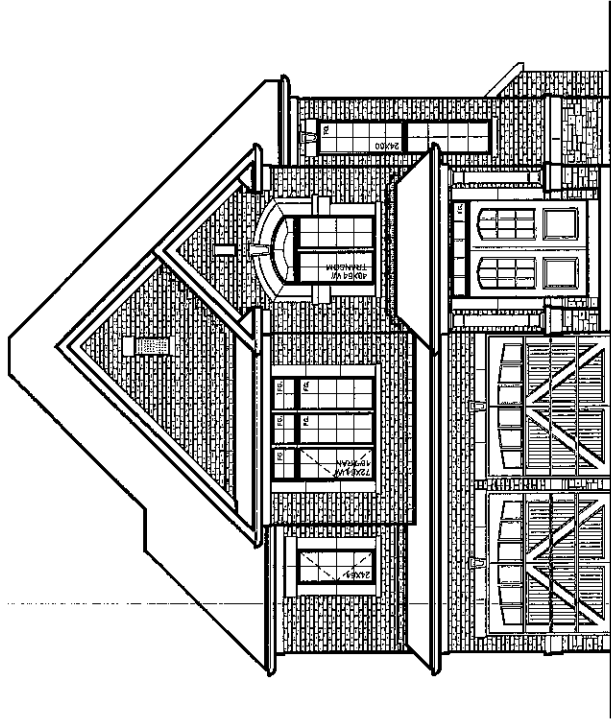
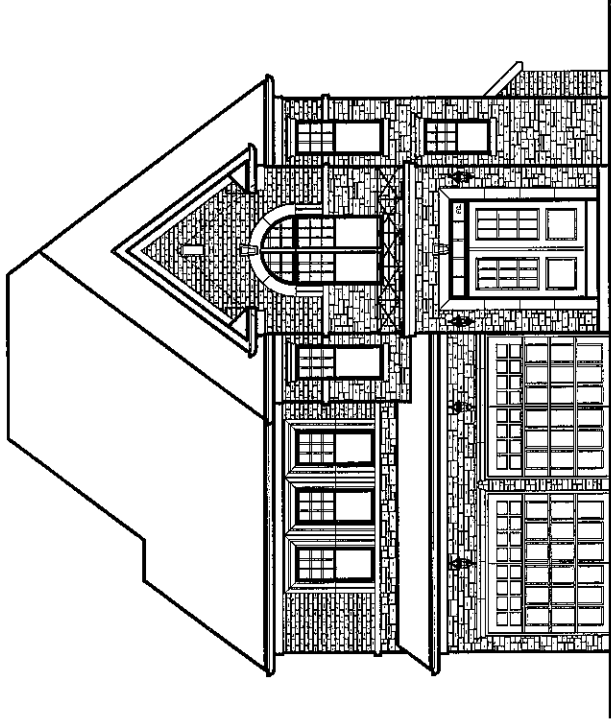




FRONT ELEVATION STYLE 'A'



FRONT ELEVATION STYLE 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PART. GROUND FLOOR ELEV. 'B'
- A5 FRONT ELEVATION 'A'
- A6 RIGHT SIDE ELEVATION 'A'
- A7 REAR ELEVATION 'A' & 'B'
- A8 LEFT SIDE ELEVATION 'A'
- A9 FRONT ELEVATION 'B'
- A10 RIGHT SIDE ELEVATION 'B'
- A11 LEFT SIDE ELEVATION 'B'
- A12 TYPICAL CROSS-SECTION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	1027.4	95.4	1027.4	95.4
SECOND FLOOR	1377.6	128.0	1371.4	127.4
SECOND FLOOR OTB	(10.5)	(1.0)	(10.5)	(1.0)
TOTAL AREA	2394.5	222.4	2388.3	221.9
COVERAGE INC PORCH	1456.3	135.3	1456.3	135.3
COVERAGE NOT INC PORCH	1408.5	130.8	1408.5	130.8

Gold Park Homes McLaughlin and Mayfield HAYDEN

I, DANIEL J. HANNIKEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
QUALIFIED DESIGNER BCIN 20838.
FIRM RN DESIGN
JUL 27 2015
DATE

SIGNATURE

client
Gold Park Homes

project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2-Jul-14	KK	RPA	5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
2	REVISED AS PER ARCH. CONTROL COMM.	18/08/2014	RPA	DJH	6				
3	FLOOR JOIST & TRUSS COORDINATION	21-Aug-14	fe	djh	7				
4	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJH	8				

location
Brampton

marking name

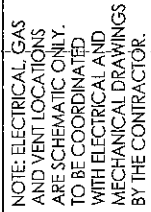
model
38-3

scale
3/16" = 1'0"

