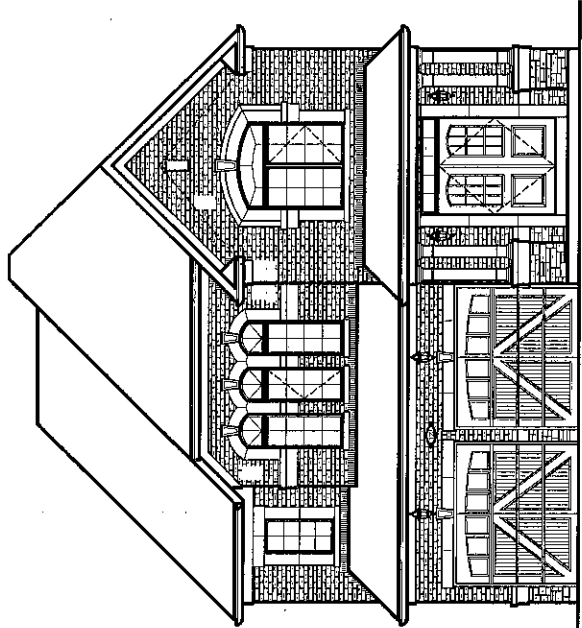
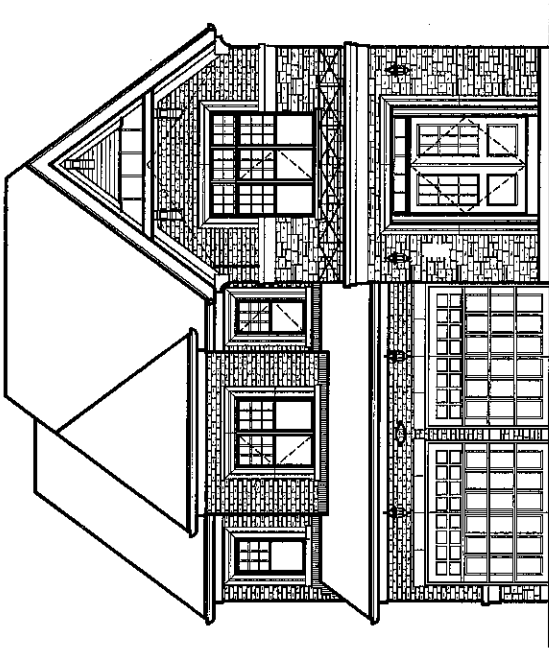




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PART. GROUND FLOOR ELEV. 'B'
- A5 PART. SECOND FLOOR ELEV. 'B'
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR ELEVATION 'A' & 'B'
- A9 FRONT ELEVATION 'B'
- A10 RIGHT SIDE ELEVATION 'B'
- A11 LEFT SIDE ELEVATION 'B'
- A12 TYPICAL ROSS-SECTION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	971.3	90.2	971.3	90.2
SECOND FLOOR	1218.3	113.2	1215.4	112.9
TOTAL AREA	2189.6	203.4	2186.7	203.1
COVERAGE INC PORCH	1421.0	132.0	1421.0	132.0
COVERAGE NOT INC PORCH	1341.2	124.6	1341.2	124.6

Gold Park Homes
McLaughlin and
Mayfield
BIZET

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible for the accuracy of examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

I, DANIEL J. KANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER RCIN 20838
FIRM RCIN 20938
JUL 21 2015
DATE

SIGNATURE
[Signature]

client
Gold Park Homes

project
McLaughlin and Mayfield

location
Brampton

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ta	5	REVISED AS PER ENGINEERING COMM.	27-May-15	RPA	DH
2	ADJUSTED STAR LOCATION ON ENM. & GRND. FLOOR	28-JUL-14	cr	cr	6	ISSUED FOR PERMIT	16/04/2015	RPA	DH
3	FLOOR & TRUSS COORDINATION	18-AUG-14	FE	DJ	7				
4	REVISED AS PER ARCH CONTROL COMM.	18/08/2014	tpa	djh	8				

model
38-1

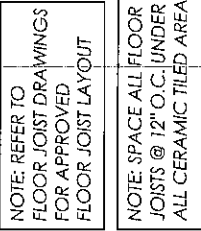
scale
3/16" = 1'0"

project #
13098



page

A0



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

THOMAS J. BROWN

United Architects

client	location
--------	----------

Client
Gold Park Homes

Brampton location

project
McLaughlin and Mayfield

marketing name

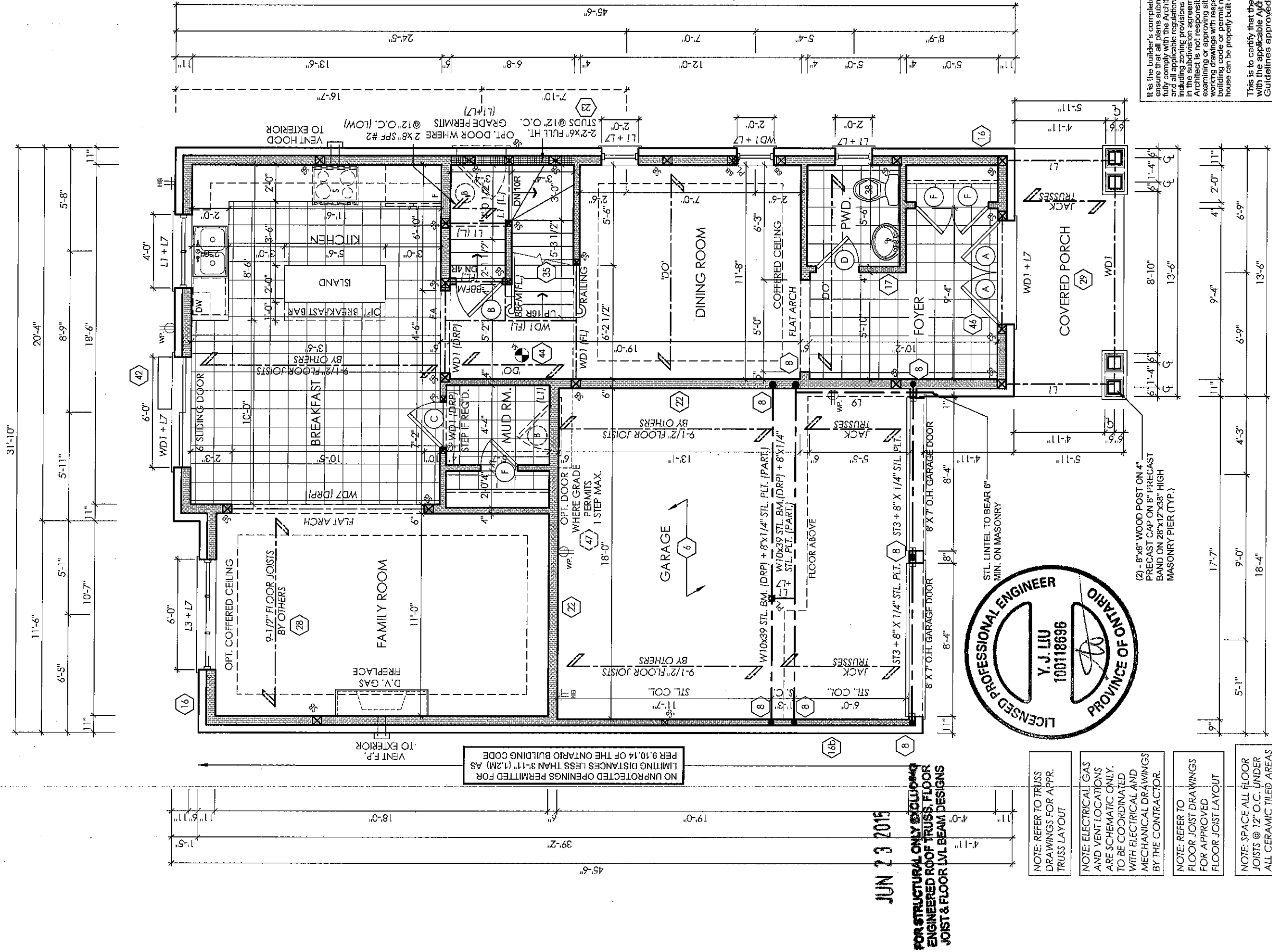
#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ra	5	ISSUED FOR PERMIT	16/05/2015	rpa	djh
2	ADJUSTED SITE LOCATION ON EXIST. & GRND. FLOOR	28-JUL-14	ct	cr	6				
3	FLOOR & TRUSS COORDINATION	18-AUG-14	fls	dj	7				
4	REVISED AS PER ENGINEERING COMM.	27-NOV-15	rpa	djh	8				

RN design
Imagine • Inspire • Create



DATE 11/12/2

A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the City of Brampton. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW APPROVAL

