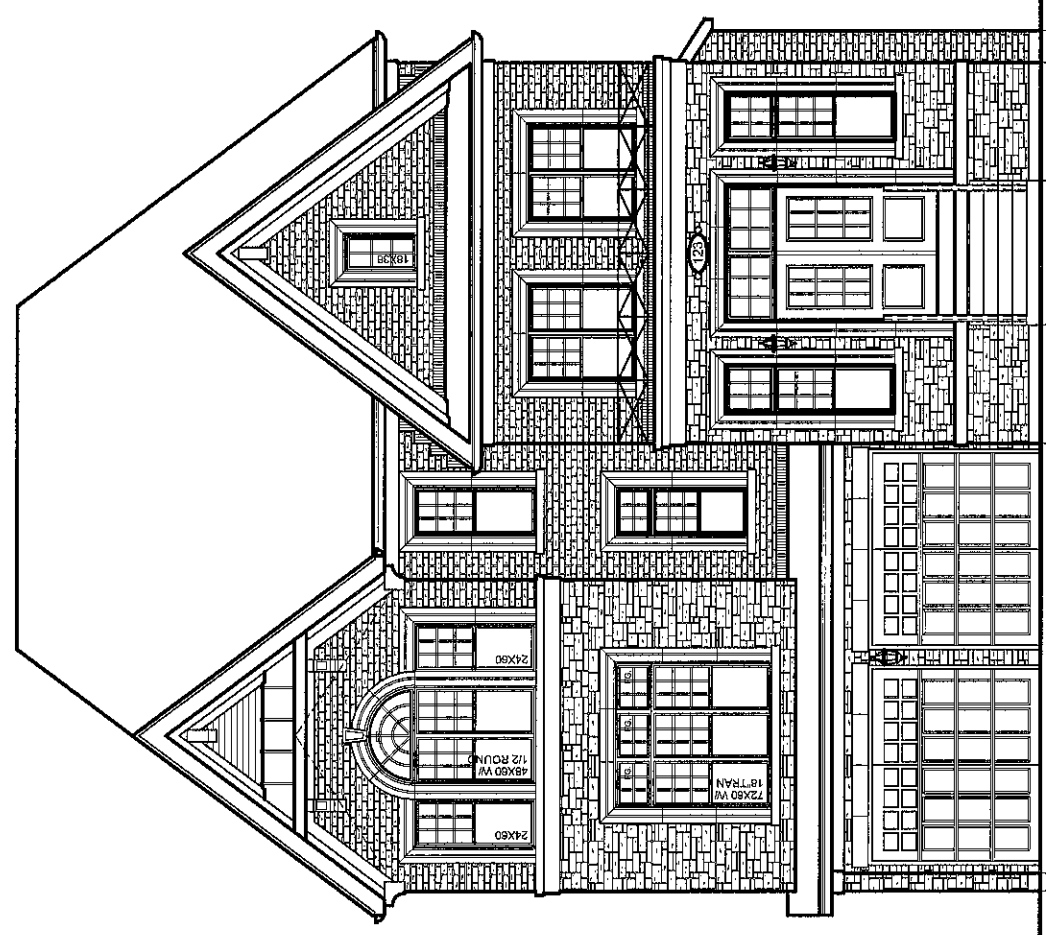


FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

## Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR PLAN ELEV. 'A'
- A2 GROUND FLOOR PLAN ELEV. 'A'
- A3 MAIN FLOOR PLAN ELEV. 'A'
- A4 SECOND FLOOR PLAN ELEV. 'A'
- A5 PART. BASEMENT FLOOR PLAN ELEV. 'B'
- A6 PART. GROUND FLOOR PLAN ELEV. 'B'
- A7 PART. MAIN FLOOR PLAN ELEV. 'B'
- A8 PART. SECOND FLOOR PLAN ELEV. 'B'
- A9 OPT. GROUND FLOOR PLAN ELEV. 'A'
- A10 PART. SEC. FLR. PLAN ELEV. 'A' W/ OPT. ENSUITE
- A11 PAR. OPT. GRD. FLR. PLAN ELEV. 'A' W/ OPT. LAUN.
- A12 FRONT ELEVATION 'A'
- A10 RIGHT SIDE ELEVATION 'A'
- A11 REAR ELEVATION 'A' & 'B'
- A12 LEFT SIDE ELEVATION 'A'
- A13 FRONT ELEVATION 'B'
- A14 RIGHT SIDE ELEVATION 'B'
- A15 LEFT SIDE ELEVATION 'B'
- A16 STAIR CROSS-SECTION 1
- PART. CROSS-SECTION 2
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

## Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR PLAN	(0)	111.2	111.2	10.3
MAIN FLOOR PLAN	(0) (1)	1590.6	1591.1	147.8
MAIN FLOOR PLAN OTB	(0) (1)	(5.0)	(5.0)	(0.5)
SECOND FLOOR PLAN	(0) (1)	1584.0	1584.5	147.2
SECOND FLOOR PLAN OTB	(0) (1)	(5.5)	(5.5)	(0.5)
<b>TOTAL AREA (0)</b>		<b>3275.3</b>	<b>3276.3</b>	<b>304.4</b>
OPT. GROUND FLOOR PLAN	(1)	784.0	784.0	72.8
<b>TOTAL AREA (1)</b>		<b>3948.1</b>	<b>3949.1</b>	<b>366.9</b>
COVERAGE INC PORCH		1678.8	1678.8	156.0
COVERAGE NOT INC PORCH		1599.6	1599.6	148.6

# Gold Park Homes McLaughlin and Mayfield The Brahms

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38468  
FIRM BCIN: 26995  
DATE: JAN. 26-2016

SIGNATURE:

client

Gold Park Homes

project  
McLaughlin and Mayfield

location

Brampton

marketing name  
The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	kk	RPA	5	REVISED AREA CHART (DEDUCTED OTB SF FROM TOTAL AREA SF)	9/9/2015	CR	CR
2	REVISED AREA CHART	30-Mar-15	cr	cr	6	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm
3	ROOF TRUSS COORDINATION	14-May-15	RPA	DJH	7	ISSUED FOR PERMIT	1/26/2016	JP	JP
4	REVISED BEG. RM. E.P. NOTE TO BE OPT. & ADDED FLUSH TO BREAKFAST BAR NOTE	3-sep-15	cr	cr	8				

model

41-5

scale

3/16" = 1'0"

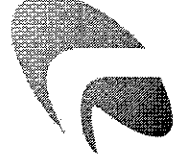
project #

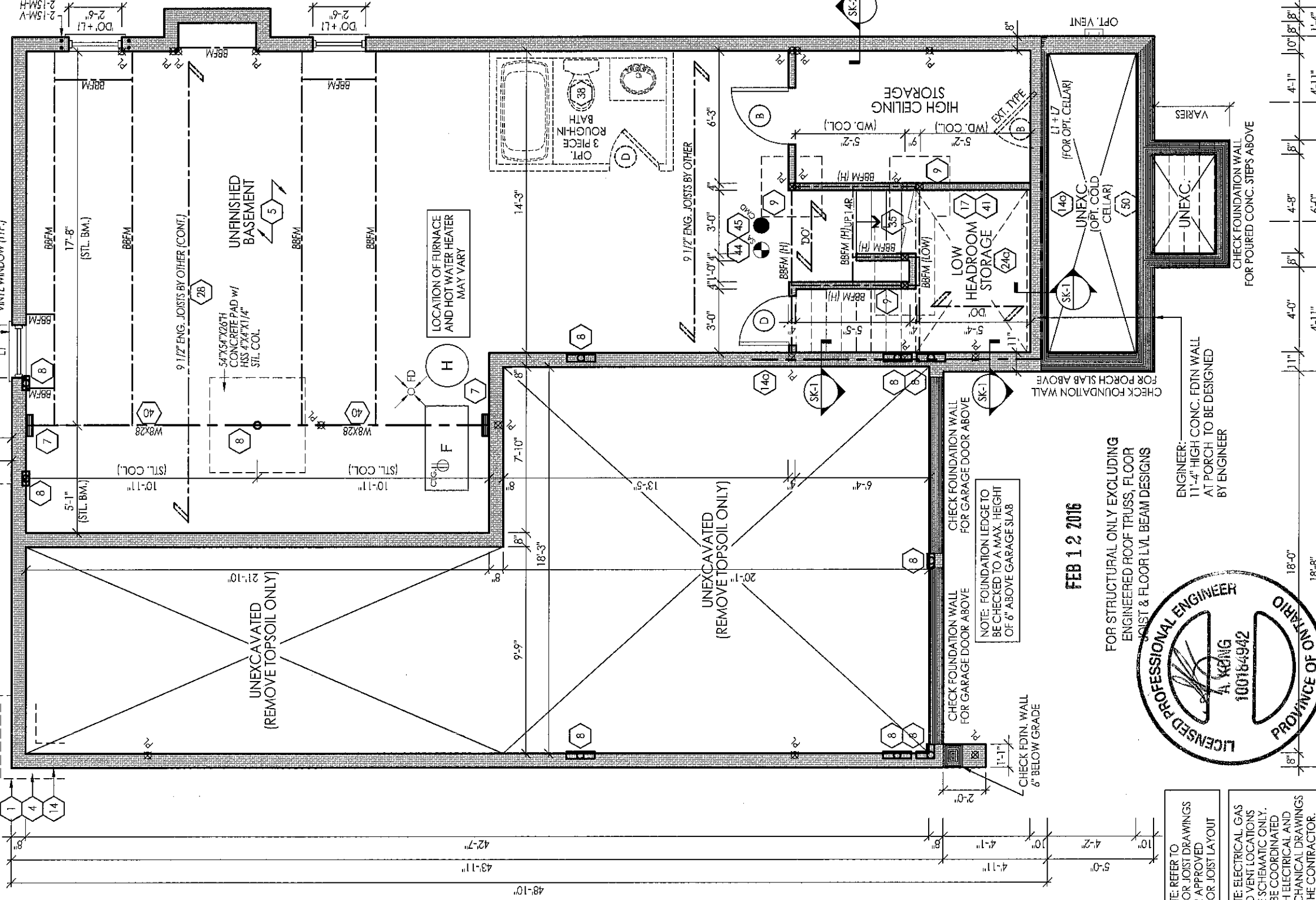
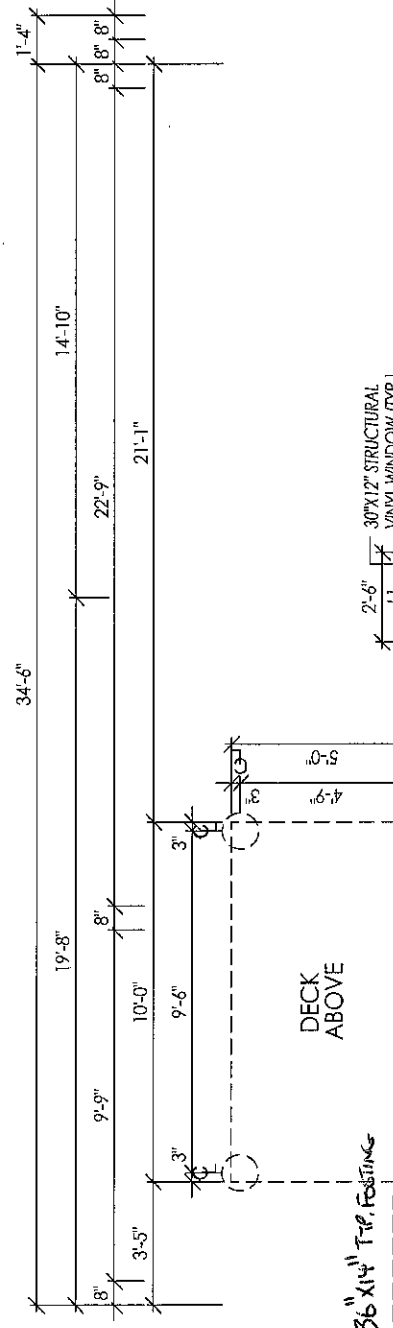
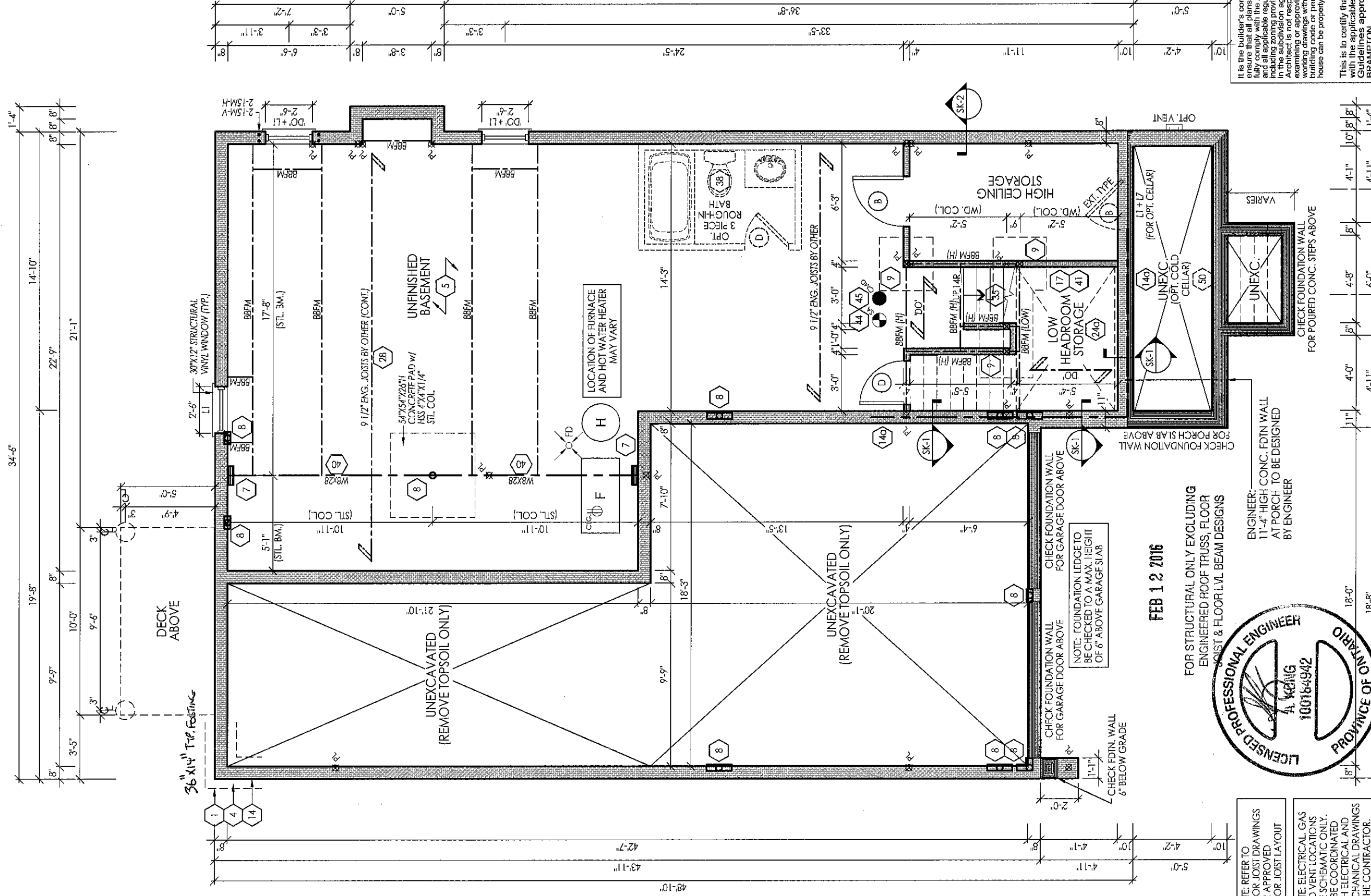
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page