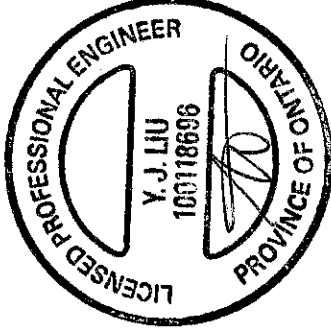
project #
13098

page

A0



**FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS**



It is the builder's complete responsibility to ensure that all plans fully comply with the Architectural Guidelines and all applicable regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRampton.

ARCHITECTURAL REVIEW & APPROVAL

SECRET

~~John W. Lee, Vice~~

QUALIFIED DESIGNER BCIN-20888.
FIRM BCIN-20959
DATE JUL 27 2015 SIGNATURE [Signature]

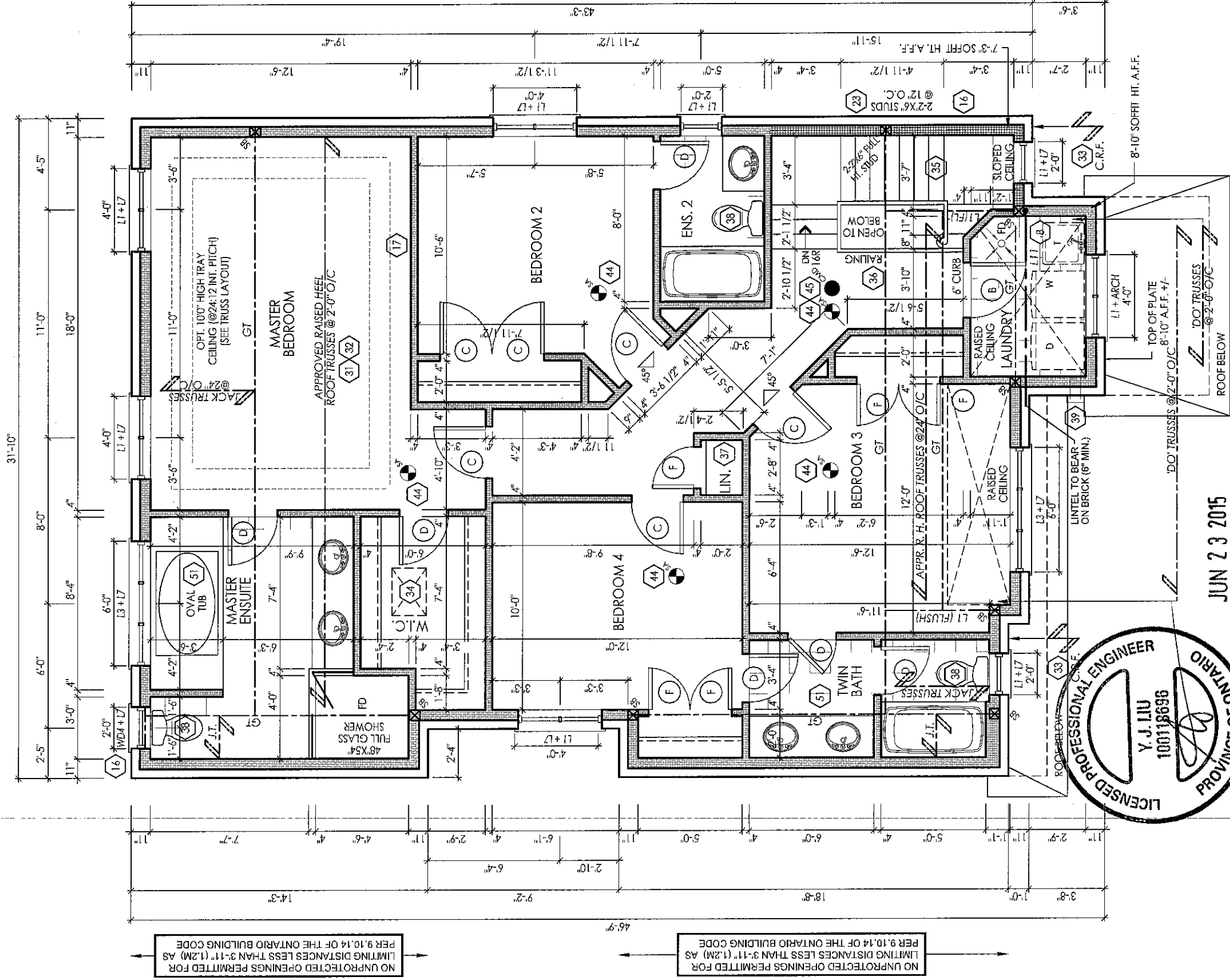
SIGNATURE:

