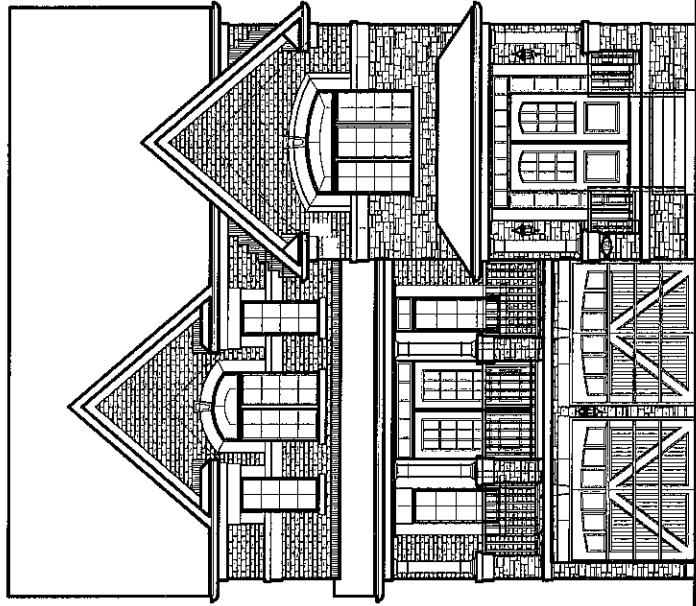
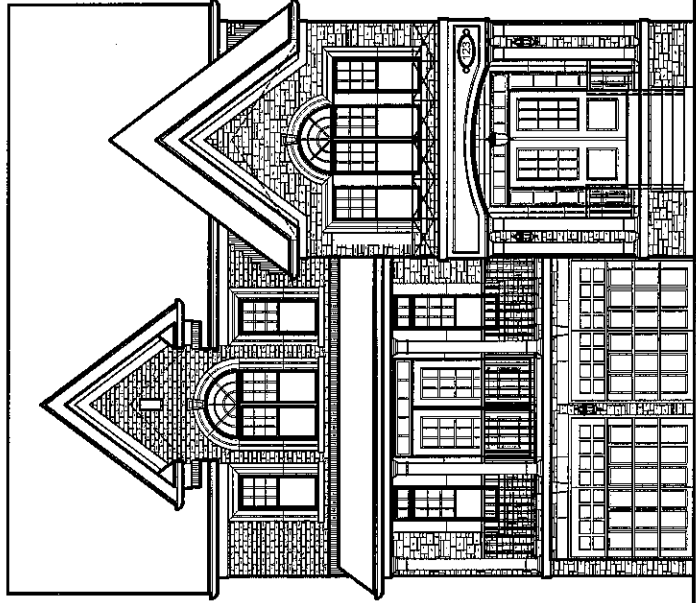




FRONT ELEVATION STYLE 'A'



FRONT ELEVATION STYLE 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV. 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A' & 'B'
- A3 OPT. GROUND FLOOR PLAN ELEV. 'A' & 'B'
- A4 MAIN FLOOR PLAN ELEV. 'A'
- A5 SECOND FLOOR PLAN ELEV. 'A'
- A6 OPT. 5-BEDRM. SECOND FLOOR PLAN ELEV. 'A'
- A7 PART. MAIN FLOOR PLAN ELEV. 'B'
- A8 PART. SECOND FLOOR PLAN ELEV. 'B'
- A9 PART. OPT. 5-BEDRM. SECOND FLOOR PLAN ELEV. 'B'
- A10 FRONT ELEVATION 'A'
- A11 RIGHT SIDE ELEVATION 'A'
- A11 REAR ELEVATION 'A' & 'B'
- A12 LEFT SIDE ELEVATION 'A'
- A13 FRONT ELEVATION 'B'
- A14 RIGHT SIDE ELEVATION 'B'
- A15 LEFT SIDE ELEVATION 'B'
- A16 TYPICAL CROSS-SECTION
- A17 TYPICAL DETAIL
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the applicable Building Code. The City of Brampton is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	(0) 108.8	10.1	108.8	10.1
MAIN FLOOR PLAN	(0) (1) 1466.3	136.2	1466.3	136.2
SECOND FLOOR PLAN	(0) (1) 1449.6	134.7	1449.6	134.7
SECOND FLOOR PLAN OTB	(53.4)	(5.0)	(53.4)	(5.0)
TOTAL AREA (0)	3024.7	281.0	3024.7	281.0
OPT. GROUND FLOOR PLAN	(1) 885.6	82.2	885.6	82.2
TOTAL AREA (1)	3801.5	353.1	3801.5	353.1
COVERAGE INC PORCH	1533.7	142.5	1533.7	142.5
COVERAGE NOT INC PORCH	1466.3	136.2	1466.3	136.2

Gold Park Homes
McLaughlin and
Mayfield
CORELL

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BERT 2088

DATE

JUL 27 2015

SIGNATURE

SIGNATURE

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marking name

#	revisions	date	chk	#	revisions	date	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	RPA	CR	5	REVISED AS PER PER FLR. COORD.	27-AUG-14 RPA
2	REVISED AREA CHART	30-JUN-14	CR	CR	6	REVISED AS PER ENGINEERING COMM.	26-MAY-15 RPA
3	REVISED AS PER ARCH. CONTROL COMM.	25/08/2014	RPA	DJH	7	ISSUED FOR PERMIT	16/06/2015 RPA
4	REVISED AS PER ROOF TRUSS COORDINATION.	26-AUG-14	RPA	DJH	8		

RN design
Imagine • Inspire • Create



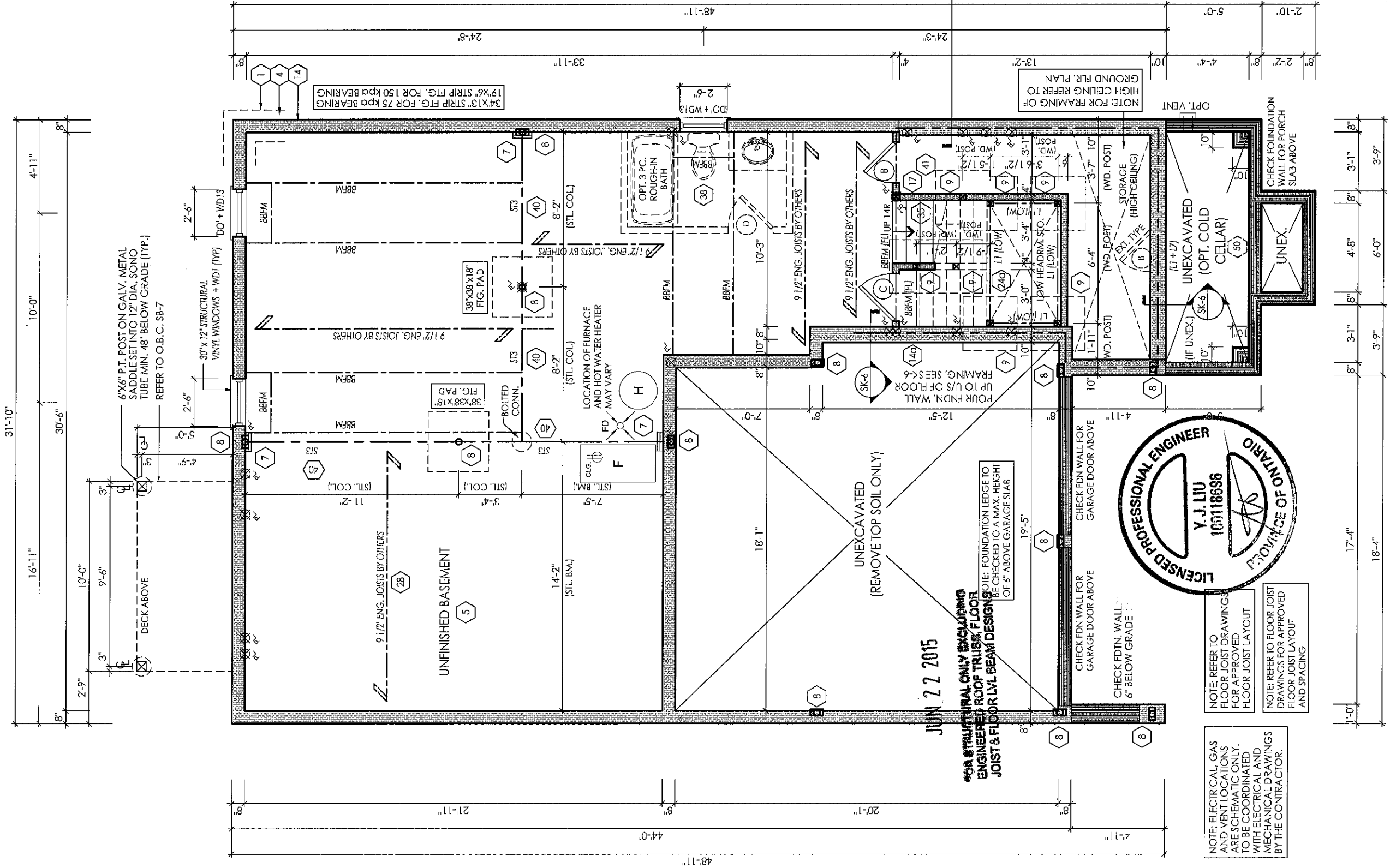
model
38-8

scale
3/16" = 1'0"

page

project #
13098

A0



BASEMENT FLOOR PLAN ELEV. 'A' & 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

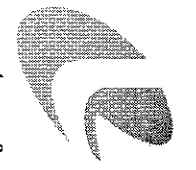
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

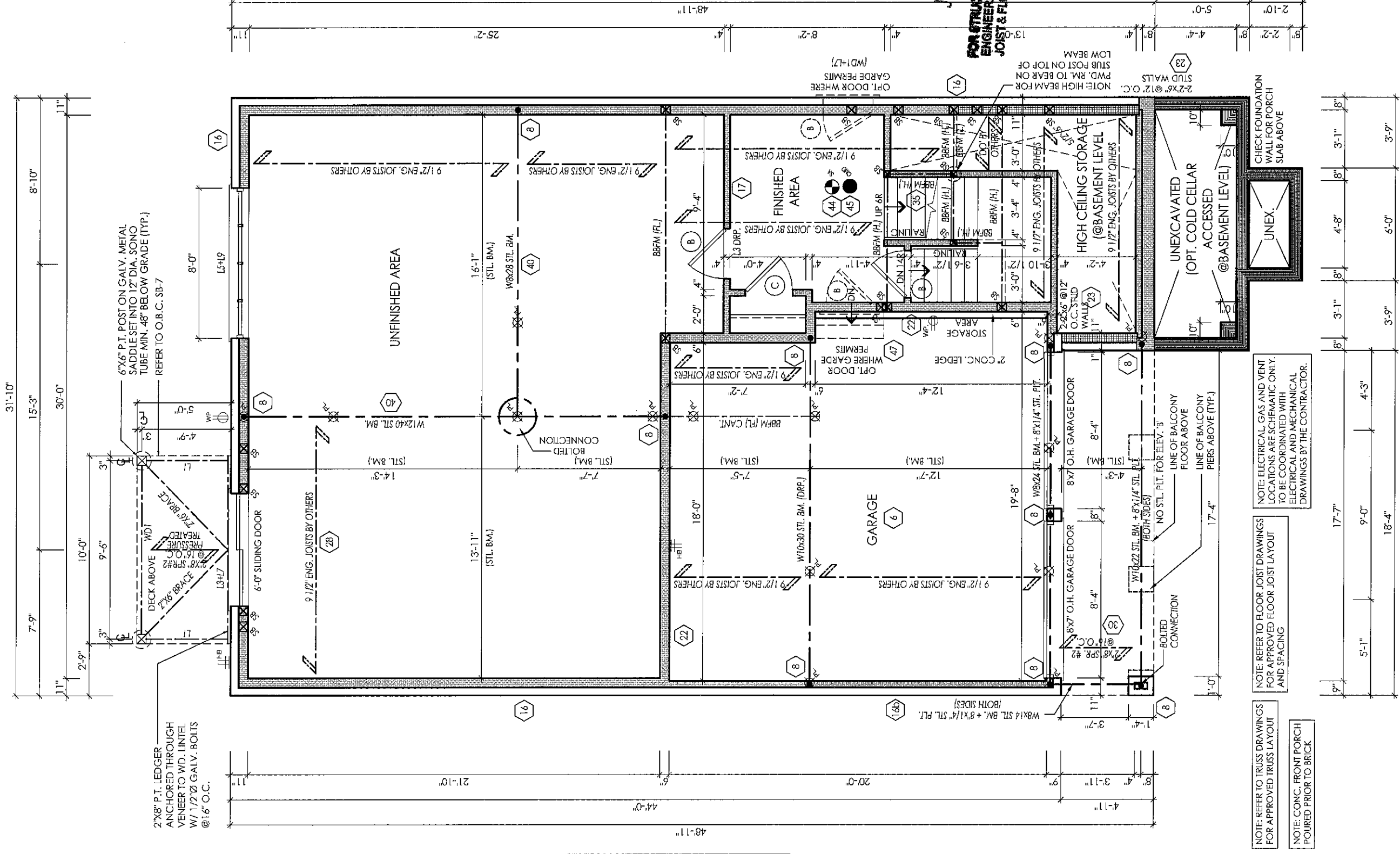
QUALIFIED DESIGNER BCIN 20883
FIRM BCIN 26095