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FN design  
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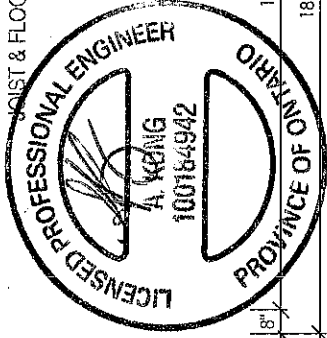


NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

FEB 12 2016

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS



ENGINEER: 11'-4\"/>

REFER TO SHEET A16 FOR CROSS-SECTIONS.

BASEMENT FLOOR PLAN ELEV. 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements including those related to the City of Brampton in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Williams, Architect

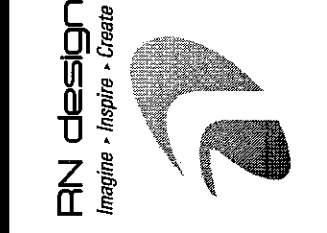
I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

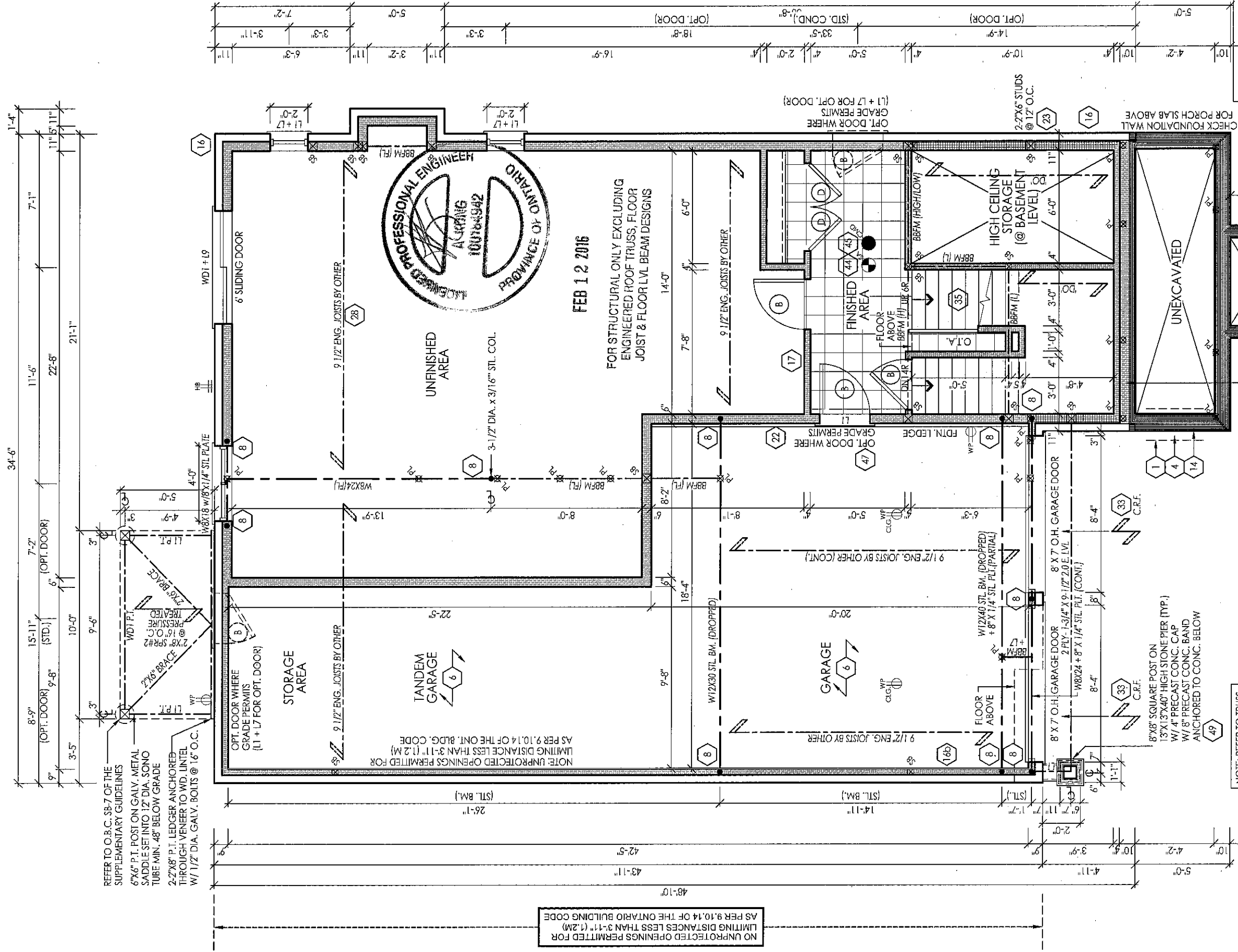
QUALIFIED DESIGNER BCIN: 38688  
FIRM BCIN: 26995  
DATE: JAN. 26-2016

SIGNATURE: *[Signature]*

client: Gold Park Homes  
location: Brampton  
project: Mclaughlin and Mayfield  
marketing name: The Brahms

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/20/2015	kk	RP7A	5				
2	REVISED PER FLOOR COORDINATION	15-JAN-16	am	jm	6				
3	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	7				
4	ISSUED FOR PERMIT	1/26/2016	jp	jp	8				





REFER TO O.B.C. S4-7 OF THE SUPPLEMENTARY GUIDELINES  
 6"x6" P.T. POST ON GALV. METAL SADDLE SET INTO 12" DIA. SONO TUBE MIN. 48" BELOW GRADE  
 2-2"x8" P.T. LEDGER ANCHORED THROUGH VENEER TO WD. LINTEL W/ 1/2" DIA. GALV. BOLTS @ 16" O.C.

NOTE: UNPROTECTED OPENINGS PERMITTED FOR AS PER 9.10.14 OF THE ONT. BLDG. CODE LIMITING DISTANCE LESS THAN 3'-11" (1.2M)

NO UNPROTECTED OPENINGS PERMITTED FOR AS PER 9.10.14 OF THE ONTARIO BUILDING CODE LIMITING DISTANCES LESS THAN 3'-11" (1.2M)

NOTE: UNPROTECTED OPENINGS PERMITTED FOR AS PER 9.10.14 OF THE ONT. BLDG. CODE LIMITING DISTANCE LESS THAN 3'-11" (1.2M)

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH-POURED PRIOR TO BRICK

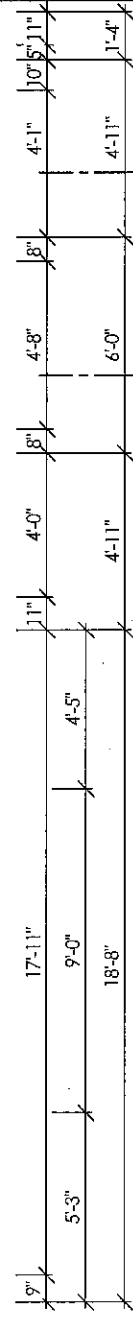
ENGINEER: 11'-4" HIGH CONC. FDN WALL TO BE DESIGNED BY ENGINEER

CHECK FOUNDATION WALL FOR POURED CONC. STEPS ABOVE

CHECK FOUNDATION WALL FOR PORCH SLAB ABOVE

2-2"x6" STUDS @ 12" O.C.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or planning on the part of the City of Brampton. A house can be properly built or located on its lot.



GROUND FLOOR PLAN ELEV. 'A'

REFER TO SHEET A1.6 FOR CROSS-SECTIONS.

ARCHITECTURAL REVIEW & APPROVAL  
 JAN 29 2016

John G. Williams Limited, Architect.

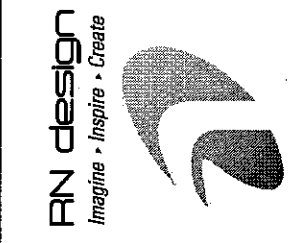
I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **BN DESIGN LTD** UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
 FIRM BCIN: 26995  
 DATE: JAN. 26-2016

SIGNATURE:

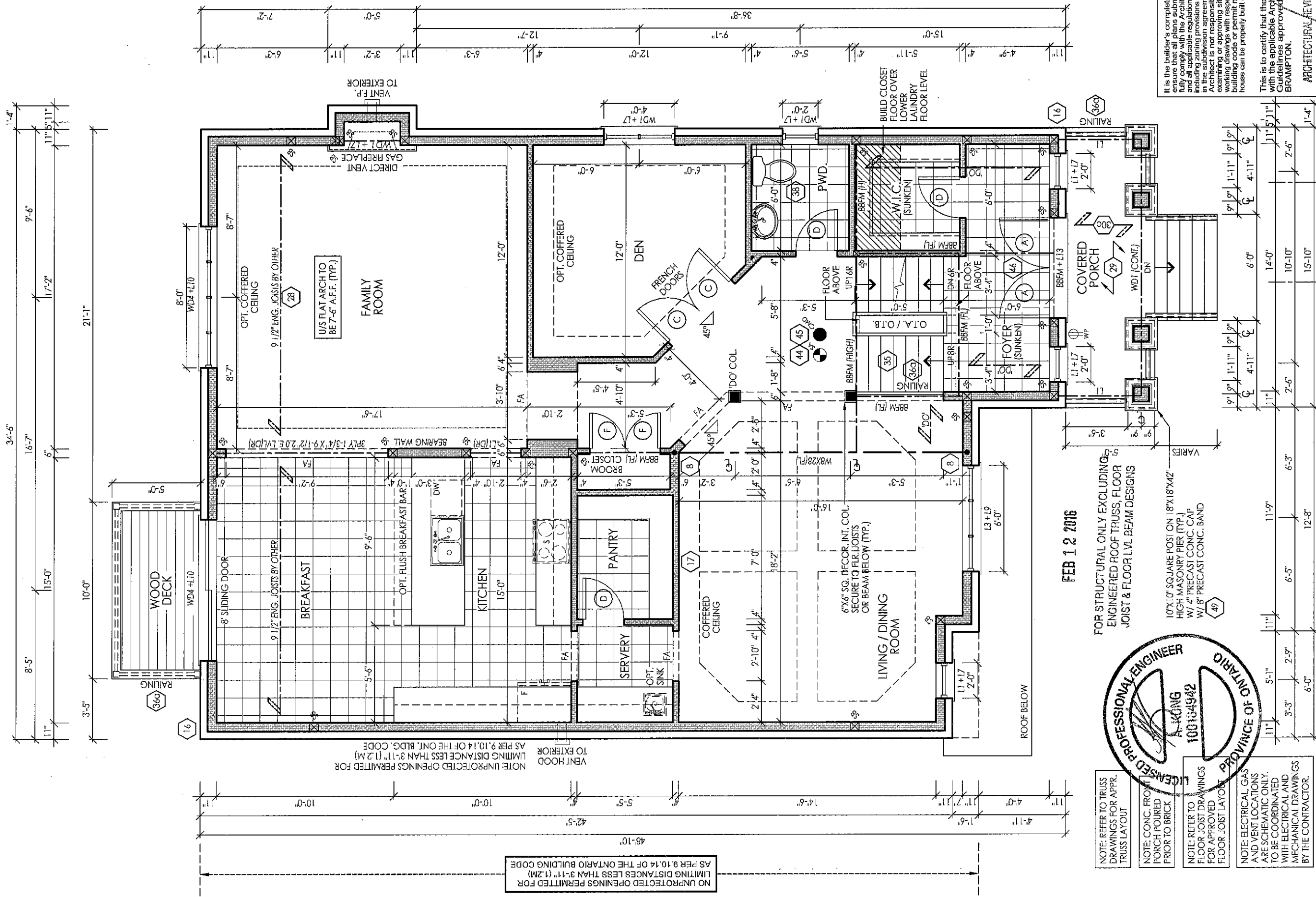
client: Gold Park Homes  
 location: Brampton  
 marking name: The Brahm's