JUL 29 2015

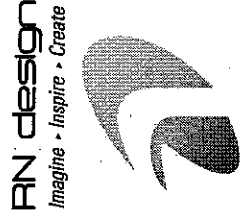
John G. Williams Limited, Architect

client		location	
Gold Park Homes		Brampton	
project		marketing name	
McLaughlin and Mayfield			
#	revisions	date	down chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps 5
2	ADJUSTED STAIR LOCATION ON BSMT. & GRND. FLOOR	28-JUL-14	cr 6
3	FLOOR & TRUSS COORDINATION	18-AUG-14	fe 7
4	REVISED AS PER ENGINEERING COMMENT	27-MAY-15	RPA DJH 8

model 38-1

scale 3/16" = 1'0"

project # 13098



SIGNATURE

DATE 27 2015

QUALIFIED DESIGNER BCIN 30885

FRAN BCIN 36955

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

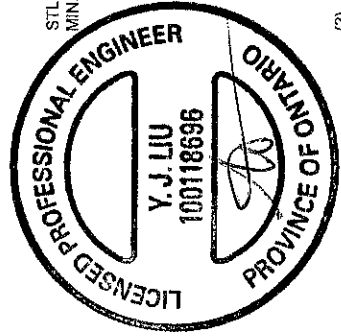
NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILED AREAS

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK



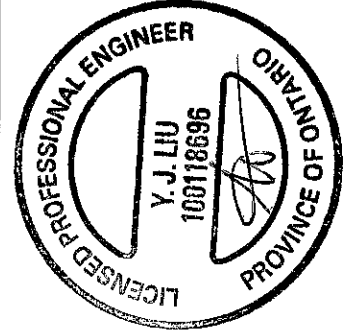
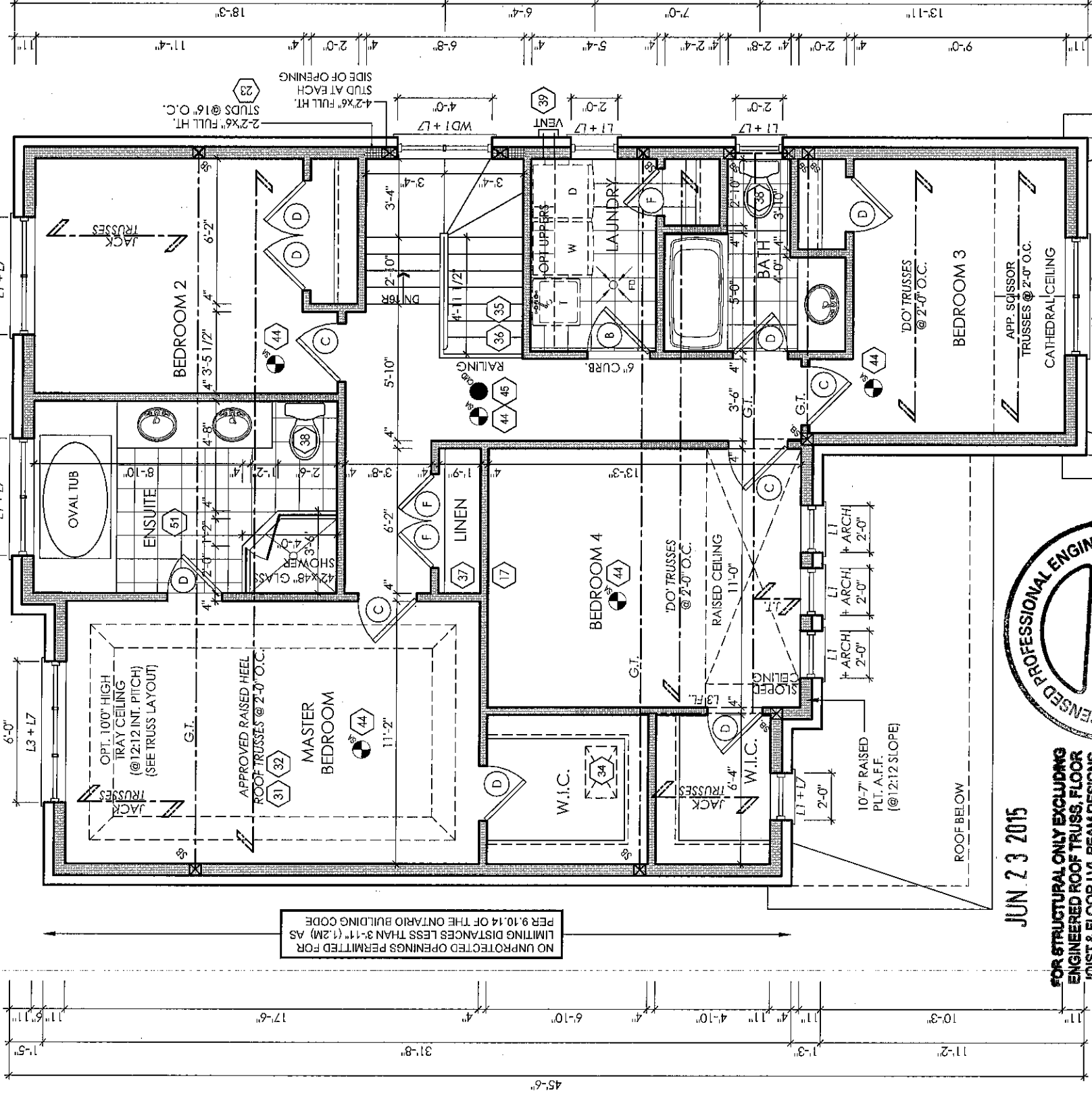
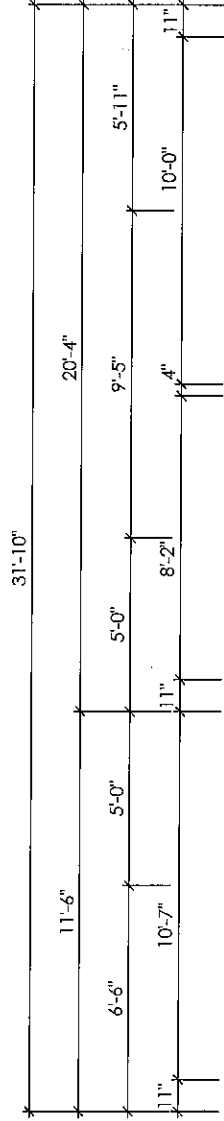
JUN 23 2015

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

NO UNPROTECTED OPENINGS PERMITTED FOR PER 9.10.14 OF THE ONTARIO BUILDING CODE LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS

A2

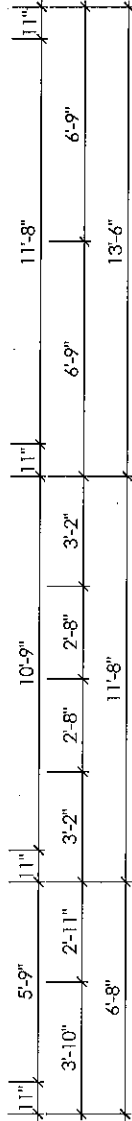
page



**FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS**

NOTE: REFER TO TRUSS
DRAWINGS FOR APPR.
TRUSS LAYOUT

NOTE: ELECTRICAL GAS
AND VENT LOCATIONS
ARE SCHEMATIC ONLY.
TO BE COORDINATED
WITH ELECTRICAL AND
MECHANICAL DRAWINGS
BY THE CONTRACTOR.



SECOND FLOOR ELEV. 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the City of Brampton. The Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW APPROVAL

JUN 22 2015

JOHN G. WATKINS, ARCHITECT

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 26995

FIRM BCIN 26995

JUN 27 2015

SIGNATURE

client Gold Park Homes
project Mclaughlin and Mayfield
location Brampton
marketing name