DATE JUN 27 2015 SIGNATURE

client		location	
Gold Park Homes		Brampton	
project		marketing name	
Mclaughlin and Mayfield			
#	revisions	date	down
1	ISSUED FOR CLIENT REVIEW	04/07/2014	100
2	REVISED AS PER ROOF TRUSS COORDINATION	26-Aug-14	RPA
3	REVISED AS PER F.L.R. COORD.	27-Aug-14	RPA
4	REVISED AS PER ENGINEERING COMM.	26-May-15	RPA

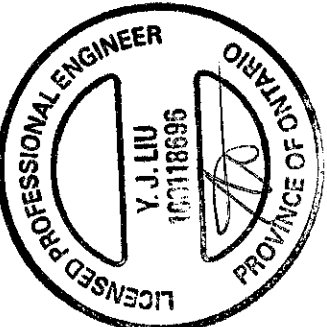


SIGNATURE:



JUN 22 2015

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the design or construction of the house or for any building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARNOLD ENGINEERING ASSOCIATES
163118696
Y.J. LIU

GROUND FLOOR PLAN ELEV. 'A' & 'B'

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name

model
38-8

scale
3/16" = 1'0"

project #
13098

page
A2

1. DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 32.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20885

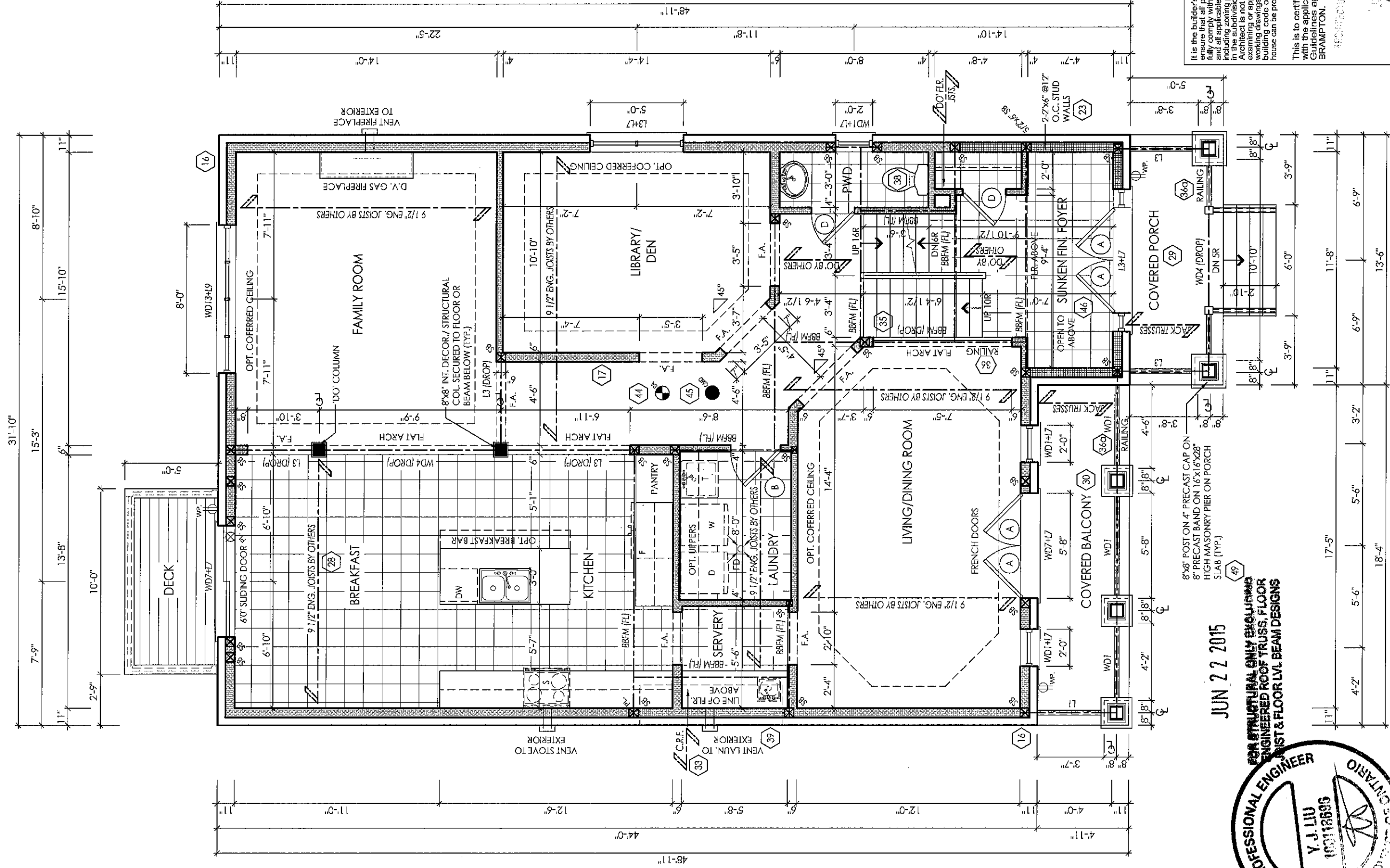
JUL 27 2015

SIGNATURE

DATE

#	revisions	date	dw	chk	#	revisions	date	dw	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ipa	cr	5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
2	REVISED AS PER ROOF RUS	26-Aug-14	RPA	DJH	6				
3	REVISED AS PER FLD. COORD.	27-Aug-14	RPA	DJH	7				
4	REVISED AS PER ENGINEERING COMM.	26-Aug-15	RPA	DJH	8				





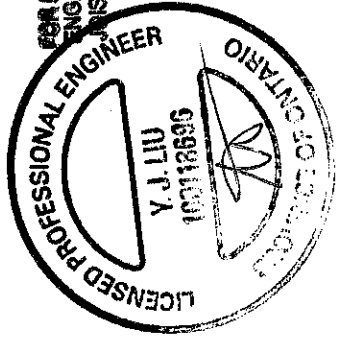
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

Y. J. LIU
100118696
JUL 27 2015
SIGNATURE

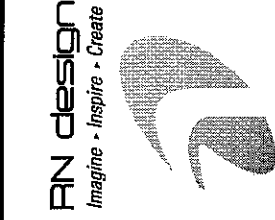
JUN 22 2015

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
TRUSS & FLOOR LVL BEAM DESIGNS



MAIN FLOOR PLAN ELEV. 'A'

model 38-8
scale 3/16" = 1'0"
project # 13098



location Brampton
marketing name

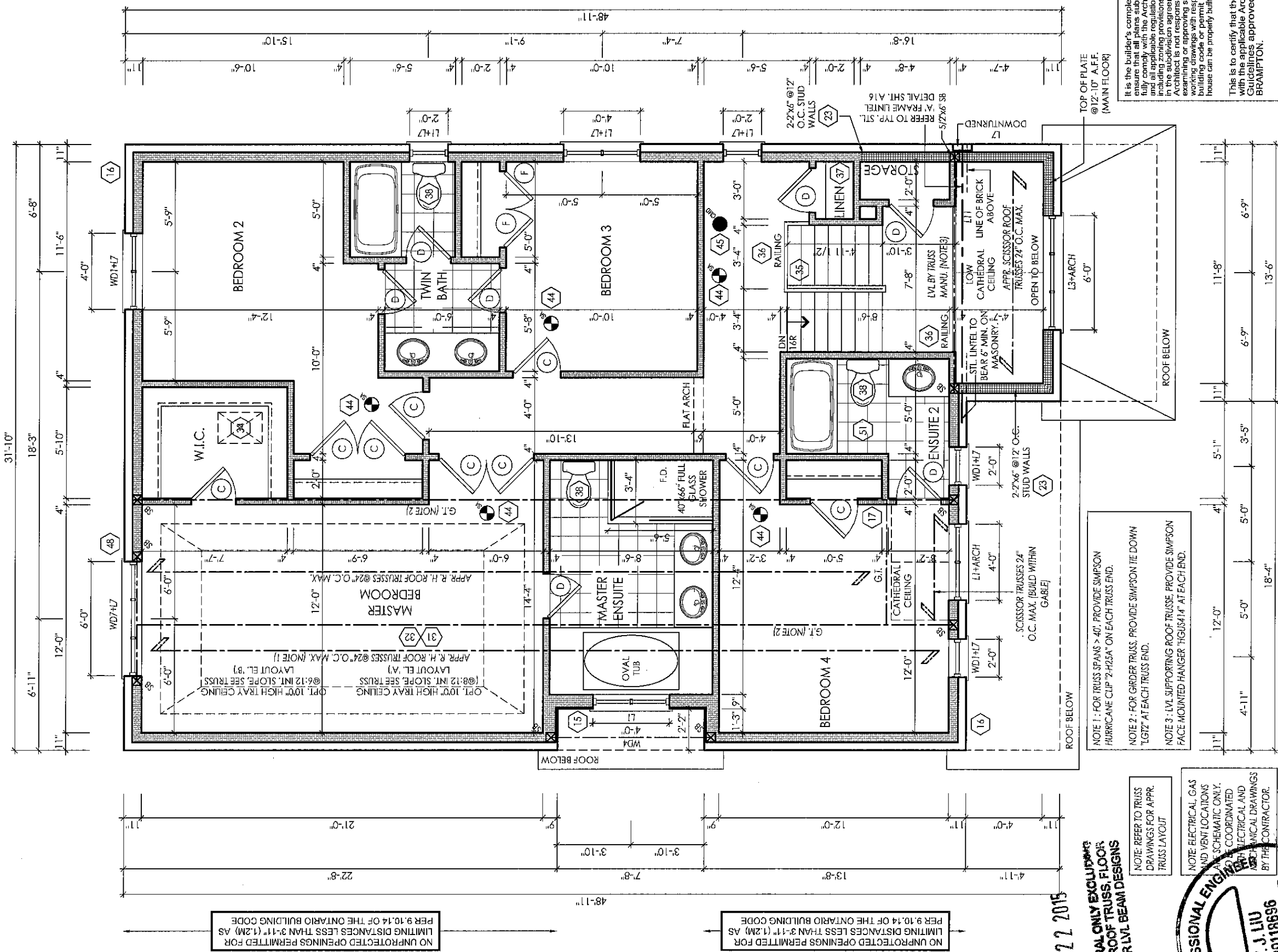
client Gold Park Homes
project Mclaughlin and Mayfield

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories:
FIRM BCIN 26995
QUALIFIED DESIGNER BCIN 20888

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	TPD	cr	5	ISSUED FOR PERMIT	14/06/2015	RPA	DJH
2	REVISED AS PER ROOF TRUSS COORDINATION	26-AUG-14	RPA	DJH	6				
3	REVISED AS PER FLR. COORD.	27-AUG-14	RPA	DJH	7				
4	REVISED AS PER ENGINEERING COMM.	26-MAY-15	RPA	DJH	8				

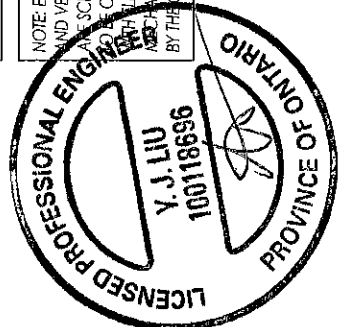
SIGNATURE:

A4



NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS AND SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.



FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSSES, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

JUN 22 2015

SECOND FLOOR PLAN ELEV. 'A'

NOTE 1: FOR TRUSS SPANS > 40', PROVIDE SIMPSON HURRICANE CLIP "2-H25A" ON EACH TRUSS END.
NOTE 2: FOR GIRDER TRUSS, PROVIDE SIMPSON TIE DOWN "LGT2" AT EACH TRUSS END.
NOTE 3: LVL SUPPORTING ROOF TRUSSE, PROVIDE SIMPSON FACE MOUNTED HANGER "HGJ6414" AT EACH END.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or for determining whether the proposed building or building code or permit matter or that any house can be properly built or located on its lot.

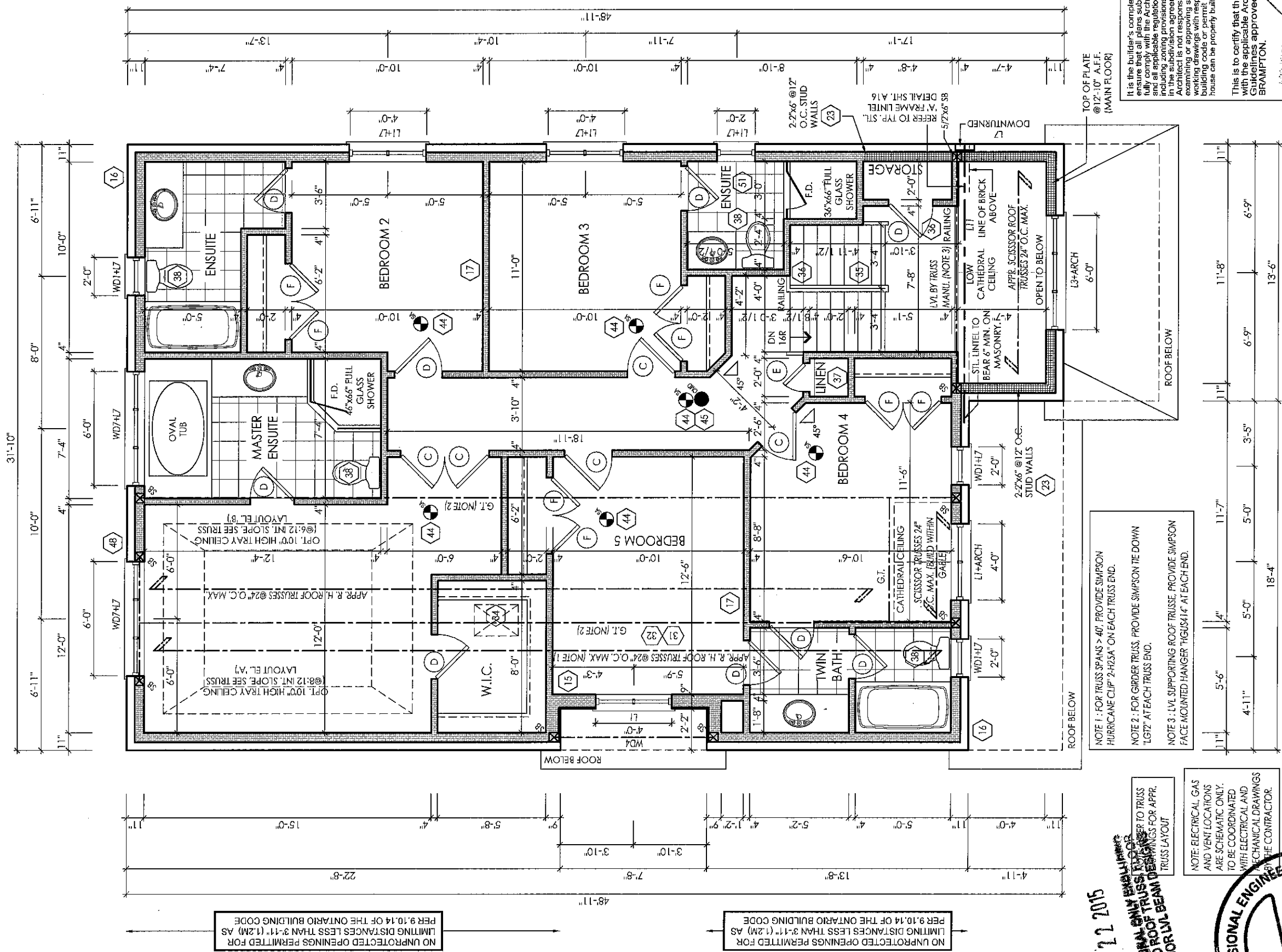
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER: BRYAN TORRES
FIRM: BCIN 26995
DATE: 27 2015
SIGNATURE: [Signature]

SIGNATURE: _____

client		location		marking name					
Gold Park Homes		Brampton							
project		Mclaughlin and Mayfield							
#	revisions	date	dwnr	chk	#	revisions	date	dwnr	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	TDG	cr	5				
2	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJH	6				
3	REVISED AS PER ENGINEERING COMM.	26-May-15	RPA	DJH	7				
4	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	8				



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

1000 S. WILSON AVE. #1000
BRAMPTON, ONT. L6Y 4R8
TEL: 905.874.1234
FAX: 905.874.1235
WWW.ANDESIGN.COM

OPT. 5-BEDRM. SECOND FLOOR PLAN ELEV. 'A' / B

model 38-8
scale 3/16" = 1'0"
project # 13098
page

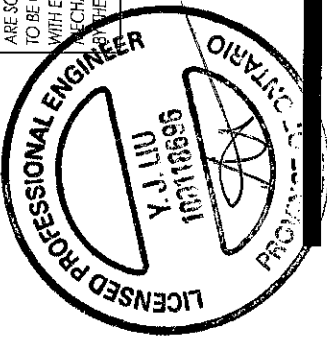


client		location							
Gold Park Homes		Brampton							
project		marketing name							
McLaughlin and Mayfield									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ipa	ct	5				
2	REVISED AS PER ROOF TRUSS COORDINATION.	26-Aug-14	RPA	DJH	6				
3	REVISED AS PER ENGINEERING COMM.	26-May-15	RPA	DJH	7				
4	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER BCIN-20888
FIRM BCIN 26995.

DATE 27 2015 SIGNATURE



NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

FOR STRUCTURAL ONLY ENGINEER TO TRUSS
ENGINEERED ROOF TRUSS, GIRDER TO TRUSS
JOIST & FLOOR LVL BEAM DRAWINGS FOR APPR.
TRUSS LAYOUT