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2-Jul-14		KK	5				
2	FLOOR JOIST & TRUSS COORDINATION	21-Aug-14		FE	6				
3	ISSUED AS PER ENGINEERING COMMENT.	27-Nov-15		RFA	7				
4	ISSUED FOR PERMIT	14/05/2015		RFA	8				

R/N design
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A

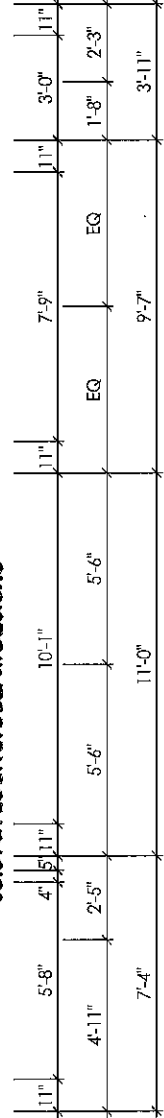


NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: ELECTRICAL GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSSES, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

SECOND FLOOR ELEV. 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built located on its lot.

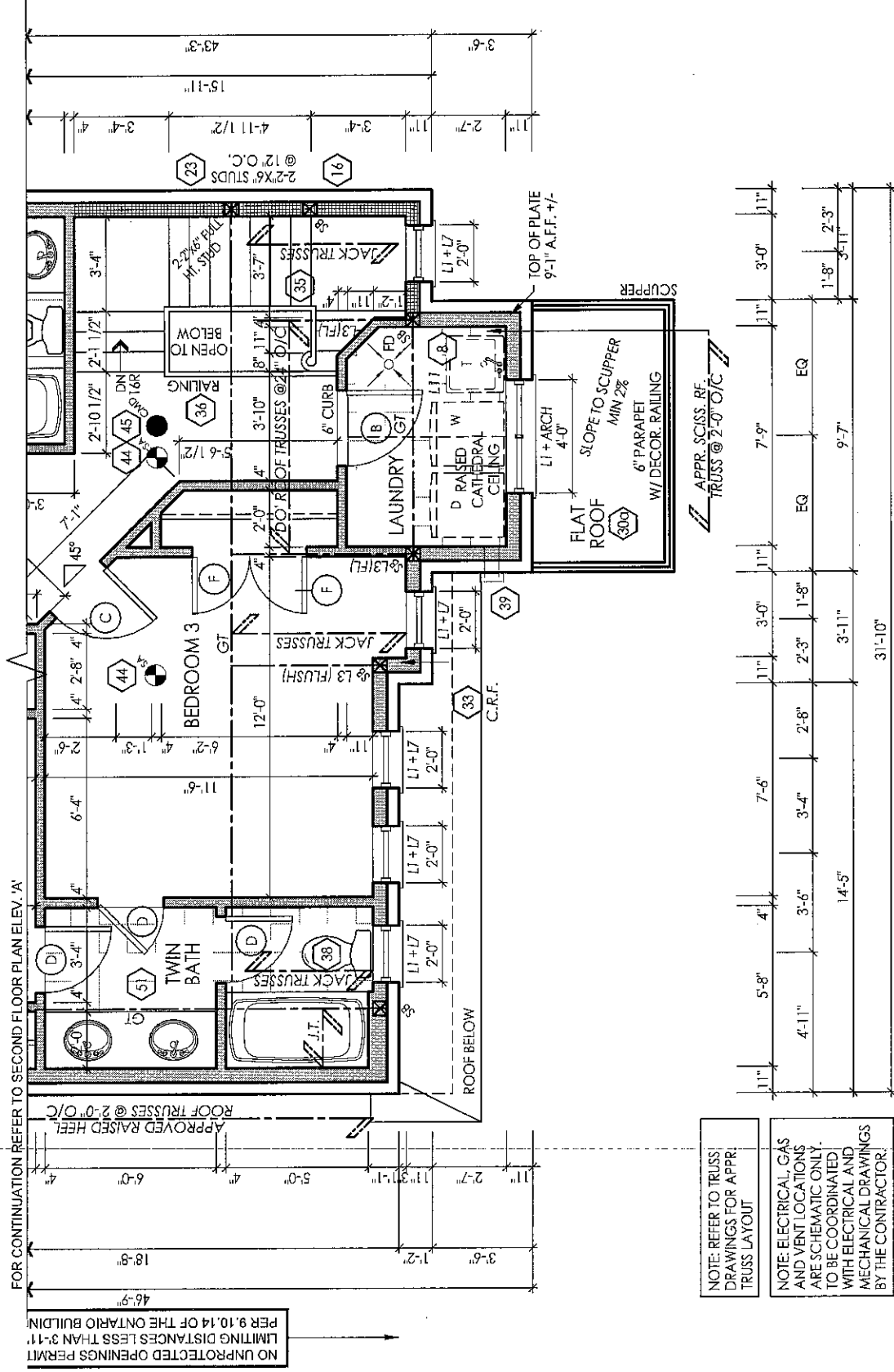
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL
JUN 23 2015

