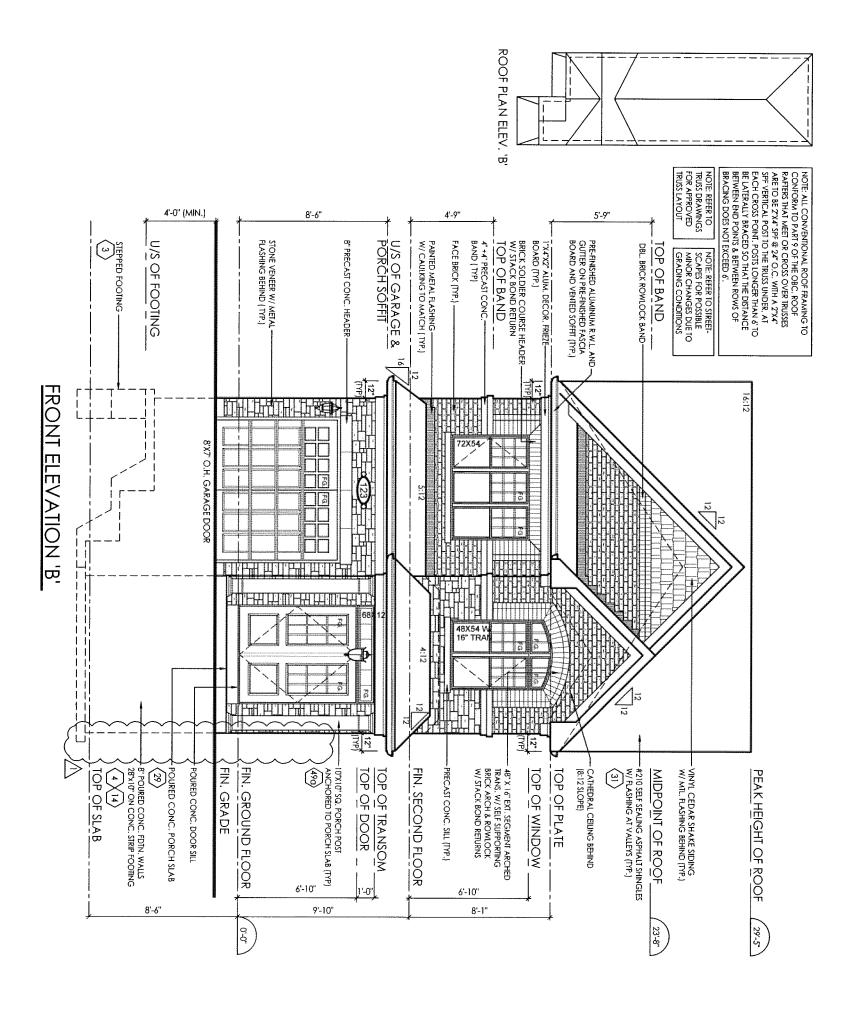
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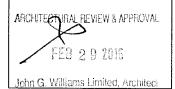
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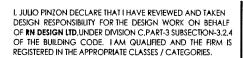