JUN 22 2015

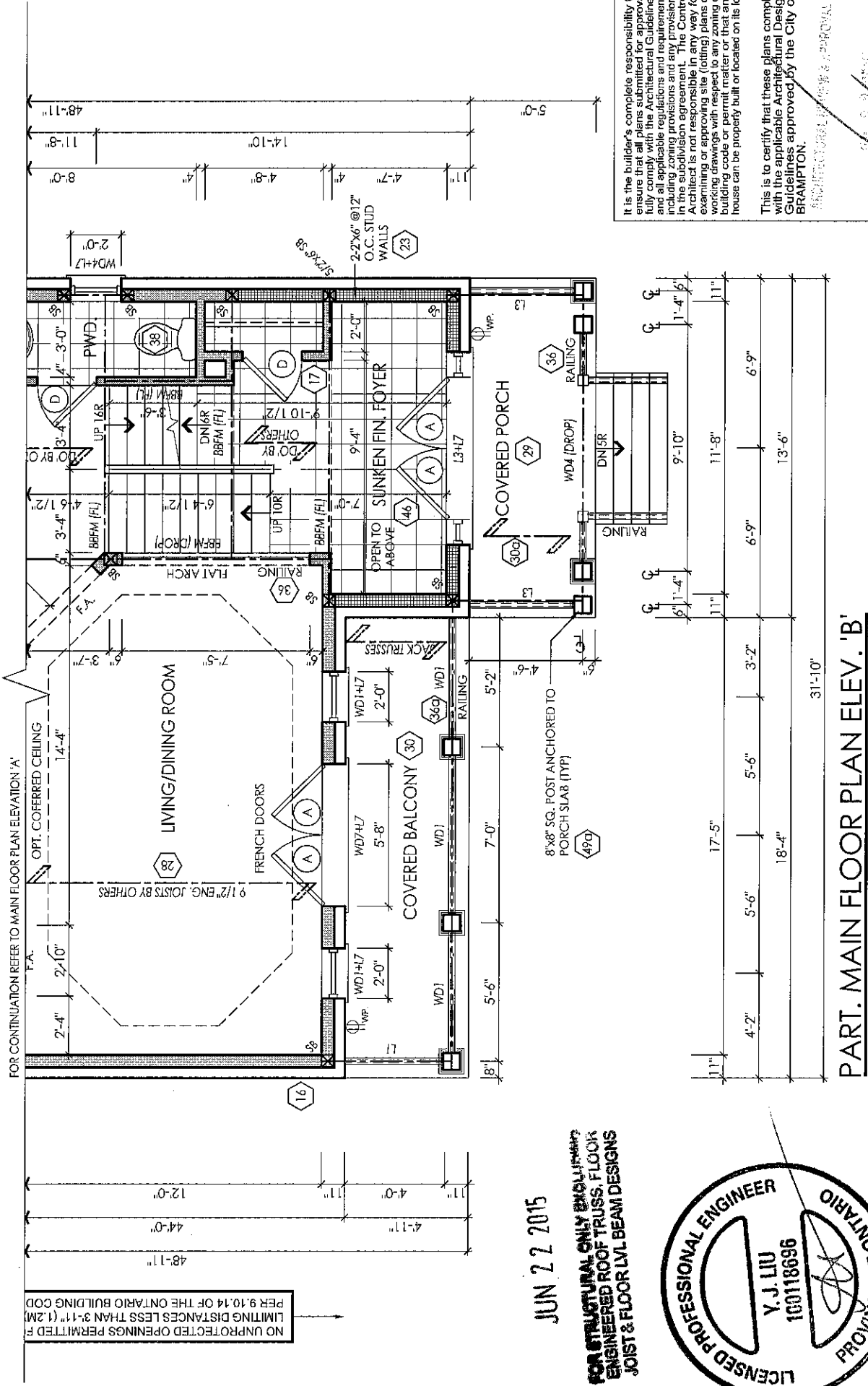
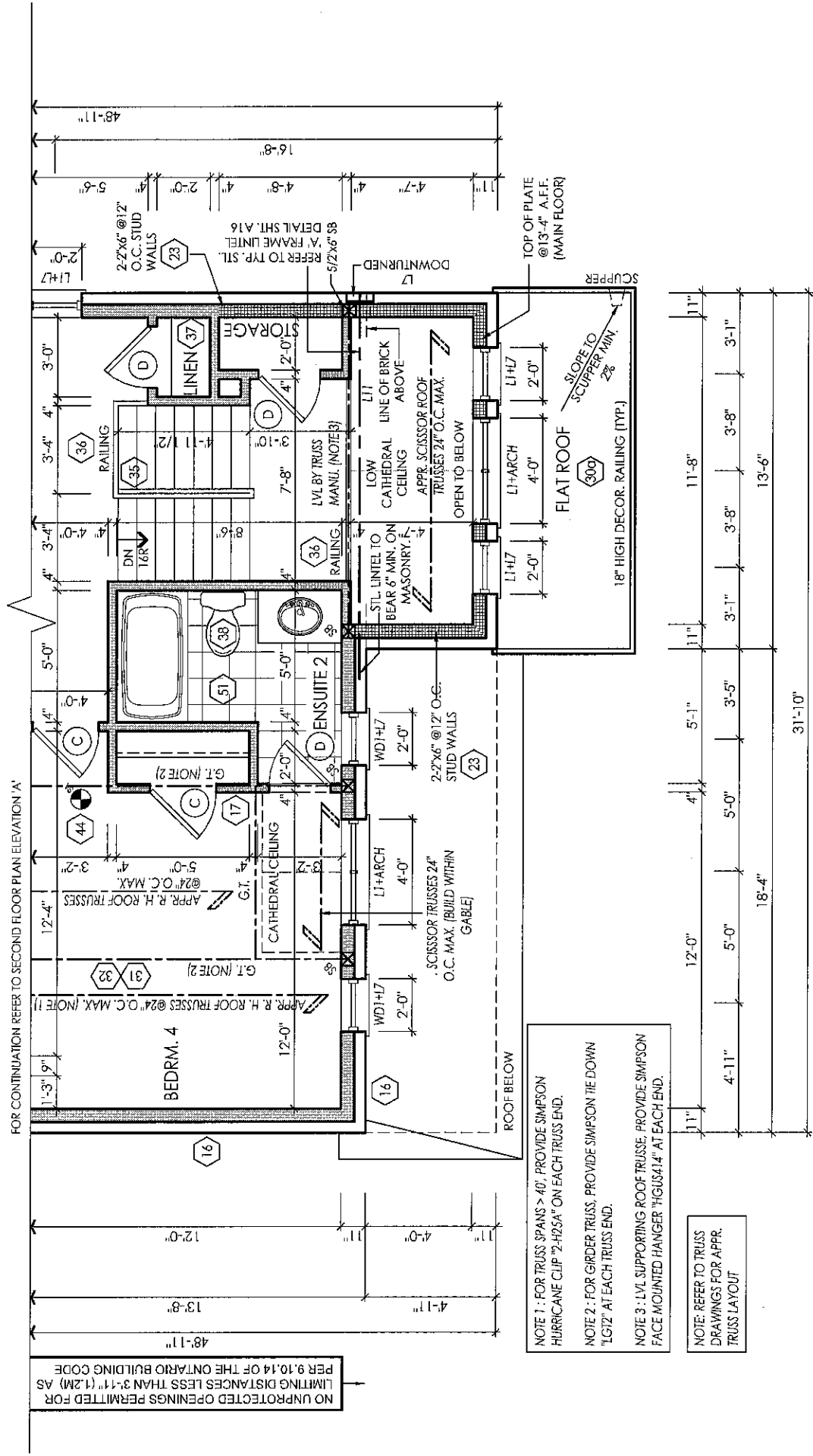
NOTE 1: FOR TRUSS SPANS > 40', PROVIDE SIMPSON HURRICANE CLIP "2-H25A" ON EACH TRUSS END.

NOTE 2: FOR GIRDER TRUSS, PROVIDE SIMPSON TIE DOWN "LGT2" AT EACH TRUSS END.

NOTE 3: LVL SUPPORTING ROOF TRUSSE, PROVIDE SIMPSON FACE MOUNTED HANGER "HGU514" AT EACH END.

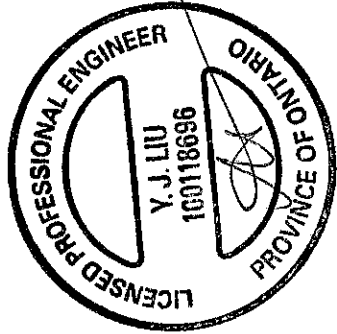
NO UNPROTECTED OPENINGS PERMITTED FOR PER 9.10.14 OF THE ONTARIO BUILDING CODE

NO UNPROTECTED OPENINGS PERMITTED FOR PER 9.10.14 OF THE ONTARIO BUILDING CODE



JUN 22 2015

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20095

FIRM BCIN 26995

JUL 27 2015 SIGNATURE

SIGNATURE

client Gold Park Homes
project Mclaughlin and Mayfield
location Brampton

PN design
Imagine - Inspire - Create



model 38-8
scale 3/16" = 1'0"
project # 13098

page

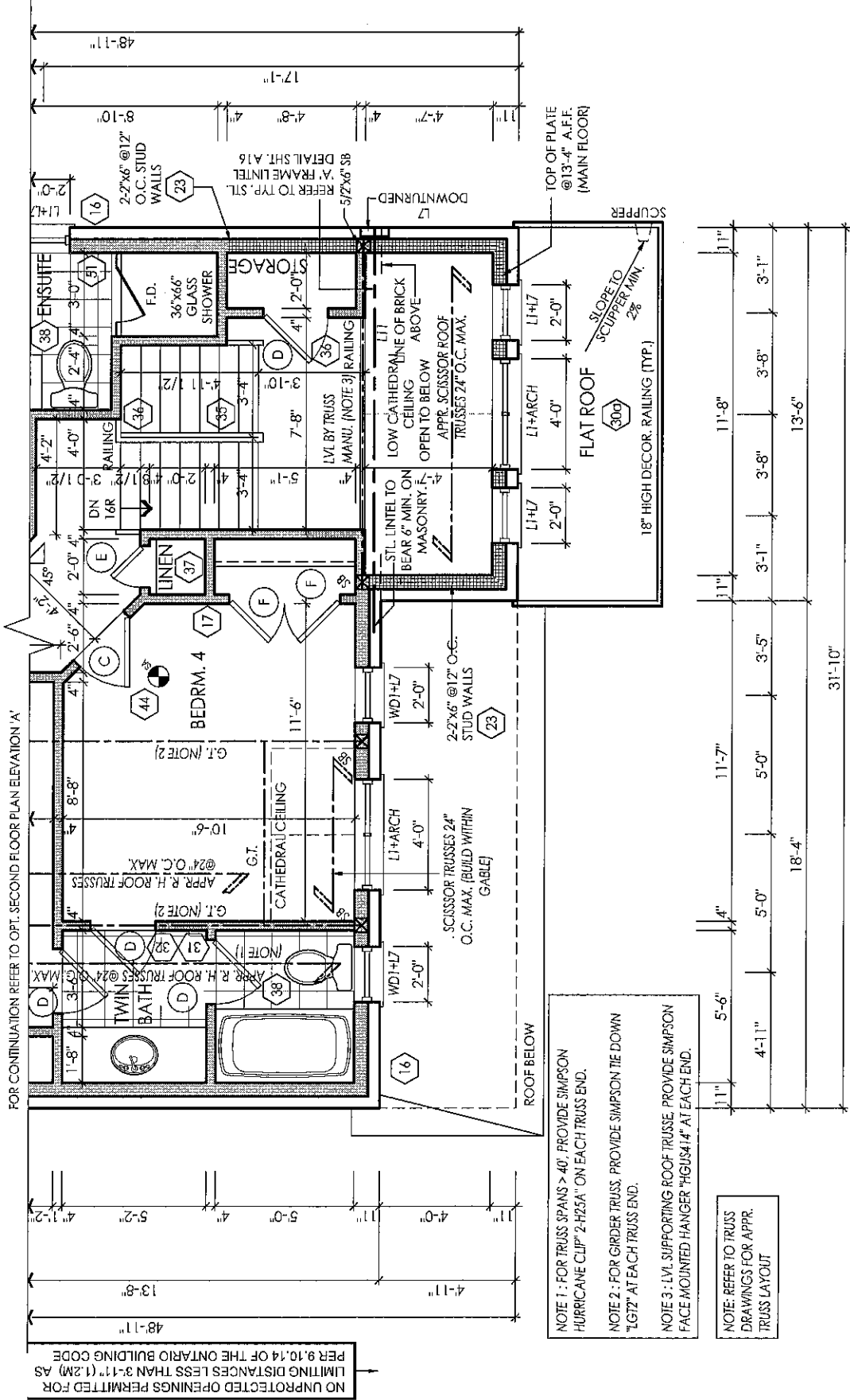
A7

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and the requirements of the Building Code. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL DESIGN & APPROVAL
JUL 27 2015
JUL 27 2015

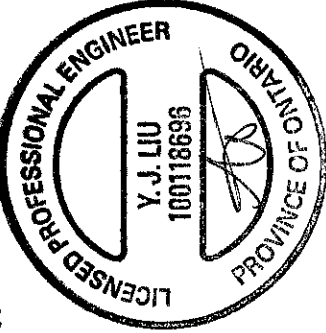
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1	ISSUED FOR CLIENT REVIEW	04/07/2014	TDG	5	REVISED AS PER ENGINEERING COMMENT	26-May-15	RPA	DJH	
2	REVISED AS PER ARCH. CONTROL	25/08/2014	RPA	6	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	
3	REVISED AS PER ROOF TRUSS COORDINATION	26-Aug-14	RPA	7					
4	REVISED AS PER PER. COORD.	27-Aug-14	RPA	8					



PART. OPT. 5-BEDRM. SECOND
FLOOR PLAN ELEV. 'B'

JUN 22 2015

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JUN 22 2015
Y.J. LIU
Professional Engineer

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER BCIN 20888

FIRM BCIN 26995

JUN 27 2015

DATE

SIGNATURE:

client: Gold Park Homes

location: Brampton

project: Mclaughlin and Mayfield

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	tpa	cr	5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
2	REVISED AS PER ROOF TRUSS COORDINATION.	27/08/2014	RPA	DJH	6				
3	REVISED AS PER ENGINEERING COMM.	26-May-15	RPA	DJH	7				
4	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	8				

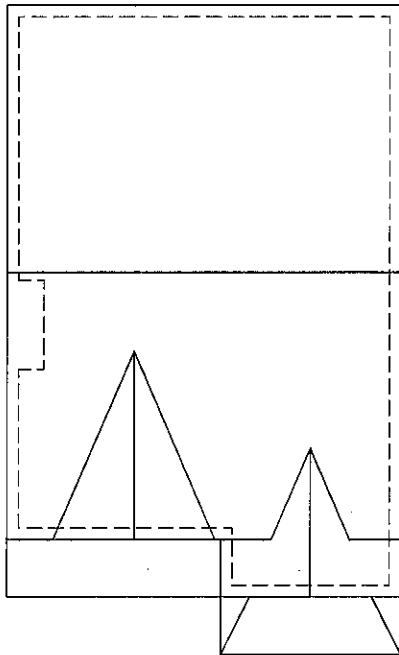
model: 38-8

scale: 3/16" = 10"

project #: 13098

page

A8



ROOF PLAN 'A'