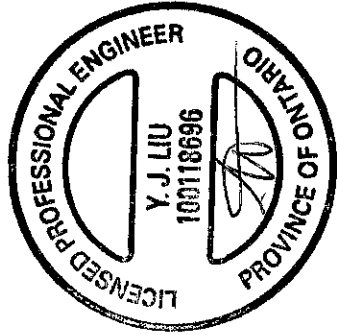
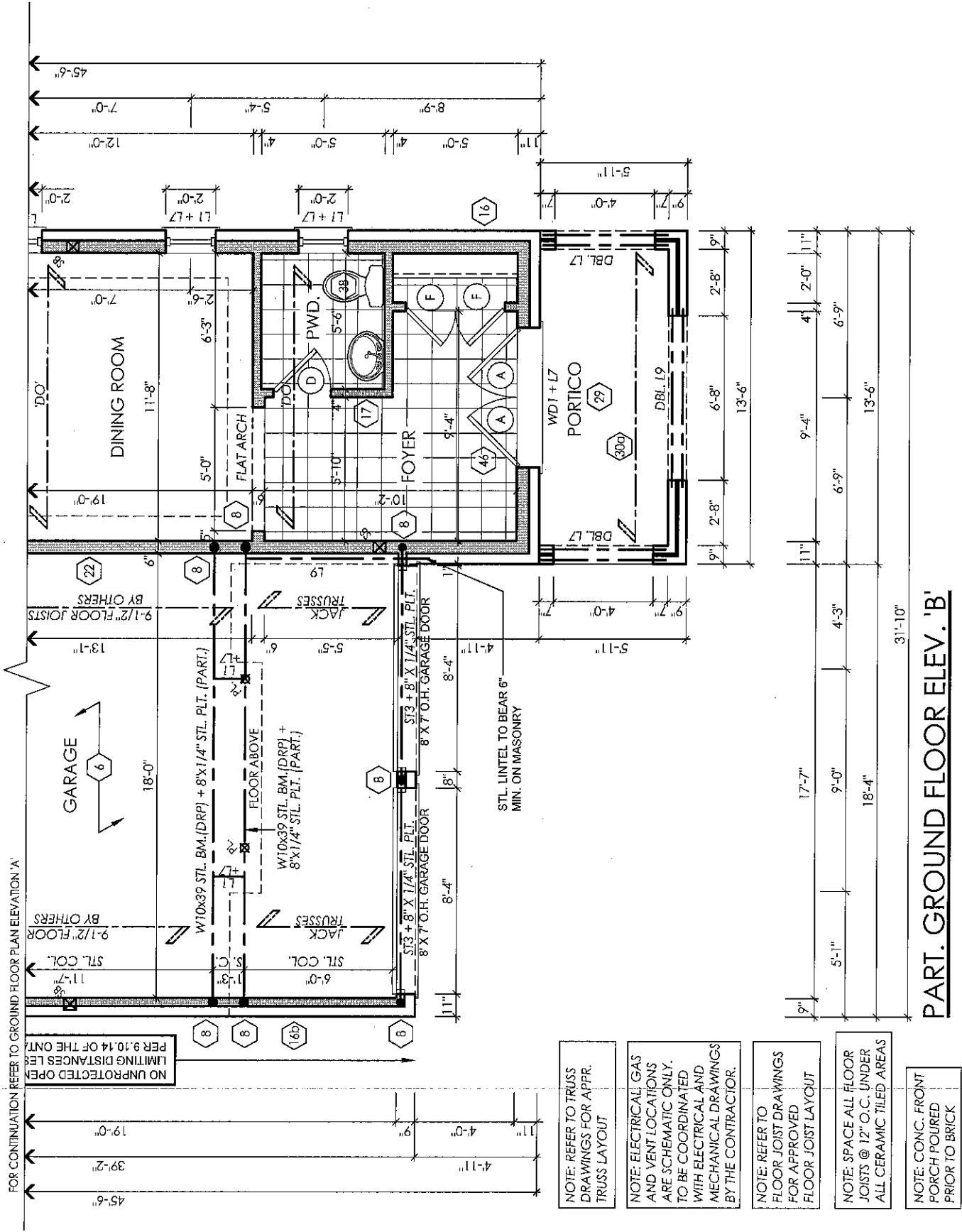
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	na	5				
2	FLOOR & TRUSS COORDINATION	18-AUG-14	fe	df	6				
3	REVISED AS PER ENGINEERING COMM.	27-MAY-15	spa	djh	7				
4	ISSUED FOR PERMIT	16-JUN-2015	spa	djh	8				

model 38-1
scale 3/16" = 1'0"
project # 13098



SIGNATURE

A3



JUN 23 2015
FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable provisions of the Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

22/2/2015

ALISA G. WILSON Limited, Architect

client	Gold Park Homes	location	Brampton						
project	Mclaughlin and Mayfield	marketing name							
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ra	5	ISSUED FOR PERMIT	16/06/2015	RPA	DJH
2	ADJUSTED STAR LOCATION ON S.W. 1/4 GRIND FLOOR	28-JUL-14	cr	cr	6				
3	FLOOR & TRUSS COORDINATION	18-Aug-14	fe	dj	7				
4	REVISED AS PER ENGINEERING COMM.	27-MAY-15	RPA	DJH	8				

I, DANIEL J. HANNIFIN, declare that I have reviewed and take design responsibility for the design work on behalf of RKN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20383

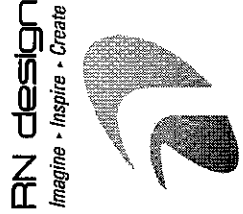
FIRM BCIN 26905

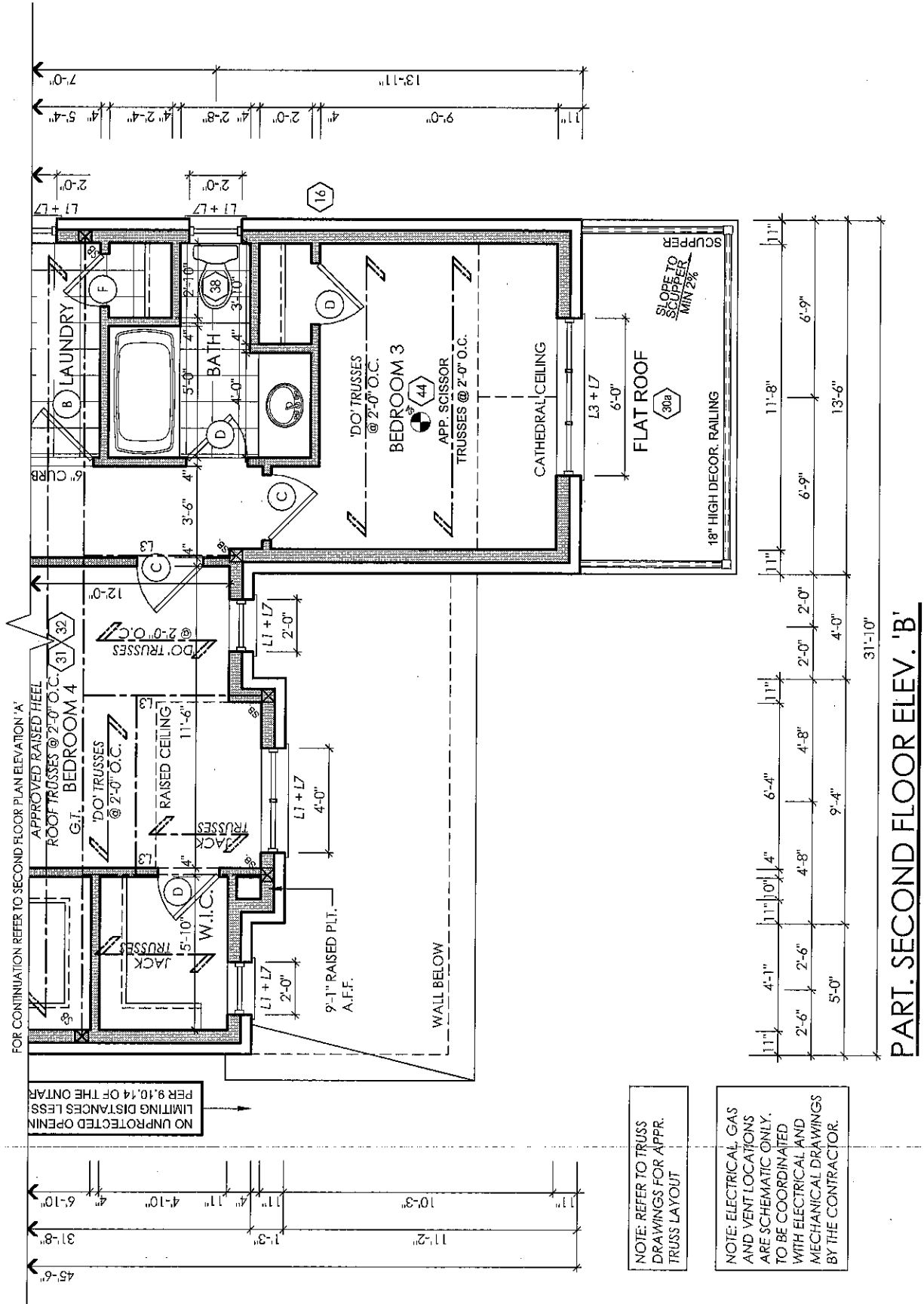
JUN 27 2015

SIGNATURE

DATE

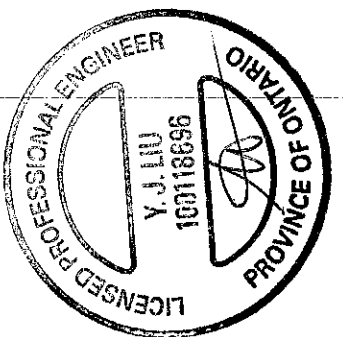
SIGNATURE





JUN 23 2015

FOR STRUCTURAL ONLY EXCLUDING
ENGINEERED ROOF TRUSS, FLOOR
JOIST & FLOOR LVL BEAM DESIGNS



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JUN 23 2015

John G. Williams Limited, Architect

client

Gold Park Homes

location

Brampton

project

Mclaughlin and Mayfield

marking name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	FLOOR & TRUSS COORDINATION	18 AUG 1	4	dl	5				
2	ISSUED FOR PERMIE	16/06/20	5	RPA	6				
3					7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