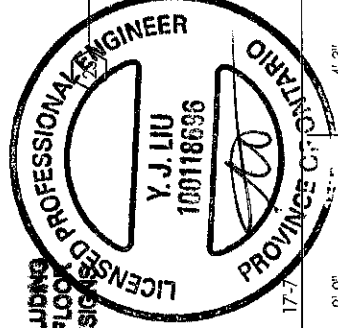
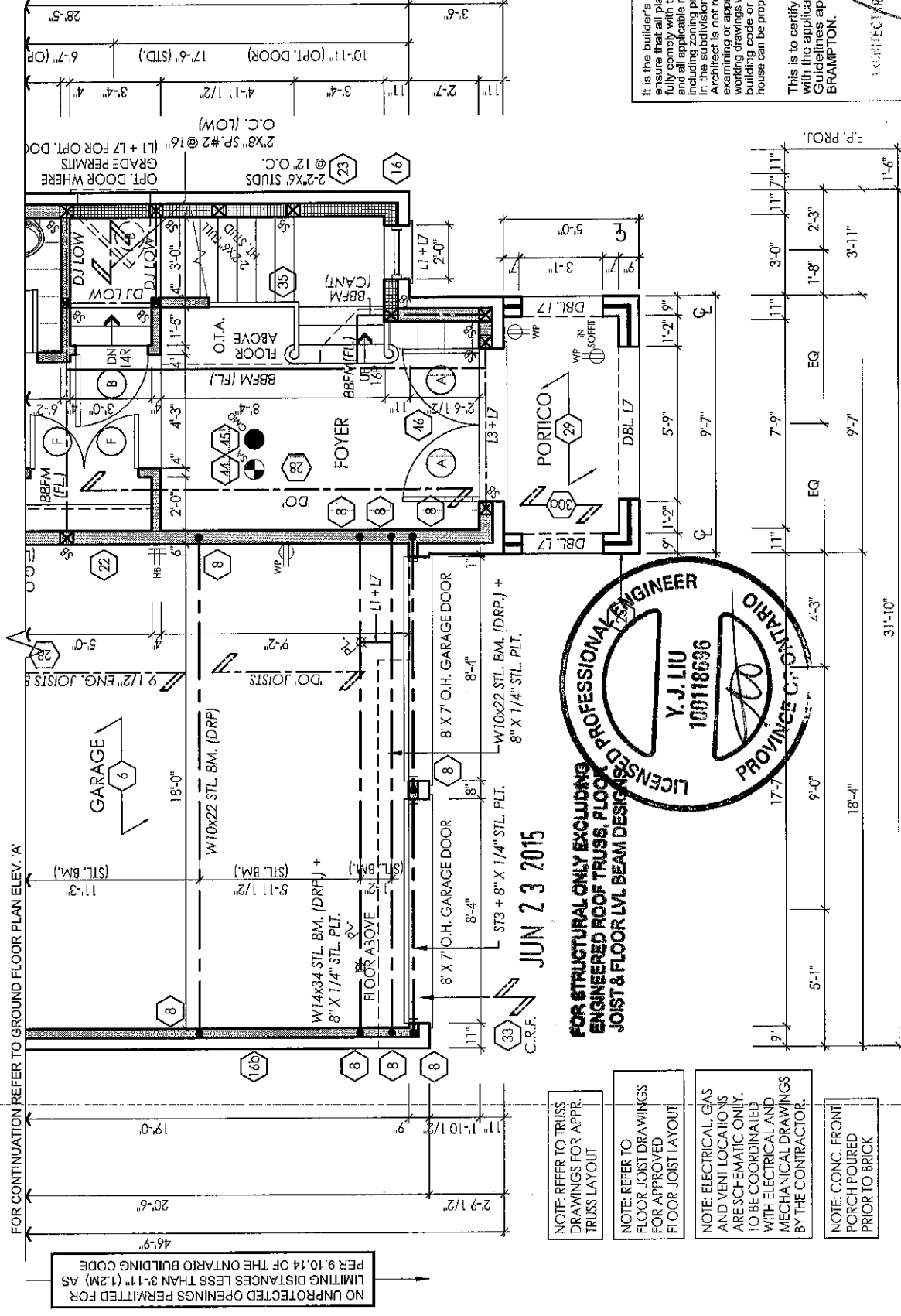
I, DANIEL J. HANTINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20838
FIRM BCIN 26995
JUN 27 2015
DATE