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

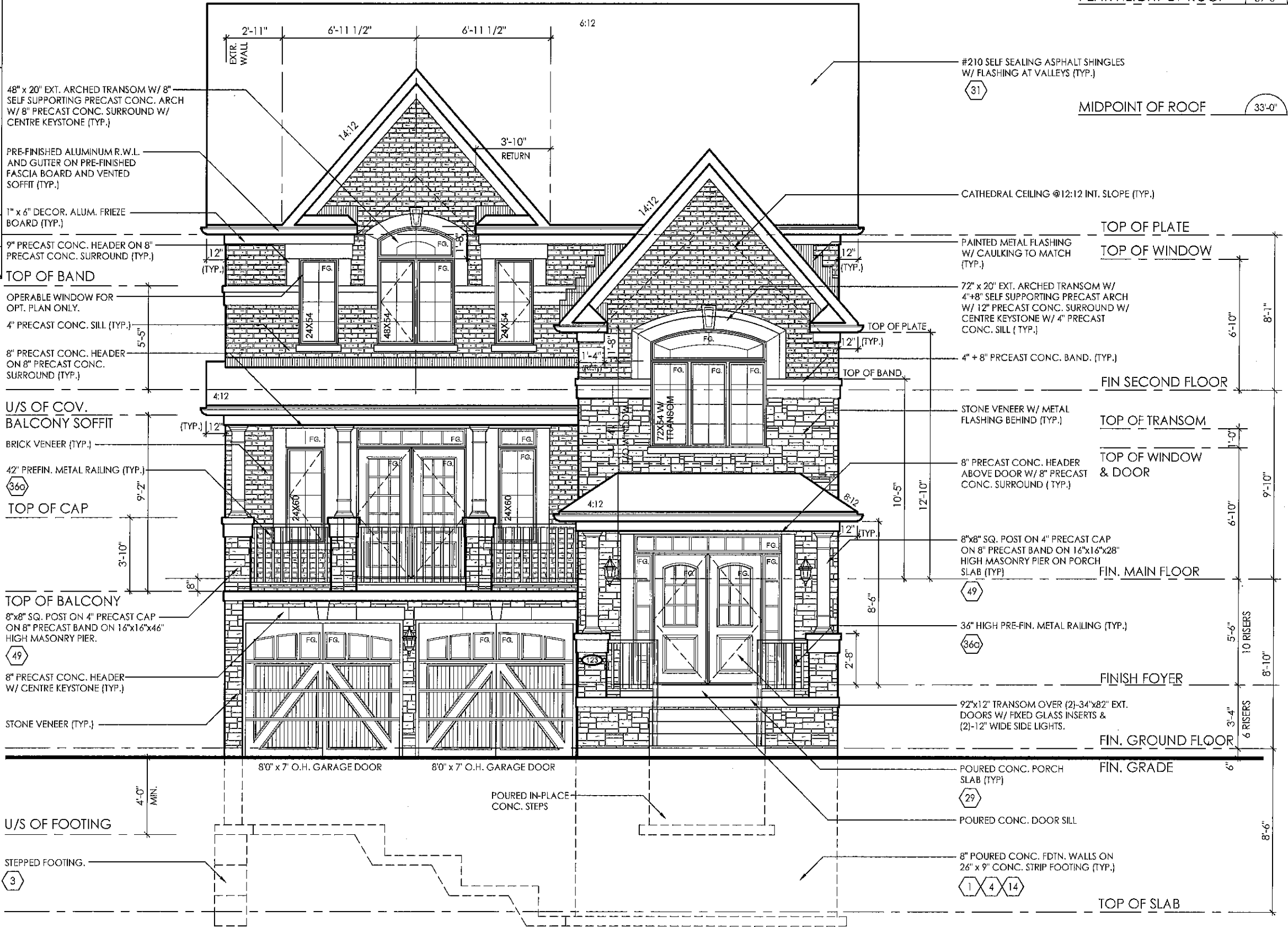
NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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CONSTRUCTION REVIEW & APPROVAL
JUL 22 2015
J. G. Williams Limited, Architect



FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF 39'-8"

MIDPOINT OF ROOF 33'-0"

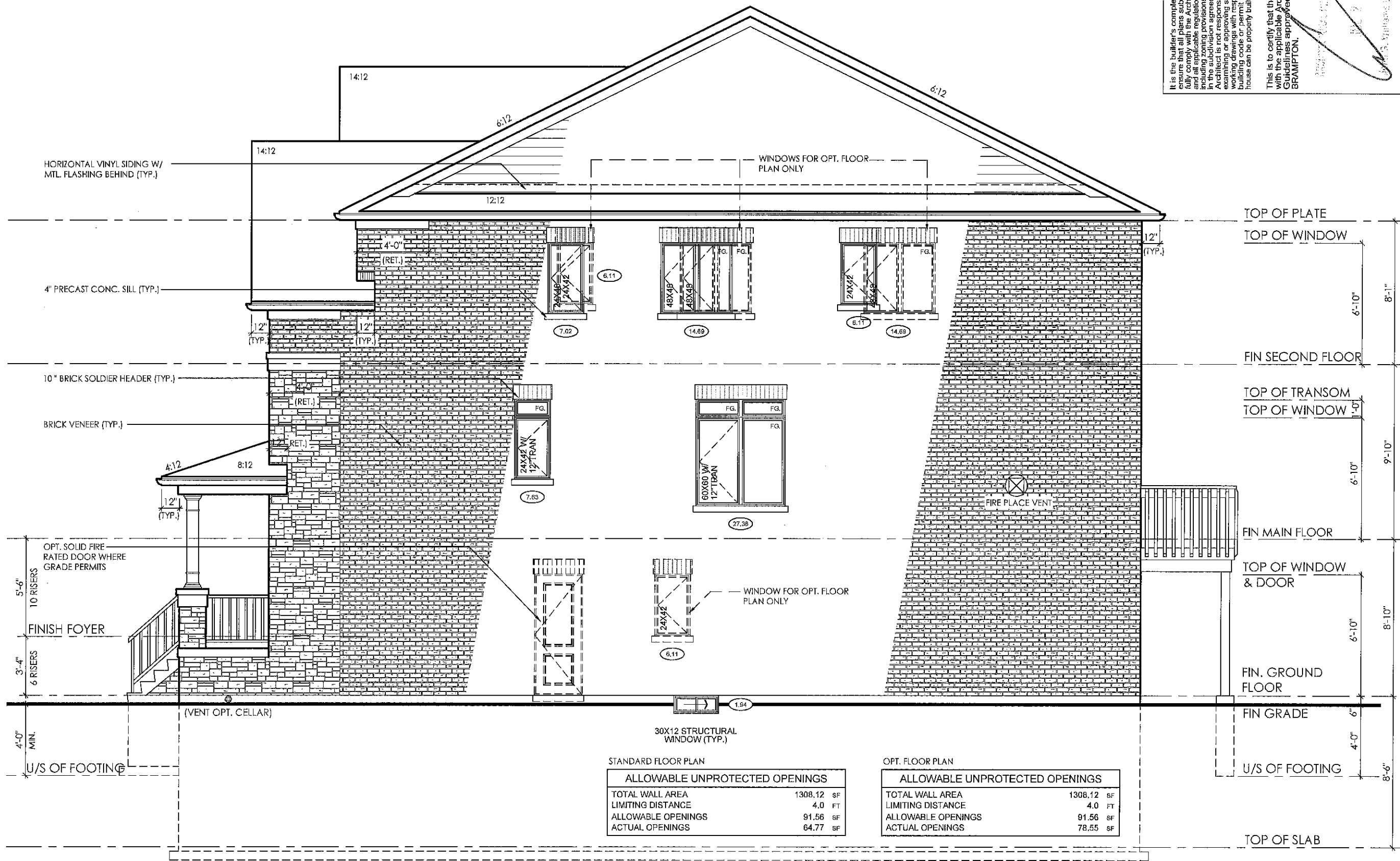
model 38-8
scale 3/16" = 1'0"
project # 13098
page



location		Brampton		marketing name	
client		Gold Park Homes		McLaughlin and Mayfield	
#	revisions	date	down	chk	#
1	ISSUED FOR CLIENT REVIEW	04/07/20	ra	cr	5
2	ISSUED FOR PERMIT	14/06/20	RPA	DJH	6
3					7
4					8

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of FN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.
QUALIFIED DESIGNER BCIN 20888
FIRM BCIN 20995
JUL 27 2015
DATE
SIGNATURE

A9



RIGHT SIDE ELEVATION 'A'

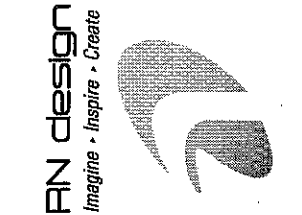
STANDARD FLOOR PLAN	
ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1308.12 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	91.56 SF
ACTUAL OPENINGS	64.77 SF

OPT. FLOOR PLAN	
ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1308.12 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	91.56 SF
ACTUAL OPENINGS	78.55 SF

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for construction details or for the accuracy of working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

[Signature]
MARCH 27, 2015

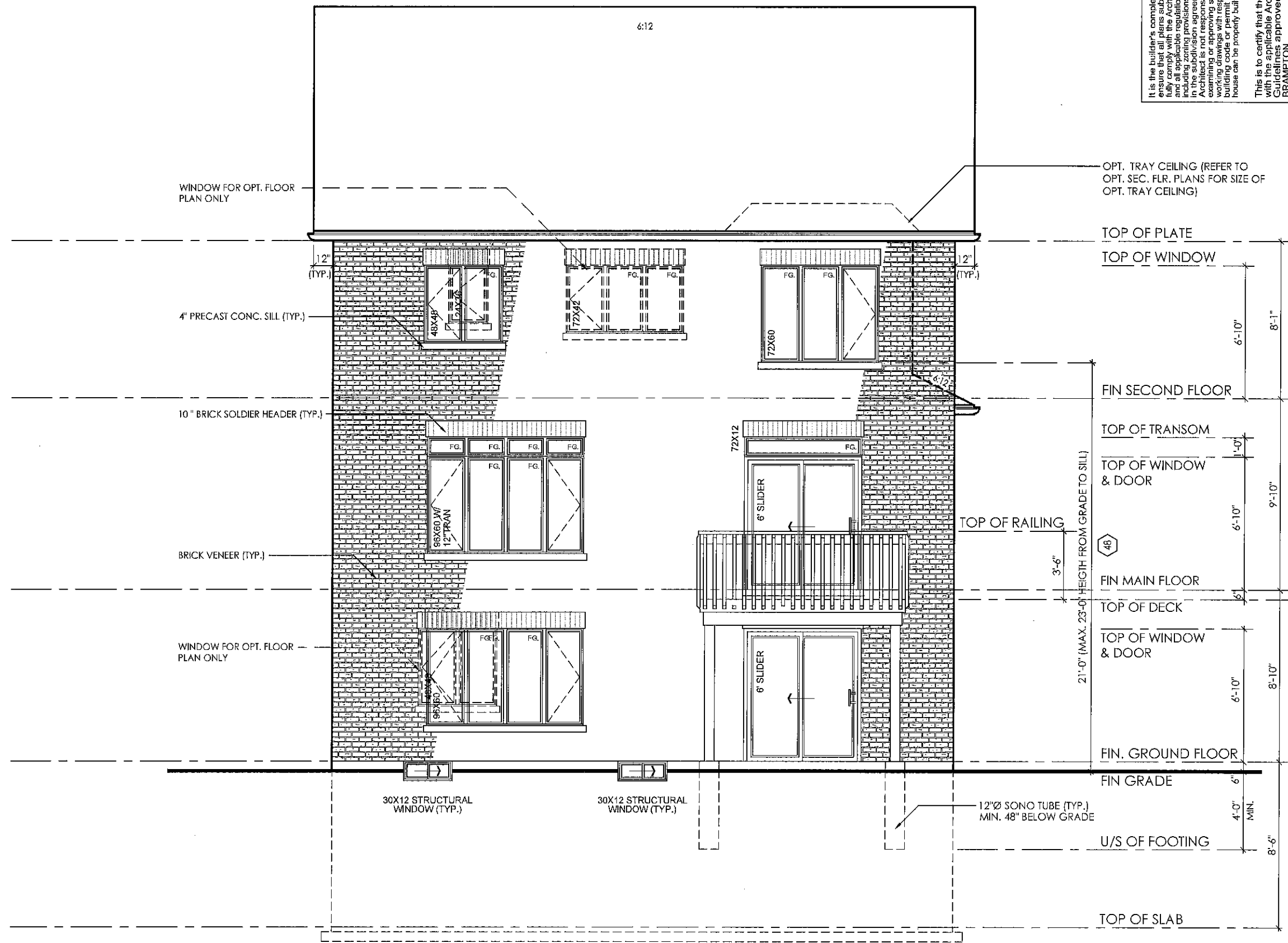


client		location	
Gold Park Homes		Brampton	
project		marketing name	
McLaughlin and Mayfield			
#	revisions	date	chk
1	ISSUED FOR CLIENT REVIEW	04/07/20	tpa
2	ISSUED FOR PERMIT	16/04/20	RPA
3			
4			