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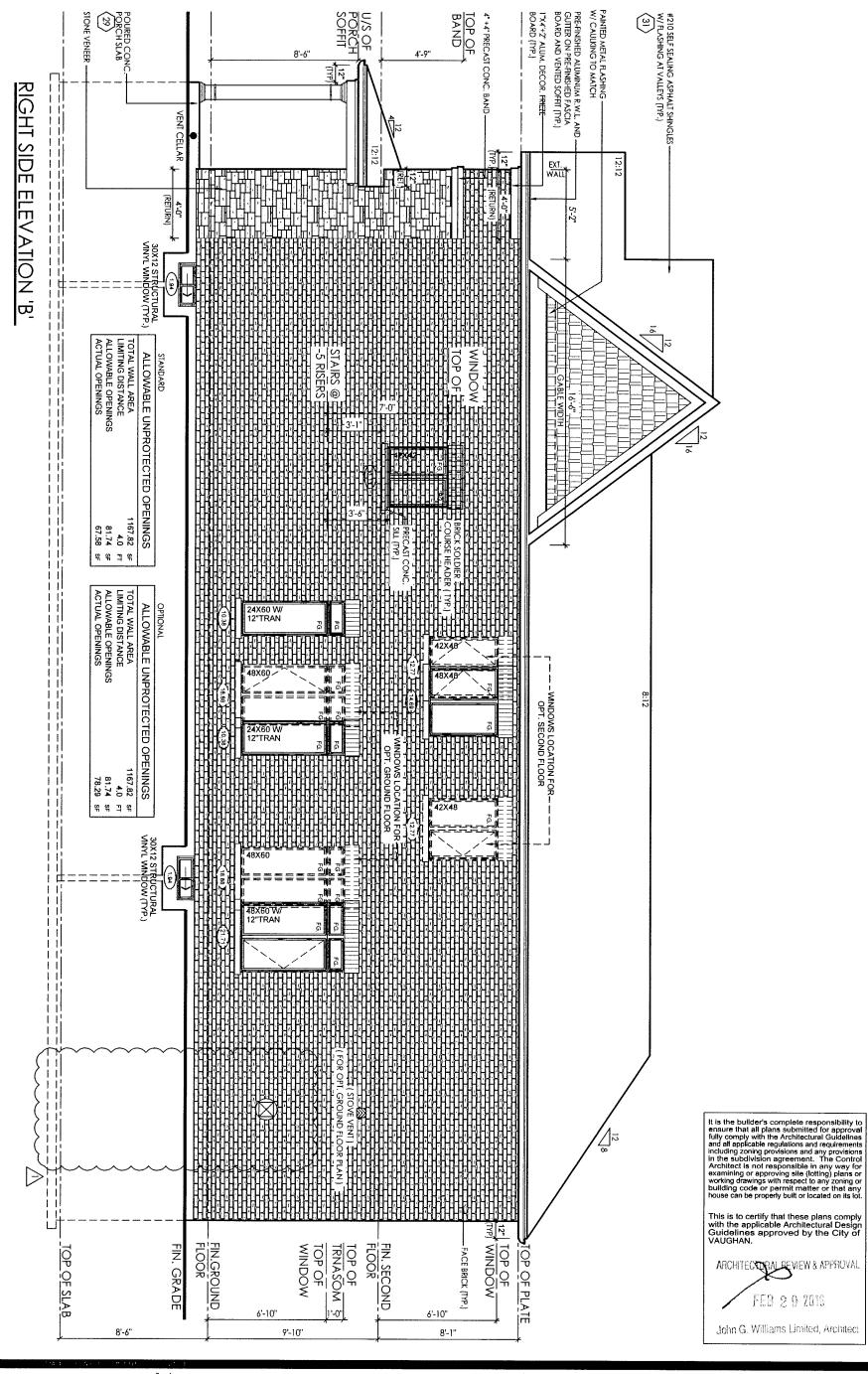
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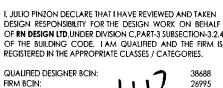
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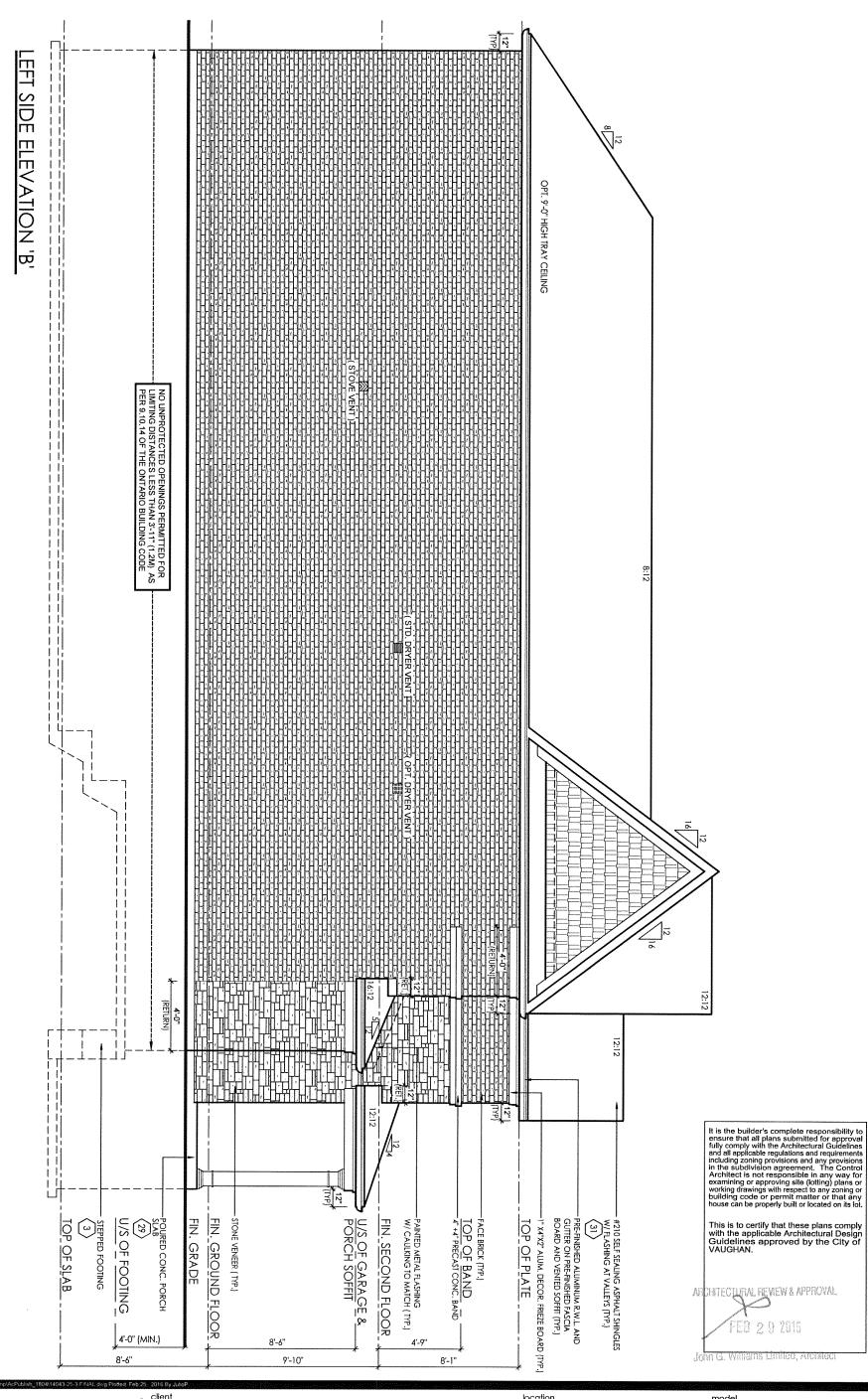
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38688 26995

