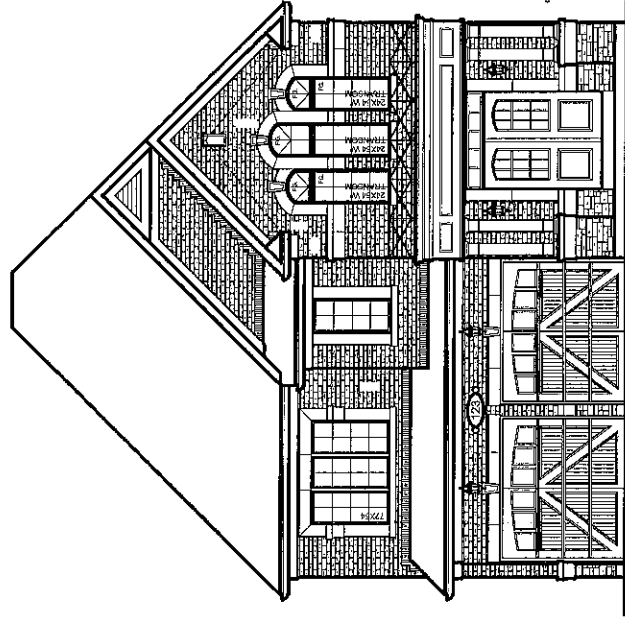
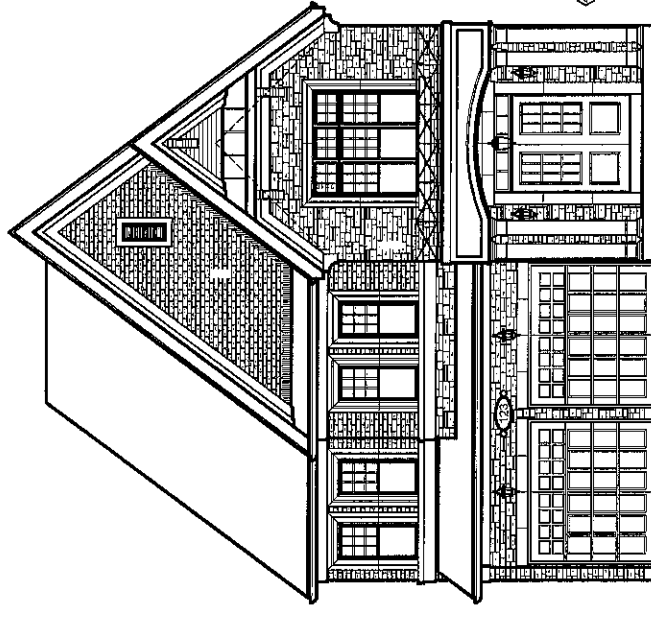




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

## Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN 'A' & 'B'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 SECOND FLOOR PLAN ELEV. 'A'
- A4 PARTIAL GROUND FLOOR PLAN ELEV. 'B'
- A5 PARTIAL SECOND FLOOR PLAN ELEV. 'B'
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR SIDE ELEVATION 'A' & 'B'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 LEFT SIDE ELEVATION 'B'
- A12 TYPICAL CROSS-SECTION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

## Areas:

|                        | ELEVATION 'A' |       | ELEVATION 'B' |       |
|------------------------|---------------|-------|---------------|-------|
|                        | SF            | SM    | SF            | SM    |
| GROUND FLOOR PLAN      | 1095.9        | 101.8 | 1095.9        | 101.8 |
| SECOND FLOOR PLAN      | 1453.3        | 135.0 | 1458.8        | 135.5 |
| TOTAL AREA             | 2549.2        | 236.8 | 2554.7        | 237.3 |
| COVERAGE INC PORCH     | 1533.4        | 142.5 | 1533.4        | 142.5 |
| COVERAGE NOT INC PORCH | 1465.9        | 136.2 | 1465.9        | 136.2 |

# Gold Park Homes McLaughlin and Mayfield HANDEL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the subdivision agreement. The Architect's responsibility is to review and approve or disapprove the plans and to provide a written explanation or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20888

DATE JUL 27 2015

SIGNATURE

client  
Gold Park Homes

project  
McLaughlin and Mayfield

location  
Brampton

marking name

| # | revisions                          | date       | dwn | chk | # | revisions         | date       | dwn | chk |
|---|------------------------------------|------------|-----|-----|---|-------------------|------------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW           | 04-JUL-14  | PH  | 10  | 5 | ISSUED FOR PERMIT | 16/06/2015 | RPA | DJH |
| 2 | FLOOR JOIST & TRUSS COORDINATION   | 22/08/2014 | FE  | DJH | 6 |                   |            |     |     |
| 3 | REVISED AS PER ARCH. CONTROL COMM. | 25/08/2014 | RPA | DJH | 7 |                   |            |     |     |
| 4 | REVISED AS PER ENGINEERING COMM.   | 27-May-15  | RPA | DJH | 8 |                   |            |     |     |

RN design  
Imagine - Inspire - Create



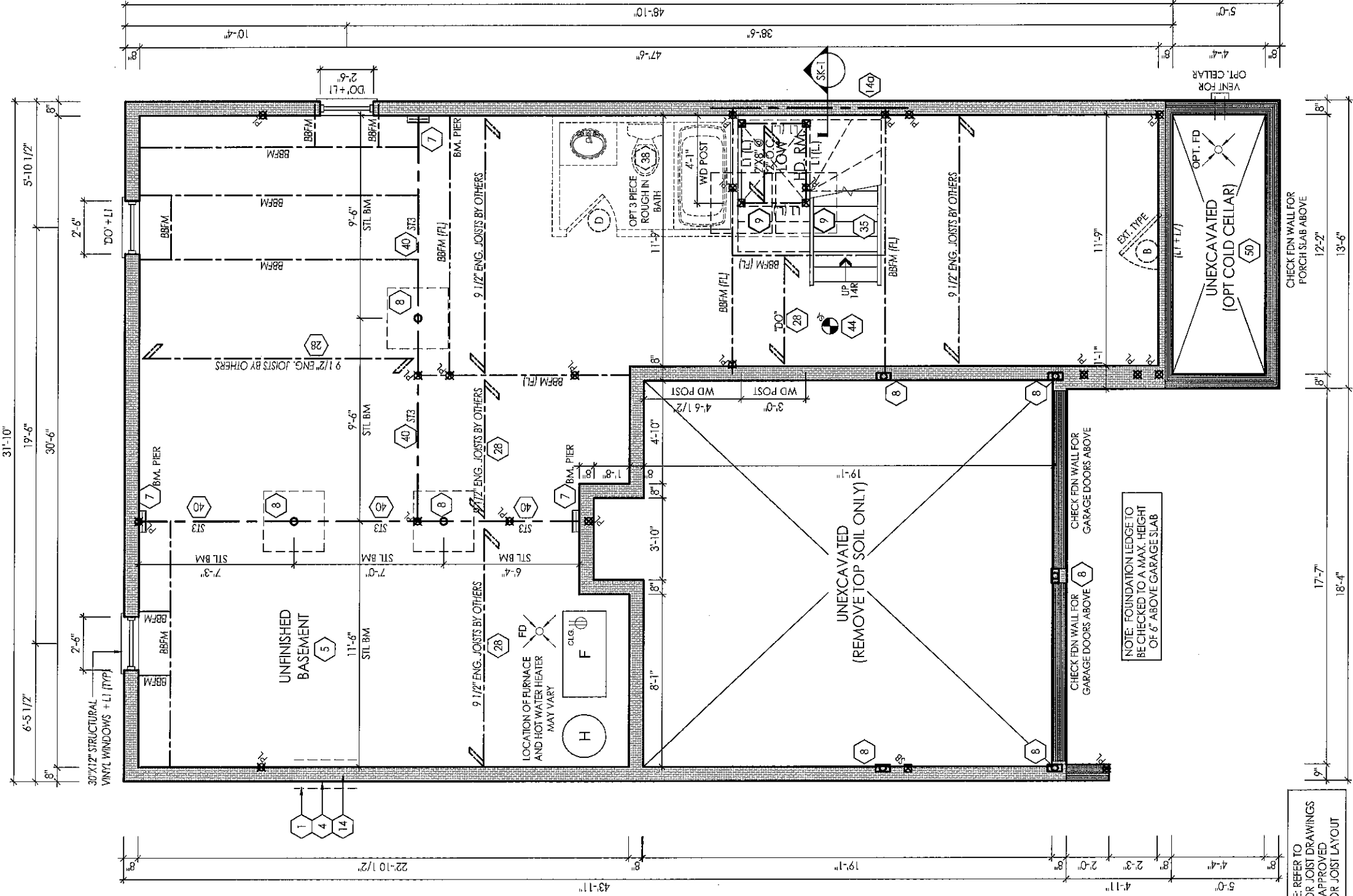
model  
38-5

scale  
N.T.S

project #  
13098

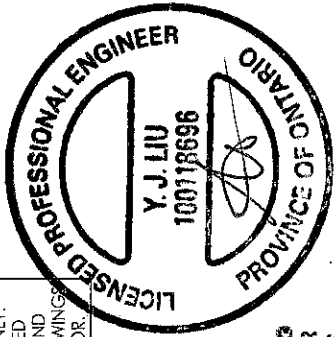
page

A0



NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.