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/29/2015	kk	RPA	5	ISSUED FOR PERMIT	1/26/2016	JP	JP
2	REVISED GARAGE MAIN DOOR TO BE OPTIONAL	3-Sep-15	cr	cr	6				
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	7				
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				



model: 41-5  
 scale: 3/16" = 1'0"  
 project #: 13098

A2

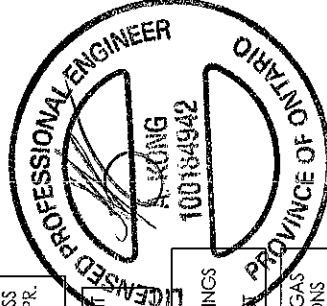


NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FROM PORCH POURED PRIOR TO BRICK

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.



It is the builder's complete responsibility to ensure that all construction fully complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Williams Limited, Architect

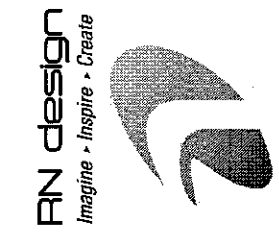
I, JULIO PINZO declare that I have reviewed and taken design responsibility for the design work on behalf of JRN DESIGN LTD. UNDER DIVISION C-PART-3 SUBSECTION-3.2.2 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
FIRM BCIN: 26995  
DATE: JAN. 26-2016

SIGNATURE:

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	kk	RPA	5	ISSUED FOR PERMIT	1/26/2016	JP	JP
2	REVISED BREAKFAST BAR NOTATION TO STATE FLUSH	3-Sep-15	cr	cr	6				
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jm	7				
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

client: Gold Park Homes  
project: The Brahms  
location: Brampton  
marketing name: The Brahms



model 41-5

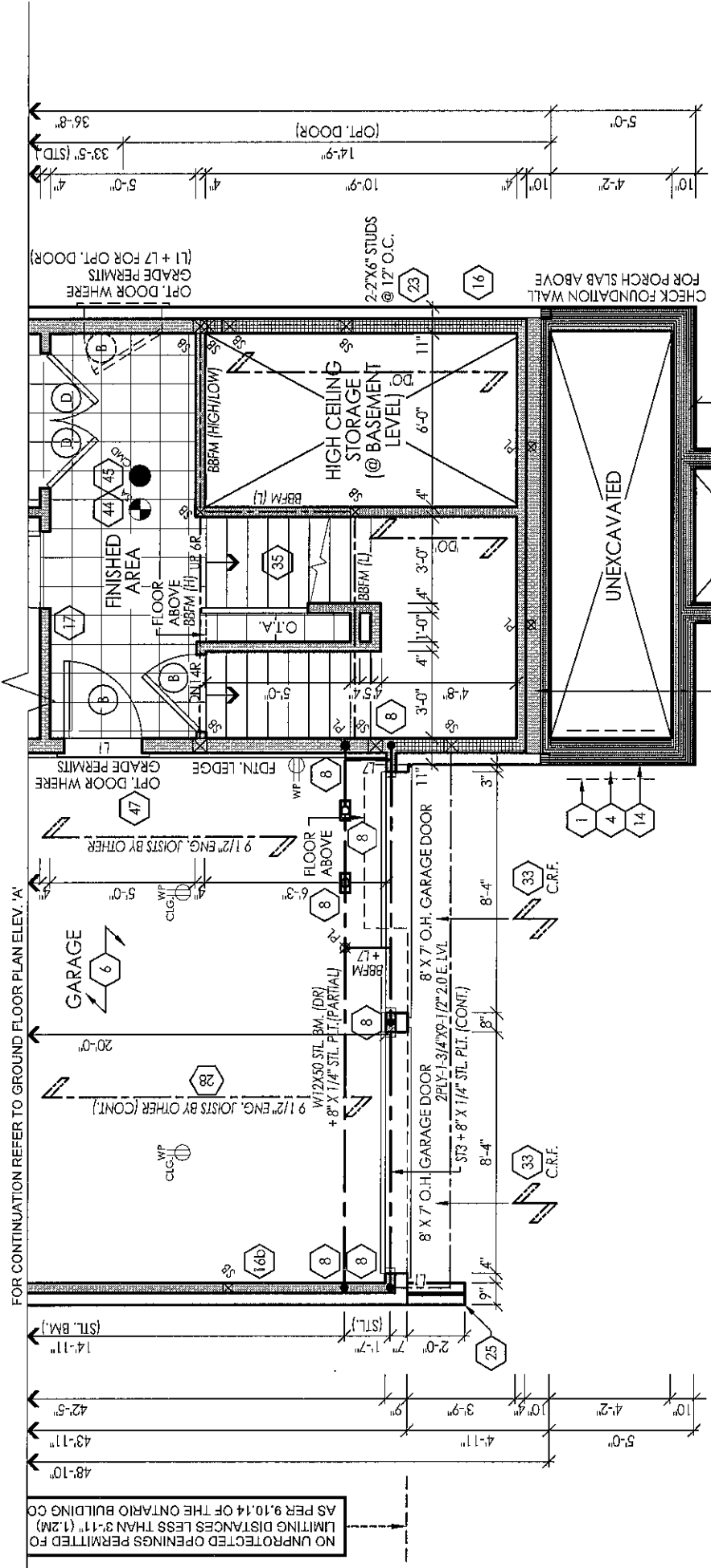
scale 3/16" = 1'0"

project # 13098

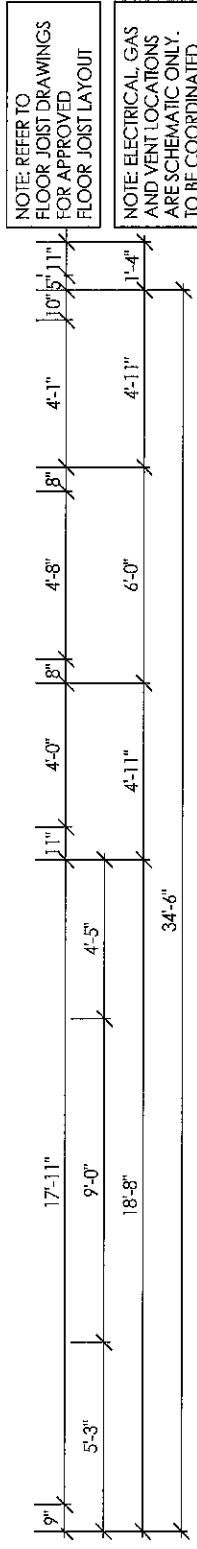
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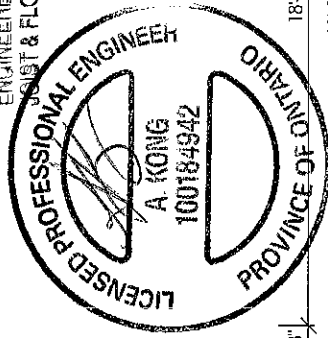
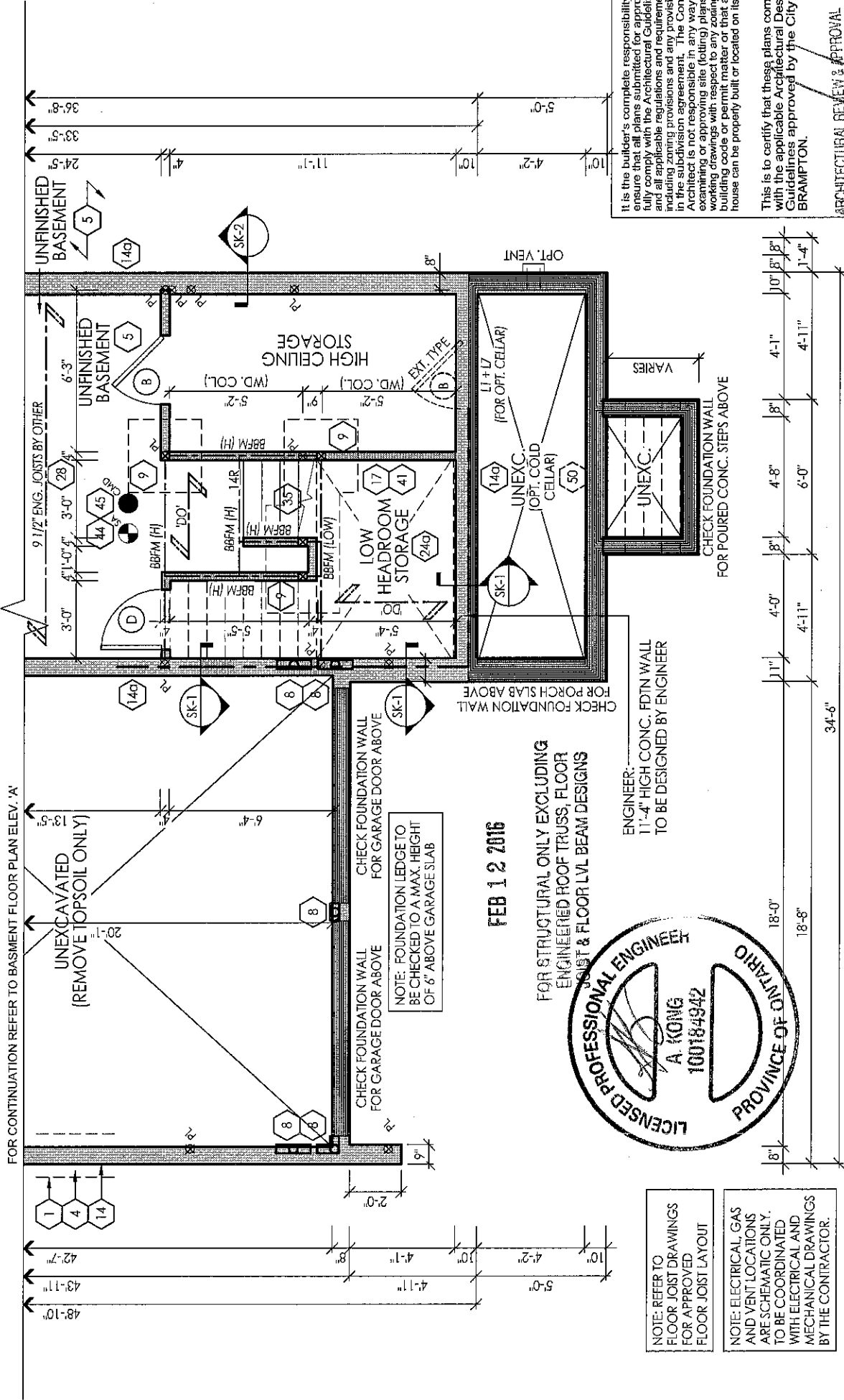




ENGINEER:  
11'-4" HIGH CONC. FDN WALL  
TO BE DESIGNED BY ENGINEER



**PART. GROUND FLOOR PLAN ELEV. 'B'**



NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Williams Limited, Architect

client: Gold Park Homes  
 project: Mclaughlin and Mayfield  
 location: Brampton  
 marketing name: The Brahms

model: 41-5  
 scale: 3/16" = 1'0"  
 project #: 13098

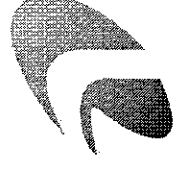
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2	REVISED GARAGE MAIN DOOR TO BE OPTIONAL	3-Sep-15	cr	cr	6				
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	jp	7				
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	jp	jp	8				