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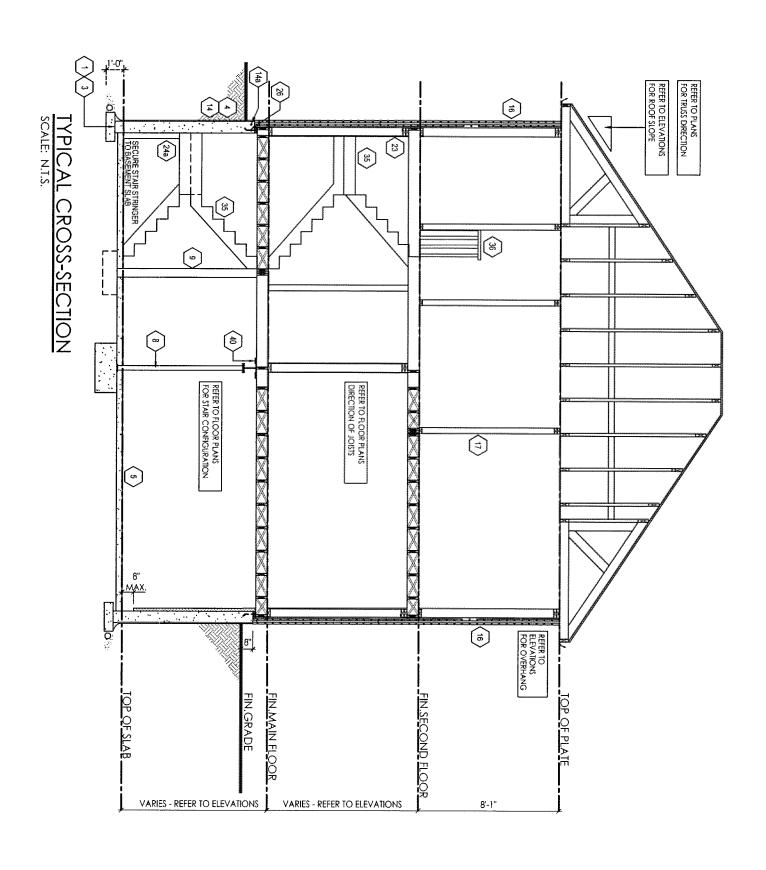


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COMPLIANCE PACKAGE J - O.B.C. 2012 - 2015 ENACTMENT (9) WOOD COLUMN:

(UNLESS OTHERWISE NOTED) -ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.

-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC. -THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.
-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH

-MIN. 2200psi (15MPG) CONCRETE AFTER 28 DAYS -SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPg) BEARING CAPACITY

-FTG. TO HAVE CONTINUOUS KEY
-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY
(AS PER SOILS ENGINEERING REPORT)

1) TYPICAL STRIP FOOTING: (EXTERIOR WALLS) O.B.C. 9.15.3.5.

-1 STOREY - 10" X 4" -2 STOREY - 14" X 4" -3 STOREY - 18" X 5" SIDING-(255mm X 100mm) (360mm X 100mm) (460mm X 130mm)

2) TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS) O.B.C. 9.15.3.6.

-1 STOREY MASONRY - 16" X 4" (410mm X 100mm) -1 STOREY STUD -2 STOREY MASONRY - 12" X 4" - 26" X 9" - 18" X 5" (305mm X 100mm) (650mmX 230mm) -2 STOREY STUD (450mm X 130mm - 36" X 14" - 24" X 8" -3 STOREY MASONRY -3 STOREY STUD (900mm X 360mm) (600mm X 200mm)

$\sqrt{3}$ STEP FOOTING:

O.B.C. 9.15.3.9. -23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL

4 DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.

-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT SLAB:

O.B.C. 9.13. & 9.16.

-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPRROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR
TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPRROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa)

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO -WHIER SLAD IN ALGORIUS IN O. B.C. 9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN THE ORIGINAL OF STEAD OF SLAB WHERE GRADE IS WITHIN THE ORIGINAL OF STEAD OF SLAB WHERE GRADE IS WITHIN T

23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12 -

2.1.1.6 (5))

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

$\langle 5a \rangle$ SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3. -3 (73HIII) CONCRETE STAB - 0.B.C. 9.16.4.5.
-2200psi (15MPa) AFTER 28 DAYS - 0.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23.12" (400mm) OF GRADE. -ATO (KST 1.76) INSOCIATION OF DEAD E.