JUN 22 2015

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

BASEMENT FLOOR PLAN 'A' & 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the zoning by-law. The City of Brampton Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL DESIGN APPROVAL  
JUN 22 2015  
JOHN G. HANNINEN LIMITED, ARCHITECT

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered in the appropriate class/categories.  
QUALIFIED DESIGNER BCIN 20888.  
FIRM BCIN 26995.  
JUL 27 2015  
DATE

SIGNATURE:

|         |                                  |                         |     |                |   |           |      |     |     |
|---------|----------------------------------|-------------------------|-----|----------------|---|-----------|------|-----|-----|
| client  |                                  | Gold Park Homes         |     | location       |   | Brampton  |      |     |     |
| project |                                  | McLaughlin and Mayfield |     | marketing name |   |           |      |     |     |
| #       | revisions                        | date                    | dwn | chk            | # | revisions | date | dwn | chk |
| 1       | ISSUED FOR CLIENT REVIEW         | 04-JUL-14               | ng  | 1a             | 5 |           |      |     |     |
| 2       | FLOOR JOIST & TRUSS COORDINATION | 22/08/2014              | FE  | DJH            | 6 |           |      |     |     |
| 3       | REVISED AS PER ENGINEERING COMM. | 27-May-15               | RPA | DJH            | 7 |           |      |     |     |
| 4       | ISSUED FOR PERMIT                | 16/06/2015              | RPA | DJH            | 8 |           |      |     |     |

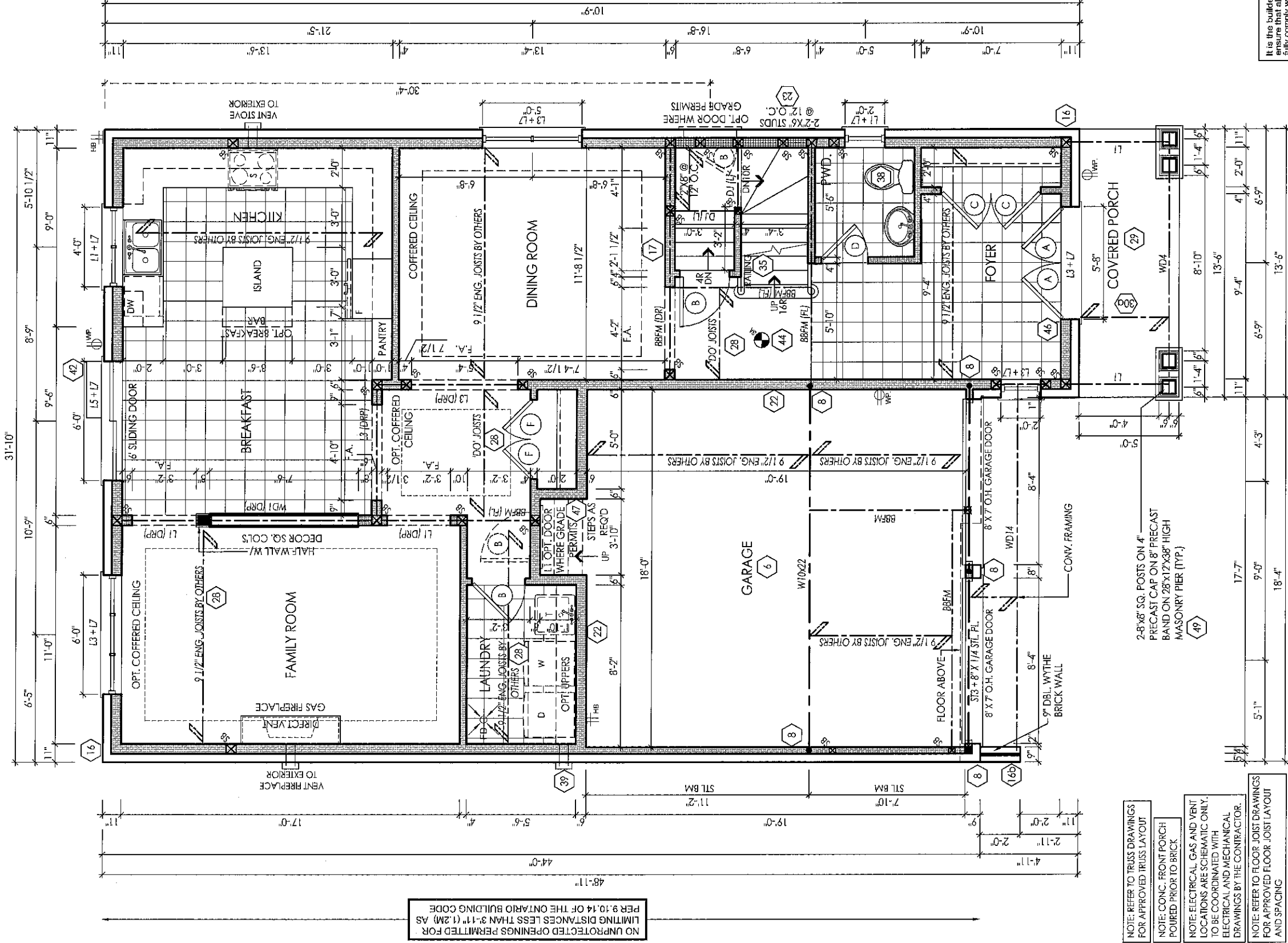
RN design  
Imagine - Inspire - Create



model 38-5  
scale 3/16" = 1'0"  
project # 13098

page

A1



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Architectural Guidelines and any other applicable regulations including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW APPROVAL  
John G. Williams Limited, Architect

client  
Gold Park Homes

project  
McLaughlin and Mayfield

location  
Brampton

marketing name

model  
38-5

scale  
3/16" = 1'0"

project #  
13098

page  
A2

revisions

| # | revisions                          | date        | dwn | chk | # | revisions | date | dwn | chk |
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| 1 | ISSUED FOR CLIENT REVIEW           | 04-JUL-14   | 10  | 5   |   |           |      |     |     |
| 2 | FLOOR JOIST & TRUSS COORDINATION   | 22-JUL-2011 | FE  | 6   |   |           |      |     |     |
| 3 | REVISED AS PER ENGINEERING COMMENT | 27-MAY-15   | RPA | 7   |   |           |      |     |     |
| 4 | ISSUED FOR PERMIT                  | 16-JUL-2011 | RPA | 8   |   |           |      |     |     |

1. DANIEL J. KANNINEN declares that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

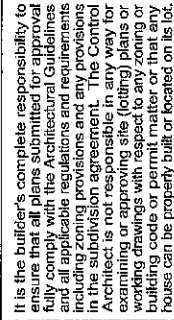
QUALIFIED DESIGNER BCIN 200885  
FIRM BCIN 26095-5

DATE  
27/7/2015

SIGNATURE



SECOND FLOOR PLAN ELEV. 'A'



ARCHITECTURAL REVIEW &amp; APPROVAL

John C. Williams, Int'l. relations

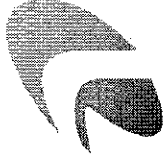
client  
GOLD PARK HOMES

location  
BRAPTON

project  
MELAUGHLIN AND MAYFIELD

| # | revisions                          | date       | down | chk   | # | revisions | date | down | chk |
|---|------------------------------------|------------|------|-------|---|-----------|------|------|-----|
| 1 | ISSUED FOR CLIENT REVIEW           | 04-JUL-14  | ng   | 10    | 5 |           |      |      |     |
| 2 | FLOOR JOIST & TRUSS COORDINATION   | 22/08/2014 | FE   | D.J.H | 6 |           |      |      |     |
| 3 | REVISED AS PER ENGINEERING CONSULT | 27-May-15  | RPA  | D.J.H | 7 |           |      |      |     |
| 4 | ISSUED FOR PERMIT                  | 16/06/2015 | RPA  | D.J.H | 8 |           |      |      |     |

**RN design**  
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page

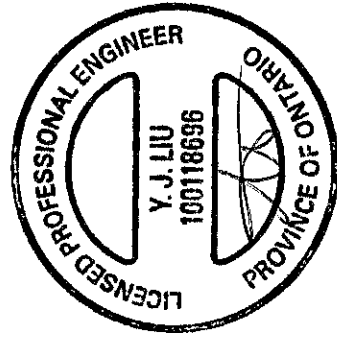
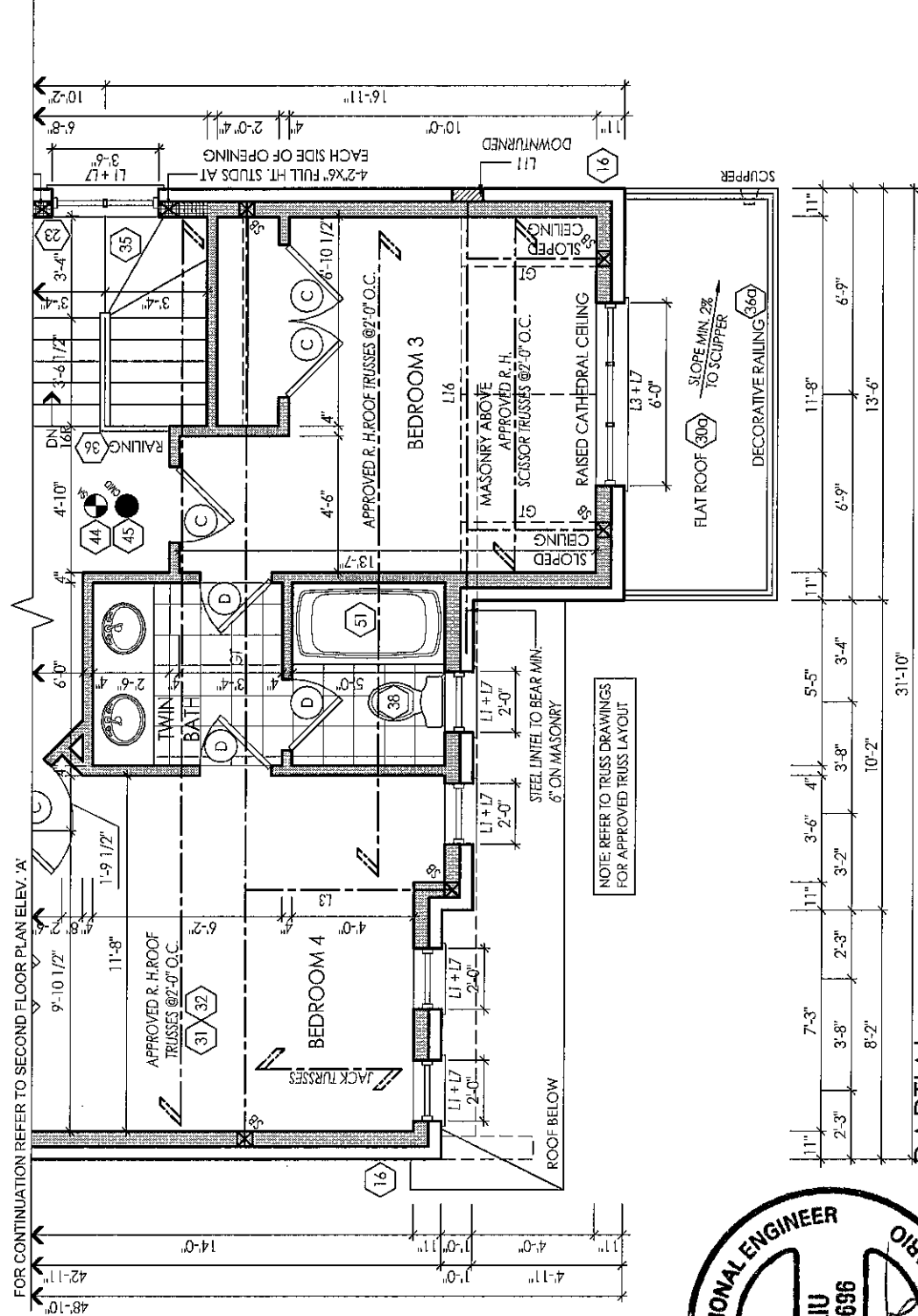
A<sup>3</sup>