client		location							
Gold Park Homes		Brampton							
project		marking name							
Mclaughlin and Mayfield									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2-JUN-14	KK	RPA	5				
2	FLOOR JOIST & TRUSS COORDINATION	21-AUG-14	FE	DJH	6				
3	REVISED AS PER ENGINEERING COMM.	27-MAY-15	RPA	DJH	7				
4	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	8				



PART. SECOND FLOOR ELEV. 'B'



JUN 23 2015

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the design of the building or for the building or working drawings with respect to zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

2015

John G. Williams Limited Architect

client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name							
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW.	2-Jul-14	KK	RPA	5				
2	FLOOR JOIST & TRUSS COORDINATION	21-Aug-14	FE	DJ	6				
3	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DJM	7				
4	ISSUED FOR PERMIT	14/Jun/2015	RPA	DJM	8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BGR 20353.

FIRM RN 26995.

JUN 27 2015

DATE

SIGNATURE:

RN design
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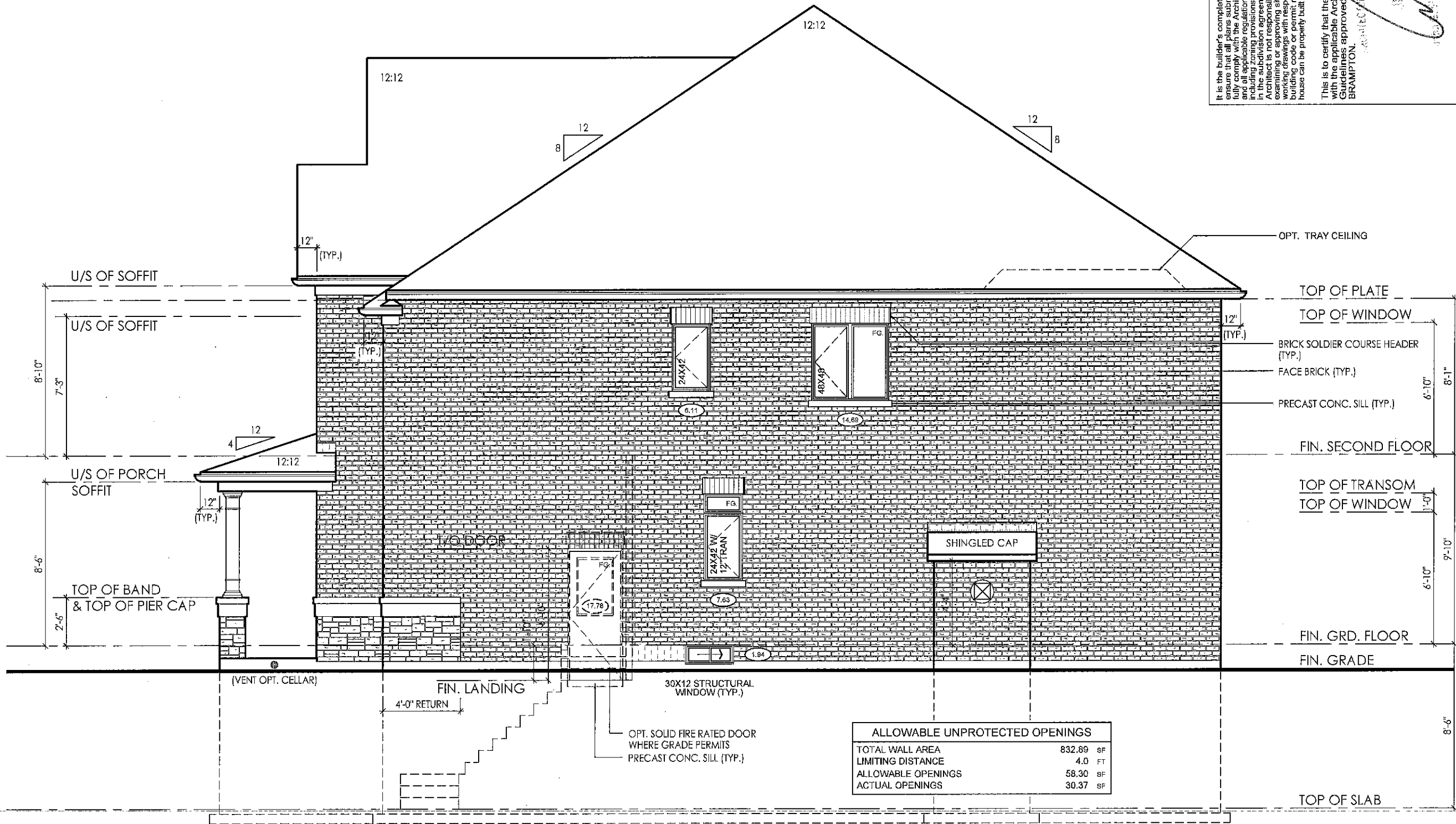