-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

O.B.C. 9.13.3.

-FLOOR DRAIN PER O.B.C. 9.31.4.4.

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

6 GARAGE SLAB / EXTERIOR SLAB:
-4"(100mm) CONCRETE SLAB
-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6, -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

7 PILASTERS:

O.B.C. 9.15.5.3.

PILASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9:20.11.2. TOP 7 7/8" (200mm) SOLID.

BEAM POCKET 4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE. -1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.) STRUCTURAL COLUMNS

SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

8 STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3. -FIXED COLUMN

-FIXED COLUMN -MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS -FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mmX 100mmx 6.35mm) STEEL BTM. PLATE

-FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mmX 100mm X 6.35mm) STEEL TOP & BTM, PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
-ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)

COL SPACING:

2 STOREY -MAX. 9'-10" (2997mm) -MAX. 16'-0" (4880mm)

♦ CLIENT SPECIFIC REVISIONS

- 34" X 34" X 16" - (860mmX 860mmX 400mm) - 44" X 44" X 21" - (1120mmX 1120mmX 530mm)

3 STOREY -MAX. 9'-10" (2997mm) - (1010mmX 1010mmX 480mm) -MAX. 16'-0" (4880mm)

- (101011111X 101011111X 48011111) - 51" X 51" X 24" - (1295mmX 1295mmX 610mm) -WHERE COL, SITS ON FDN, WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

O.B.C. 9.17.4.1. -5 1/2" X 5 1/2" (140mm X 140mm) SOLID WOOD COLUMN. -METAL SHOE ANCHORED TO FOOTING -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W / 9'-10" COL. SPACING) -34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/9'-10" COL. SPACING)

10 BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2'X8"X12" LEDGER BOARD FASTENED W/2/1/2" ANCHOR BOLTS @ 4" O.C. -WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"X11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- $1/2^\prime \emptyset$ x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2. -FOR WALLS NOT EXCEEDING 8'-2' (2500mm) IN LATERALLY SUPPORTED

HEIGHT.

-8" (200mm) SOLID 2200psi (15MPa) CONCRETE

-MAX. UNSUPPORTED HEIGHT OF 3"-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7"-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.

-FOR WALLS NOT EXCEEDING 9"-0" (2750mm) IN LATERALLY SUPPORTED

-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4"-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8"-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR. -LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS. -FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.-T.9, 15.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4

-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W, R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT
MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT
(ZONE 1. O.B.C. T.2.11.2.A.)
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING. THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.

-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY. -FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR -WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPROOFING & WATERPROOFING:

DAMPPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C.

-WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)

FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

140 FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 2-2-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) -BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL. -BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

15 FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-Z" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:

-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

MANUFACTURER'S SPECIFICATIONS). VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm)

GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

15a) ALTERNATE FRAME WALL CONSTRUCTION: O.B.C. 9.23.

-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/TAPED JOINTS (O.B.C.

9.27.3.4.1

BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
-R14 (RSI 2.46) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

-1/2" (12.7mm) GYPSUM BOARD. NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =

-REPLACE 1/2"(12.7mm) GYPSUMB

-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE FEQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW16 (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD. REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.

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ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS). ON VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID

(15b) FRAME WALL CONSTRUCTION & GARAGE:
O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND

FINISHED GRADE (O.B.C. 9.28.1.4, & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.

9.23.16.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD
THE FOLLOWING MATERIALS:

-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE): -REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND

ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

16 BRICK VENEER CONSTRUCTION: O.B.C. 9.23.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING

-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER **OPENINGS**

OFEININGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING
MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER -1" (25mm) AIR SPACE

-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16

-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. -MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)

FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE

INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION: O.B.C. 9.23.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING

-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER

OPENINGS

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/TAPED JOINTS (O.B.C. 9.27.3.4.1

Y.27.3.4.)
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm)
O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 16 GAUGE STEEL "I BRACES FROM TOP PLATE TO BTM.
PLATE FOR THE FULL LENGTH OF WALL, OR
-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY
45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (FSI 2.46) INSUII AUTON

-R14 (RSI 2.46) INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

9.25.4.

7.20.4: -1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.
9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 [RS] 2.46) INSULATION WITH R14 (RS] 2.46) ABSORPTIVE
INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

(16b) BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. -MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT

STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. -PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ 8TM, COURSE & OVER **OPENINGS**

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2)) -BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER

-1" (25mm) AIR SPACE -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. -1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

I. JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD JINDER DIVISION C. PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

SIGNATURE:

38688

2

revisions

date dw ISSUED FOR CLIENT REVIEW 30/01/2015 RA

TYPE 'X' GYPSUM BD.

date dwn chk

project#

14043

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

 $\langle 17 \rangle$ INTERIOR STUD WALLS:

O.B.C. T.9.23.10.1.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

BEARING STUD WALL (BASEMENT):

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ -DBL. 2" X 4" OR 2" X 6" TOP PLATE. -2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL. -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES. -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7"-10" (2400mm) O.C. -FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

PARTY WALL - BLOCK:

O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)

-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE

-1/2' (12,7mm) GYPSUM BOARD W/TAPED JOINTS BOTH SIDES
-2" X" (13RmmX 38mm) WOOD STEAPPING @ 2" (4000mm). O.C. BOTH

-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH

ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY

CAVITY.