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20888.  
FIRM BCIN 26995. 2047

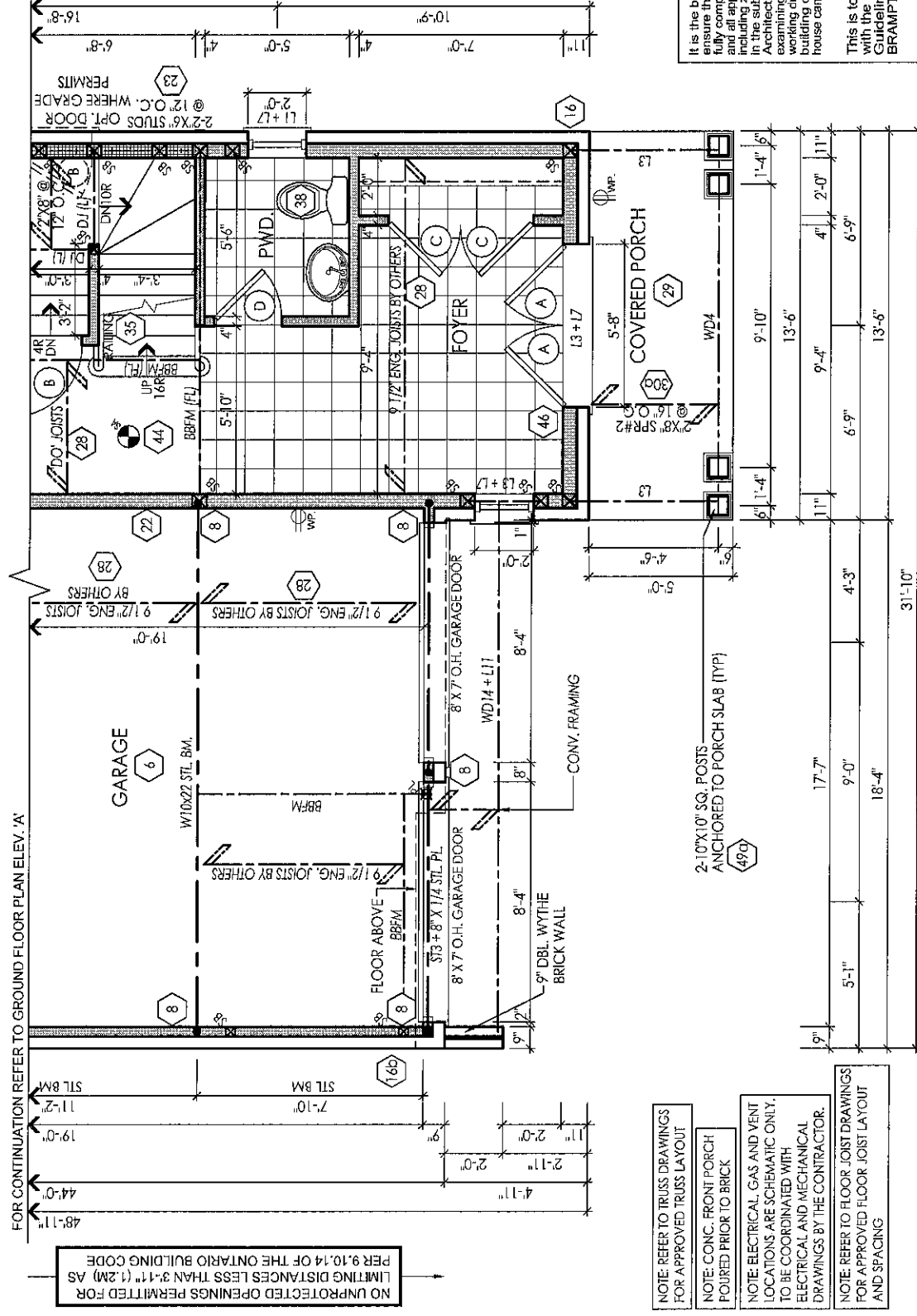
DATE 10/27/2016 SIGNATURE [Signature]

**SIGNATURE:**



JUN 22 2015

**FOR STRUCTURAL ONLY EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST & FLOOR LVL BEAM DESIGNS**



FOR APPROVED RUSS LAYOUT:

NOTE: CONC. FRONT PORCH  
POURED PRIOR TO BRICK

**NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY, TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.**

**NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

~~APPROVED FOR RELEASE APPROVAL~~

100

James G. Thompson

|         |                 |                |         |
|---------|-----------------|----------------|---------|
| client  | GOLD PARK HOMES | location       | BRAPTON |
| project |                 | marketing name |         |

**RN design**  
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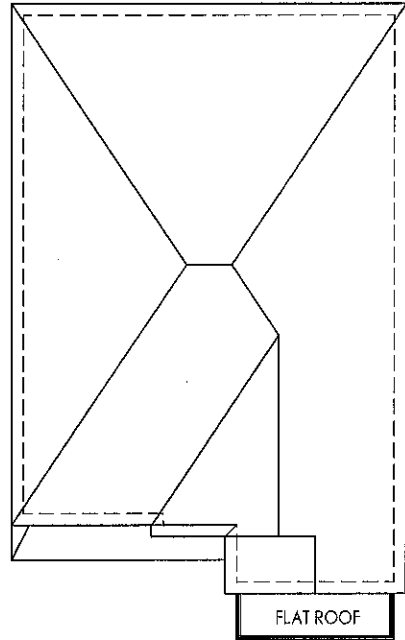
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| 1 | ISSUED FOR CLIENT REVIEW         | 04-JUL-14  | PG  |     | 5 |           |      |     |     |
| 2 | FLOOR, LOST & TRUSS COORDINATION | 22/08/2014 | FE  |     | 6 |           |      |     |     |
| 3 | REVISED AS PER ENGINEERING COMM. | 27-May-15  | RFA |     | 7 |           |      |     |     |
| 4 | ISSUED FOR PERMIT                | 16/06/2015 | RFA |     | 8 |           |      |     |     |

|              |           |
|--------------|-----------|
| model        | project # |
| 38-5         | 13098     |
| scale        |           |
| 3/16" = 1'0" |           |

DATE: 2-27-2007

page

A4



ROOF PLAN 'A'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

31

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

1" X 6" DECOR ALUM. FRIEZE BOARD (TYP.)

8" PRECAST CONC. HEADER & SURROUND (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

PAINTED METAL FLASHING W/ CAULKING TO MATCH

U/S OF GARAGE

8" PRECAST CONC. HEADER W/ CENTER KEYSTONE (TYP.)

4"x8" PRECAST CONC. BAND (TYP.)

TOP OF BAND

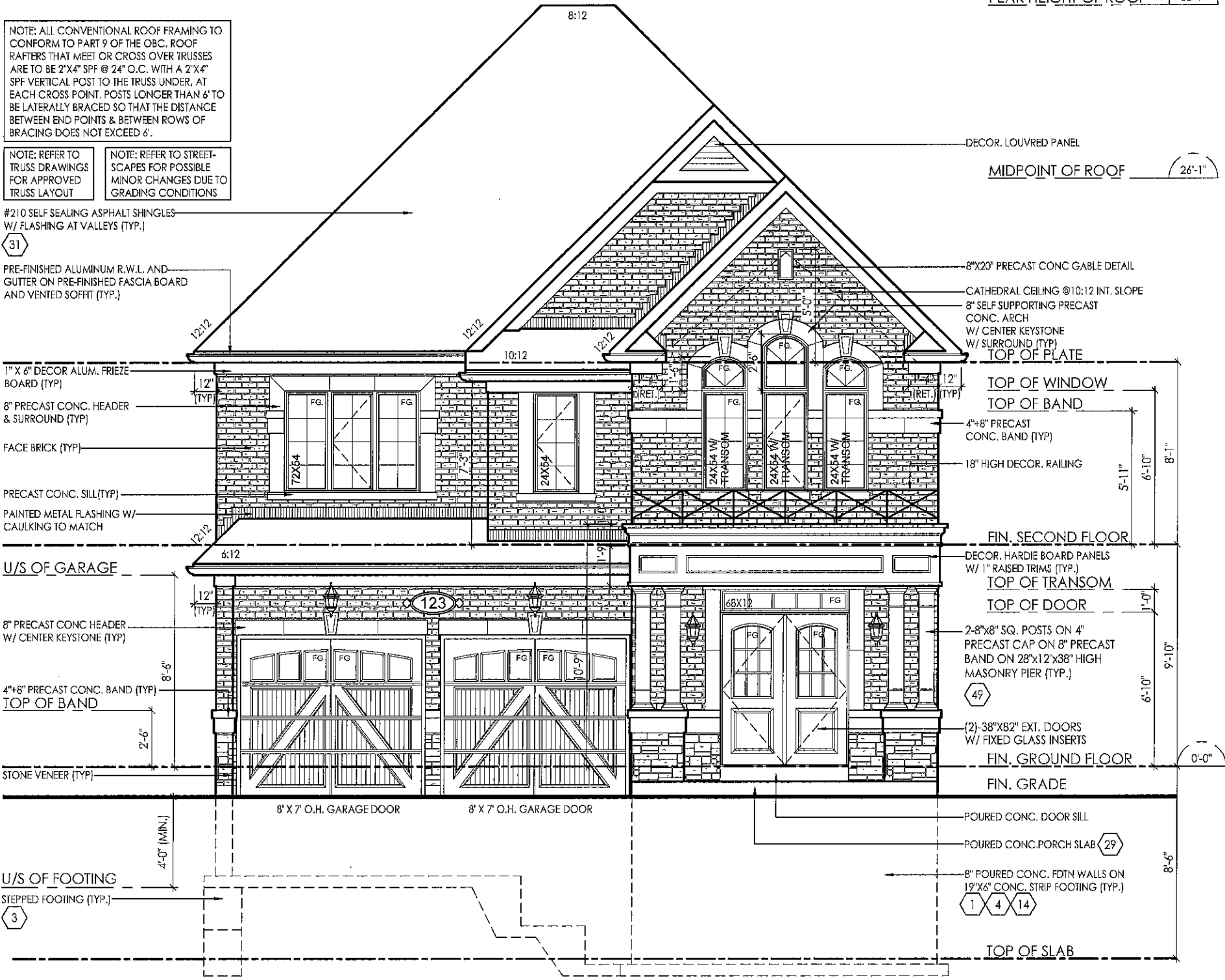
STONE VENEER (TYP.)

U/S OF FOOTING

STEPPED FOOTING (TYP.)