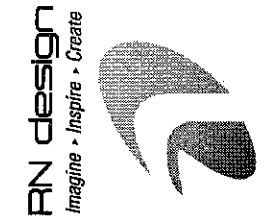
QUALIFIED DESIGNER RCN-20888

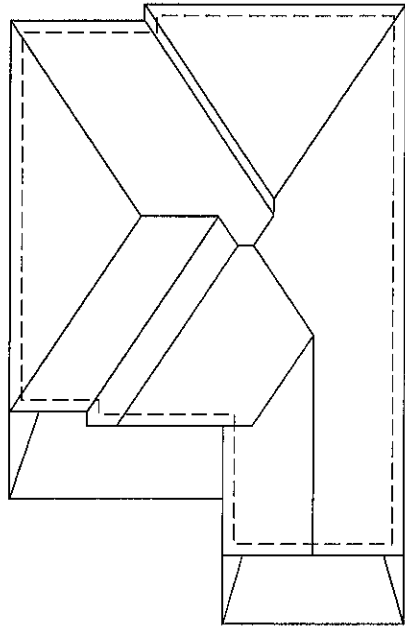
JUN 23 2015

DATE

SIGNATURE

SIGNATURE





ROOF PLAN 'A'

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 8' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 8'.

REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BRD. AND VENTED SOFFIT

1"x6" DECOR. ALUM. CLAD FRIEZE BOARD (TYP.)

U/S OF SOFFIT & TOP OF RAISED PLATE

TOP OF PLATE

8" PRECAST HEADER ON 8" PRECAST RETURN (TYP.)

FACE BRICK (TYP.)

4"x8" PRECAST BAND

PRECAST SILL (TYP.)

U/S OF GARAGE & PORCH SOFFIT

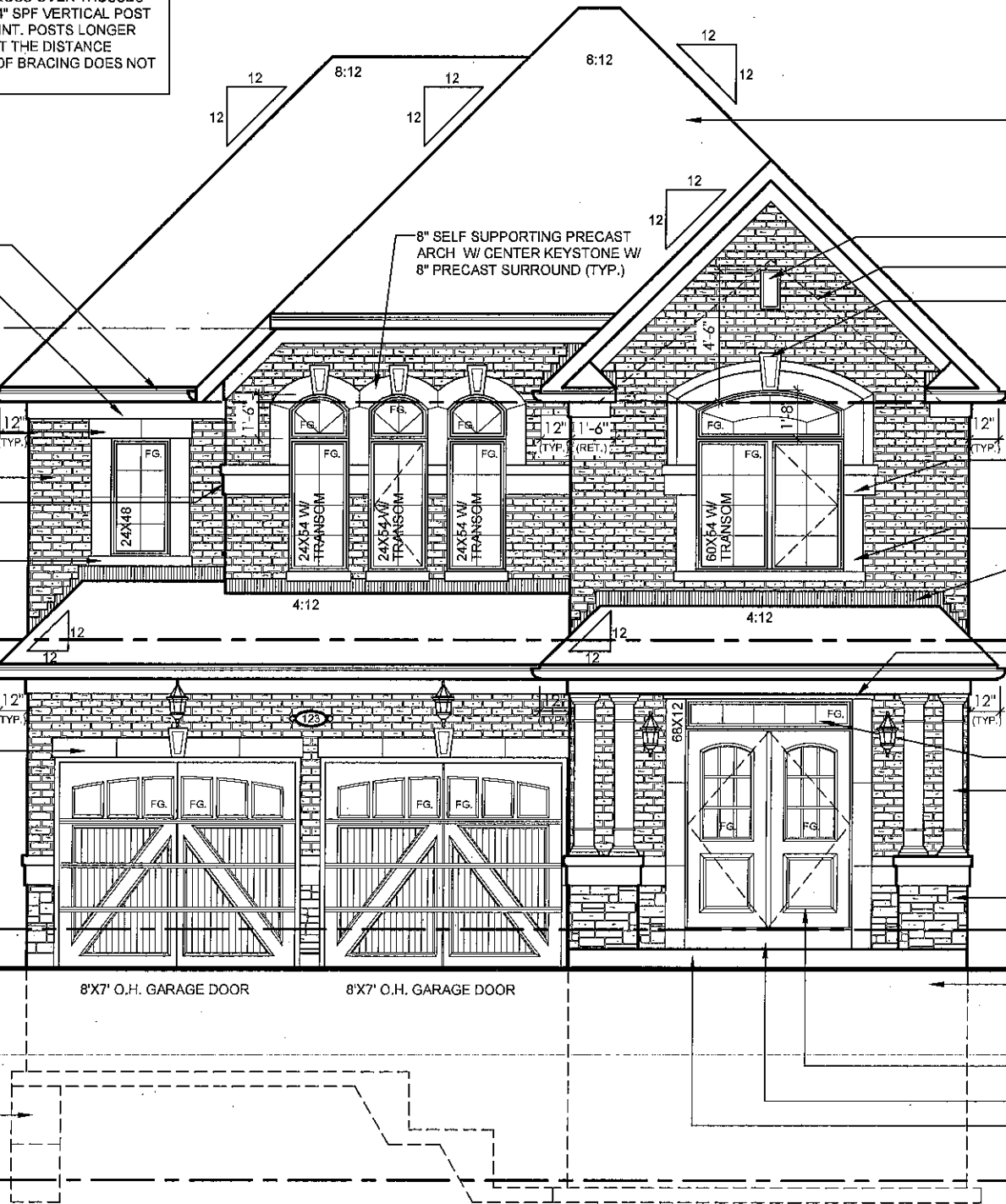
8" PRECAST HEADER W/ CENTRE KEYSTONE (TYP.)

TOP OF BAND

U/S OF FOOTING

STEPPED FOOTING

3



FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF

31'-4"

MID HEIGHT OF ROOF

24'-8"

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS

31

8" X 6" PRECAST STONE DETAIL

CATHEDRAL CEILING @10:12

4"x8" SELF SUPPORTING PRECAST ARCH HEADER W/ CENTER KEYSTONE W/ 4" X 8" PRECAST RETURNS

TOP OF PLATE

TOP OF WINDOW

14"x4" + 13"x8" PRECAST IMPOSTS (TYP.)

8" PRECAST SURROUND

PREFINISHED MTL. FLASHING W/ CAULKING TO MATCH

FIN. SECOND FLOOR

8" PRECAST CONC. HEADER ABOVE DOOR ON 8" PRECAST SURROUND

TOP OF TRANSOM

TOP OF DOOR

68"x12" EXT. SEG. TRANSOM

(2) - 8"x8" WOOD POST ON 4" PRECAST CAP ON 8" PRECAST BAND ON 28"x12"x38" HIGH MASONRY PIER (TYP.)

49

STONE VENEER TYP.

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. FDN WALLS ON CONC. STRIP FOOTING

1 4 14

(2) - 34"x82" EXT. DOORS W/ FIXED GLASS INSERTS (TYP.)

POURED CONC. SILL

POURED CONC. PORCH SLAB

29

TOP OF SLAB

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

Jona G. Williams, Limited, Architect

model 38-1

scale 3/16" = 1'0"

page

A6

PN design
Imagine - Inspire - Create



location Brampton

marketing name

client Gold Park Homes

project Mclaughlin and Mayfield

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	PS	TD	5				
2	REVISED AS PER ARCH CONTROL COMMENTS	18/08/2014	RPA	DJH	6				
3	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	7				
4					8				

I, DANIEL L. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 32.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 205838

FIRM BCIN 26995

DATE 27-2-2015

SIGNATURE

SIGNATURE



ARCHITECTURAL REVIEW & APPROVAL
JUL 12 2011
John G. Williams Limited, Architect

project
McLaughlin and Mayfield

CLASS/CATEGORIES:
QUALIFIED DESIGNER
FIRM/BCIN 2695-2033

SIGNATURE:

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

RAMPLION.
SUBJECT TO ORDER OF DIRECTOR

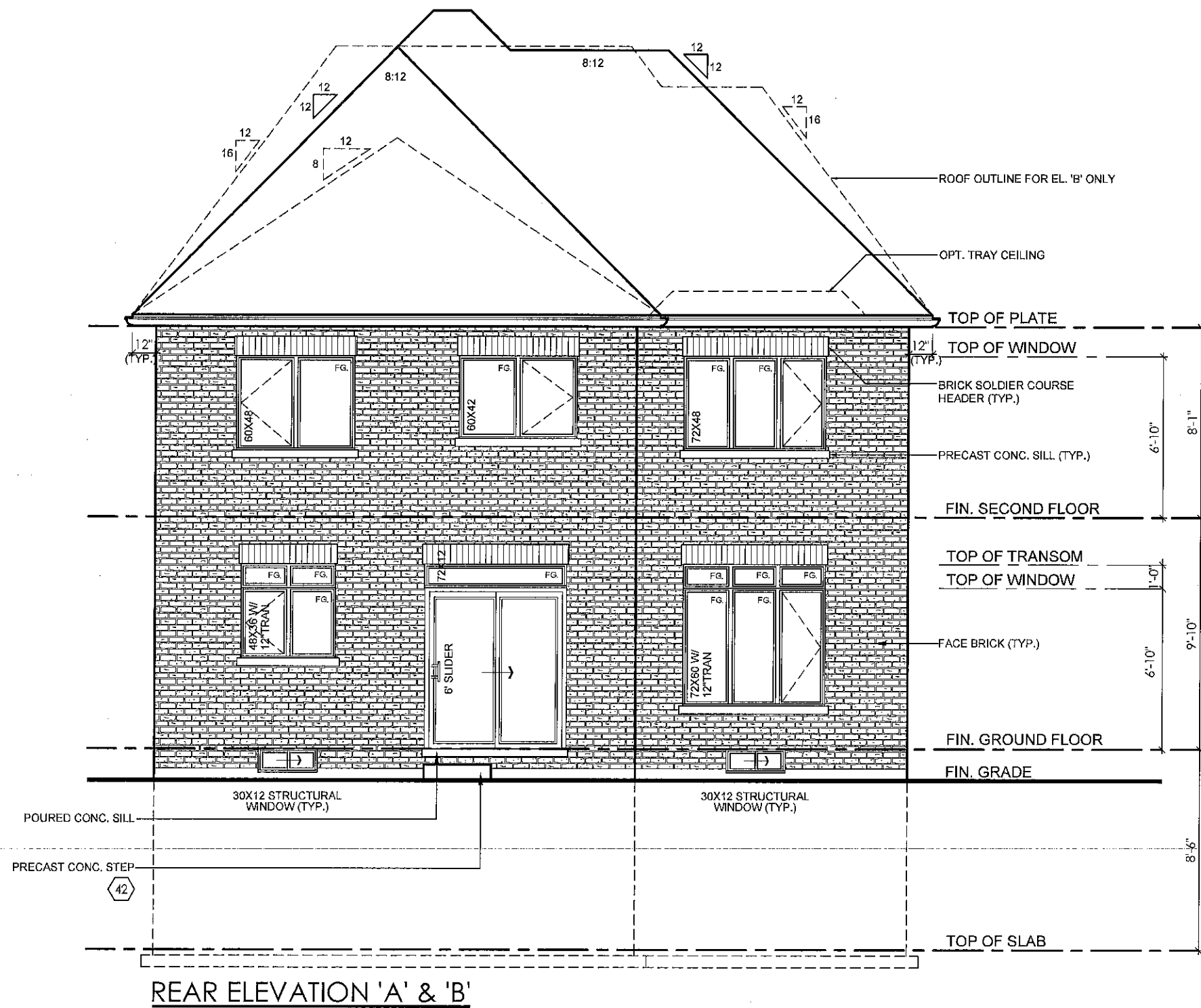
உயர்நீதிமன்றம், சென்னை

model
38-1

PAN design
Imagine • Inspire • Create



page

 ∞
Alocation
Brampton

Gold Park Homes

marketing name

project
McLaughlin and Mayfield

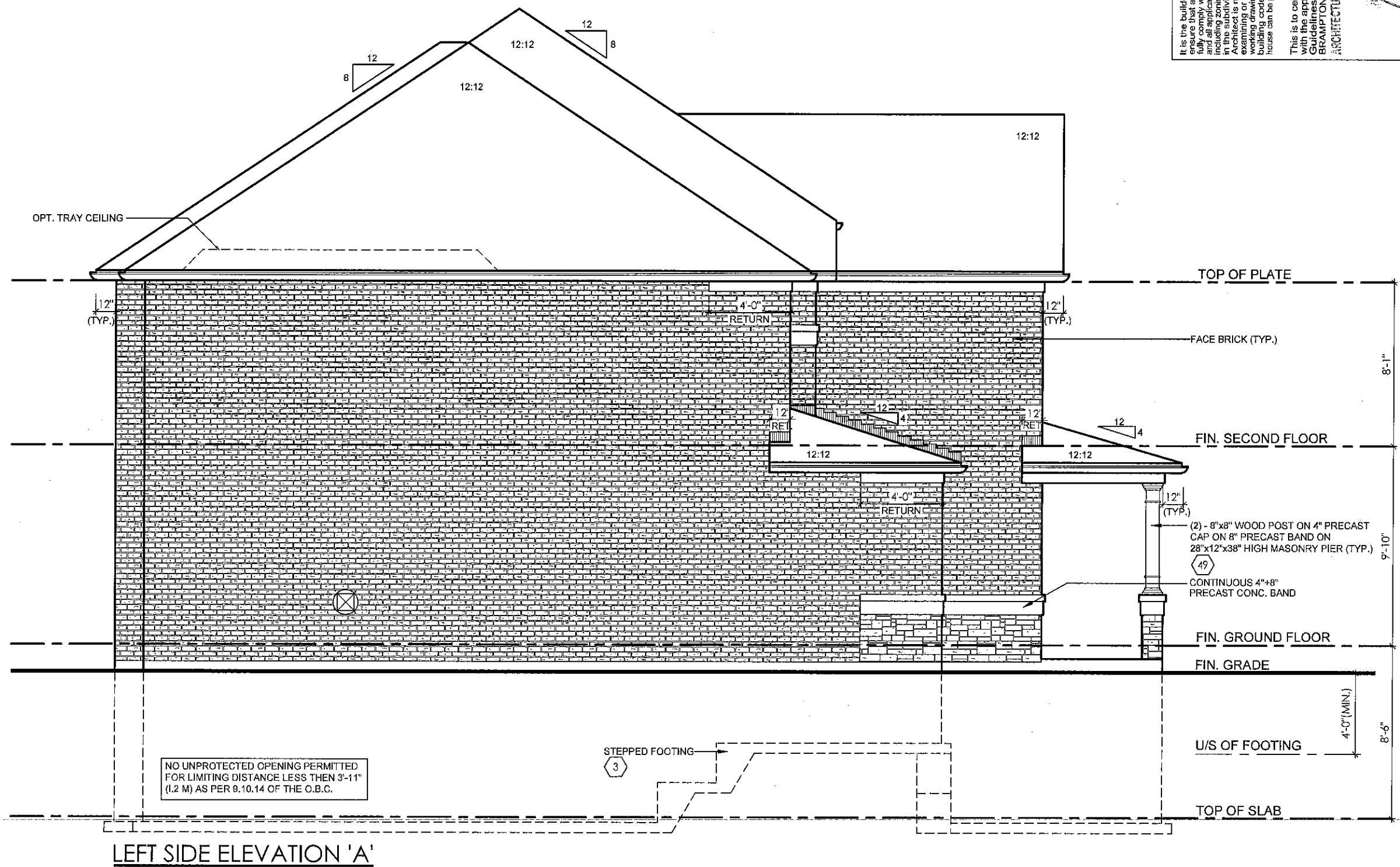
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	pt	aq	5				
2	ISSUED FOR PERMIT	16/06/2015	RPA	DJH	6				
3					7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

QUALIFIED DESIGNER BCIN 20888.

QUALIFIED DESIGNER
FIRM BBNJ26999
JUL 27

SIGNATURE:



LEFT SIDE ELEVATION 'A'

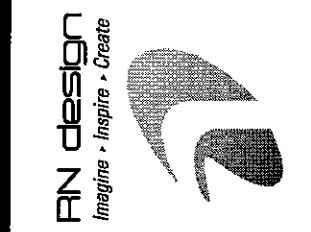
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or whether the proposed development complies with building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

DATE: 2/2/2015

JORR G. BULLOCK LIMITED, ARCHITECTS



location		Brampton		marking name	
client		Gold Park Homes		project	
		McLaughlin and Mayfield			
#	revisions	date	down	chk	#
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	PS	ra	5
2	ISSUED FOR PERMIT	16/04/2015	RPA	DJH	6
3					7
4					8

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate categories.