model 38-3
scale 3/16" = 10"
project # 13098

page

A4





RIGHT SIDE ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or for determining whether the proposed building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

APPROVED FOR PERMIT
DATE 27 2013
[Signature]

model
38-3

scale
3/16" = 1'0"

project #
13098

page

A6

RN design
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location
Brampton

marketing name

client
Gold Park Homes

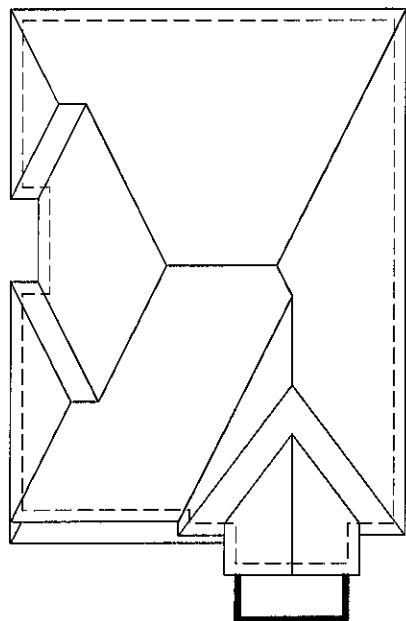
project
McLaughlin and Mayfield

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW.	2-MAR-14	KK	RPA	5				
2	ISSUED FOR PERMIT	14/05/2010	RPA	DJH	6				
3					7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 2088
FIRM BCIN 26995
DATE 27 2013
[Signature]