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of FN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20888
FIRM BCIN 26995

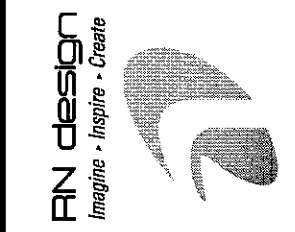
[Signature]
DATE: MARCH 27, 2015
SIGNATURE:



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for construction details (including but not limited to working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

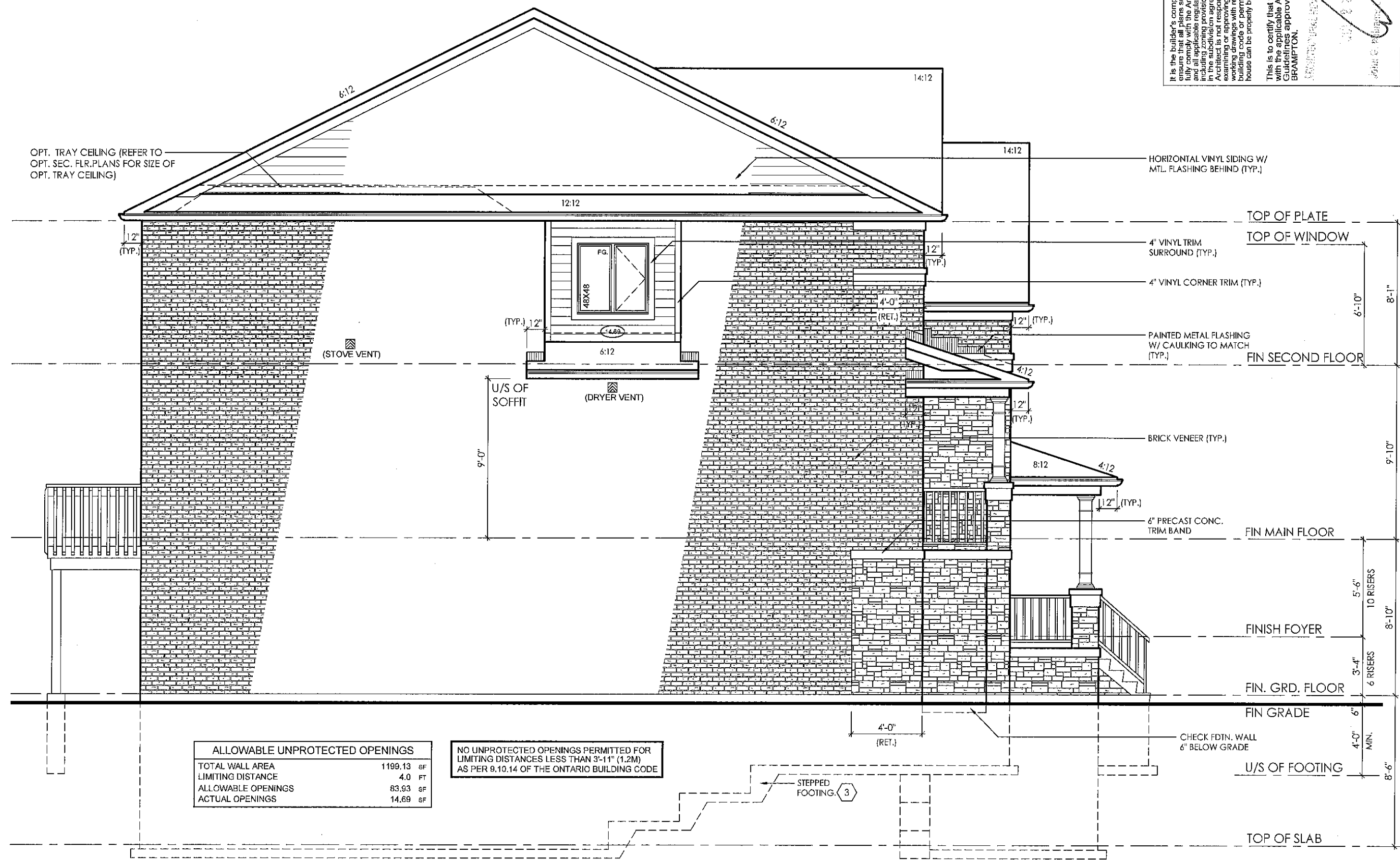
BRAMPTON, ONTARIO
JUL 27 2015
JANIS L. HANNINEN
Architect



client		location		project		marking name			
Gold Park Homes		Brampton		McLaughlin and Mayfield					
#	revisions	date	down	chk	#	revisions	date	down	chk
1	ISSUED FOR CLIENT REVIEW	04/07/20	14	tpa	cr	5			
2	ISSUED FOR PERMIT	16/06/20	5	RPA	DUH	6			
3						7			
4						8			

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classification category.

QUALIFIED DESIGNER BCN 20833
JUL 27 2015
DATE
SIGNATURE

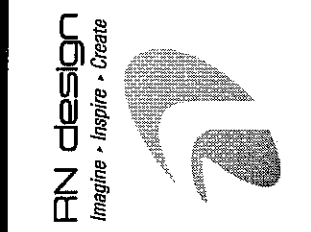


LEFT SIDE ELEVATION 'A'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

BRAMPTON, ONTARIO
JUL 2 2 2015
JOHN C. HANNINEN, ARCHITECT



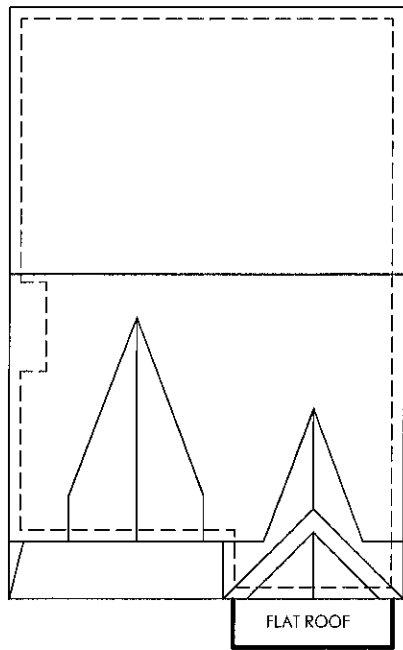
location		marking name		date dwn chk	
Brampton		McLaughlin and Mayfield			
#	revisions	date dwn	chk	#	revisions
1	ISSUED FOR CLIENT REVIEW	4-Jul-14	tpa	cr	5
2	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	6
3					7
4					8

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20835
FIRM BCIN 26995

JUL 27 2015 SIGNATURE

SIGNATURE:



ROOF PLAN 'B'

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW APPROVAL

DATE AND SIGNATURE

1000 G. Williams-Nelson, Architect



FRONT ELEVATION 'B'

PEAK HEIGHT OF ROOF (39'-8")

MIDPOINT OF ROOF (33'-0")

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW & DOOR

FIN MAIN FLOOR

FINISH FOYER

FIN. GROUND FLOOR

FIN GRADE

TOP OF BSMT. SLAB

model
38-8

scale
3/16" = 1'0"

project #
13098

page
A13

location
Brampton

marking name
McLaughlin and Mayfield

client
Gold Park Homes

revisions

#	revisions	date	down	chk	#
1	ISSUED FOR CLIENT REVIEW	04/07/2014	TD	CT	5
2	REVISED AS PER ARCH. CONTROL COMMA.	25/08/2014	RPA	DH	6
3	ISSUED FOR PERMIT	16/06/2015	RPA	DH	7
4					8

DATE

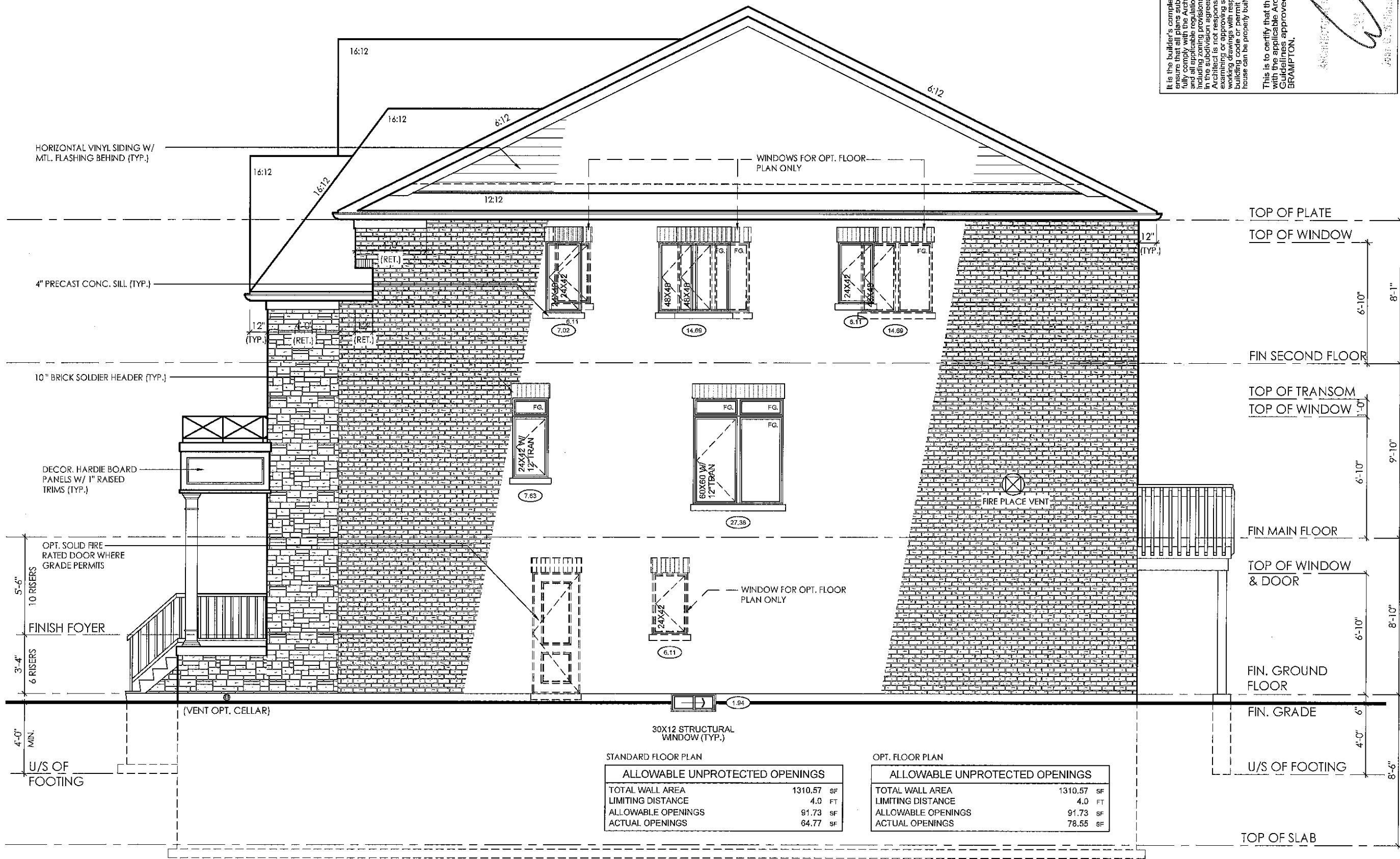
27 2015

SIGNATURE

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QUALIFIED DESIGNER BCIN 20888