QUALIFIED DESIGNER: DANIEL J. HANNINEN, P.Eng. 20888

DATE: 2/2/2015

SIGNATURE: [Signature]

SIGNATURE:



3

FRONT ELEVATION 'B'

29

ARCHITECTURAL REVIEW & APPROVAL

2. Page 2



marketing name

project
McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ipa	5				
2	REVISED AS PER ARCH. CONTROL COMM.	18/09/2014	ipa	DJH	6				
3	ISSUED FOR PERMIT	16/04/2015	RFA	DJH	7				
4					8				

I, **DANIEL J. HANNINEN**, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

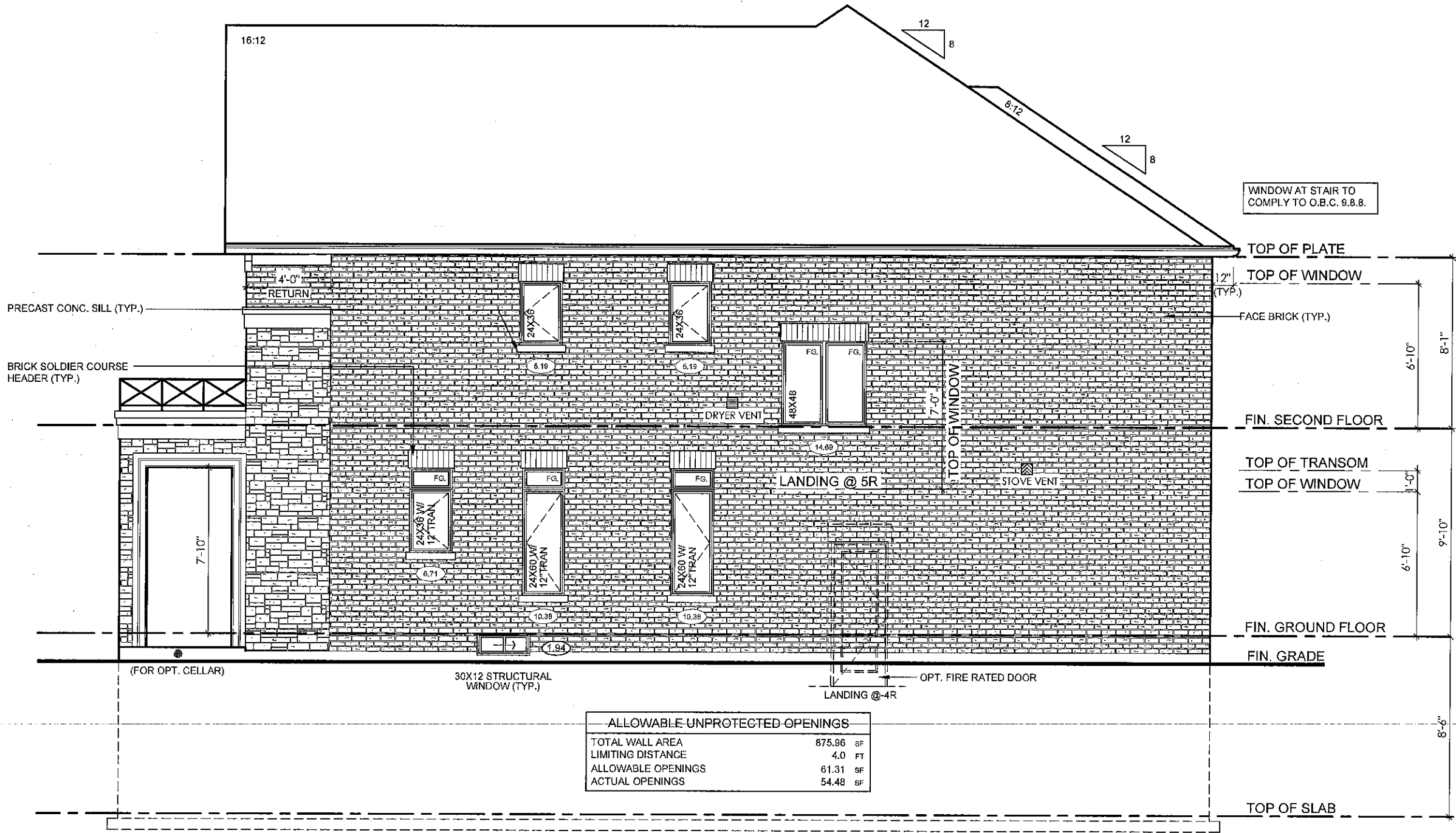
JUL 7 2015
IRM BCN 26995

SIGNATURE

SIGNATURE:

A10

page



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit applications. The house can be properly built or located on its lot.

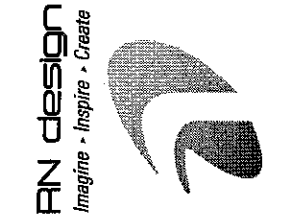
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JUL 2 2015

JOHN WILLIAMS Limited Architects

model 38-1
scale 3/16" = 1'0"
project # 13098
page A11



location		Brampton		marking name		date dwn chk	
#	revisions	date dwn	chk	#	revisions	date dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	PS	5			
2	ISSUED FOR PERMIT	16/06/20	RYA	6			
3				7			
4				8			

I, DANIEL J. HANNEN, declare that I have reviewed and take design responsibility for the design work on behalf of PN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

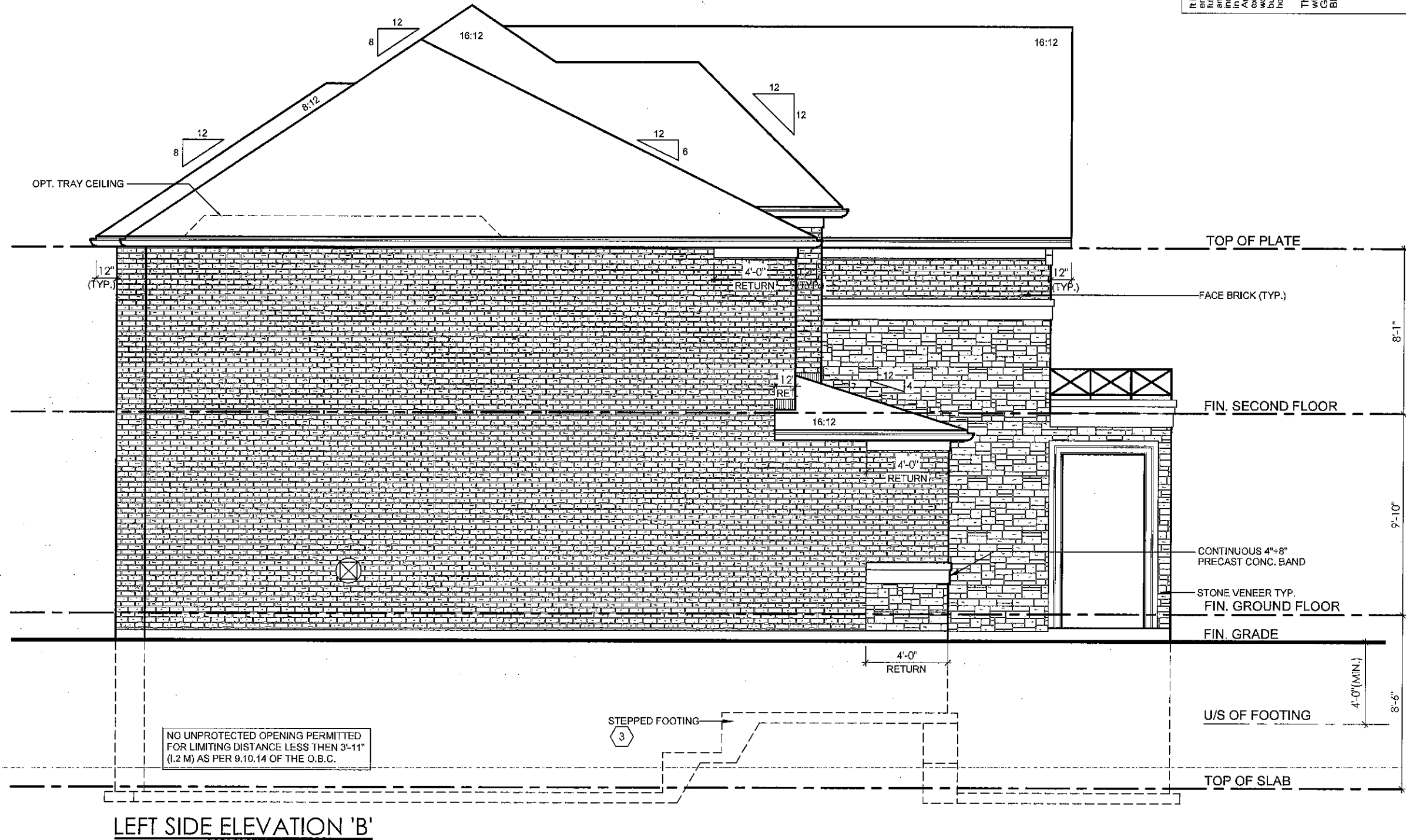
QUALIFIED DESIGNER BCIN-288888

FIRM JUL 26 2015

DATE

SIGNATURE

SIGNATURE:



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for existing or proposed site (lotting) plans or zoning or other regulations that may apply to building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

2014.06.22

ANITA C. BROWN, ARCHITECT



client		location		marking name	
Gold Park Homes		Brampton			
project		revisions		date dwn chk	
McLaughlin and Mayfield					
#	revisions	date	dwn	chk	#
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	tpa	5
2	REVISED AS PER ARCH. CONTROL COMMENT	18/08/2014	tpa	DJH	6
3	ISSUED FOR PERMIT	15/06/2015	BPA	DJH	7
4					8

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

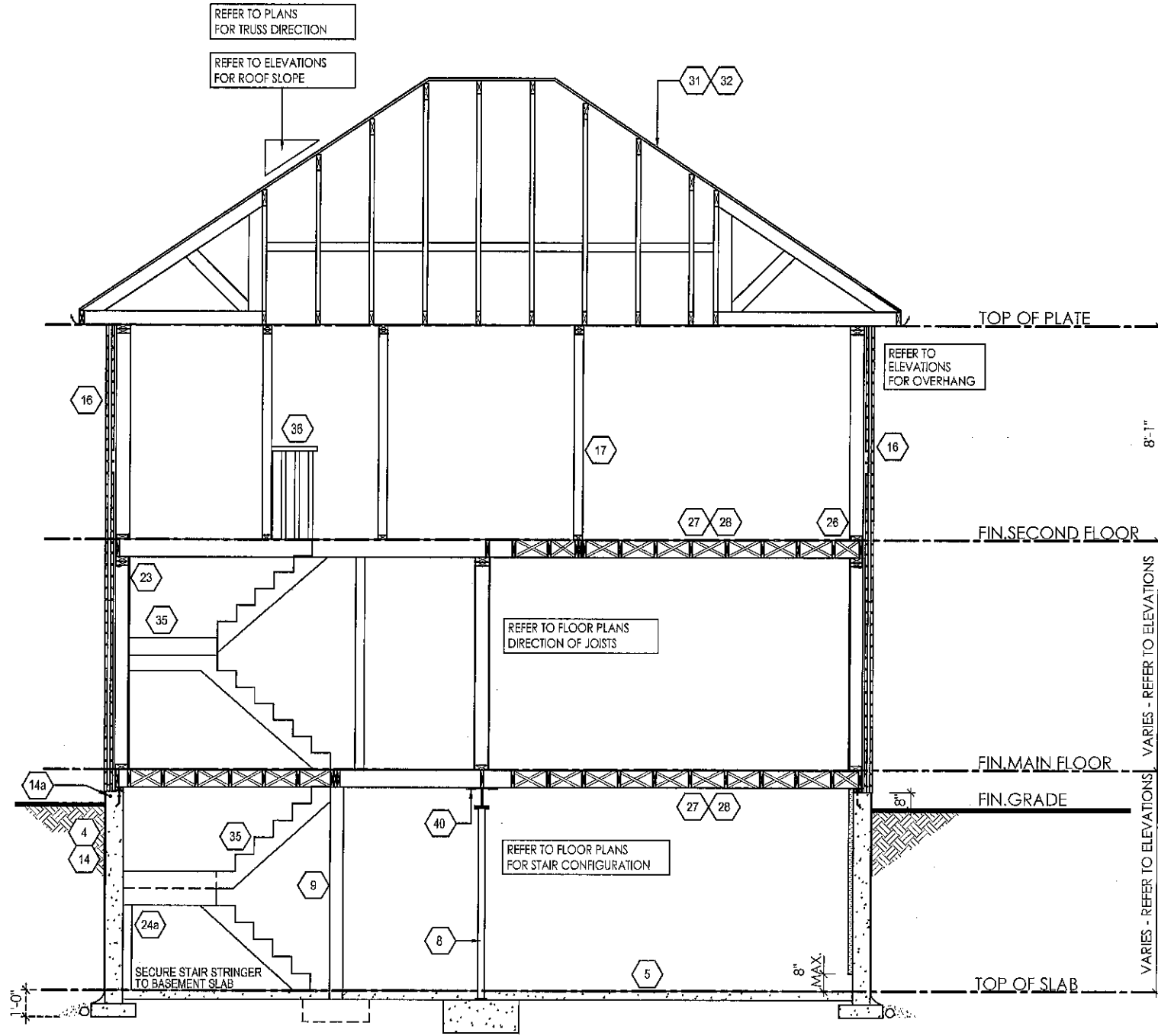
QUALIFIED DESIGNER BCIN 20888

2014.06.22

DATE

SIGNATURE

SIGNATURE:



TYPICAL raOSS-SECTION

SCALE: N.T.S.

model

38-1

scale

3/16" = 1'0"

project #

13098

page

A13

PN design

Imagine • Inspire • Create

client

Gold Park Homes

location

Brampton

project

McLaughlin and Mayfield

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ra	5				
2	ISSUED FOR PERMIT	16/06/20	RFA	DJH	6				
3					7				
4					8				

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.

QUALIFIED DESIGNER BCIN 20886

10/01/2015

DATE

SIGNATURE

SIGNATURE:

CONSTRUCTION NOTES:

COMPLIANCE PACKAGE J - O.B.C. 2012 - 2015 ENACTMENT
(UNLESS OTHERWISE NOTED)
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.
-THERMAL RESISTANCE VALUES BASED ON ZONE I

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:
O.B.C. 9.15.3.
-BASED ON 16"-1"(14.9m) MAX. SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY
-FIG. TO HAVE CONTINUOUS KEY
-FIG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOIL ENGINEERING REPORT)

1 TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.
-FIG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
BRICK VENEER
-1 STOREY - 13" X 4" (330mm X 100mm)
-2 STOREY - 19" X 6" (485mm X 155mm)
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING:
-1 STOREY - 10" X 4" (255mm X 100mm)
-2 STOREY - 14" X 4" (360mm X 100mm)
-3 STOREY - 18" X 5" (460mm X 130mm)

2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6.
-1 STOREY MASONRY - 16" X 4" (410mm X 100mm)
-1 STOREY STUD - 12" X 4" (305mm X 100mm)
-2 STOREY MASONRY - 26" X 9" (660mm X 230mm)
-2 STOREY STUD - 18" X 5" (460mm X 130mm)
-3 STOREY MASONRY - 36" X 14" (900mm X 360mm)
-3 STOREY STUD - 24" X 8" (600mm X 200mm)

3 STEP FOOTING:

O.B.C. 9.15.3.9.
-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

4 DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3.
-4" (100mm) MIN. DIA. Laid ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT SLAB:

O.B.C. 9.13. & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. S8-12-2.1.1.6 (5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. S8-9)

5a SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE.
-4" (100mm) OF COURSE GRANULAR MATERIAL
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
-FLOOR DRAIN PER O.B.C.9.31.4.4.
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO SUPPLEMENTARY STANDARD (O.B.C. S8-9)

6 GARAGE SLAB / EXTERIOR SLAB:

-4" (100mm) CONCRETE SLAB
-4500psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
-6" X 6" (152.9 X 152.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
-4" (100mm) OF COURSE GRANULAR MATERIAL
-ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

7 PILASTER:

O.B.C. 9.15.5.3.
-PLASTER
-CONCRETE NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.1.2. TOP 7 7/8" (200mm) SOLID.
OR
-BEAM POCKET
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM (O.B.C. 9.20.1.2)
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.20.1.2)

STRUCTURAL COLUMNS

-SIZES BASED ON COLUMN SUPPORTING BEING CARRYING STRUCTURE NOT MORE THAN 2 WOOD FRAME FLOORS ABOVE WHERE THE COLUMN IS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4905mm) MIN. UNIFORM LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2400 N/m²) WHERE

STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.
-FIXED COLUMN
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 1/4" (152mm) STEEL BTM. PLATE.
-FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. 10" (255mm) FROM BEAM WHERE ADJUSTABLE COLUMNS TO CONFORM TO CANADIAN STANDARD
-IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.25.3.4)

COL SPACING:

2 STOREY:
-MAX. 9'-10" (2997mm)
-3 STOREY:
-34" X 34" X 16" (860mm X 860mm X 400mm)
-44" X 44" X 21" (1120mm X 1120mm X 530mm)
-40" X 40" X 19" (1010mm X 1010mm X 480mm)
-51" X 51" X 24" (1295mm X 1295mm X 610mm)
-WHERE COL. SITS ON FDN. WALL USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

CLIENT SPECIFIC REVISIONS

I, DANIEL J. HANNINEN, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
QUALIFIED DESIGNER: DAN J. HANNINEN
FIRM REG. 26995
DATE: JUL 27 2015 SIGNATURE: [Signature]

client

Gold Park Homes

project

McLaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps	ra	5				
2	ISSUED FOR PERMIT	16/06/2015	RFA	DJH	6				
3					7				
4					8				

SIGNATURE:

WOOD COLUMN:

O.B.C. 9.17.4.1.
-5 1/2" X 5 1/2" (140mm X 140mm) SOLID WOOD COLUMN.
-METAL SHOE ANCHORED TO FOOTING
-25" X 25" X 12" (640mm X 640mm X 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9"-10" COL SPACING)
-34" X 34" X 14" (866mm X 866mm X 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9"-10" COL SPACING)

10 BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

-2"x8"x12" LEDGER BOARD FASTENED W/ 2" 1/2" ANCHOR BOLTS @ 4" O.C. WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11
-BEING REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"x11"x 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2" Ø X6" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2.
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN Laterally SUPPORTED HEIGHT.
-8" (200mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN Laterally SUPPORTED HEIGHT.
-10" (250mm) SOLID 2200psi (15MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. 1.9.1.5.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. - PART 4.
-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
-INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 - O.B.C. T.2.1.1.2.A.)
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7.
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm) VERTICALLY O.C. & 2-1" (50mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK
-DAMP-PROOFING & WATERPROOFING:
-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
-WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP-PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP-PROOFING.