7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)

-STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER

O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2

-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

PARTY WALL - BLOCK (AGAINST GARAGE):

O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
-MIN. 1 HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD

CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4, -2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.

-R20 (RSI 3.52) RIGID INSULATION -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) -1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE

-TAPE AND SEAL ALL JOINTS GAS TIGHT REQ. INSULATION VALUES:

-AIR FILM - STILL TOTAL "R" VALUE

(9b) FIREWALL:
O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47.
-1/2" (12.7mm) GYPSUM BOARD W/TAPED JOINTS

-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES

-2 X 2 (38mmX 39mm) WOOD STRAPPING @ 24 (600mm) O.C. ON BOTHS OF WALL -SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY -7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING -EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS -STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER

-STAGGER JOISIS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2
-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/
THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER
THAN 0"10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER
O.B.C. 3.1.10.4.(2)

(20) PARTY WALL - FOUNDATION:
O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

PARTY WALL - WOOD STUD:

O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)

-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK

-2 ROWS 2"X4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) 1.OP PLATES (38mmX 89mm) TOP PLATES -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF

90% OF THE CAVITY. -5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED &

-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

(22) GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE

BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS,
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

-CONTINUOUS AIR/VARCUM BARRIER IN CONFORMANCE W/ O.B.C.9.25.3. 8, 9.25.4.. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN.
REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSIUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH

4 - 3 1/4" (82mm) TOE NAILS RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

220 WALLS ADJACENT TO ATTIC SPACE: -1/2" (12.7mm) GYPSUM BOARD

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. -R22 (RSL3 87) INSULATION

" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.

-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

I. JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN

DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF

OF RN DESIGN LTD LINDER DIVISION C PART-3 SUBSECTION-3.2.4

23) DOUBLE VOLUME WALLS:
O.B.C. 9.23.10.1.
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING -REFER TO PLAN FOR STUD SPECIFICATION -STUDS FASTENED AT TOP & BOTTOM WITH 3/ 3-1/4" (82mm) TOE NAILS -DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C

77/8 (220mm) G.C.
-SOLID BRIDGING AT 3'-11" (1200mm) G.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1. O.B.C. T.2.1.1.2.A.) -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C.

♦ CLIENT SPECIFIC REVISIONS

FOR STRUCTURAL ONLY

Gold Park Homes

 $\langle 24 \rangle$ EXPOSED FLOOR:

-FLOOR AS PER NOTE # 28 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. -R31 (RSI 5.46) INSULATION -VENTED ALUMINUM SOFFIT

240) SUNKEN FINISHED AREAS:
-USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
-FLOOR STRUCTURE AS PER NOTE # 28.

25 DOUBLE MASONRY WYTHE WALL:

O.B.C. 9, 20.8.2.

-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9, 20,9,4.

SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
-6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4"-0" O.C.

NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR
JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY
APEA

250 CORBEL MASONRY VENEER:

-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

FLOOR ASSEMBLIES:

O.B.C. 9.23.7.

-2" X 4" (38mm X 89mm) PLATE -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7"-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1"
(25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED

ON FULL BED OF MORTAR.

27) BRIDGING & STRAPPING:
O.B.C. 9.23.9.4.
a) STRAPPING

-I"X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C. -FASTENED TO SILL OR HEADER @ ENDS b) BRIDGING

6'-11" (2100mm) O.C. c) BRIDGING & STRAPPING

a) & b) USED TOGETHER OR

- 0) & D) USED TOGETHER OR
-1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH
STRAPPING (a)
d) FURRING OR PANEL TYPE CEILING
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH
IS ATTACHED DIRECTLY TO JOISTS.

28 FLOOR ASSEMBLY:

O.B.C. 9.23.14.3, 9.23.14.4 -5/8" (15.9mm) WAFERBOARD (R-I GRADE) OR EQUIVALENT -FLOOR JOISTS AS PER FLOOR PLANS

29 PORCH SLABS ABOVE COLD CELLAR:

O.B.C. 9.39.1.4.

-REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED 8-2"

-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY

-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB

-3" (75mm) END BEARING ON FOUNDATION WALL

-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

EXTERIOR BALCONY ASSEMBLY:

-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING -2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)

EXTERIOR GUARD AS PER #36a

SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER REQUIRED FOR OVER HEATED SPACES: ADD 2'X2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR

VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CELLING AREA)

-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.

& 9.25.4. -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)

300 EXTERIOR FLAT ROOF ASSEMBLY:

-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS. -1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER. -3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON

-2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN) $\underline{\text{REQUIRED FOR OVER HEATED SPACES:}}$

ADD 2'x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA) -ADD R31 (R31 5.46) INSULATION BETWEEN JOISTS -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C., 9.25.3.