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

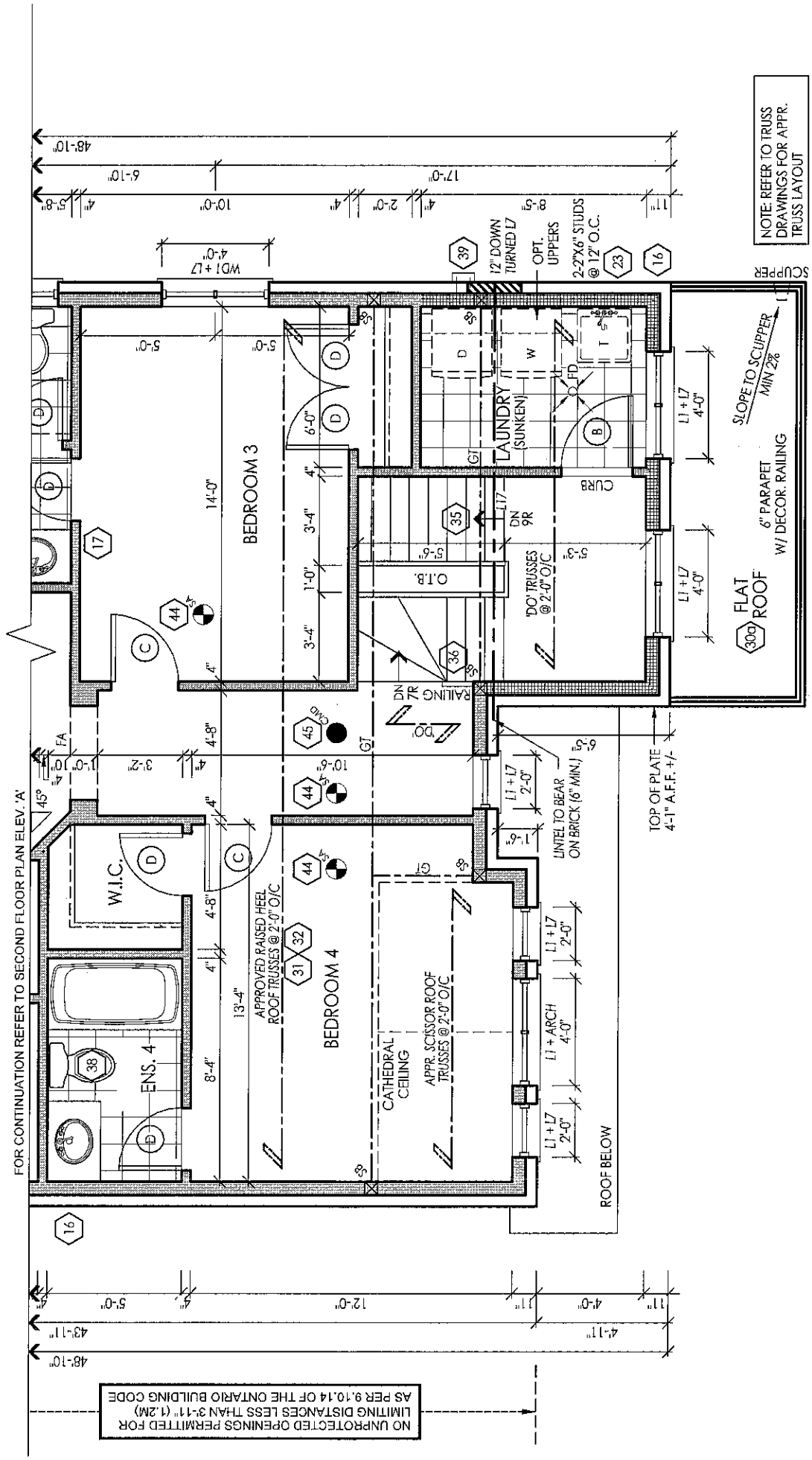
QUALIFIED DESIGNER BCIN: 38498  
 FIRM BCIN: 26995  
 DATE: JAN. 26-2016

SIGNATURE:

ARN design  
 Imagine - Inspire - Create



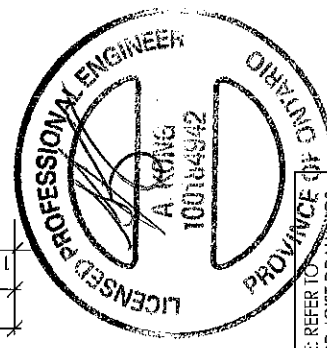
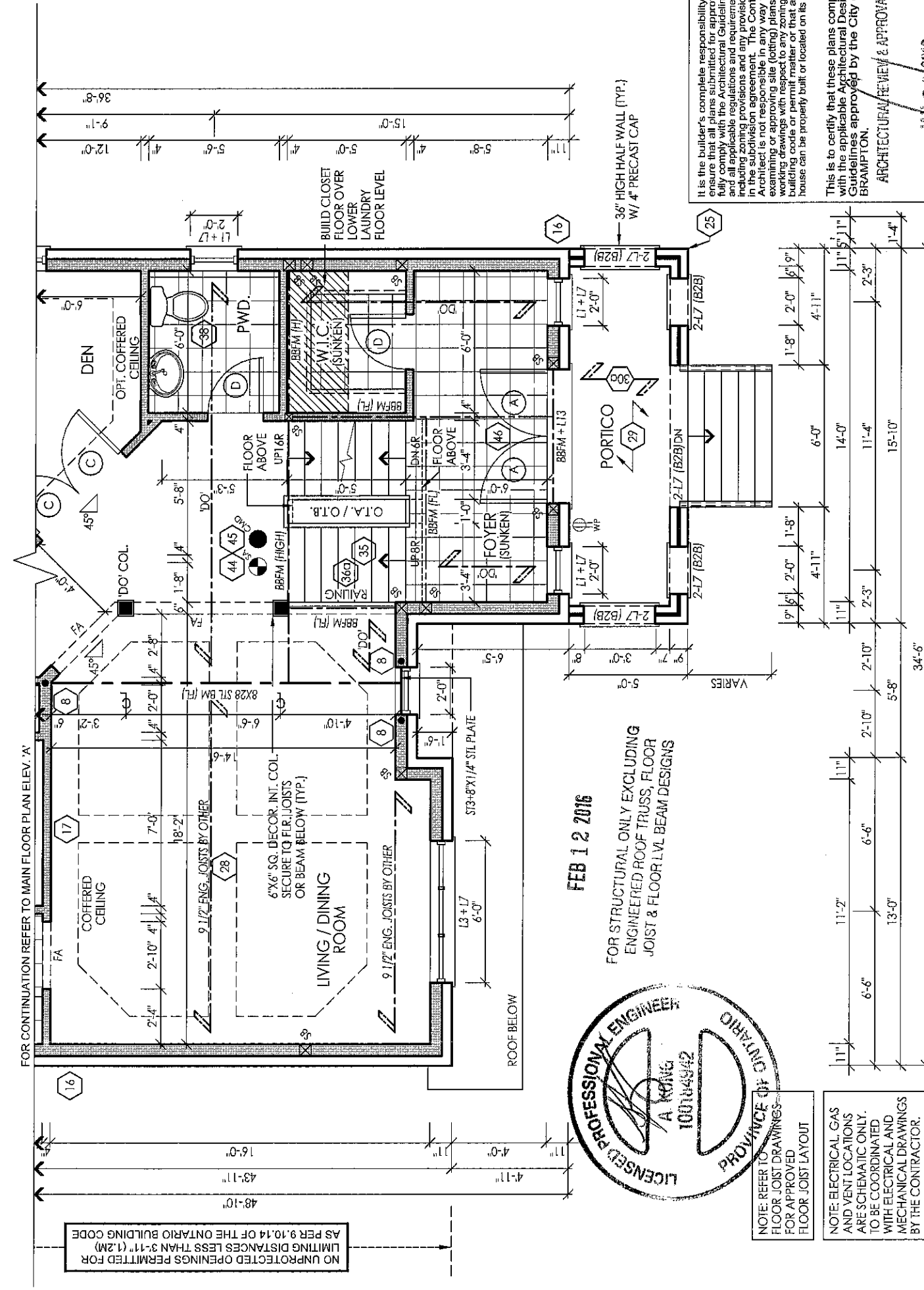
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NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

**PART. SECOND FLOOR PLAN ELEV. 'B'**



NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

FEB 12 2016

FOR STRUCTURAL ONLY EXCLUDING ENGINEERED ROOF TRUSS, FLOOR JOIST & FLOOR LVL BEAM DESIGNS

**PART. MAIN FLOOR PLAN ELEV. 'B'**

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Wilton Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **BN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36688  
 FIRM BCIN: 26995  
 DATE: JAN. 26-2016

SIGNATURE: *[Signature]*

client: Gold Park Homes  
 project: Mclaughlin and Mayfield  
 location: Brampton  
 marketing name: The Brahms

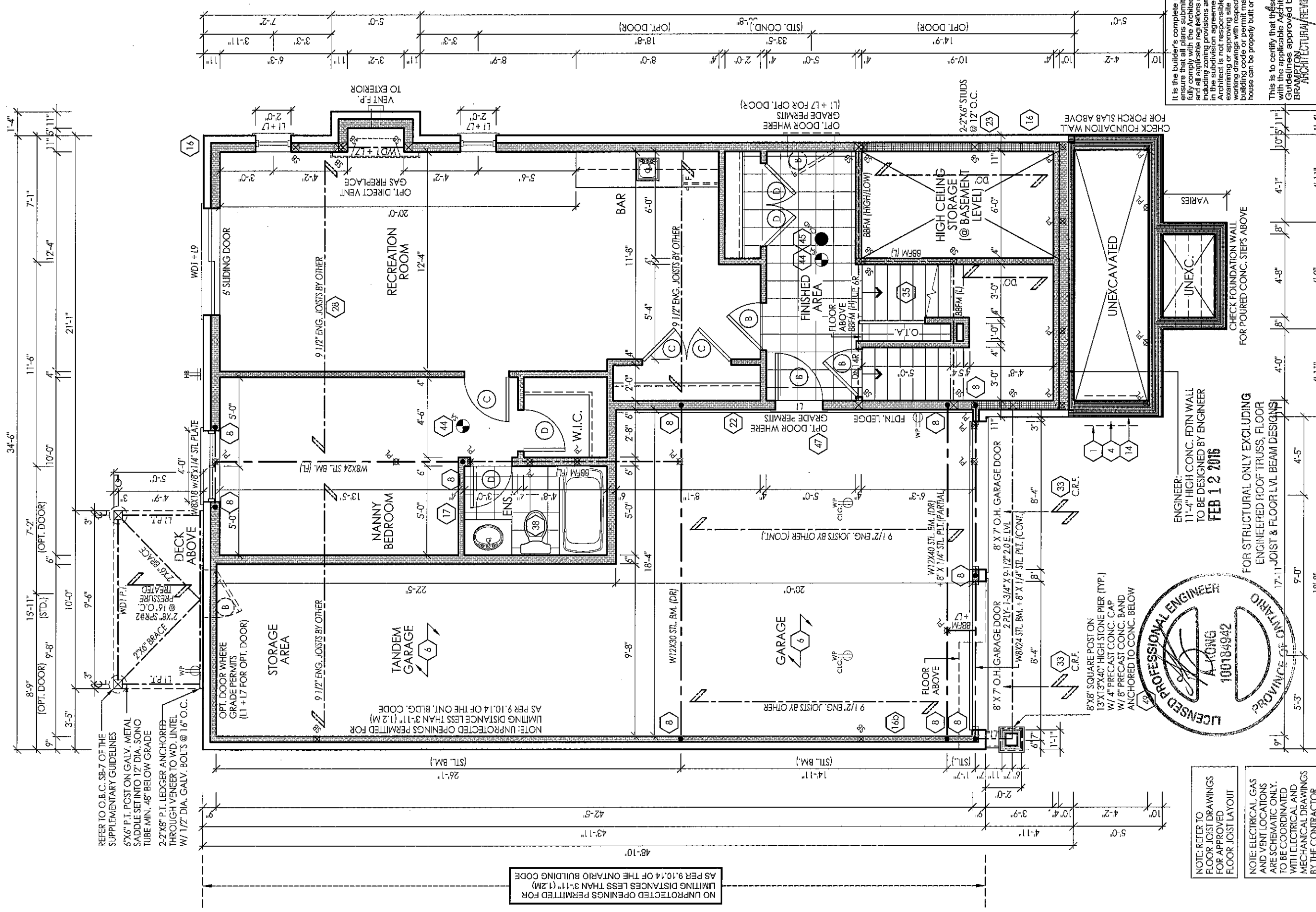
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	JK	RPA	5	ISSUED FOR PERMIT	1/26/2016	JP	JP
2	ROOF TRUSS COORDINATION	14-May-15	RPA	DJH	6				
3	REVISED PER FLOOR COORDINATION	15-JAN-16	sm	Jm	7				
4	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	JP	JP	8				

model: 41-5  
 scale: 3/16" = 1'0"  
 project #: 13098

**AN design**  
*Imagine • Inspire • Create*



page: A6



**OPT. GROUND FLOOR PLAN ELEV. 'A'**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any building code be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON ARCHITECTURAL REVIEW & APPROVAL