14a FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.
-BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS. MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6.
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1 - O.B.C. T.2.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. S8-3. WALL = BW1b (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.1.5.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS. MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4).
-BRACE W/ CONT. 1.6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE OR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
-R14 (RSI 2.46) INSULATION (ZONE 1 - O.B.C. T.2.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 1/2" (12.7mm) GYPSUM BOARD.
NOTE - SUPPORT FOR 2+ 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
O.B.C. S8-3. WALL = BW1b (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.1.5.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-SIDING OR STUCCO AS PER ELEVATIONS. MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6.
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2+ 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
O.B.C. S8-3. WALL = BW1b (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
OR
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.1.5.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK. 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS. FLASHING UNDER -1" (25mm) AIR SPACE
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6
-2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1 - O.B.C. T.2.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

O.B.C. S8-3. WALL = BW1b (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK. 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS. FLASHING UNDER -1" (25mm) AIR SPACE
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS
-BRACE W/ CONT. 1.6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL
-R14 (RSI 2.46) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 1/2" (12.7mm) GYPSUM BOARD

NOTE - SUPPORT FOR 2+ 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
O.B.C. S8-3. WALL = BW1b (STC = N/A. FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

BRICK VENEER CONSTRUCTION @ GARAGE:

O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK. 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
-BRICK OR STONE SILLS UNDER OPENINGS. FLASHING UNDER -1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2+ 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD.

RN design
Imagine • Inspire • Create



model

38-1

scale

3/16" = 1'0"

project #

13098

page

D1

36b) EXTERIOR GUARDS @ JULIET BALCONY:

- FOR RAILING SPANNING MAXIMUM OF 6'-0".
- PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
- FOR DWELING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
- VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
- PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37) -LINEN CLOSET 4 SHELVES MIN. 1'-2" (380mm) DEEP
- 38) -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.-9.32.1.3.(3)
- 39) -CAPPED DRYER VENT

40) -1"x2" (19mmX38mm) BOTH SIDES OF STEEL.

- WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR TILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

42) -PRECAST CONC. STEP

44) SMOKE ALARM, O.B.C.- 9.10.1.9.

- PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
- PROVIDE 1 IN EACH BEDROOM
- INSTALLED AT OR NEAR CEILING
- ALARMS WILL BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALING COMPONENT
- ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45) CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
- WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
- CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

46) -MAIN DOOR TO BE OPERABLE FROM INSIDE W/O/UT KEY

- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 140 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.

47) -GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER,

- WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
- R4 (RSI 0.70)

48) -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:

- 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
- 2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

49) EXTERIOR COLUMN W/ MASONRY PIER:

- MIN. 6"x6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
- TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
- 1-4" X 1-4" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
- SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
- 3/4" AIR SPACE AROUND POST.
- OR
- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
- 1-4" X 1-4" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
- NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

49b) EXTERIOR COLUMN:

- MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
- NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50) COLD CELLARS:

- FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
- COVER VENT W/ BUG SCREEN
- WALL MOUNTED LIGHT FIXTURE
- 1-4" X 6" FOR DOOR OPENING
- 2-8" X 6-8" EXTERIOR TYPE DOOR (MIN. R-4 RSI 0.7)
- INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

51) STUD WALL REINFORCEMENT:

- O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(g)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
- GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

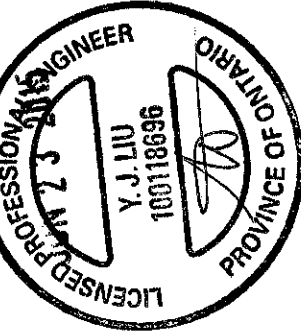
FRAME CONSTRUCTION:

- ALL FRAMING LUMBER TO BE No.1 AND No.2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
- BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS

GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	2777.76 SF	258.05 m²
FRONT GLAZING AREA	64.28 SF	5.97 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	53.28 SF	4.95 m²
REAR GLAZING AREA	161.44 SF	15.00 m²

TOTAL GLAZING AREA	279.00 SF	25.92 m²
TOTAL GLAZING PERCENTAGE	10.04 %	



FOR STRUCTURAL ONLY

GROSS GLAZING AREA 'B'

TOTAL PERIPHERAL WALL AREA	2797.96 SF	259.93 m²
FRONT GLAZING AREA	56.98 SF	5.29 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	53.28 SF	4.95 m²
REAR GLAZING AREA	161.44 SF	15.00 m²

TOTAL GLAZING AREA	271.70 SF	25.24 m²
TOTAL GLAZING PERCENTAGE	9.71 %	

CLIENT SPECIFIC REVISIONS

DOORS	46	47
A	865X2030X45 (2'10"x6'8"x1-3/4")	
B	815X2030X35 (2'8"x6'8"x1-3/8")	
C	760X2030X35 (2'6"x6'8"x1-3/8")	
D	710X2030X35 (2'4"x6'8"x1-3/8")	
E	460X2030X35 (1'6"x6'8"x1-3/8")	
F	610X2030X35 (2'0"x6'8"x1-3/8")	
G	OVER SIZED EXTERIOR DOOR	

STEEL BEAMS
ST1 W 6 X 15
ST2 W 6 X 20
ST3 W 8 X 18
ST4 W 8 X 21
ST5 W 8 X 24

SCHEDULES

WOOD BEAMS
WD9 5/2" X 12" SPR
WD10 2/1 3/4" X 7 1/4" (2.0E) LVL
WD11 3/1 3/4" X 7 1/4" (2.0E) LVL
WD12 2/1 3/4" X 9 1/2" (2.0E) LVL
WD13 3/1 3/4" X 9 1/2" (2.0E) LVL
WD14 2/1 3/4" X 11 7/8" (2.0E) LVL
WD15 3/1 3/4" X 11 7/8" (2.0E) LVL

LINTELS
L10 4-7/8" X 3-1/2" X 5/16" L
L11 4-7/8" X 3-1/2" X 3/8" L
L12 4-7/8" X 3-1/2" X 1/2" L
L13 5-7/8" X 3-1/2" X 3/8" L
L14 5-7/8" X 3-1/2" X 1/2" L
L15 5-7/8" X 4" X 1/2" L
L16 7-1/8" X 4" X 3/8" L
L17 7-1/8" X 4" X 1/2" L

PLAN/ELEVATION LEGEND

	SMOKE ALARM		CARBON MONOXIDE ALARM (CMA)
	WATERPROOF DUPLEX OUTLET		DOUBLE JOIST
	VENTS AND INTAKES		PRESSURE TREATED LUMBER
	HOSE BIB		GIRDER TRUSS
	EXHAUST FAN		ABOVE FINISHED FLOOR
	COLD CELLAR VENT		EXT. LIGHT FIXTURE (WALL MOUNTED)
	STOVE VENT		HYDRO METER
	FIRE PLACE VENT		GAS METER
	DRYER VENT		
			FLOOR DRAIN
			SOLID BEARING JOIST (SUPPORTED MEMBER)
			POINT LOAD
			FLAT ARCH
			2 STORY WALL
			UNDER SIDE
			FIXED GLAZING
			GLASS BLOCK
			BLACK GLASS

client

Gold Park Homes

project

Mclaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	04-JUL-14	ps		5				
2	ISSUED FOR PERMIT	15/06/20	RPA	DJH	6				
3					7				
4					8				

I, DANIEL J. HANNINEN declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, Subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

FIRM BCIN 24995 QUALIFIED DESIGNER BCIN 20888

DATE 07-27-2015 SIGNATURE

DATE

SIGNATURE:

location

Brampton

marketing name

model

38-1

scale

3/16" = 1'0"

project #

13098

page



D3