& 9.25.4. -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

ROOF ASSEMBLIES

(31) TYPICAL ROOF: O.B.C. 9.26

O.B.C. 9.26.

-NO. 210 (30. SKG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP. -EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.

-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S

TRUSS BRACING AS PER TRUSS MANUFACTURER -EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR

-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT, (32) CEILING:

-R50 (RSI 8.8) INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR

-5/8" (15.9mm) GYPSUM BOARD W/TEXTURED CEILING (O.B.C. T.9.29.5.3.)

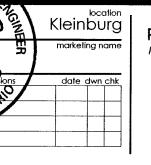
320 VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26. & TABLE A4 -NO. 210 (30. 5KG/m2) ASPHALT SHINGLES FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL. -EAVES PROTECTION LAID BENEATH STARTER STRIP. -EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE

ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1. -STARTER STRIP AS PER O.B.C. 9.26.7.2. -STARTER STRIP NOT REQUIRED AS PER O.B.C., 9.26.7.2.(3)

GRADE) WITH "H" CLIPS. POFESSION

A KONG



-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13"-3" (4050mm) OR -2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17"-0" (5180mm) -R31 (RSI 5.46) INSULATION -MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4. -1/2" (12.7mm) GYPSUM BOARD

(33) CONVENTIONAL FRAMING:

O.B.C. TABLE A6 OR A7 -2006 (**) (38mm X 140mm) RAFTERS (**) (400mm) O.C. MAX, SPAN 12'-9"

-2" X 6" (38mm X 140mm) KALLENG G. 7. AND SPANS
-2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C.
UNLESS OTHERWISE NOTED.
-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON
RAFTERS & MIN. 1 1/2" (38mm) THICK.

(34) ATTIC ACCESS HATCH:
O.B.C. 9.19.2.1.
-19.3/4" X 27.1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

GENERAL:

35 PRIVATE STAIRS:

O.B.C. 9.8.4. -MAX. RISE = 7-7/8" (200mm) -MIN. RUN -MIN. TREAD = 8-1/4" = 9-1/4" (210mm) (235mm) -MAX. NOSING (25mm) -MIN. HEADROOM = 6'-5" -MIN. WIDTH = 2'-10" (BETWEEN WALL FACES) (1950mm) (860mm)

-MIN. WIDTH = 2-1 I" (9 (EXIT STAIRS, BETWEEN GUARDS) ANGLED TREADS:

-MIN. RUN = 5 7/8" (150mm)
-MIN. AVG. RUN = 7 7/8" (200mm)
-MIN. AVG. RUN = 7 7/8" (200mm)
-FINISHED RAILLING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD &
MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100mm)

-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN **DWELLING UNITS** -HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:

O.B.C. 9.8.7.4

- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A
STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:
O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP

STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

350) PUBLIC STAIRS: O.B.C. 9.8.4. -MAX. RISE = 7-3/32(180mm) (280mm) (280mm) -MIN. RUN $= 11^{\circ}$ -MIN. TREAD -MAX. NOSING (25mm) = 6'-9" = 2'-11" (2050mm) (900mm) -MIN. HEADROOM

-MIN. WIDTH = 2-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS -FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

O.B.C. 9.8.7

-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH -HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT: O.B.C. 9.8.7.4

- 2-10" (865mm) MIN. TO 3'-2" (965mm) MAX. - 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS) - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION: O.B.C. 9.8.7.3

- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS

FINISH:
O.B.C. 9.8.9.6
-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE

FROM DEFECTS PER OBC 9.8,9.6.(4)

- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

O.B.C. SB-7 & 9.8.8.3. -GUARDS TO BE 3'-6" (1070mm) HIGH -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH -INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS -PICKETS TO HAVE 4" (100mm) MAX. SPACING -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

(36a) EXTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3. -GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm) -GUARDS TO BE 3'-6" (1070mm -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE. -PICKETS TO HAVE 4" (100mm) MAX. SPACING

-PROVIDE MID-SPAN POSTS AS PER SB-7. -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

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OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. 2 3

100184942 Huntington & Nashv le WCE OF ONTH lw_B ISSUED FOR CLIENT REVIEW KSUED FOR PERMIT 24-FEB-16

(36b) EXTERIOR GUARDS @ JULIET BALCONY: -FOR RAILING SPANNING MAXIMUM OF 6'-0". -PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.

-GUARDS TO BE 3"-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2"-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5"-11" (1800mm) AS PER O.B.C.

FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.

-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

-LINEN CLOSET 4 SHELVES MIN. 1'-2' (350mm) DEEP

-WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

-CAPPED DRYER VENT

(40) -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

PRECAST CONC. STEP 42 -PRECAST COINC. STEF -2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM

-PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
- INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL

ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT -ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE

THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4 -WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

-MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY -PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

-GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)

-TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY

2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3"-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

49 EXTERIOR COLUMN W/ MASONRY PIER:

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/

TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION

-14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. -REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAI -SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED

-3/4" AIR SPACE AROUND POST. OR

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR, SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/METAL SADDLE. -14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.