3

FRONT ELEVATION 'A'



PEAK HEIGHT OF ROOF 33'-9"

MIDPOINT OF ROOF 26'-1"

DECOR. LOUVRED PANEL

8"x20" PRECAST CONC GABLE DETAIL

CATHEDRAL CEILING @10:12 INT. SLOPE

8" SELF SUPPORTING PRECAST CONC. ARCH

W/ CENTER KEYSTONE

W/ SURROUND (TYP.)

TOP OF PLATE

TOP OF WINDOW

TOP OF BAND

4"x8" PRECAST CONC. BAND (TYP.)

18" HIGH DECOR. RAILING

FIN. SECOND FLOOR

DECOR. HARDIE BOARD PANELS W/ 1" RAISED TRIMS (TYP.)

TOP OF TRANSOM

TOP OF DOOR

2-8"x8" SQ. POSTS ON 4" PRECAST CAP ON 8" PRECAST BAND ON 28"x12"x38" HIGH MASONRY PIER (TYP.)

(2)-38"x82" EXT. DOORS W/ FIXED GLASS INSERTS

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. DOOR SILL

POURED CONC. PORCH SLAB

8" POURED CONC. FDN WALLS ON 19"x6" CONC. STRIP FOOTING (TYP.)

1 4 14

TOP OF SLAB

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

1 JUL 27 2015

John S. Williams Limited, Architect

model 38-5  
scale 3/16" = 10"  
project # 13098

page

A5



location Brampton

client Gold Park Homes

project Mclaughlin and Mayfield

| # | revisions                          | date       | dwn | chk | # | revisions | date | dwn | chk |
|---|------------------------------------|------------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW           | 04-JUL-12  | ng  | pat | 5 |           |      |     |     |
| 2 | REVISED AS PER ARCH. CONTROL COMM. | 25/09/2014 | RPA | DJA | 6 |           |      |     |     |
| 3 | ISSUED FOR PERMIT                  | 16/02/2015 | RPA | DJA | 7 |           |      |     |     |
| 4 |                                    |            |     |     | 8 |           |      |     |     |

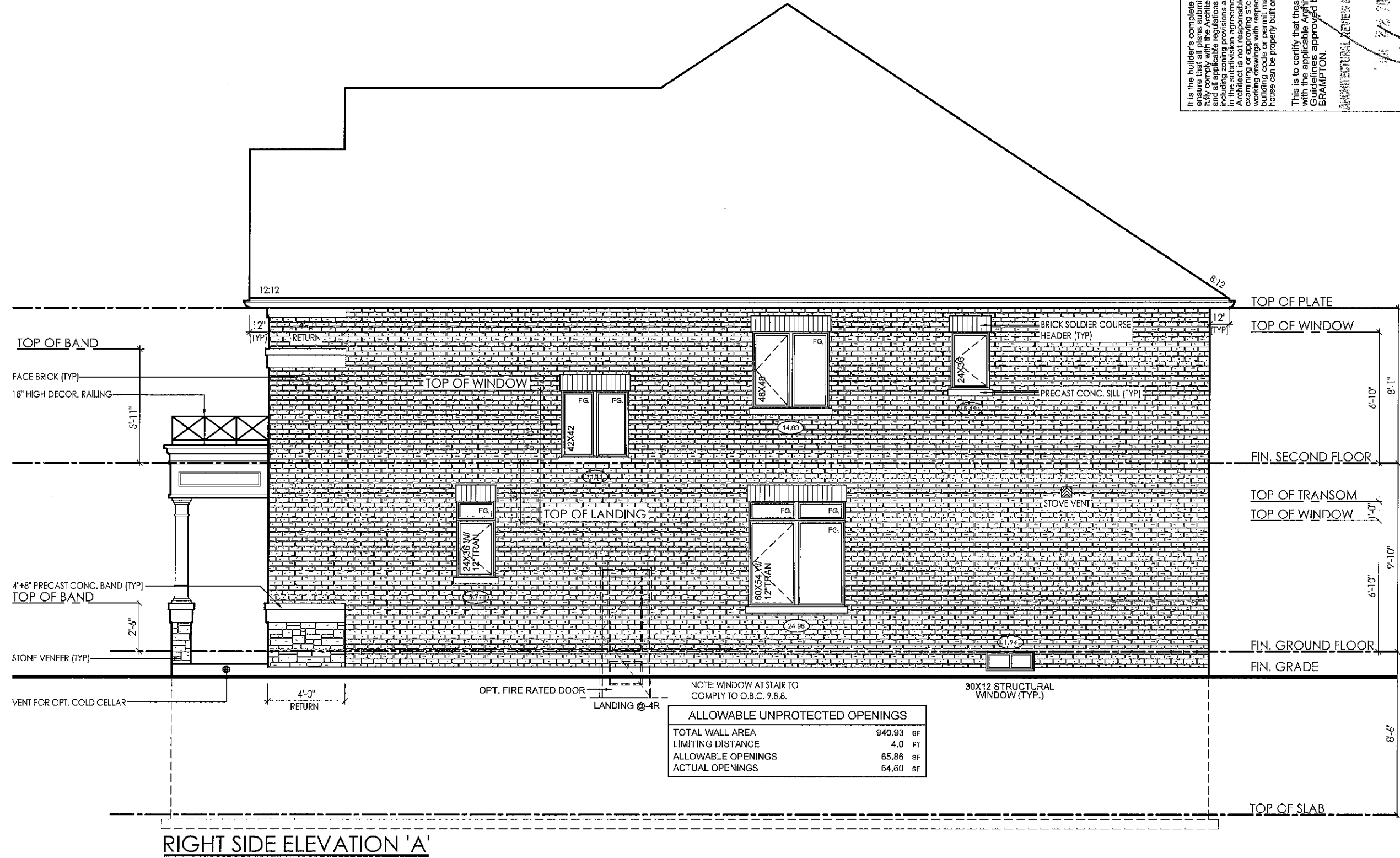
I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20883

DATE JUL 27 2015

SIGNATURE

SIGNATURE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning, building, and fire codes in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

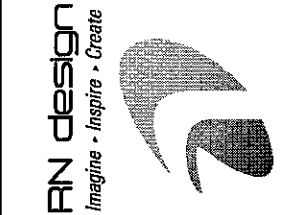
ARCHITECTURAL REVIEW & APPROVAL

DATE: 2/7/2015

JOHN G. HANNINEN, ARCHT.

model 38-5  
scale 3/16" = 1'0"  
project # 13098  
page

A6



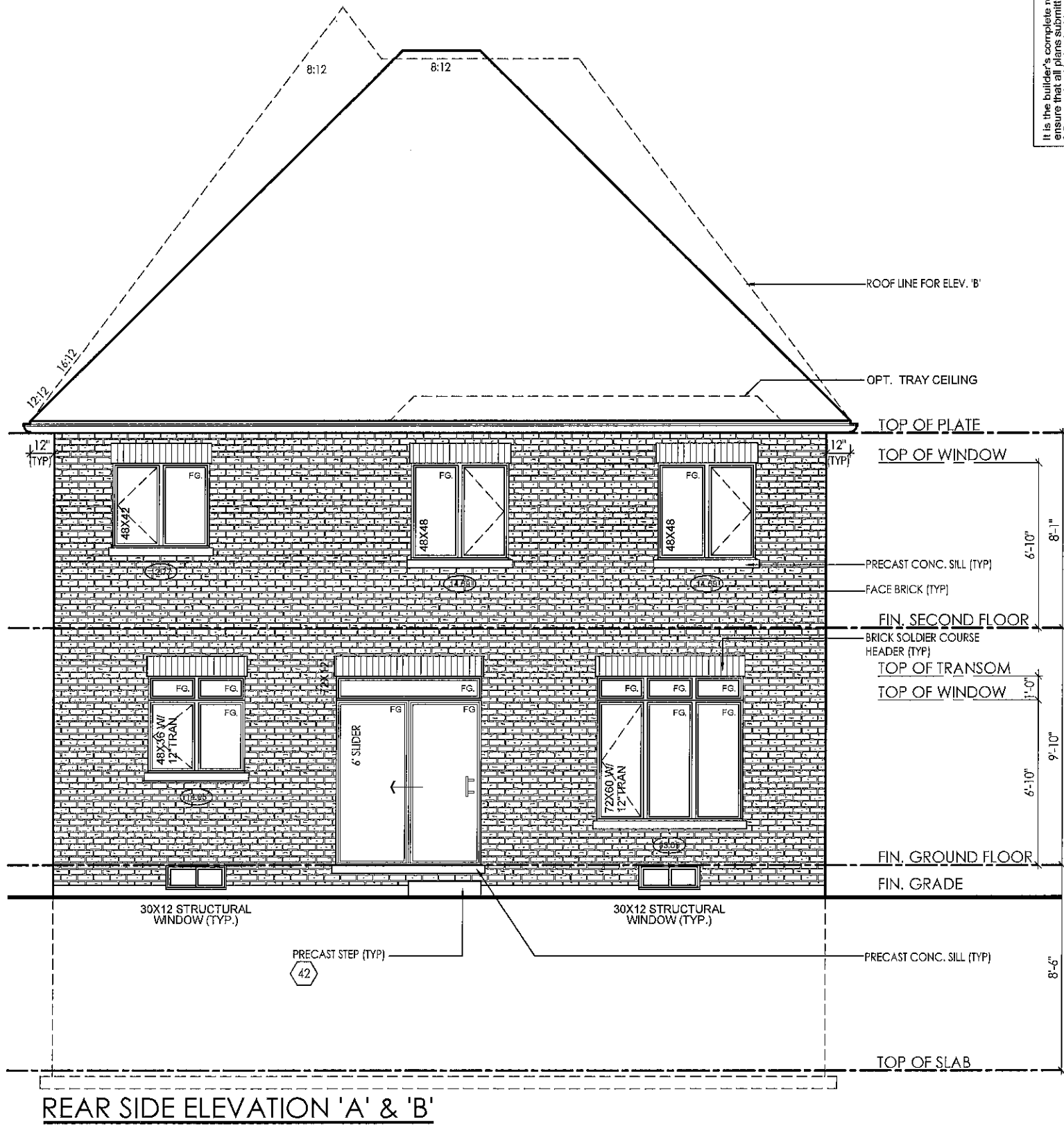
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|-----------------|--|------------------------------------|--|-------------------------|-----------|
| client          |  | location                           |  | project                 |           |
| Gold Park Homes |  | Brampton                           |  | McLaughlin and Mayfield |           |
| #               |  | revisions                          |  | date dwn chk            |           |
| 1               |  | ISSUED FOR CLIENT REVIEW           |  | 04-JUL-14               | ng pas 5  |
| 2               |  | REVISED AS PER ARCH. CONTROL COMM. |  | 25/08/2014              | RPA DJH 6 |
| 3               |  | ISSUED FOR PERMIT                  |  | 16/04/2015              | RPA DJH 7 |
| 4               |  |                                    |  |                         |           |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of FN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER, BCIN-20883  
FIRM, BCIN-20995