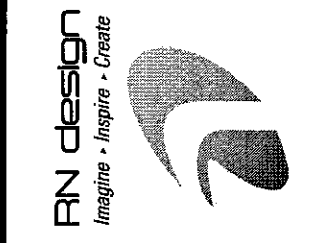
JAN 29 2016

John G. Williams Limited, Architect

NOTE: REFER TO TRUSS DRAWINGS FOR APPR. TRUSS LAYOUT

NOTE: CONC. FRONT PORCH POURED PRIOR TO BRICK

model 41-5  
 scale 3/16" = 1'0"  
 project # 13098



location Brampton  
 marketing name The Brahms

client Gold Park Homes  
 project Mclaughlin and Mayfield

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	JK	RPA	5	REVISED AS PER ENGINEER COMMENTS	22-JAN-16	JP	JP
2	REVISED REC. BM. F.P. NOTE TO BE OPT.	3-9-2015	CT	CT	6	ISSUED FOR PERMIT	1/26/2016	JP	JP
3	REVISED GARAGE MAN DOOR TO BE OPTIONAL	3-9-2015	CT	CT	7				
4	REVISED PER FLOOR COORDINATION	15-JAN-16	SM	JM	8				

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

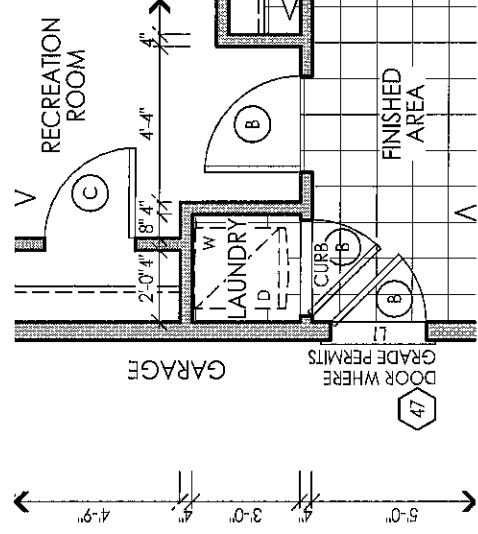
QUALIFIED DESIGNER BCIN: 38688  
 FIRM BCIN: 26995  
 DATE: JAN. 26-2016

SIGNATURE:

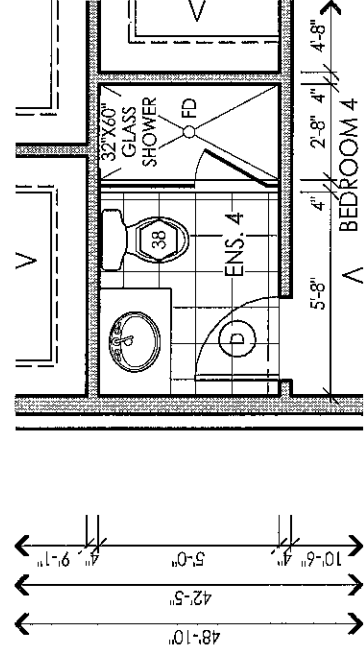
client location  
 marketing name

page A7

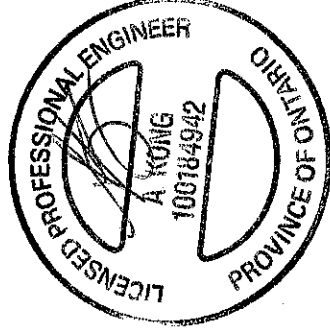




**PAR. OPT. GRD. FLR. PLAN  
ELEV. 'A' W/ OPT. LAUN.**



**PART. SEC. FLR. PLAN ELEV.  
'A' W/ OPT. ENSUITE**



**FEB 12 2016**

FOR STRUCTURAL ONLY EXCLUDING  
ENGINEERED ROOF TRUSS, FLOOR  
JOIST & FLOOR LVL BEAM DESIGNS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Wilfong Limited, Architect

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38488  
FIRM BCIN: 26995  
DATE: JAN. 26-2016

SIGNATURE:

client  
**Gold Park Homes**

project  
**McLaughlin and Mayfield**

location  
**Brampton**

marketing name  
**The Brahms**

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	JK	RPA	5				
2	ISSUED FOR PERMIT	1/26/2016	JP	JP	6				
3					7				
4					8				

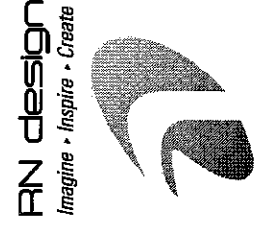
model  
**41-5**

scale  
**3/16" = 1'0"**

project #  
**13098**

page

**A8**





PEAK HEIGHT OF ROOF 43'-8"

GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	4436.76 SF	412.18 m <sup>2</sup>
FRONT GLAZING AREA	146.11 SF	13.76 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	88.92 SF	8.26 m <sup>2</sup>
REAR GLAZING AREA	219.73 SF	20.41 m <sup>2</sup>
TOTAL GLAZING AREA	454.76 SF	42.43 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	10.25 %	

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ARCHITECTURAL REVIEW & APPROVAL  
 JAN 9 2016  
 John G. Williams Limited, Architect

- MID-POINT OF ROOF 35'-5"
- SIDEWALL CLAD WITH HARDIE PANEL OR EQUAL (TYP.) W/ 1"x4" HARDIE TRIM (PTD.) W/ METAL FLASHING BEHIND
- HARDIE PANEL OR EQUAL (TYP.) W/ 1"x4" HARDIE TRIM (PTD.) W/ METAL FLASHING BEHIND
- ROOF SADDLE (4:12 MIN.)
- U/S OF SOFFIT
- TOP OF PLATE 2'-3"
- 8"x22" PRECAST CONC. DETAIL (TYP.)
- CATHEDRAL CEILING @ 8:12
- U/S OF SOFFIT
- TOP OF TRANSOM 1'-8"
- TOP OF WINDOW 4'-1"
- FIN. SECOND FLOOR 8'-1"
- 18" HIGH DECOR. MTL. RAILING (TYP.) W/ FLAT ROOF ASSEMBLY
- 300
- TOP OF PARAPET 6'-10"
- FIN. LANDING 9'-10"
- TOP OF TRANSOM 2'-0"
- TOP OF DOOR/WINDOW 5'-2"
- FIN. MAIN FLOOR 11'-6"
- TOP OF PIER CAP 6'-10"
- 3'-0" HIGH RAILING (TYP.) 5'-1"
- FIN. SUNKEN FOYER 2'-10"
- FIN. GROUND FLOOR 8'-10"
- FIN. GRADE 0'-0"
- POURED IN PLACE STEPS
- POURED CONC. DOOR SILL (TYP.)
- POURED CONC. PORCH SLAB (TYP.)
- 29
- 8" POURED CONC. FDN. WALLS ON 26"x9" CONC. STRIP FOOTING (TYP.)
- 1 4 14
- TOP OF SLAB 8'-6"

- #210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)
- 31
- 8" SELF SUPP. PRECAST ARCH & SURROUND (TYP.) W/ CENTER KEYSTONE
- 24"x18" EXT. ARCH TRANSOM (TYP.)
- 1"x6" DECOR. FRIEZE BOARD (TYP.)
- PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)
- TOP OF TRANSOM
- TOP OF WINDOW 1'-6"
- 8" PRECAST HEADER (TYP.)
- 8" PRECAST SURROUND (TYP.)
- FACE BRICK (TYP.)
- 6"+6" PRECAST CONC. BAND (TYP.)
- TOP OF BAND 6'-10"
- FIN. SECOND FLOOR 1'-10"
- TOP OF TRANSOM 1'-5"
- TOP OF WINDOW 1'-5"
- STONE VENEER (TYP.) W/ MTL. FLASHING BEHIND
- 4" PRECAST CONC. SILL (TYP.)
- PAINTED MTL. FLASHING (TYP.) W/ CAULKING TO MATCH
- FIN. MAIN FLOOR 6'-10"
- U/S OF GARAGE SOFFIT 23'-0" MAX. SILL HEIGHT ABOVE ADJACENT GRADE HEIGHT
- 8" PRECAST HEADER (TYP.) W/ CENTER KEYSTONE
- TOP OF PIER CAP 8'-2"
- FIN. GROUND FLOOR 3'-4"
- FIN. GRADE
- U/S OF FOOTING 4'-0" (MIN.)
- STEPPED FOOTING (TYP.)
- 3

FRONT ELEVATION 'A'

model 41-5  
 scale 3/16" = 1'0"  
 project # 13098  
 page A9



location Brampton  
 project The Brahms  
 client Gold Park Homes  
 architect Mclaughlin and Mayfield

#	ISSUED FOR CLIENT REVIEW	ISSUED FOR PERMIT	date dwn chk	revisions	date dwn chk	#
1			1/30/2015	JK	RFA	5
2			1/26/2016	JP	JP	6
3						7
4						8

I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C: PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
 FIRM BCIN: 26995  
 DATE: JAN. 26-2016

SIGNATURE: *[Signature]*



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,316.21 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	92.13 SF
ACTUAL OPENINGS	88.86 SF

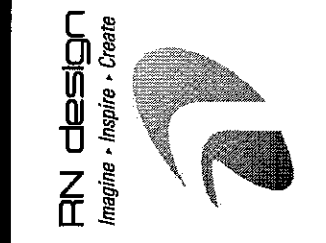
RIGHT SIDE ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the applicable zoning code. The Architect is not responsible for the accuracy of any zoning or planning information shown on these drawings with respect to any zoning or building code or permit matter of that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL  
 JAN 2 2016  
 John G. Williams Limited, Architect.

model 41-5  
 scale 3/16" = 10"  
 project # 13098  
 page A10



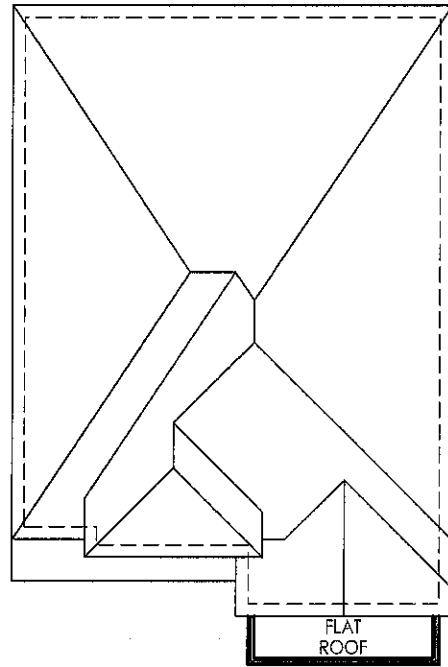
location		marking name		revisions	
Brampton		The Brahms		date	dwn chk
client		Gold Park Homes			
project		Mclaughlin and Mayfield			
#	ISSUED FOR CLIENT REVIEW	1/30/2015	JK RPA	5	
2	ISSUED FOR PERMIT	1/26/2016	JP	6	
3				7	
4				8	

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **AN DESIGN LTD.** UNDER DIVISION C.PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

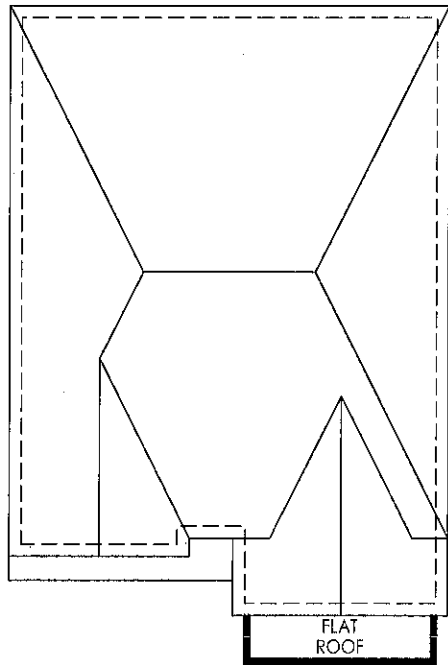
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 FIRM BCIN: 26995  
 DATE: JAN 25-2016

SIGNATURE: *[Signature]*

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ROOF PLAN 'A'

