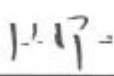


Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name		Unit no. 38-08 'A'	Lot/con. 25
Municipality BRAMPTON	Postal code	Plan number/ other description 43M-2005	
B. Individual who reviews and takes responsibility for design activities			
Name Julio Pinzon		Firm RN Design Limited	
Street address 8395 Jane Street		Unit no. 203	Lot/con.
Municipality Vaughan	Postal code L4K 5Y2	Province Ontario	E-mail juliop@rndesign.com
Telephone number (905) 738-3177	Fax number (905) 738-5449	Cell number	
C. Design activities undertaken by individual identified in Section B. (Building Code Division C, Part 3 Table 3.5.2.1)			
☒ House ☐ Small Buildings ☐ Large Buildings ☐ Complex Buildings		☐ HVAC – House ☐ Building Services ☐ Detection, Lighting and Power ☐ Fire Protection	
		☐ Building Structural ☐ Plumbing – House ☐ Plumbing – All Buildings ☐ On-site Sewage Systems	
Description of designer's work Review of the site plan design and working drawings for Lot 25 model CORELLI 38-08 'A' STD door to garage and side yard. Design responsibility excludes any structural design and specifications outside of the scope of Part 9 of the OBC.			
D. Declaration of Designer			
I, <u>Julio Pinzon</u>		declare that (choose one as appropriate):	
(print name)			
☒ I review and take responsibility for the design work on behalf of a firm registered under Division C, Part 3, subsection 3.2.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories: Individual BCIN: <u>38688</u> Firm BCIN: <u>26995</u>			
☐ I review and take responsibility for the design work and am qualified in the appropriate category as an "other designer" under Division C, Part 3, subsection 3.2.5 of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
☐ The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have authority to bind the corporation or partnership (if applicable).			
<u>September 14, 2016</u>		<u></u>	
Date		Signature of Designer	

*For the purposes of this form, "individual" means the "person" referred to in Division C, Part 3, Clause 3.2.4.7. (1)(d), Division C, Part 3, Article 3.2.5.1. and all other persons who are exempt from qualification under Division C, Part 3, Subsections 3.2.4. and 3.2.5.

NOTE:

1. Firm and Individual BCIN numbers are not required for building permit applications submitted prior to January 1, 2006
2. Schedule 1 does not need to be completed by architects, or holders of a Certificate of Practice or a Temporary License under the *Architects Act*

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreements. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or making changes with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

SEP 13 2016

John G. Williams, Architect



ROULETTE CRESCENT

URBANTECH NOTES:

- 1) No final utility location information at this time. Urbantech will not be responsible for future changes to design. Builder should notify purchaser's that street hardware and above ground utility furniture may be added or removed from their footings.
- 2) Builder to lower underside of footings where adjacent to RLCB leads. Exact depth to be determined on site during footing excavation.
- 3) Builder to stake out driveway curb depressions at time of curb installation.
- 4) Builder to verify location of all hydrants, street lights, transformers and all other services. If min. dimensions are not maintained as per City standards, builder is to relocate at his own expense.
- 5) Builder to confirm service connection elevations and review for absence of conflict prior to footing excavation.
- 6) Final fence design have not been provided at this time. Purchaser to be advised that actual fencing details may not be as shown on this plan.

URBANTECH CONSULTING

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in conformity to the approved subdivision grading plans and City standards.

REVIEWED BY: M.W. DATE: 09/08/16

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT
GOLD PARK HOMES

PROJECT/LOCATION
MC LAUGHLIN AND MAYFIELD
BRAMPTON, ON

DRAWING
SITE PLAN

BUILDING STATISTICS

REG. PLAN No.	43M-2005
ZONE	R1F-2 C-38FT
LOT NUMBER	25
LOT AREA(m ²)	336.21
BLDG AREA(m ²)	N/A
LOT COVERAGE(%)	N/A
No. OF STOREYS	3
MEAN HEIGHT(m)	10.93
INT. GARAGE DIM(m)	5.49 X 6.10
GARAGE DOOR WID(m)	2 X 2.44

LEGEND

- FFE FINISHED FLOOR ELEVATION
- TFW TOP OF FOUNDATION WALL
- TBS TOP OF BASEMENT SLAB
- USF UNDER SIDE FOOTING
- USFR UNDER SIDE FOOTING @ REAR
- USFG UNDER SIDE FOOTING @ GARAGE
- TEF TOP OF ENGINEERED FILL
- R NUMBER OF RISERS TO GRADE
- WOD WALKOUT DECK
- LOB LOCKOUT BASEMENT
- WOB WALK OUT BASEMENT
- REV REVERSE PLAN
- STD STANDARD PLAN
- DOOR
- WINDOW
- BELL PEDISTAL
- CABLE PEDISTAL
- CATCH BASIN
- DR. CATCH BASIN
- ENGINEERED FILL
- HYDRD CONNECTION
- FIRE HYDRANT
- STREET LIGHT
- MAIL BOX
- TRANSFORMER
- WATER VALVE
- WATER CONNECTION
- POWER CONNECTIONS
- LOBS
- POWER CONNECTIONS
- LOBS
- ARK CONNECTIONS
- DOWN SPLIT TO SPLASH PAD
- SEWAGE DIRECTION
- GRAVEL FENCE
- PREVACY FENCE
- SOUND BARRIER
- FOOTING TO BE EXTENDED TO 1.25 MINS BELOW GRADE

ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DRAWN	CHECK
1	ISSUED FOR REVIEW	JULY 28/16	BWS	ES
2	ISSUED FOR FINAL	AUG 15/16	BWS	ES
3	ADDED GARAGE DIMENSIONS	SEP 07/16	BWS	ES

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RIN DESIGN LIMITED, UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASS/CATEGORIES.

QUALIFIED DESIGNER SIGN: 38688

FIRM SIGN: 26995

SEP 07/16
DATE

SIGNATURE

DRAWN BY

BWS

SCALE

1:250

PROJECT No.

13098

LOT NUMBER

25