DATE: 2/7/2015

SIGNATURE:



REAR SIDE ELEVATION 'A' & 'B'

It is the builder's complete responsibility to ensure that all construction complies with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

DATE: 2.2.2015

JOHN G. MCLAUGHLIN, Architect

| client                  |                          | location       |       |
|-------------------------|--------------------------|----------------|-------|
| Gold Park Homes         |                          | Brampton       |       |
| project                 |                          | marketing name |       |
| McLaughlin and Mayfield |                          |                |       |
| #                       | revisions                | date dwn       | chk # |
| 1                       | ISSUED FOR CLIENT REVIEW | 04-JUL-14      | 10    |
| 2                       | ISSUED FOR PERMIT        | 16-OCT-2015    | 5     |
| 3                       |                          |                |       |
| 4                       |                          |                |       |

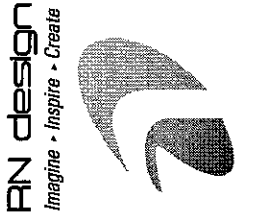
I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

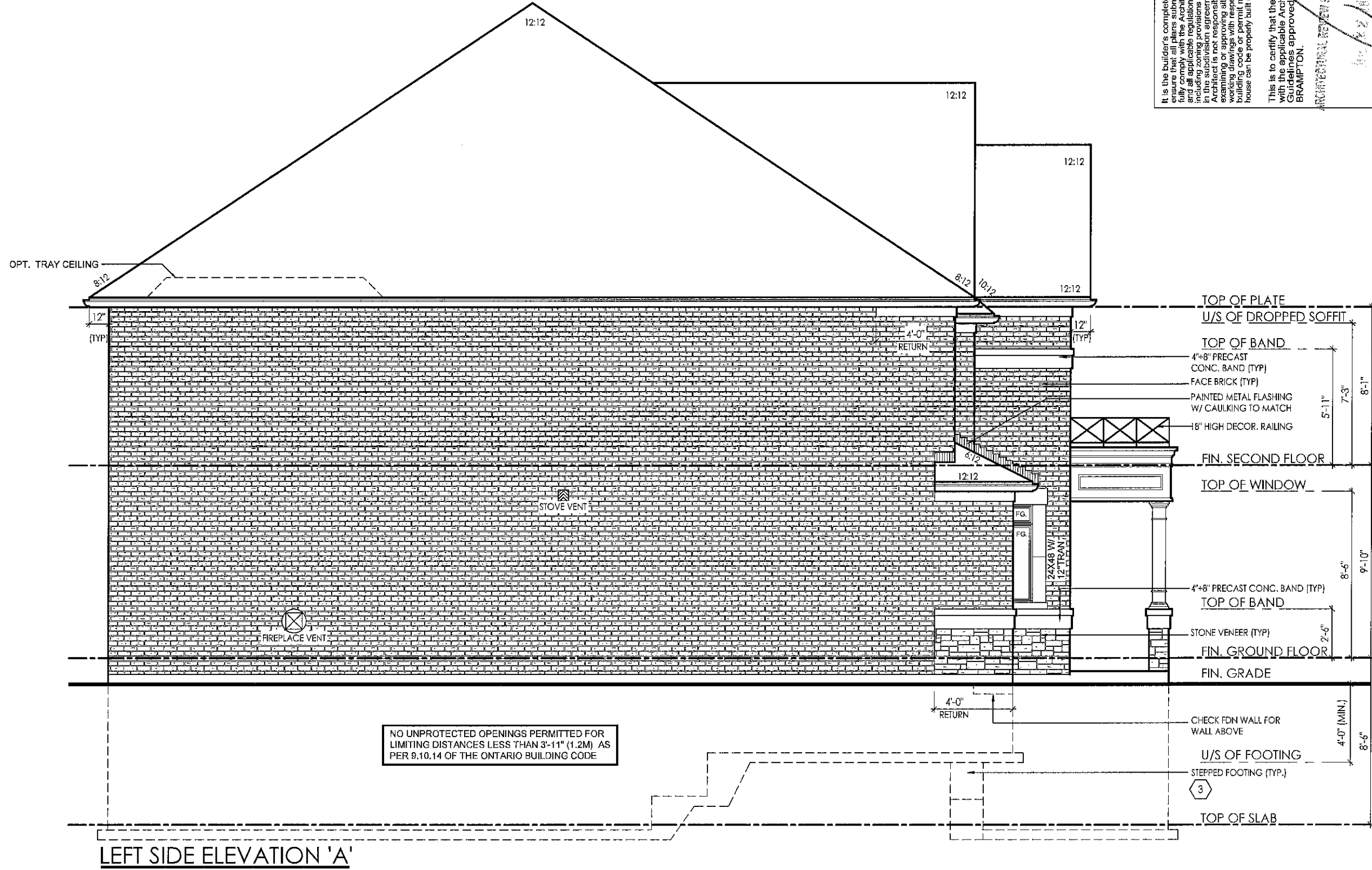
QUALIFIED DESIGNER BCIN 26888

FIRM BCIN 26925

DATE 27 2015 SIGNATURE

SIGNATURE





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

DATE: 2/2/2015

CHLOE E. WILLIAMS LIMITED, ARCHITECT



| client          |                                    | location   |     | project                 |   | marking name |      |     |     |
|-----------------|------------------------------------|------------|-----|-------------------------|---|--------------|------|-----|-----|
| Gold Park Homes |                                    | Brampton   |     | Mclaughlin and Mayfield |   |              |      |     |     |
| #               | revisions                          | date       | dwn | chk                     | # | revisions    | date | dwn | chk |
| 1               | ISSUED FOR CLIENT REVIEW           | 04-JUL-14  | ng  | cs                      | 5 |              |      |     |     |
| 2               | REVISED AS PER ARCH. CONTROL COMM. | 25/08/2014 | RPA | DJH                     | 6 |              |      |     |     |
| 3               | ISSUED FOR PERMIT                  | 16/06/2015 | RPA | DJH                     | 7 |              |      |     |     |
| 4               |                                    |            |     |                         | 8 |              |      |     |     |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

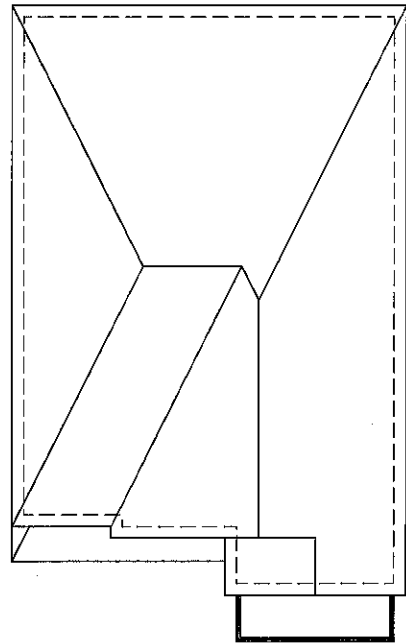
QUALIFIED DESIGNER RCPN 20558

FIRM BCIN 26995

DATE 2/2/2015

SIGNATURE

SIGNATURE



ROOF PLAN 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

31

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

1" X 6" DECOR ALUM. FRIEZE BOARD (TYP)

8" PRECAST CONC. HEADER & SURROUND (TYP)

FACE BRICK (TYP)  
4"x8" PRECAST CONC. BAND (TYP)

TOP OF BAND

STONE VENEER  
W/ METAL FLASHING BEHIND(TYP)

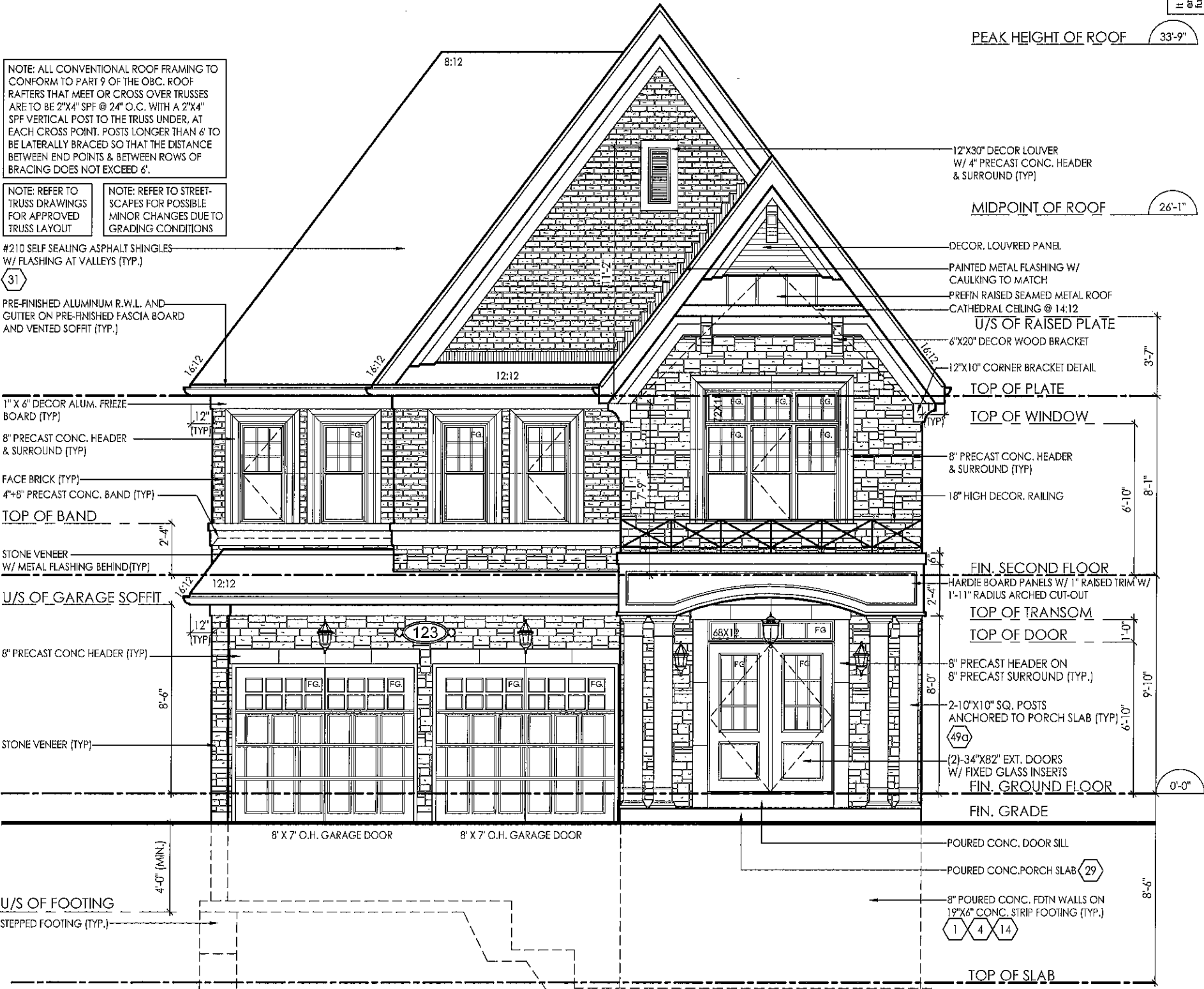
U/S OF GARAGE SOFFIT

8" PRECAST CONC HEADER (TYP)

STONE VENEER (TYP)

U/S OF FOOTING  
STEPPED FOOTING (TYP.)