-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP. NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

490 EXTERIOR COLUMN:

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR, SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE

NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50 COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING: -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA. -COVER VENT W/ BUG SCREEN

-WALL MOUNTED LIGHT FIXTURE
-L1+L7 FOR DOOR OPENING
-2-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)

-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

51 STUD WALL REINFORCEMENT:

O.B.C. 9.5.2.3. -WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)

-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

FRAME CONSTRUCTION:

-ALL FRAMING LUMBER TO BE NO.1 AND NO. 2 SPF UNLESS NOTED

-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.

-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING

-DOUBLE STUDS @ OPENINGS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)

-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6-7" (2000mm)

-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING

PARALLEL PARTITIONS

-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS

THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS

FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mr

1-84mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm.)

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

1.8 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS & 31 FOR FIXED WINDOWS

SA TAKED MINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYUGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

FOR GROSS GLAZED AREAS LESS THAN 17%

ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE J.

-THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED: THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6, OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52). OR

-WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED, THE MINIMUM R (RS) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RS) 3.52) PROVIDED

a) THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS NOT LESS THAN R60 (RSI 10.55),

b) THE MINIMUM EFFICIENCY OF THE \emph{HRV} IS INCREASED BY NOT LESS THAN 8

PÉRCENTAGE POINTS, c) THE MINIMUM *AFUE* OF THE SPACE HEATING EQUIPMENT IS INCREASED BY NOT LESS THAN 2 PERCENTAGE POINTS

0) THE MINIMUM *EF* OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY NOT LESS THAN 4 PERCENTAGE POINTS.



FOR STRUCTURAL ONLY

GROSS GLAZING AREA STD. 'A'

IOIAL PERIPHERAL WALL AREA	2893.21 sf	268.78 m²
FRONT GLAZING AREA	41.89 sf	3.89 m²
LEFT SIDE GLAZING AREA	O sf	0.00 m ²
RIGHT SIDE GLAZING AREA	74.22 sf	6.90 m²
REAR GLAZING AREA	126.26 sf	11.73 m²
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	242.37 sf 8.38 %	22.52 m²

GROSS GLAZING AREA OPT. 'A'

TOTAL PERIPHERAL WALL AREA	2893.21 sf	268.78 m²
FRONT GLAZING AREA	41.89 sf	3.89 m²
LEFT SIDE GLAZING AREA	O sf	0.00 m²
RIGHT SIDE GLAZING AREA	77.61 sf	7.21 m²
REAR GLAZING AREA	104.27 sF	9.69 m²
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	223.77 sf 7.73 %	20.79 m²

GROSS GLAZING AREA STD. 'B'

TOTAL PERIPHERAL WALL AREA	2893.21 sf	268.78 m²
FRONT GLAZING AREA	48.31 sf	4.49 m²
LEFT SIDE GLAZING AREA	O sf	0.00 m²
RIGHT SIDE GLAZING AREA	74.22 sf	6.90 m²
REAR GLAZING AREA	126.26 sf	11.73 m²
TOTAL GLAZING AREA	248.79 sf	23.11 m²
TOTAL GLAZING PERCENTAGE	8.60 %	

SCHEDULES

GROSS GLAZING AREA OPT. 'B'

TOTAL PERIPHERAL WALL AREA	2893.21 sF	268.78 m ²
FRONT GLAZING AREA	48.31 sF	4.49 m ²
LEFT SIDE GLAZING AREA	0 sF	0.00 m ²
RIGHT SIDE GLAZING AREA	77.61 sF	7.21 m ²
REAR GLAZING AREA	104.27 sF	9.69 m ²
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	230.19 sf 7.96 %	21.38 m²