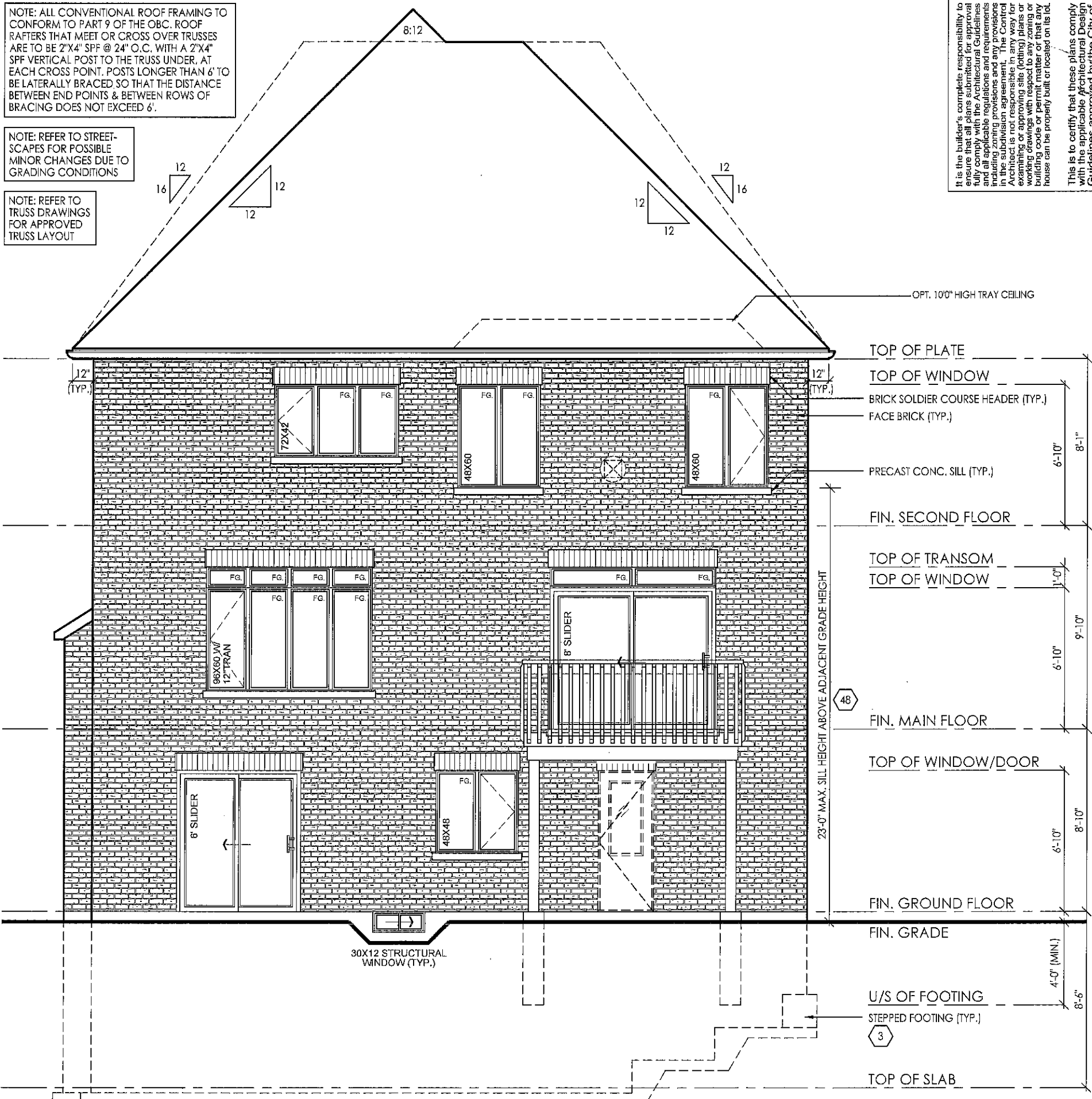


ROOF PLAN 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT



REAR ELEVATION 'A' & 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the applicable zoning bylaws. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL  
 JAN 20 2015  
 John G. Williams Limited, Architect

model 41-5  
 scale 3/16" = 1'0"  
 project # 13098



location Brampton  
 marketing name The Brahms  
 client Gold Park Homes  
 project Mclaughlin and Mayfield

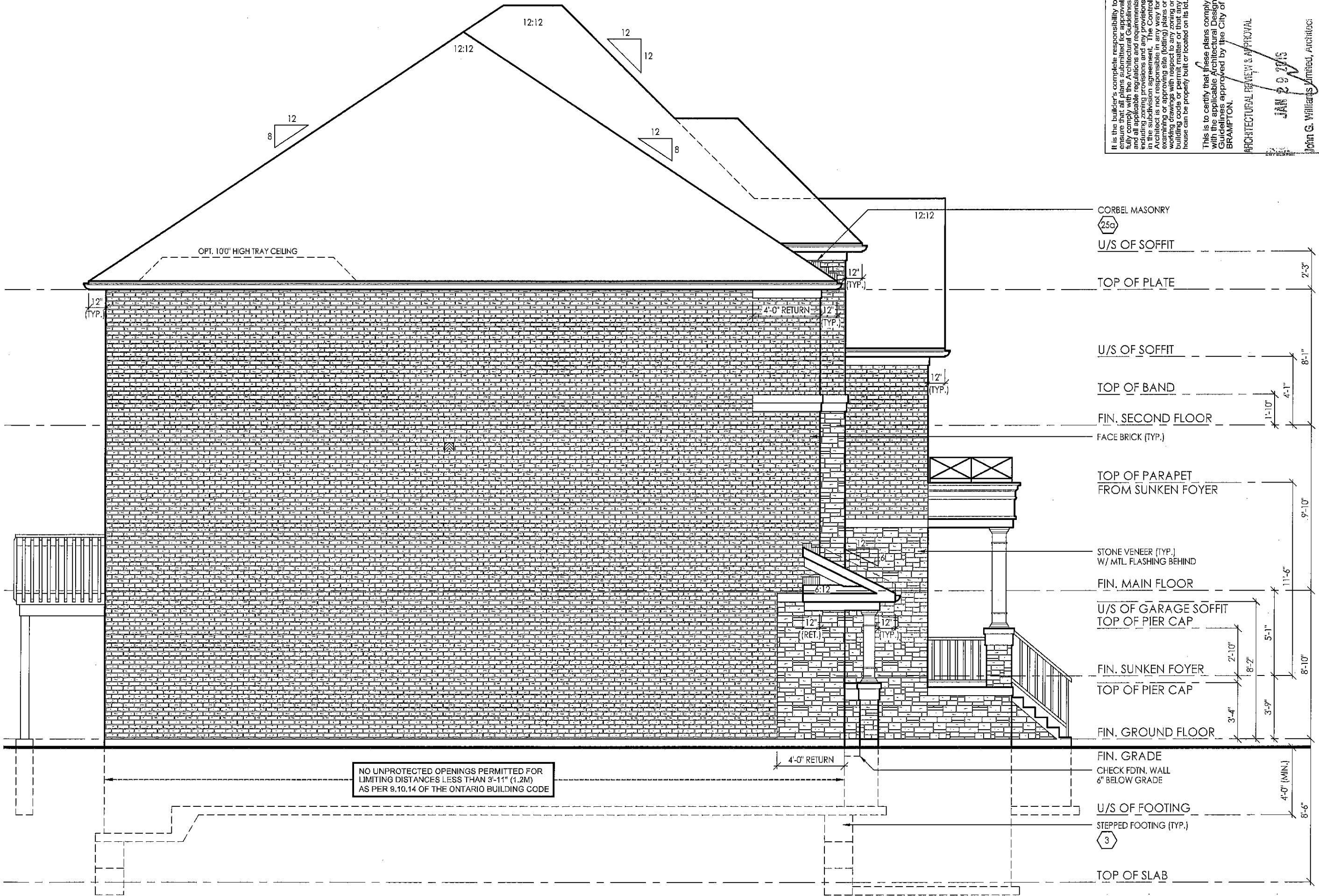
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	1/30/2015	JK	RPA	5				
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3					7				
4					8				

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QUALIFIED DESIGNER BCIN: 36688  
 FIRM BCIN: 26995  
 DATE: JAN 26 2016

SIGNATURE: *[Signature]*

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LEFT SIDE ELEVATION 'A'

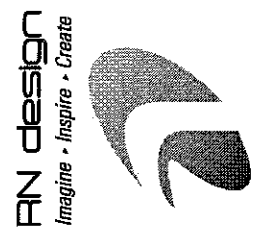
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building contracts with respect to any building or structure that is not part of the house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL  
 JAN 29 2016  
 John G. Williams Limited, Architect.

- CORBEL MASONRY (25a)
- U/S OF SOFFIT
- TOP OF PLATE 2'-3"
- U/S OF SOFFIT
- TOP OF BAND 8'-1"
- FIN. SECOND FLOOR 4'-1"
- FACE BRICK (TYP.) 1'-10"
- TOP OF PARAPET FROM SUNKEN FOYER 9'-10"
- STONE VENEER (TYP.) W/ MTL FLASHING BEHIND
- FIN. MAIN FLOOR 11'-5"
- U/S OF GARAGE SOFFIT
- TOP OF PIER CAP 5'-1"
- FIN. SUNKEN FOYER 2'-10"
- TOP OF PIER CAP 8'-2"
- FIN. GROUND FLOOR 8'-10"
- FIN. GRADE
- CHECK FDN. WALL 6" BELOW GRADE
- U/S OF FOOTING 4'-0" (MIN.)
- STEPPED FOOTING (TYP.) (3)
- TOP OF SLAB 8'-6"

NO UNPROTECTED OPENINGS PERMITTED FOR LIMITING DISTANCES LESS THAN 3'-11" (1.2M) AS PER 9.10.14 OF THE ONTARIO BUILDING CODE



client: Gold Park Homes  
 location: Brampton  
 project: The Brahms  
 architect: McLaughlin and Mayfield

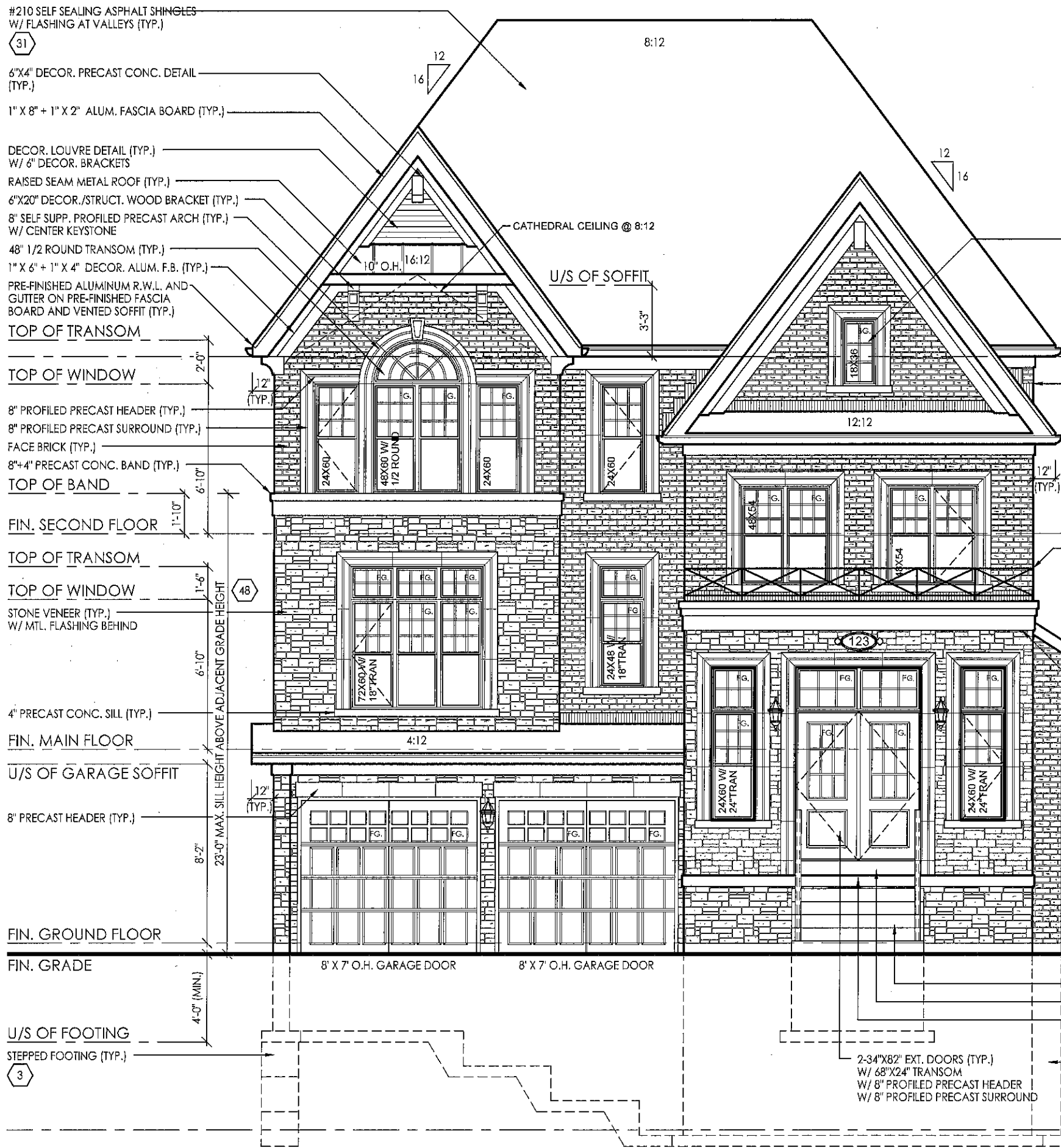
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1				1/20/2015	JK	5			
2				1/26/2016	JP	6			
3						7			
4						8			

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FIN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 386688  
 FIRM BCIN: 26995  
 DATE: JAN 26-2016

SIGNATURE: *[Signature]*

A12



FRONT ELEVATION 'B'

PEAK HEIGHT OF ROOF  $\frac{12}{16}$  42'-1"

MID-POINT OF ROOF  $\frac{12}{16}$  34'-8"

**GROSS GLAZING AREA 'B'**

TOTAL PERIPHERAL WALL AREA	4478.97 SF	416.10 m <sup>2</sup>
FRONT GLAZING AREA	135.99 SF	12.63 m <sup>2</sup>
LEFT SIDE GLAZING AREA	0 SF	0.00 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	88.92 SF	8.24 m <sup>2</sup>
REAR GLAZING AREA	219.73 SF	20.41 m <sup>2</sup>
<b>TOTAL GLAZING AREA</b>	<b>444.64 SF</b>	<b>41.31 m<sup>2</sup></b>
<b>TOTAL GLAZING PERCENTAGE</b>	<b>9.93 %</b>	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control of the Building Code Act, 2006, states that the architect is not responsible for any errors or omissions in the drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

ARCHITECTURAL REVIEW & APPROVAL

JAN 29 2016

John G. Williams Limited, Architect.