FRONT ELEVATION 'B'



PEAK HEIGHT OF ROOF 33'-9"

MIDPOINT OF ROOF 26'-1"

12"X30" DECOR LOUVER  
W/ 4" PRECAST CONC. HEADER  
& SURROUND (TYP)

DECOR, LOUVRED PANEL  
PAINTED METAL FLASHING W/  
CAULKING TO MATCH  
PREFIN RAISED SEAMED METAL ROOF  
CATHEDRAL CEILING @ 14:12  
U/S OF RAISED PLATE  
6"X20" DECOR WOOD BRACKET  
12"X10" CORNER BRACKET DETAIL

TOP OF PLATE

TOP OF WINDOW

8" PRECAST CONC. HEADER  
& SURROUND (TYP)  
18" HIGH DECOR. RAILING

FIN. SECOND FLOOR

HARDIE BOARD PANELS W/ 1" RAISED TRIM W/  
1'-11" RADIUS ARCHED CUT-OUT

TOP OF TRANSOM

TOP OF DOOR

8" PRECAST HEADER ON  
8" PRECAST SURROUND (TYP.)

2-10"x10" SQ. POSTS  
ANCHORED TO PORCH SLAB (TYP.)

49a

(2)-34"x82" EXT. DOORS  
W/ FIXED GLASS INSERTS

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. DOOR SILL

POURED CONC. PORCH SLAB 29

8" POURED CONC. FDN WALLS ON  
19"x6" CONC. STRIP FOOTING (TYP.)

1 4 14

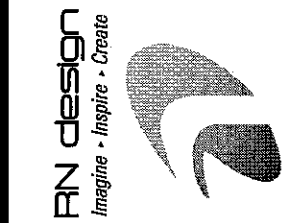
TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements including, but not limited to, the provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams Limited, Architect



| client          |                                    | location   |     | project                 |   | marking name |      |     |     |
|-----------------|------------------------------------|------------|-----|-------------------------|---|--------------|------|-----|-----|
| Gold Park Homes |                                    | Brampton   |     | Mclaughlin and Mayfield |   |              |      |     |     |
| #               | revisions                          | date       | dwn | chk                     | # | revisions    | date | dwn | chk |
| 1               | ISSUED FOR CLIENT REVIEW           | 06-JUL-14  | ng  | tpa                     | 5 |              |      |     |     |
| 2               | REVISED AS PER ARCH. CONTROL COMM. | 25/08/2014 | RPA | DJH                     | 6 |              |      |     |     |
| 3               | ISSUED FOR PERMIT                  | 16/06/2015 | RPA | DJH                     | 7 |              |      |     |     |
| 4               |                                    |            |     |                         | 8 |              |      |     |     |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of J&N Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN-208888  
FIRM BCIN-26995

DATE 27-2015  
SIGNATURE

SIGNATURE



It is the builder's complete responsibility to ensure that all plans and specifications fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter on that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

John G. [Signature] Architect



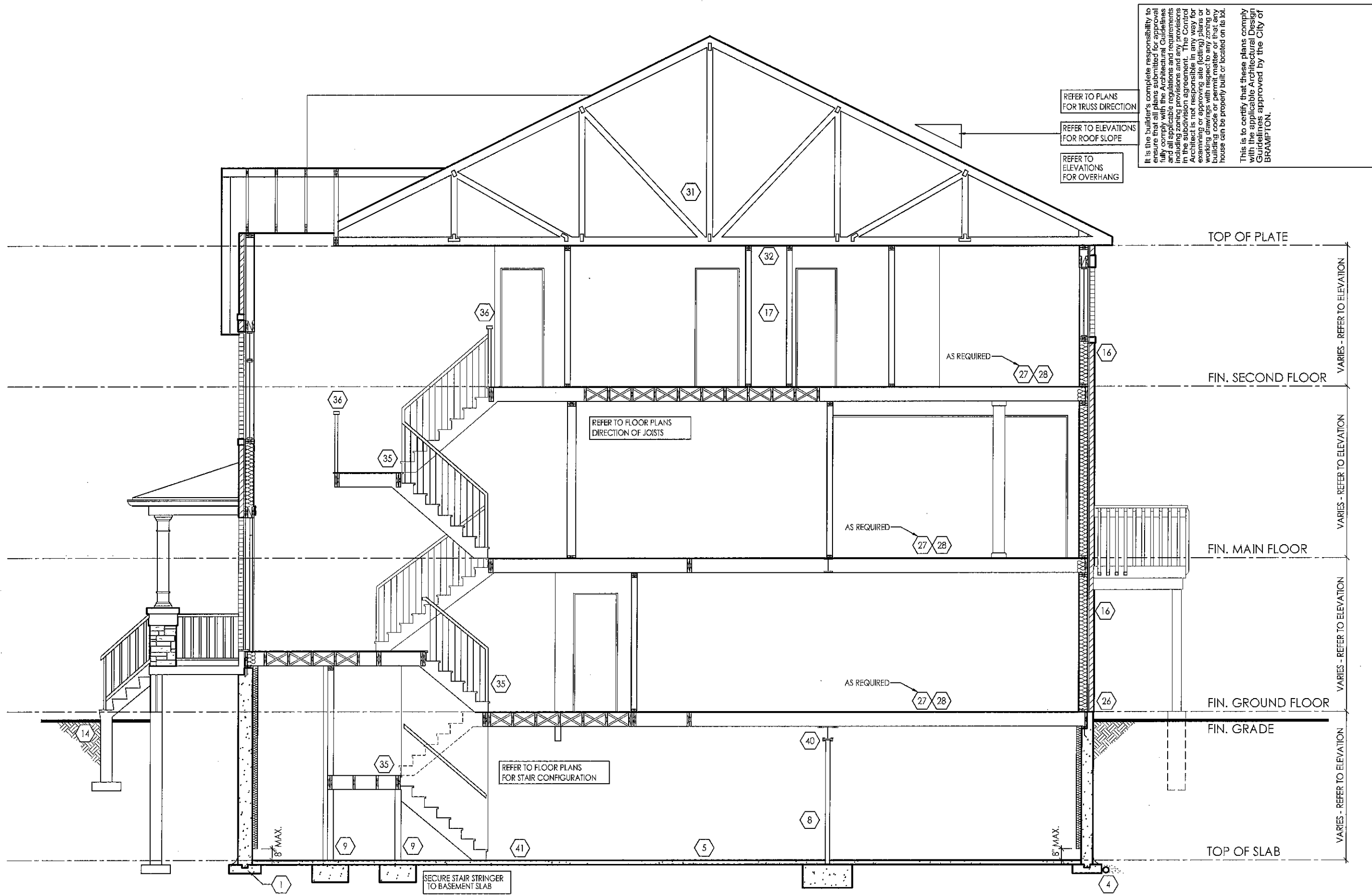
| client                  |                                     | location       |     |   |           |      |     |
|-------------------------|-------------------------------------|----------------|-----|---|-----------|------|-----|
| Gold Park Homes         |                                     | Brampton       |     |   |           |      |     |
| project                 |                                     | marketing name |     |   |           |      |     |
| McLaughlin and Mayfield |                                     |                |     |   |           |      |     |
| #                       | revisions                           | date           | dwg | # | revisions | date | dwg |
| 1                       | ISSUED FOR CLIENT REVIEW            | 04-JUL-14      | ng  | 5 |           |      |     |
| 2                       | REVISED AS PER ARCH. CONTROL COMMA. | 25/08/2014     | RPA | 6 |           |      |     |
| 3                       | ISSUED FOR PERMIT                   | 14/06/2015     | RPA | 7 |           |      |     |
| 4                       |                                     |                |     | 8 |           |      |     |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER: [Signature]  
DATE: JUL 27 2015

SIGNATURE: [Signature]  
DATE:





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control of the Building Act, 1992, requires the builder to examine or approve, site (filling) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

**TYPICAL CROSS SECTION - 3 STOREY (BRICK)**  
N.T.S.

model  
**38-5**

scale  
**3/16" = 1'0"**

project #  
**13098**

page

**PN design**  
Imagine • Inspire • Create

client  
**Gold Park Homes**

location  
**Brampton**

project  
**McLaughlin and Mayfield**

marking name

| # | revisions                | date      | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------|-----------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW | 04-JUL-14 | ng  |     | 5 |           |      |     |     |
| 2 | ISSUED FOR PERMIT        | 16-SEP-20 | WPA | DJH | 6 |           |      |     |     |
| 3 |                          |           |     |     | 7 |           |      |     |     |
| 4 |                          |           |     |     | 8 |           |      |     |     |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of PN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

**PN DESIGN**  
QUALIFIED DESIGNER BCIN 20588  
**2015**  
DATE

SIGNATURE: \_\_\_\_\_



165 **BRICK VENEER CONSTRUCTION @ GARAGE**

- O.B.C. 9.23.
- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2-7" (800mm) O.C. @ 81M. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2
- ◆ 2 5/8mm PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6
- ◆ 2" X 4" (38mmX 89mm) WOOD STUDS @ 24" (600mm) O.C. (ROOF ONLY)
- ◆ 2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. (ROOF + 1 FLR)
- 1/2" (12.7mm) GYPSUM BOARD
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 19.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING LESS THAN 4-0" LIMITING DISTANCE:

O.B.C. SB-3 WALL = EW1B (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

-ADD R15 (RSI 2.44) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.ft.

-REDUCE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE X GYPSUM BD.