FIRM BCIN 26995



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit matter or first or second house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

[Signature]
JAN. 27 2015
JAN. 27 2015

RIGHT SIDE ELEVATION 'B'

STANDARD FLOOR PLAN	
ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1310.57 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	91.73 SF
ACTUAL OPENINGS	64.77 SF

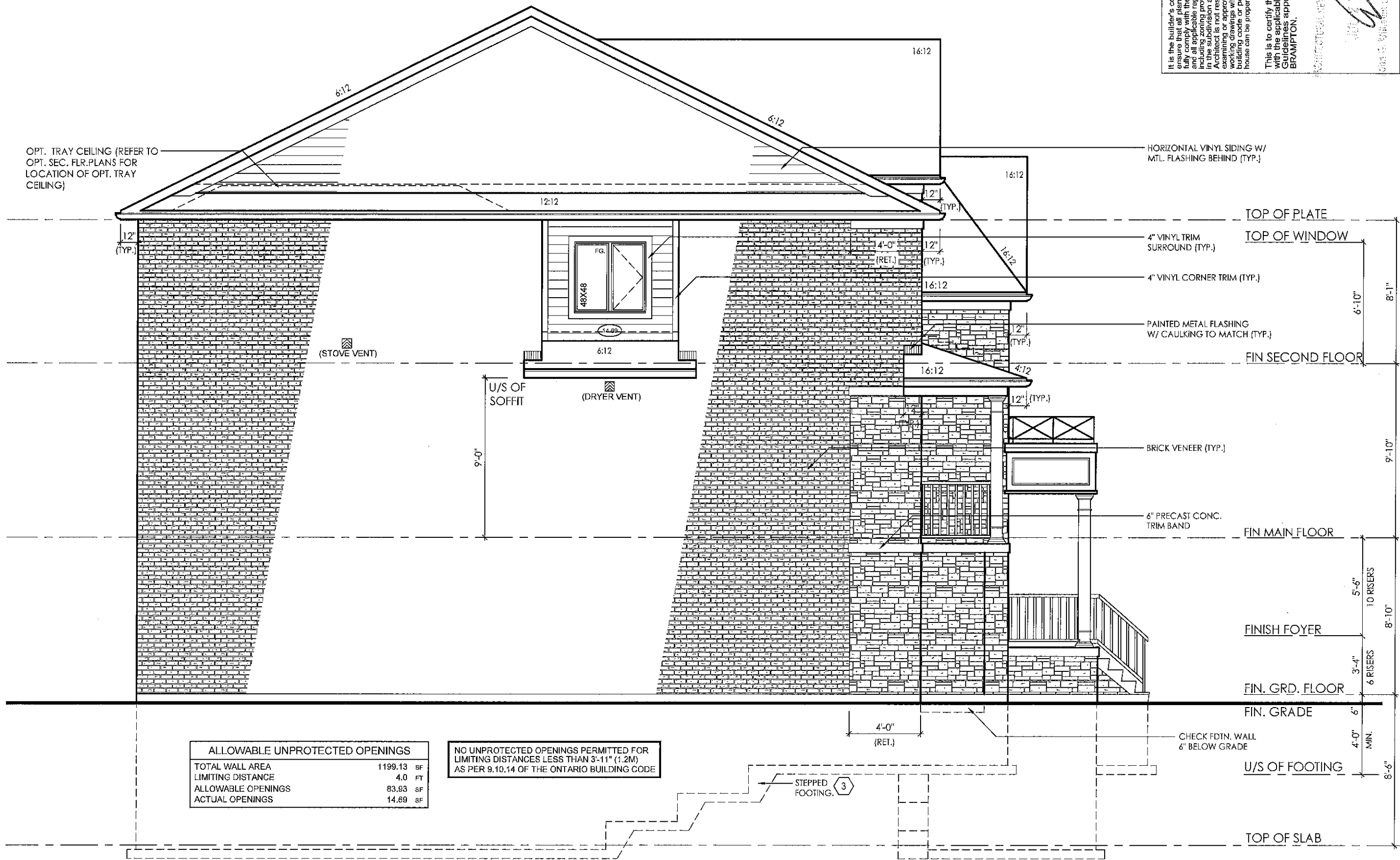
OPT. FLOOR PLAN	
ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1310.57 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	91.73 SF
ACTUAL OPENINGS	76.55 SF

#	revisions	date	down	chk	#	revisions	date	down	chk
1	ISSUED FOR CLIENT REVIEW	04/07/2014	ipa	cr	5				
2	REVISED AS PER ARCH. CONTROL COMM.	22/08/2014	RPA	DH	6				
3	ISSUED FOR PERMIT	16/06/2015	RPA	DH	7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER DGM 2088
FIRM BCIN 26595

JUL 27 2015
SIGNATURE



LEFT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (footing) plans or building drawings that require any footing or building materials that are not specified in the house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

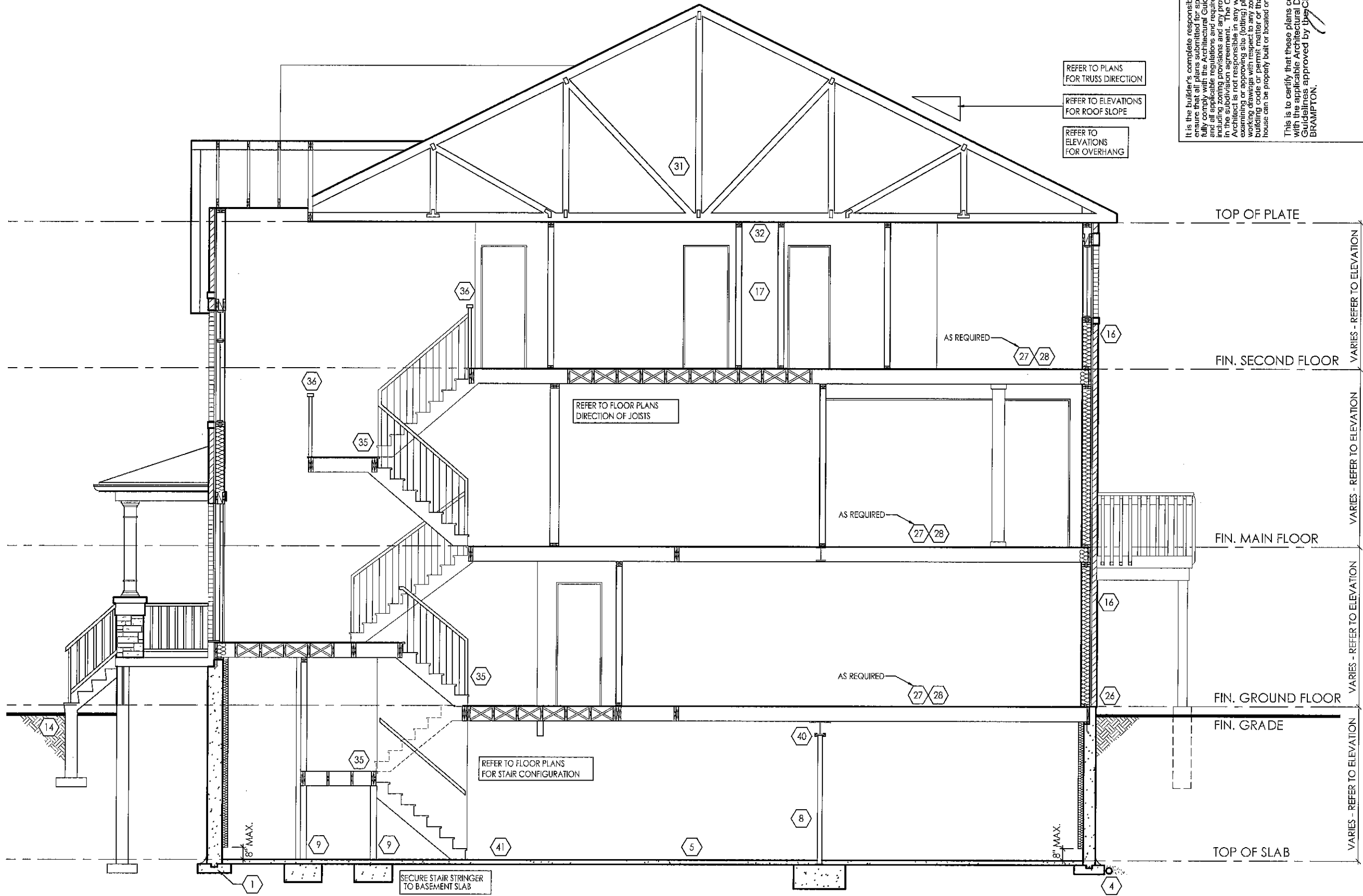
[Signature]
DATE: 2015-07-07
GAIL S. WILSON, Licensed Architect

client		location		project		marking name		date		revisions		date		revisions		date		revisions		date		revisions	
Gold Park Homes		Brampton		McLaughlin and Mayfield																			
1		ISSUED FOR CLIENT REVIEW		04/07/2014		RPA		5															
2		REVISED AS PER ARCH. CONTROL		25/08/2014		RPA		6															
3		ISSUED FOR PERMIT		16/06/2015		RPA		7															
4								8															

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of PN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20833
FIRM BCIN 26995