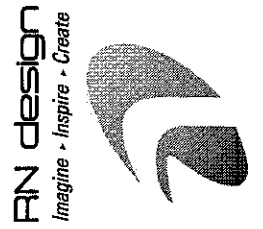
model 41-5

scale 3/16" = 10"

project # 13098

page

A13



location Brampton

project The Brahms

client Gold Park Homes

project Mclaughlin and Mayfield

#	ISSUED FOR CLIENT REVIEW	ISSUED FOR PERMIT	date dwn chk	revisions	date dwn chk	#
1	1/30/2015		JK	RFA		5
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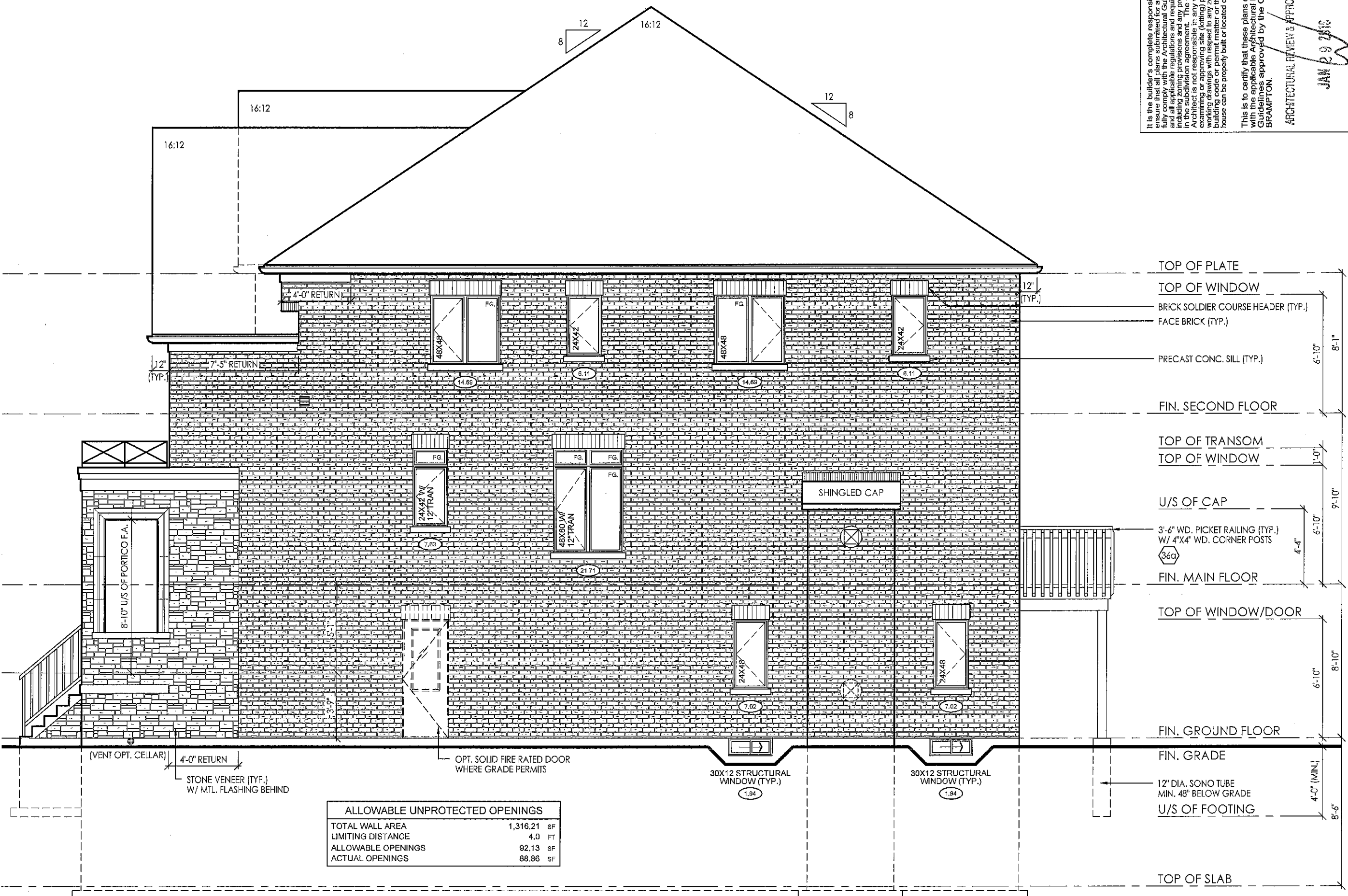
QUALIFIED DESIGNER BCIN: 36688  
 FIRM BCIN: 26975  
 DATE: JAN 26-2016

SIGNATURE:

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions including but not limited to the following: Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL  
 JAN 29 2016  
 John G. Williams Limited, Architect.



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1,316.21 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	92.13 SF
ACTUAL OPENINGS	88.86 SF

- TOP OF PLATE
- TOP OF WINDOW
- BRICK SOLDIER COURSE HEADER (TYP.)
- FACE BRICK (TYP.)
- PRECAST CONC. SILL (TYP.)
- FIN. SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- U/S OF CAP
- 3'-6" WD. PICKET RAILING (TYP.)  
W/ 4"x4" WD. CORNER POSTS
- FIN. MAIN FLOOR
- TOP OF WINDOW/DOOR
- FIN. GROUND FLOOR
- FIN. GRADE
- 12" DIA. SONO TUBE  
MIN. 48" BELOW GRADE
- U/S OF FOOTING
- TOP OF SLAB

client Gold Park Homes  
 project Mclaughlin and Mayfield  
 location Brampton  
 marketing name The Brahms

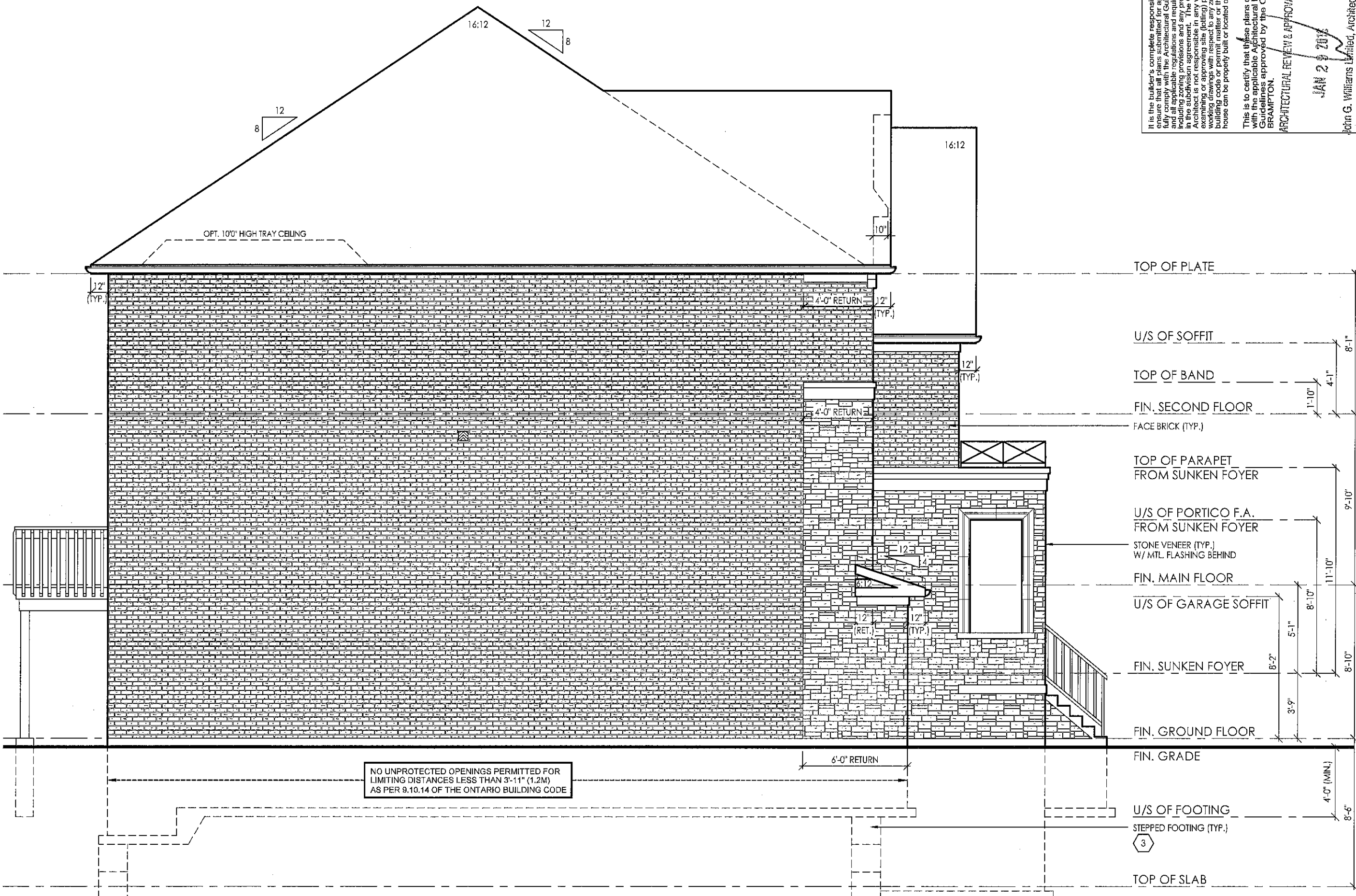
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1				1/30/2015	JK	5			
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QUALIFIED DESIGNER BCIN: 36688  
 FIRM BCIN: 26975  
 DATE: JAN 26-2016

SIGNATURE: *[Signature]*

RIGHT SIDE ELEVATION 'B'



LEFT SIDE ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for approving site (including) plans or working drawings without the consent of the building code or permit officer or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL  
 JAN 29 2016  
 John G. Williams Limited, Architect