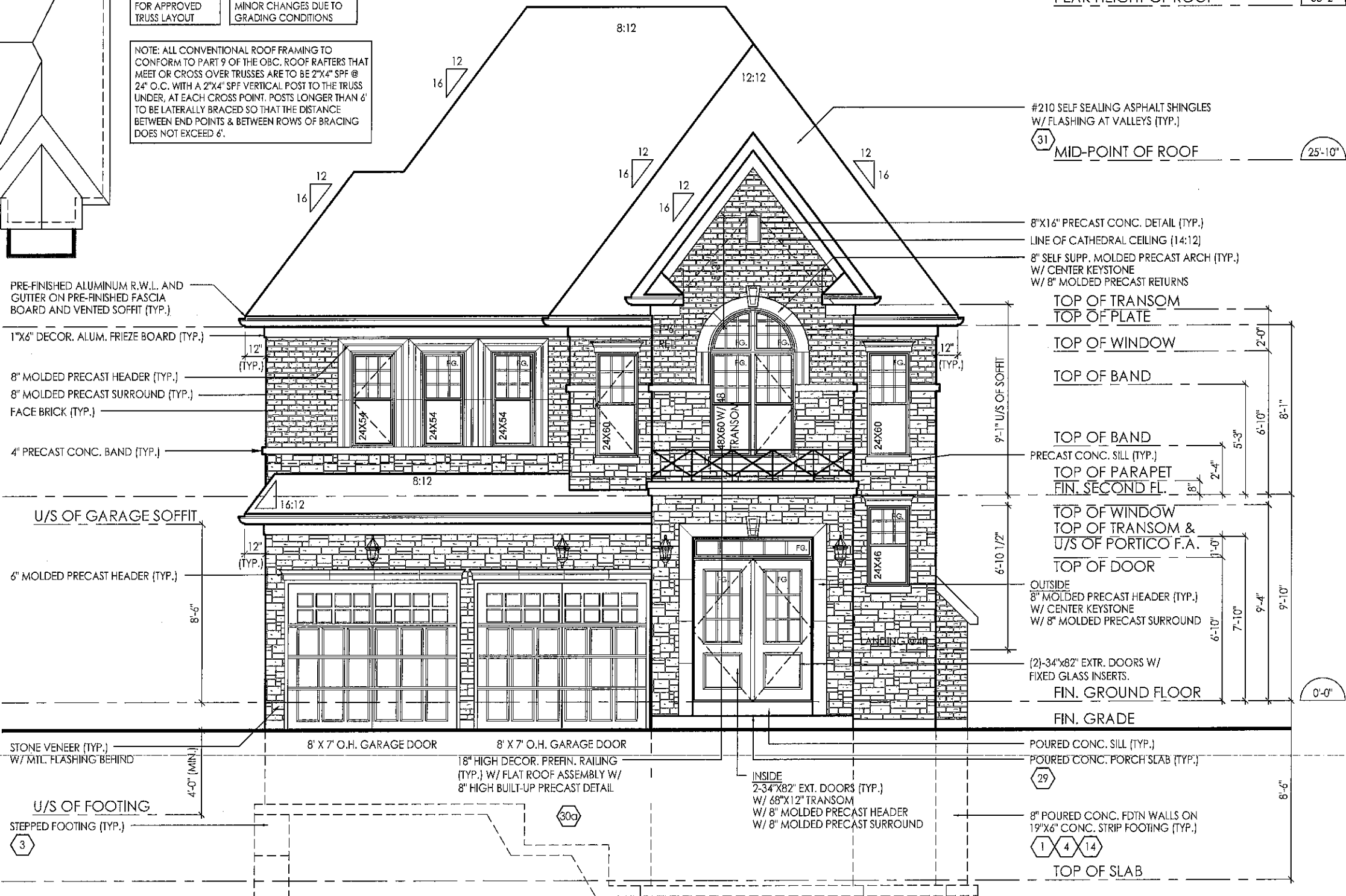
SIGNATURE



NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.



FRONT ELEVATION 'B'

It is the builder's complete responsibility to ensure that the construction of this building fully complies with the applicable Building Code, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or for any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW 13752273

DATE: 2015 JUL 27

JOHN G. LINDEN, ARCHITECT

PEAK HEIGHT OF ROOF 33'-2"

MID-POINT OF ROOF 25'-10"

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

8"x16" PRECAST CONC. DETAIL (TYP.)
LINE OF CATHEDRAL CEILING (14:12)
8" SELF SUPP. MOLDED PRECAST ARCH (TYP.) W/ CENTER KEYSTONE
W/ 8" MOLDED PRECAST RETURNS

TOP OF TRANSOM
TOP OF PLATE

TOP OF WINDOW

TOP OF BAND

TOP OF BAND
PRECAST CONC. SILL (TYP.)
TOP OF PARAPET
FIN. SECOND FL.

TOP OF WINDOW
TOP OF TRANSOM &
U/S OF PORTICO F.A.
TOP OF DOOR

OUTSIDE
8" MOLDED PRECAST HEADER (TYP.)
W/ CENTER KEYSTONE
W/ 8" MOLDED PRECAST SURROUND

(2)-34"x82" EXTR. DOORS W/
FIXED GLASS INSERTS.
FIN. GROUND FLOOR

POURED CONC. SILL (TYP.)
POURED CONC. PORCH SLAB (TYP.)

8" POURED CONC. FDN WALLS ON
19"x6" CONC. STRIP FOOTING (TYP.)

TOP OF SLAB

model 38-3
scale 3/16" = 1'0"
project # 13098

page

A9

RN design
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location
Brampton

client
Gold Park Homes

project
McLaughlin and Mayfield

marking name

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW.	2-JUL-14	KK	RPA	5				
2	REVISED AS PER ARCH. CONTROL COMML.	19/08/2014	RPA	DJH	6				
3	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.1 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN-200886
JUL 27 2015
DATE

SIGNATURE

SIGNATURE



RIGHT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all construction complies with the applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code requirements. The Control Architect's house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JULIA G. HANSEN, Architect

client		location		project		marking name			
Gold Park Homes		Brampton		McLaughlin and Mayfield					
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW.	2-Jul-14		KK	5				
2	REVISED AS PER ARCH. CONTROL COMMA.	19/08/2014	RPA	DJH	6				
3	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	7				
4					8				