17 **INTERIOR STUD WALLS:**

- O.B.C. 19.23.10.1.
- ◆ 2" X 4" (38mmX 89mm) WOOD STUDS @ 24" (600mm) O.C. OR
- ◆ 2" X 6" (38mmX 140mm) WOOD STUDS @ 24" (600mm) O.C. W/
- KITCHEN WALL WOOD STUDS @ 16" O.C.
- DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

18 **BEARING STUD WALL (BASEMENT):**

- ◆ 2" X 4" (38mmX 89mm) WOOD STUDS @ 24" (600mm) O.C. OR
- ◆ 2" X 6" (38mmX 140mm) WOOD STUDS @ 24" (600mm) O.C. W/
- DRL 2" X 4" OR 2" X 6" TOP PLATE
- 2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.
- 1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7-10" (2400mm) O.C.
- FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

19 **PARTY WALL - BLOCK:**

- O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE US OF ROOF DECK
- SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
- 2" X 7" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
- ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.1(1) & TABLE 2.1.1. -SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

19b **PARTY WALL - BLOCK (AGAINST GARAGE):**

- O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- R20 (RSI 3.52) RIGID INSULATION
- 7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
- 1/2" (12.7mm) GYPSUM BOARD @ WALL & US OF CEILING BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- REG. INSULATION VALUES:
- INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
- RIGID INSULATION = 20.00
- LOW DENSITY CONCRETE BLOCK = 1.70
- WOOD FRAME W/ GYPSUM = 2.72
- AIR FILM - MOVING = 0.68
- AIR FILM - STILL = 0.17
- TOTAL "R" VALUE = 25.27

19b **FIREWALL:**

- O.B.C. 9.10.11.1 & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
- ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47.
- 1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
- 2" X 7" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
- SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
- 7 1/2" (190mm) CONC. BLOCK MIN. 2 HR. FIRE-RESISTANT RATING
- EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
- STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.1(1) & TABLE 2.1.1. -SB-2
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORRELLING
- EXTEND 5/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.1(1)
- WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.1(2)

20 **PARTY WALL - FOUNDATION:**

- O.B.C. 9.15.4.2
- 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
- COMPRESSIVE STRENGTH AFTER 28 DAYS
- FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2
- ◆ **PARTY WALL - WOOD STUD:**
- O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
- MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE US OF ROOF DECK
- ◆ 2 ROWS 2"X4"(38mmX 89mm) STUDS @ 24"(600mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATES
- FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
- 5/8" (16mm) TYPE "X" GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
- ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 19.23.10.1 =
- FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

22 **GARAGE WALL & CEILING:**

- O.B.C. 9.10.9.16.(3)
- 1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL W/ TAPED JOINTS BETWEEN HOUSE AND GARAGE
- TAPE AND SEAL ALL JOINTS GAS TIGHT
- R22 (RSI 3.87) INSULATION IN WALLS
- R21 (RSI 5.41) INSULATION IN CEILINGS W/ PAPER TAPE

- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4., FOR FLOOR ABOVE.
- INSULATION AROUND DUCTS AND PIPING NOTTO ENCROACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
- 1/2" (12.7mm) GYPSUM BOARD
- ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4-3 1/4" (82mm) TOE NAILS
- BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7/8" (200mm) O.C.

22b **WALLS ADJACENT TO ATTIC SPACE:**

- 1/2" (12.7mm) GYPSUM BOARD
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ◆ 2" X 6" (38mmX 140mm) WOOD STUDS @ 24" (600mm) O.C.
- ◆ R22 (RSI 3.87) INSULATION
- 1/2" (12.7mm) GYPSUM BOARD OR 7.5mm PLYWOOD SHEATHING ON ATTIC SIDE
- ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

23 **DOUBLE VOLUME WALLS:**

- O.B.C. 9.23.10.1.
- 3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
- REFER TO PLAN FOR STUD SPECIFICATION
- STUDS FASTENED AT TOP & BOTTOM WITH 3/3 1/4" (82mm) TOE NAILS
- DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7/8" (200mm) O.C.
- SOLID BRIDGING AT 3'-11" (1200mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. T.2.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

24 **EXPOSED FLOOR:**

- FLOOR AS PER NOTE # 28
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- R31 (RSI 5.46) INSULATION
- VENTED ALUMINUM SOFFIT

24b **SUNKEN FINISHED AREAS:**

- USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
- FLOOR STRUCTURE AS PER NOTE # 28.

25 **DOUBLE MASONRY WYTHE WALL:**

- O.B.C. 9.20.8.2.
- 3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
- WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
- SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
- 6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
- NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.
- ◆ **CORREL MASONRY VENEER:**
- MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

25b **FLOOR ASSEMBLIES:**

26 **SILL PLATE:**

- O.B.C. 9.23.7.
- ◆ DOUBLE 2" X 4" (38mm X 89mm) PLATE
- 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.
- SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSIONING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

27 **BRIDGING & STRAPPING:**

- O.B.C. 9.23.9.4.
- a) STRAPPING
- 1" X 3" (19mmX 64mm) NAILED TO US OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
- FASTENED TO SILL OR HEADER @ ENDS
- b) BRIDGING
- 1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
- c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
- 1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
- a) FURRING OR PANEL TYPE CEILING
- STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

28 **FLOOR ASSEMBLY:**

- O.B.C. 9.23.14.3, 9.23.14.4
- ◆ 7/8" (22.2mm) WATERBOARD (R-1 GRADE) OR EQUIVALENT
- FLOOR JOISTS AS PER FLOOR PLANS

29 **PORCH SLABS ABOVE COLD CELLAR:**

- O.B.C. 9.39.1.4.
- REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
- 4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
- REINFORC WITH 10M BARS @ 7/8" (200mm) EACH WAY
- 1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
- 3" (75mm) END BEARING ON FOUNDATION WALL
- 23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

30 **EXTERIOR BALCONY ASSEMBLY:**

- 1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
- 2'X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING OR 2'X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2'X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2'X2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/50 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

30b **EXTERIOR FLAT ROOF ASSEMBLY:**

- SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT
- INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- 1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
- 3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2'X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
- REQUIRED FOR OVER HEATED SPACES:
- ADD 2'X2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)
- ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
- ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

31 **ROOF ASSEMBLIES:**

31b **TYPICAL ROOF:**

- O.B.C. 9.26.
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXCEED UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
- STARTER STRIP AS PER O.B.C. 9.26.7.2
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (O2 GRADE) WITH "H" CLIPS
- APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURERS LAYOUT)
- TRUSS BRACING AS PER TRUSS MANUFACTURER
- EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT SOFFIT.

32 **CEILING:**

- R50 (RSI 8.8) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
- 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 19.29.5.3.)

32b **VAULTED OR CATHEDRAL CEILING:**

- O.B.C. 9.26. & TABLE A4
- NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
- FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL
- EAVES PROTECTION LAID BENEATH STARTER STRIP.
- EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
- STARTER STRIP AS PER O.B.C. 9.26.7.2
- STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
- 3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS.
- 2'X8" (38mm x 184mm) @ 16" O.C. W/ 2'X2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
- 2'X10" (38mm x 235mm) @ 16" O.C. W/ 2'X2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
- R31 (RSI 5.46) INSULATION
- MIN. 3" CLEARANCE FROM US OF ROOF SHEATHING TO INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD

33 **CONVENTIONAL FRAMING:**

- O.B.C. TABLE A4 OR A7
- 2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
- 2'X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
- CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
- HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 **ATTIC ACCESS HATCH:**

- O.B.C. 9.19.2.1.
- 19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R50 (RSI 8.8) INSULATION.

35 **GENERAL:**

35b **PRIVATE STAIRS:**

- O.B.C. 9.8.4.
- MAX. RISE = 7 7/8" (200mm)
- MIN. RUN = 8-1/4" (210mm)
- MIN. TREAD = 9-1/4" (235mm)
- MAX. NOSING = 1" (25mm)
- MIN. HEADROOM = 6'-5" (1950mm)
- MIN. WIDTH = 2'-10" (640mm)
- MIN. WIDTH = 2'-11" (900mm)
- TEXT STAIRS, BETWEEN GUARDS
- ANGLED TREADS: = 5/7/8" (150mm)
- MIN. RUN = 7/7/8" (200mm)
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- UNFINISHED CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7/8" (200mm) RISE
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE
- ◆ **HANDRAILS:**
- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITH DWELLING UNITS
- HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

35b **HEIGHT:**

- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

35b **PROJECTIONS:**

- O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

35b **PUBLIC STAIRS:**

- O.B.C. 9.8.4.
- MAX. RISE = 7-3/32" (180mm)
- MIN. RUN = 11" (280mm)
- MIN. TREAD = 11" (280mm)
- MAX. NOSING = 1" (25mm)
- MIN. HEADROOM = 6'-9" (2050mm)
- MIN. WIDTH = 2'-11" (900mm)
- TEXT STAIRS, BETWEEN GUARDS
- FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FIG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE
- ◆ **HANDRAILS:**
- O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
- HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
- HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

35b **HEIGHT:**

- O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX.
- 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

◆ CLIENT SPECIFIC REVISIONS

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

I, **DANIEL J. HANNINEN** declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, to the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20885

FIRM BCIN 26995

DATE **27 2015** SIGNATURE

SIGNATURE:

client  
**Gold Park Homes**

location  
**Brampton**

project  
**McLaughlin and Mayfield**

marking name

| # | revisions                | date       | dwn | chk | # | revisions | date | dwn | chk |
|---|--------------------------|------------|-----|-----|---|-----------|------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW | 04-JUL-14  | ng  | ra  | 5 |           |      |     |     |
| 2 | ISSUED FOR PERMIT        | 16/04/2015 | 6PA | DJA | 6 |           |      |     |     |
| 3 |                          |            |     |     | 7 |           |      |     |     |
| 4 |                          |            |     |     | 8 |           |      |     |     |

model  
**38-5**

scale  
**N.T.S**

project #  
**13098**

**RN design**  
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page

**D2**

- PROJECTIONS:**  
O.B.C. 9.8.7.6  
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR
- TERMINATION:**  
O.B.C. 9.8.7.3  
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS FINISH
- O.B.C. 9.8.9.6  
-TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER O.B.C. 9.8.9.6.1(4)  
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

**INTERIOR GUARDS:**

- O.B.C. 9.8.7.2 & 9.8.8.3.  
-GUARDS TO BE 3'-6" (1070mm) HIGH  
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
-INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS  
-PICKETS TO HAVE 4" (100mm) MAX. SPACING  
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH
- EXTERIOR GUARDS:**
- O.B.C. 9.8.7.2 & 9.8.8.3.  
-GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).  
-GUARDS TO BE 3'-6" (1070mm)  
-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
-FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.  
-PICKETS TO HAVE 4" (100mm) MAX. SPACING  
-PROVIDE MID-SPAN POSTS AS PER SB-7.  
-GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