JUL 27 2015
SIGNATURE



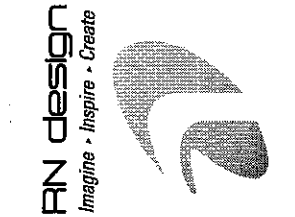
TYPICAL CROSS SECTION - 3 STOREY (BRICK)
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or designs that may be submitted for zoning or building code compliance. The location of any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

model 38-8
scale 3/16" = 1'0"
project # 13098
page

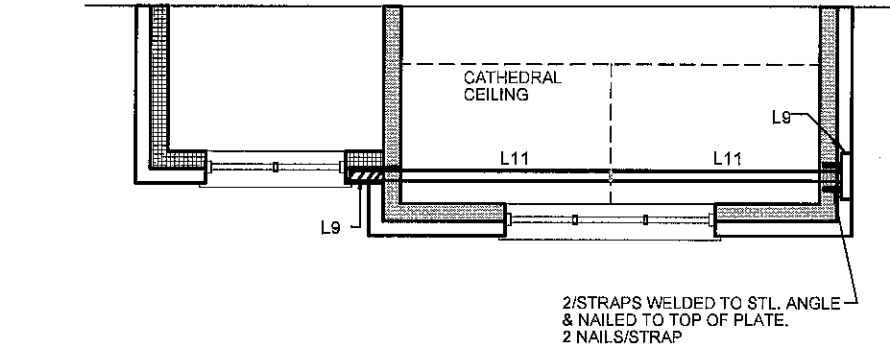
A16



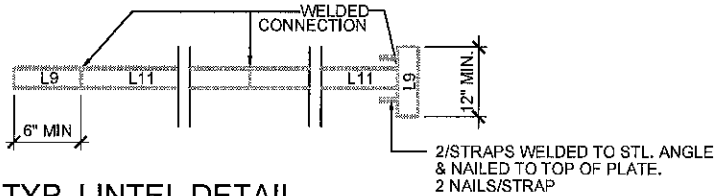
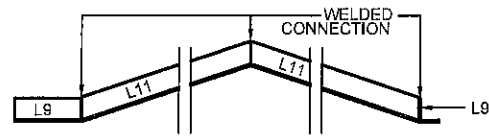
client		location		project		marking name		date dwn chk		revisions		date dwn chk	
Gold Park Homes		Brampton		McLaughlin and Mayfield									
#													
1	ISSUED FOR CLIENT REVIEW	04/07/20	rpa	cr	5								
2	ISSUED FOR PERMIT	16/04/20	RPA	DJH	6								
3					7								
4					8								

1. DANIEL J. HANNINEN declares that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate categories.

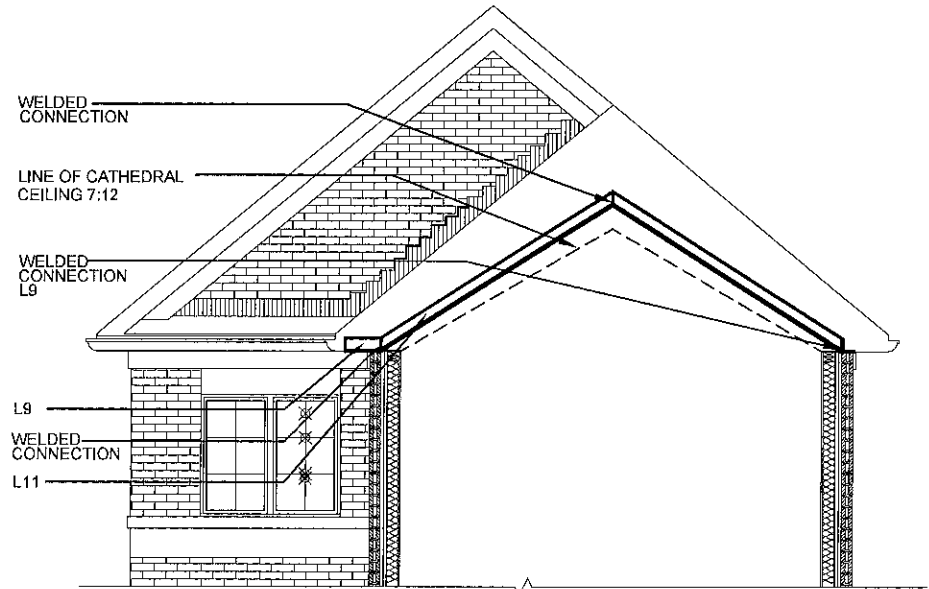
QUALIFIED DESIGNER BCIN 20085
DATE JUL 27 2013
SIGNATURE



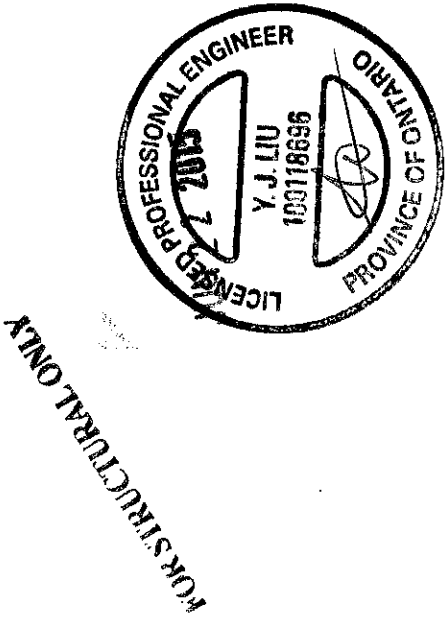
TYP. LINTEL DETAIL - PLAN



TYP. LINTEL DETAIL



TYP. LINTEL DETAIL - SECTION



I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
QUALIFIED DESIGNER BCIN 20888
JUL 27 2015
DATE
SIGNATURE

client		location		project	
Gold Park Homes		Brampton		Mclaughlin and Mayfield	
marking name		date dwn		date dwn	
#		revisions		revisions	
1		ISSUED FOR CLIENT REVIEW		14	
2		ISSUED FOR PERMIT		5	
3					
4					

36b) EXTERIOR GUARDS @ JULIET BALCONY:

- FOR RAILING SPANNING MAXIMUM OF 6'-0";
- PROVIDE PREHN, METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
- FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
- VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
- PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

37) UNEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

- WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. O.B.C.- 9.32.1.3.(3)

39) CAPPED DRYER VENT

40) 1"x2" (19mmX38mm) BOTH SIDES OF STEEL.

- WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

42) PRECAST CONC. STEP

- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

44) SMOKE ALARM. O.B.C.- 9.10.19.

- PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
- PROVIDE 1 IN EACH BEDROOM
- INSTALLED AT OR NEAR CEILING
- ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALING COMPONENT.
- ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- CARBON MONOXIDE ALARM (CMA). O.B.C.- 9.33.4.
- WHERE THERE IS A FUEL BURNING APPLANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
- CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

45) MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY

- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 1.60 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.

47) GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSING, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C.- 9.10.13.15.

48) TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:

- 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
- 2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 3/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

49) EXTERIOR COLUMN W/ MASONRY PIER:

- MIN. 6"x6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
- TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
- 14"X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
- SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
- 3/4" AIR SPACE AROUND POST.
- OR
- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
- 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
- NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

49b) EXTERIOR COLUMN:

- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
- NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50) COLD CELLARS:

- FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
- COVER VENT W/ BUG SCREEN
- WALL MOUNTED LIGHT FIXTURE
- 1-1/2" FOR DOOR OPENING
- 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN. 4 RSI 0.7)
- INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

51) STUD WALL REINFORCEMENT:

- O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(c)&(e) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
- GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

FRAME CONSTRUCTION:

- ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
- BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOAD BEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

GROSS GLAZING AREA 'A'

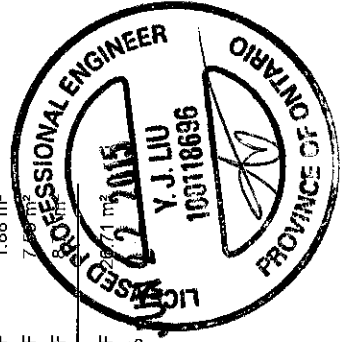
TOTAL PERIPHERAL WALL AREA	3326.91 SF	309.07 m²
FRONT GLAZING AREA	91.76 SF	8.52 m²
LEFT SIDE GLAZING AREA	20.25 SF	1.88 m²
RIGHT SIDE GLAZING AREA	67.92 SF	6.31 m²
REAR GLAZING AREA	126.44 SF	11.75 m²

TOTAL GLAZING AREA	306.37 SF	28.48 m²
TOTAL GLAZING PERCENTAGE	9.21 %	

GROSS GLAZING AREA OPT. 'A'

TOTAL PERIPHERAL WALL AREA	4118.70 SF	382.63 m²
FRONT GLAZING AREA	91.76 SF	8.52 m²
LEFT SIDE GLAZING AREA	20.25 SF	1.88 m²
RIGHT SIDE GLAZING AREA	81.69 SF	7.59 m²
REAR GLAZING AREA	93.78 SF	8.71 m²

TOTAL GLAZING AREA	287.48 SF	
TOTAL GLAZING PERCENTAGE	6.98 %	



FOR STRUCTURAL ONLY

◆ CLIENT SPECIFIC REVISIONS

DOORS	46	47
A	845x2030x45 (210"x66"x1-3/4")	
B	815x2030x35 (28"x68"x1-3/8")	
C	740x2030x35 (25"x68"x1-3/8")	
D	710x2030x35 (24"x68"x1-3/8")	
E	460x2030x35 (16"x68"x1-3/8")	
F	610x2030x35 (20"x68"x1-3/8")	
G	OVER SIZED EXTERIOR DOOR	

STEEL BEAMS
ST1 W 6 X 15
ST2 W 6 X 20
ST3 W 8 X 18
ST4 W 8 X 21
ST5 W 8 X 24

SCHEDULES

WD1	3/2" X 8" SPR	WD9	5/2" X 12" SPR
WD2	4/2" X 8" SPR	WD10	2/1 3/4" X 7 1/4" (2.0E) LVL
WD3	5/2" X 8" SPR	WD11	3/1 3/4" X 7 1/4" (2.0E) LVL
WD4	3/2" X 10" SPR	WD12	2/1 3/4" X 9 1/2" (2.0E) LVL
WD5	4/2" X 10" SPR	WD13	3/1 3/4" X 9 1/2" (2.0E) LVL
WD6	5/2" X 10" SPR	WD14	2/1 3/4" X 11 7/8" (2.0E) LVL
WD7	3/2" X 12" SPR	WD15	3/1 3/4" X 11 7/8" (2.0E) LVL
WD8	4/2" X 12" SPR		

LINTELS				
L10	4-7/8" X 3-1/2" X 5/16" L	L15	5-7/8" X 4" X 1/2" L	
L11	4-7/8" X 3-1/2" X 3/8" L	L16	7-1/8" X 4" X 3/8" L	
L12	4-7/8" X 3-1/2" X 1/2" L	L17	7-1/8" X 4" X 1/2" L	
L13	5-7/8" X 3-1/2" X 3/8" L			
L14	5-7/8" X 3-1/2" X 1/2" L			
L1	2 1/2" X 8" SPR			
L3	2 1/2" X 10" SPR			
L5	2 1/2" X 12" SPR			
L7	3-1/2" X 3-1/2" X 1/4" L			
L9	3-1/2" X 3-1/2" X 1/4" L			

PLAN/ELEVATION LEGEND

SMOKE ALARM	CARBON MONOXIDE ALARM (CMA)	FLOOR DRAIN
WATERPROOF DUPLEX OUTLET	DOUBLE JOIST	SOLID BEARING (SUPPORTED MEMBER)
VENTS AND INTAKES	P.T. PRESSURE TREATED LUMBER	POINT LOAD
HOSE BIB	G.T. GIRDER TRUSS	FLAT ARCH
EXHAUST FAN	A.F.F. ABOVE FINISHED FLOOR	2 STORY WALL
COLD CELLAR VENT	EXT. LIGHT FIXTURE (WALL MOUNTED)	UIS UNDER SIDE
STOVE VENT	HYDRO METER	FG FIXED GLAZING
FIRE PLACE VENT	GAS METER	GB GLASS BLOCK
DRYER VENT		BG BLACK GLASS

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

client

Gold Park Homes

project

Mclaughlin and Mayfield

location

Brampton

marketing name

I, DANIEL J. HANNINEN, declare that I have reviewed and take

design responsibility for the design work on behalf of RN Design

Limited under Division C, Part 3, Subsection 3.2.4 of the Building

Code. I am qualified, and the firm is registered, in the appropriate

classes/categories.

QUALIFIED DESIGNER BCIN 20888

FIRM BCIN 26995

DATE 27 2015 SIGNATURE

SIGNATURE.

model

38-8

scale

3/16" = 1'0"

PN design

Imagine - Inspire - Create



page

D3