PLAN/ELEVATION LEGEND

CLIENT SPECIFIC REVISIONS

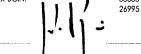
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DOORS 46 47 WOOD BEAMS CARBON MONOXIDE ALARM (CMA) (45) A 865x2030x45 (2'10'x6'8'x1-3/4") WD1 3/2"X8"SPR SMOKE ALARM (44) WD9 5/2" X 12" SPR FLOOR DRAIN WD2 4/2"X8"SPR B 815x2030x35 (2'8"x6'8"x1-3/8") WD10 2/I 3/4" X7 1/4" (2.0E) LVL WATERPROOF Õ SOLID BEARING DOUBLE JOIST \boxtimes C 760x2030x35 (2'6'x6'8"x1-3/8") WD3 5/2" X 8" SPR WD11 3/1 3/4" X7 1/4" (2.0E) LVL **DUPLEX OUTLET** PRESSURE TREATED LUMBER D 710x2030x35 (2'4"x6'8"x1-3/8") WD4 3/2" X 10" SPR WD12 2/1 3/4" X9 1/2" (2.0E) LVL VENTS AND INTAKES Ø POINT LOAD WD13 3/1 3/4" X9 1/2" (2.0E) LVL E 460x2030x35 (1'6'x6'8'x1-3/8") WD5 4/2"X 10"SPR WD14 2/1 3/4" X11 7/8" (2.0E) LVL F 610x2030x35 (2'0"x6'8"x1-3/8") WD6 5/2" X 10" SPR HOSE BIB G.T. GIRDER TRUSS FLAT ARCH G OVER SIZED EXTERIOR DOOR WD7 3/2"X12"SPR WD15 3/1 3/4" X11 7/8" (2.0E) LVL (38) EXHAUST FAN ABOVE FINISHED FLOOR 2 STORY WALL WD8 4/2" X 12" SPR STEEL BEAMS LINTELS EXT. LIGHT FIXTURE Û COLD CELLAR VENT (50) U/S UNDER SIDE 110 4-7/8" X 3-1/2" X 5/16" L (WALL MOUNTED) ST1 W 6 X 15 L1 2/2" X 8" SPR L15 5-7/8" X 4" X 1/2" L ፠ STOVE VENT FIXED GLAZING 111 4-7/8" X 3-1/2" X 3/8" L FG ST2 W 6 X 20 L3 2/2" X 10" SPR L16 7-1/8" X 4" X 3/8" L (**H**) HYDRO METER ST3 W 8 X 18 2/2" X 12" SPR 112 4-7/8" X 3-1/2" X 1/2" L \otimes L5 L17 7-1/8" X 4" X 1/2" L FIRE PLACE VENT GLASS BLOCK GB **(G)** GAS METER ST4 W 8 X 21 3-1/2" X 3-1/2" X 1/4" L L13 5-7/8" X 3-1/2" X 3/8" L DRYFR VENT BG **BLACK GLASS** ST5 W 8 X 24 4" X 3-1/2" X 1/4" L L14 5-7/8" X 3-1/2" X 1/2" L

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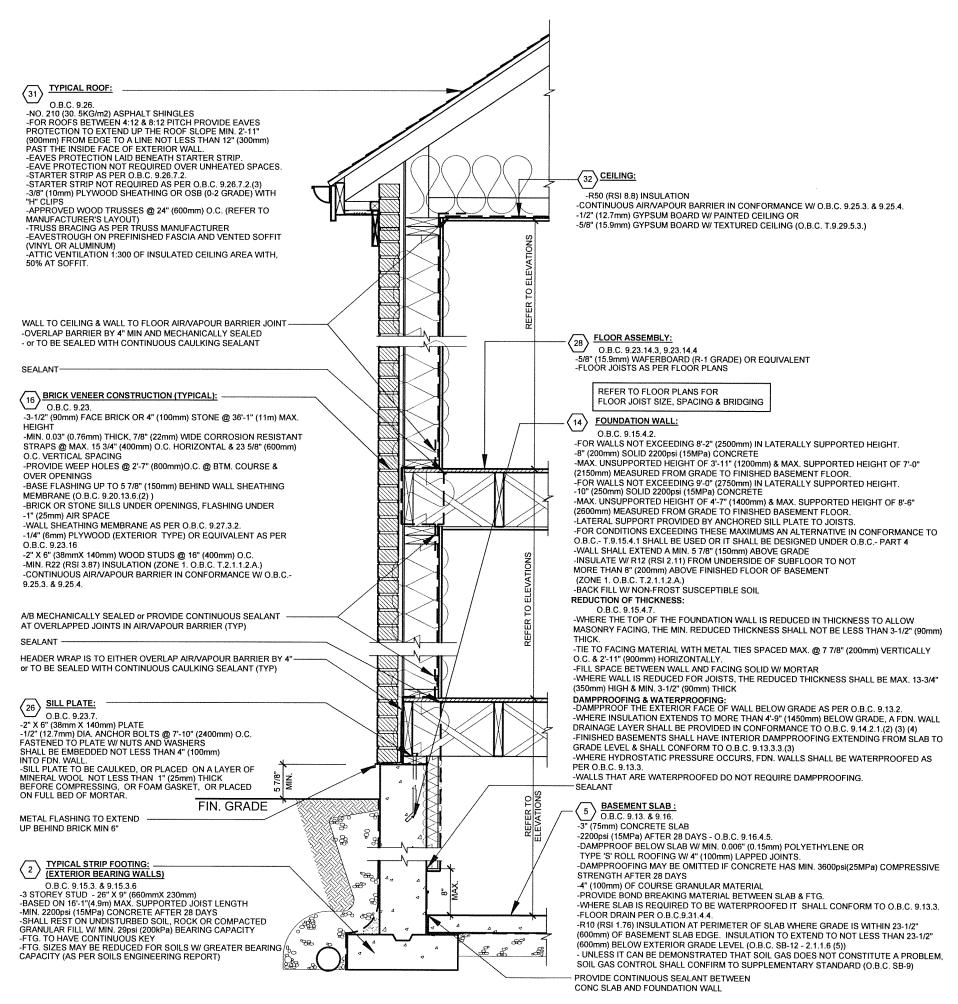
Kleinburg

marketing name



25-3 project# scale 3/16" = 1'0" 14043

page



TYPICAL EXTERIOR WALL SECTION- BRICK

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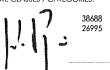
SCALE: 3/4"= 1'-0"



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Kleinburg

scale	project #
3/16" = 1'0"	14043

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