**EXTERIOR GUARDS @ JULIET BALCONY:**

- FOR RAILING SPANNING MAXIMUM OF 6'-0".  
-PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.  
-GUARDS TO BE 3'-6" (1070mm)  
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR  
-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.  
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"x2 MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.  
-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

- 37** LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38** WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. O.B.C.- 9.32.1.3.(3)
- 39** CAPPED DRYER VENT
- 40** 1"x2" (19mmx38mm) BOTH SIDES OF STEEL.
- 41** WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEP ARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42** PRECAST CONC. STEP
- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

- 44** SMOKE ALARM. O.B.C.- 9.10.19.  
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS  
-PROVIDE 1 IN EACH BEDROOM  
-INSTALLED AT OR NEAR CEILING  
-ALARMS WILL BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALING COMPONENT  
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45** CARBON MONOXIDE ALARM (CMA). O.B.C.- 9.33.4.  
-WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.  
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

- 46** MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY  
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 1.60 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.  
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

- 47** -GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.  
-R4 (RSI 0.70)

- 48** -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:  
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR  
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH- SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

**EXTERIOR COLUMN W/ MASONRY PIER:**

- MIN. 6"x6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.  
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.  
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.  
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.  
-3/4" AIR SPACE AROUND POST.  
OR  
-MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.  
-14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.  
-NOTE: TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.  
-REFER TO DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

**EXTERIOR COLUMN:**

- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE  
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

**COLD CELLARS:**

- FOR COLD CELLARS PROVIDE THE FOLLOWING:  
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.  
-COVER VENT W/ BUG SCREEN  
-WALL MOUNTED LIGHT FIXTURE  
-L1-L7 FOR DOOR OPENING  
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)  
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

## GROSS GLAZING AREA 'A'

|                            |            |                       |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 2898.84 SF | 269.30 m <sup>2</sup> |
| FRONT GLAZING AREA         | 63.94 SF   | 5.94 m <sup>2</sup>   |
| LEFT SIDE GLAZING AREA     | 0 SF       | 0.00 m <sup>2</sup>   |
| RIGHT SIDE GLAZING AREA    | 67.75 SF   | 6.29 m <sup>2</sup>   |
| REAR GLAZING AREA          | 102.19 SF  | 9.49 m <sup>2</sup>   |

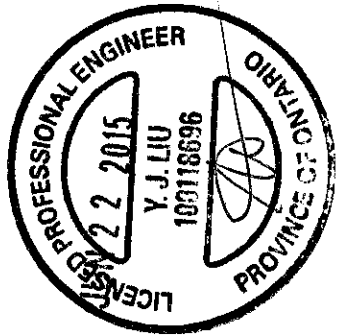
|                          |           |                      |
|--------------------------|-----------|----------------------|
| TOTAL GLAZING AREA       | 233.88 SF | 21.73 m <sup>2</sup> |
| TOTAL GLAZING PERCENTAGE | 8.07 %    |                      |

## GROSS GLAZING AREA 'B'

|                            |            |                       |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 2899.89 SF | 269.40 m <sup>2</sup> |
| FRONT GLAZING AREA         | 66.87 SF   | 6.21 m <sup>2</sup>   |
| LEFT SIDE GLAZING AREA     | 0 SF       | 0.00 m <sup>2</sup>   |
| RIGHT SIDE GLAZING AREA    | 67.75 SF   | 6.29 m <sup>2</sup>   |
| REAR GLAZING AREA          | 102.19 SF  | 9.49 m <sup>2</sup>   |

|                          |           |                      |
|--------------------------|-----------|----------------------|
| TOTAL GLAZING AREA       | 236.81 SF | 22.00 m <sup>2</sup> |
| TOTAL GLAZING PERCENTAGE | 8.17 %    |                      |

### FOR STRUCTURAL ONLY



◆ CLIENT SPECIFIC REVISIONS

\*ALL GROUND FLOOR PLAN ARCHES TO BE 7'-0" ALL:

**SCHEDULES**

| DOORS       |                                   | WOOD BEAMS |                           |      |                              |
|-------------|-----------------------------------|------------|---------------------------|------|------------------------------|
| A           | 865x2030x45 (2'10"x6'-8"x1'-3/4") | WD1        | 3/2" X 8" SPR             | WD9  | 5/2" X 12" SPR               |
| B           | 815x2030x35 (2'8"x6'-8"x1'-3/8")  | WD2        | 4/2" X 8" SPR             | WD10 | 2/1 3/4" X7 1/4" (2.0E) LVL  |
| C           | 760x2030x35 (2'6"x6'-8"x1'-3/8")  | WD3        | 5/2" X 8" SPR             | WD11 | 3/1 3/4" X7 1/4" (2.0E) LVL  |
| D           | 710x2030x35 (2'4"x6'-8"x1'-3/8")  | WD4        | 3/2" X 10" SPR            | WD12 | 2/1 3/4" X9 1/2" (2.0E) LVL  |
| E           | 460x2030x35 (1'6"x6'-8"x1'-3/8")  | WD5        | 4/2" X 10" SPR            | WD13 | 3/1 3/4" X9 1/2" (2.0E) LVL  |
| F           | 610x2030x35 (2'0"x6'-8"x1'-3/8")  | WD6        | 5/2" X 10" SPR            | WD14 | 2/1 3/4" X11 7/8" (2.0E) LVL |
| G           | OVER SIZED EXTERIOR DOOR          | WD7        | 3/2" X 12" SPR            | WD15 | 3/1 3/4" X11 7/8" (2.0E) LVL |
|             |                                   | WD8        | 4/2" X 12" SPR            |      |                              |
|             |                                   | LINTELS    |                           |      |                              |
| L1          | 2/2" X 8" SPR                     | L10        | 4-7/8" X 3-1/2" X 5/16" L | L15  | 5-7/8" X 4" X 1/2" L         |
| L3          | 2/2" X 10" SPR                    | L11        | 4-7/8" X 3-1/2" X 3/8" L  | L16  | 7-1/8" X 4" X 3/8" L         |
| L5          | 2/2" X 12" SPR                    | L12        | 4-7/8" X 3-1/2" X 1/2" L  | L17  | 7-1/8" X 4" X 1/2" L         |
| L7          | 3-1/2" X 3-1/2" X 1/4" L          | L13        | 5-7/8" X 3-1/2" X 3/8" L  |      |                              |
| L9          | 4" X 3-1/2" X 1/4" L              | L14        | 5-7/8" X 3-1/2" X 1/2" L  |      |                              |
| STEEL BEAMS |                                   |            |                           |      |                              |
| ST1         | W 6 X 15                          |            |                           |      |                              |
| ST2         | W 6 X 20                          |            |                           |      |                              |
| ST3         | W 8 X 18                          |            |                           |      |                              |
| ST4         | W 8 X 21                          |            |                           |      |                              |
| ST5         | W 8 X 24                          |            |                           |      |                              |

**STUD WALL REINFORCEMENT:**

- O.B.C. 9.5.2.3.  
-WALL STUDS ADJACENT TO WATER CLOSERS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(g)  
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

**FRAME CONSTRUCTION:**

- ALL FRAMING LUMBER TO BE No.1 AND No.2 SPF UNLESS NOTED OTHERWISE.  
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.  
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING  
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING  
-DOUBLE STUDS @ OPENINGS  
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)  
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)  
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS  
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS  
-BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS  
-WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS  
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS  
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)  
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

**WINDOWS:**

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER  
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.8 W/(m2.K) OR  
-AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS & 31 FOR FIXED WINDOWS  
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING  
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)  
-FOR GROSS GLAZED AREAS LESS THAN 17%

**ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE 1.**

- THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6, OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52).  
OR  
-WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED, THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT:  
a) THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS NOT LESS THAN R60 (RSI 10.55).  
b) THE MINIMUM EFFICIENCY OF THE HRV IS INCREASED BY NOT LESS THAN 8 PERCENTAGE POINTS.  
c) THE MINIMUM AFUE OF THE SPACE HEATING EQUIPMENT IS INCREASED BY NOT LESS THAN 2 PERCENTAGE POINTS.  
d) THE MINIMUM EF OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY NOT LESS THAN 4 PERCENTAGE POINTS.

| PLAN/ELEVATION LEGEND |                                   |  |                                              |
|-----------------------|-----------------------------------|--|----------------------------------------------|
|                       | CABLE TV OUTLET                   |  | TELEPHONE OUTLET                             |
|                       | CARBON MONOXIDE ALARM             |  | FLOOR DRAIN                                  |
|                       | DOUBLE JOIST                      |  | SOLID BEARING                                |
|                       | P.T. PRESSURE TREATED LUMBER      |  | (TO BE SAME WIDTH AS SUPPORTED MEMBER)       |
|                       | G.T. GIRDER TRUSS                 |  | POINT LOAD                                   |
|                       | A.F.F. ABOVE FINISHED FLOOR       |  | PLATARCH (7'-10" A.F.F.) (GROUND FLOOR ONLY) |
|                       | EXT. LIGHT FIXTURE (WALL MOUNTED) |  | 2 STORY WALL                                 |
|                       | HYDRO METER                       |  | U/S UNDER SIDE                               |
|                       | GAS METER                         |  | FG FIXED GLAZING                             |
|                       |                                   |  | GB GLASS BLOCK                               |
|                       |                                   |  | BG BLACK GLASS                               |

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER: DANIEL J. HANNINEN  
FIRM BCIN 26995  
DATE: JUL 27 2015  
SIGNATURE: [Signature]

| client                  |                          |            |         | location       |           |      |         |
|-------------------------|--------------------------|------------|---------|----------------|-----------|------|---------|
| Gold Park Homes         |                          |            |         | Brampton       |           |      |         |
| project                 |                          |            |         | marketing name |           |      |         |
| McLaughlin and Mayfield |                          |            |         |                |           |      |         |
| #                       | revisions                | date       | dwn chk | #              | revisions | date | dwn chk |
| 1                       | ISSUED FOR CLIENT REVIEW | 04-JUL-14  | ro      | 5              |           |      |         |
| 2                       | ISSUED FOR PERM          | 16/09/2015 | RFA     | 6              |           |      |         |
| 3                       |                          |            |         | 7              |           |      |         |
| 4                       |                          |            |         | 8              |           |      |         |

| model |  | project # |  |
|-------|--|-----------|--|
| 38-5  |  | 13098     |  |
| scale |  |           |  |
| N.T.S |  |           |  |
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