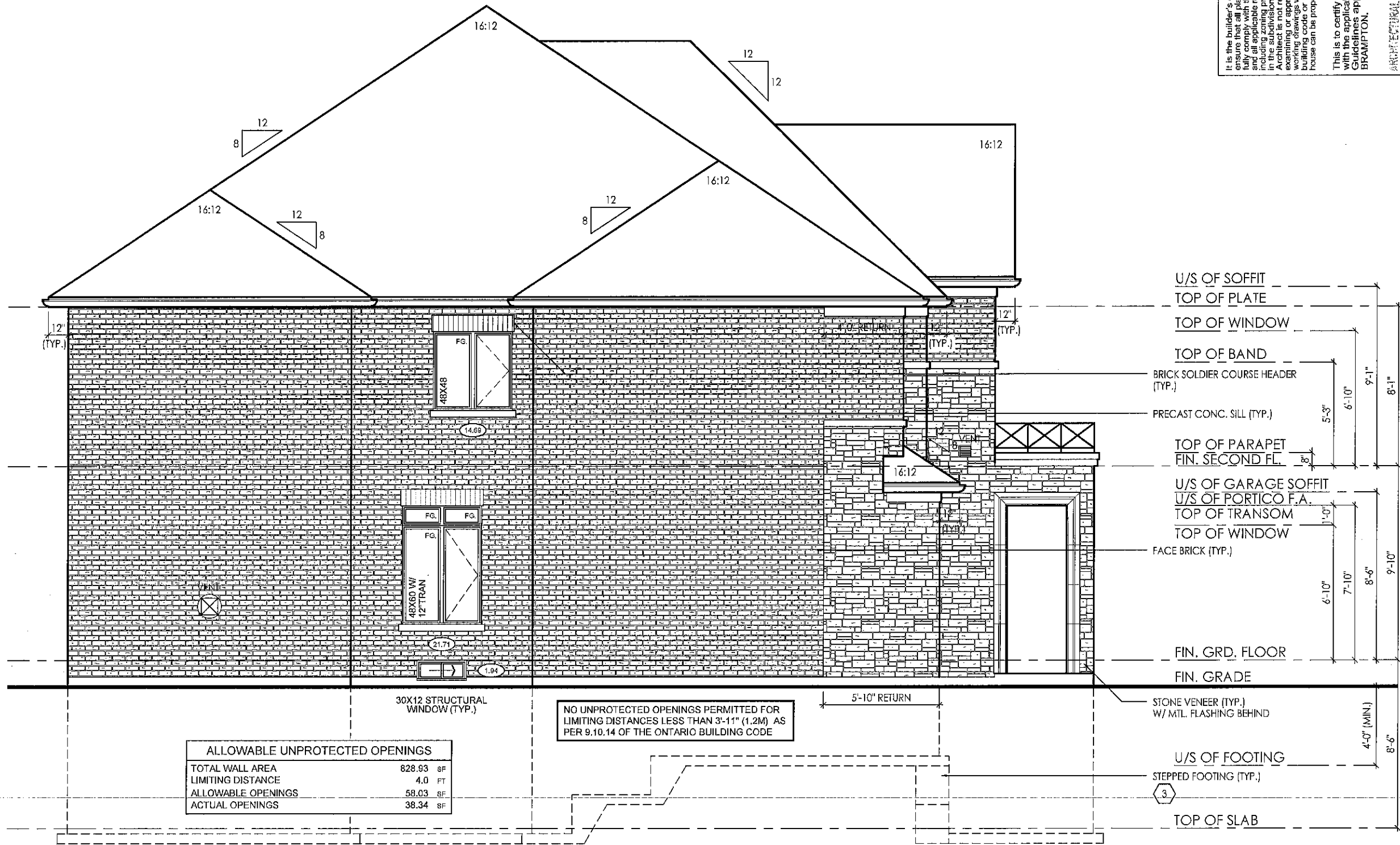
I, DANIEL HANSEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER RCIN 20638

DATE 26/7/2015

SIGNATURE

SIGNATURE



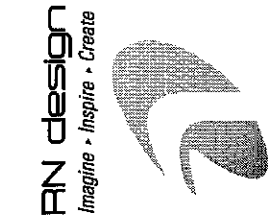
LEFT SIDE ELEVATION 'B'

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ARCHITECTURAL REVIEW & APPROVAL

JOHN G. WILLIAMS, Architect



client		location							
Gold Park Homes		Brampton							
project		marketing name							
McLaughlin and Mayfield									
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW.	2-JUN-14	KK	RPA	5				
2	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	6				
3					7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of FN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUANTIFIED DESIGNER BCIN 20888
FN DESIGN 2015

DATE _____ SIGNATURE _____