model 41-5  
 scale 3/16" = 10"  
 project # 13098  
 page A15



location Brampton  
 marketing name The Brahms

client Gold Park Homes  
 project Mclaughlin and Mayfield

#	REVISIONS	DATE	CHK	#	REVISIONS	DATE	CHK
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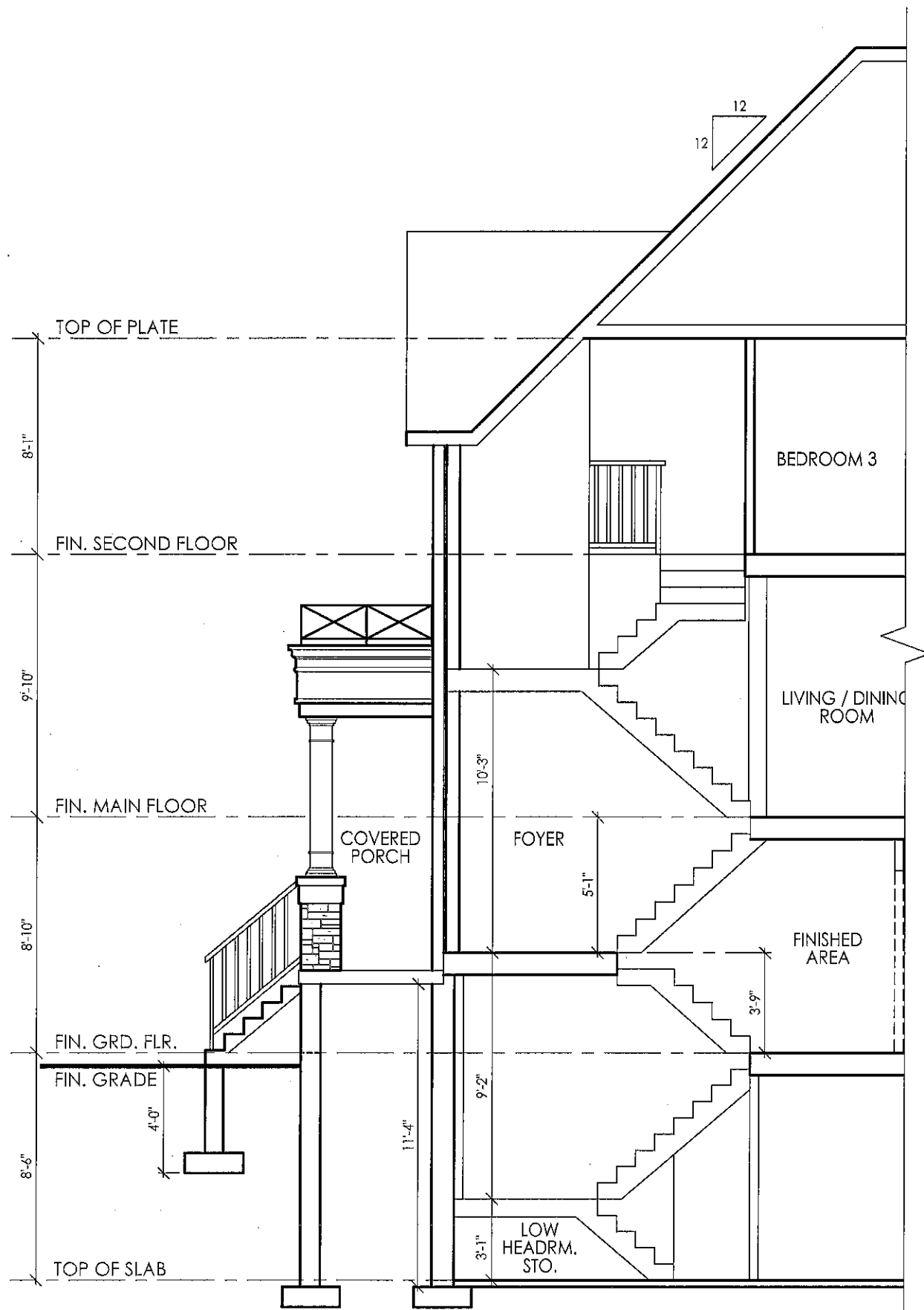
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QUALIFIED DESIGNER BCIN: 38688  
 FIRM BCIN: 26995  
 DATE: JAN 26 2016

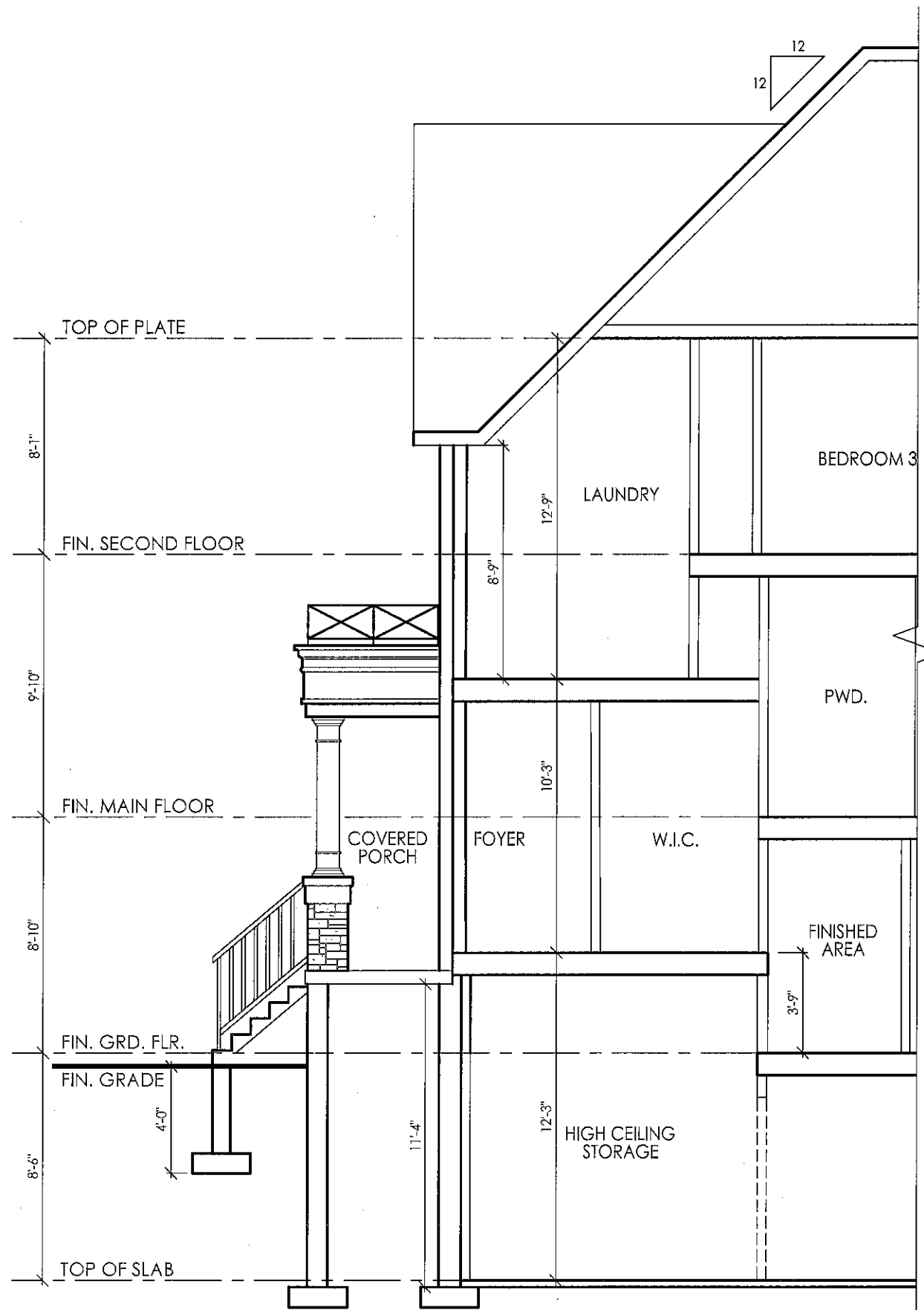
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**STAIR CROSS-SECTION 1**



**PART. CROSS-SECTION 2**

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I, JULIO PINZON, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
 FIRM BCIN: 26995  
 DATE: JAN 26-2016

*[Handwritten Signature]*

SIGNATURE:

client **Gold Park Homes**

location **Brampton**

marketing name **The Brahms**

project **Mclaughlin and Mayfield**

location **Brampton**

marketing name **The Brahms**

project **Mclaughlin and Mayfield**

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3				JP	7			
4					8			



model **41-5**

scale **3/16" = 10"**

project # **13098**

page

**A16**

**CONSTRUCTION NOTES:**

**COMPLIANCE PACKAGE J - O.B.C. 2012 - 2015 ENACTMENT**

(UNLESS OTHERWISE NOTED)  
-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.  
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.  
-THERMAL RESISTANCE VALUES BASED ON ZONE 1

**FOOTINGS / SLABS:**

**TYPICAL STRIP FOOTING:**  
O.B.C. 9.15.3.  
-BASED ON 16"-17(4.9m) MAX. SUPPORTED JOIST LENGTH  
-MIN. 2200psf (15MPa) CONCRETE AFTER 28 DAYS  
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psf (75kPa) BEARING CAPACITY  
-FIG. TO HAVE CONTINUOUS KEY  
-FIG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

**TYPICAL STRIP FOOTING: (EXTERIOR WALLS)**

O.B.C. 9.15.3.5.  
-FIG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE  
BRICK VENEER  
-1 STOREY - 13" X 4" (330mm X 100mm)  
-2 STOREY - 19" X 6" (485mm X 155mm)  
-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING  
-1 STOREY - 10" X 4" (255mm X 100mm)  
-2 STOREY - 14" X 4" (360mm X 100mm)  
-3 STOREY - 18" X 5" (460mm X 130mm)

**TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)**

O.B.C. 9.15.3.6.  
-1 STOREY MASONRY - 16" X 4" (410mm X 100mm)  
-1 STOREY STUD - 12" X 4" (305mm X 100mm)  
-2 STOREY MASONRY - 26" X 9" (660mm X 230mm)  
-2 STOREY STUD - 18" X 5" (450mm X 130mm)  
-3 STOREY MASONRY - 36" X 14" (900mm X 360mm)  
-3 STOREY STUD - 24" X 8" (600mm X 200mm)

**STEP FOOTING:**

O.B.C. 9.15.3.9.  
-23 5/8" (600mm) MAX. VERTICAL RISE & 28 5/8" (600mm) MIN. HORIZONTAL RUN.

**DRAINAGE TILE OR PIPE:**

O.B.C. 9.14.3.  
-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF F.R. SLAB.  
-COVER TOP & SIDES OF TILE OR PIPE W/ 5/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.  
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

**BASEMENT SLAB:**

O.B.C. 9.13. & 9.14.  
-3" (75mm) CONCRETE SLAB  
-2200psf (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.3.  
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.  
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psf(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-WHERE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.  
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.  
-FLOOR DRAIN PER O.B.C.9.31.4.4.  
-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 28'-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23'-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (O.B.C. SB-12-2.1.1.6.(5))  
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

**SLAB ON GROUND:**

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.  
-2200psf (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.  
-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.  
-DAMP-PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psf(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS  
-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23'-1/2" (600mm) OF GRADE  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.  
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.  
-FLOOR DRAIN PER O.B.C.9.31.4.4.  
-UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

**GARAGE SLAB / EXTERIOR SLAB:**

-4" (100mm) CONCRETE SLAB  
-4500psf (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.  
-6" X 6" (W/2.9 X W.2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB  
-4" (100mm) OF COURSE GRANULAR MATERIAL  
-ANY FILL PLACED UNDER SLAB - OTHER THAN COURSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED.

**PLASTER:**

O.B.C. 9.15.5.3.  
-CONCRETE NIB - 4" X 12" (100mm X 300mm)  
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.1.1.2. TOP 7/8" (200mm) SOLID.  
OR  
-BEAM POCKET  
-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.  
-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)

STRUCTURAL COLUMNS  
-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

**STEEL PIPE COLUMN:**

O.B.C. 9.15.3.4. & 9.17.3.  
-FIXED COLUMN  
-MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS  
-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BTM. PLATE  
-FOR WOOD BEAMS, MIN. 4"x4"x1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM  
-ADJUSTABLE COLUMNS TO CONFORM TO CAN/CSG87-2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)  
COL. SPACING:  
2 STOREY  
-34" X 34" X 16"  
- (840mm X 860mm X 400mm)  
-44" X 44" X 21"  
- (1120mm X 1120mm X 530mm)  
3 STOREY  
-40" X 40" X 19"  
- (1010mm X 1010mm X 480mm)  
-51" X 51" X 24"  
- (1295mm X 1295mm X 610mm)  
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

**CLIENT SPECIFIC REVISIONS**

I, JULIO FINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 36288  
FIRM BCIN: 26995  
DATE: JAN 26-2016

SIGNATURE:

Table with 4 columns: #, date, dwn, chk. Rows 1-4.

**WOOD COLUMN:**

O.B.C. 9.17.4.1.  
-5 1/2" X 5 1/2" (140mm X 140mm) SOLID WOOD COLUMN.  
-METAL SHOE ANCHORED TO FOOTING  
-25" X 25" X 12" (640mm X 640mm X 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9"-10" COL. SPACING)  
-34" X 34" X 14" (860mm X 860mm X 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9"-10" COL. SPACING)

**BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)**

-2"x8"x12" LEDGER BOARD FASTENED W/ 2/12" ANCHOR BOLTS @ 4' O.C. WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

**BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)**

-12X11" X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2-1/2" X 8" ANCHOR BOLTS.

**FOUNDATION WALL:**

O.B.C. 9.15.4.2.  
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.  
-8" (200mm) SOLID 2200psf (15MPa) CONCRETE  
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.  
-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT.

**FOUNDATION WALL:**

O.B.C. 9.15.4.2.  
-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.  
-8" (200mm) SOLID 2200psf (15MPa) CONCRETE  
-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.  
-LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.  
-FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. -19.15.4.1 SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. -PART 4  
-WALL SHALL EXTEND A MIN. 5/8" (150mm) ABOVE GRADE  
-INSULATE W/ R12 (RSI 2.11) FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1, O.B.C. T.2.1.1.2.A.)  
-BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

**REDUCTION OF THICKNESS:**

O.B.C. 9.15.4.7.  
-WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.  
-TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.  
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR  
-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK  
-DAMP-PROOFING & WATERPROOFING:  
-DAMP-PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.  
-WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.21 (3) (4)  
-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)  
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.  
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPROOFING.

**FOUNDATION WALLS @ UNSUPPORTED OPENINGS:**

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)  
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)  
-4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)  
-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.  
-BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

**FRAME WALL CONSTRUCTION:**

O.B.C. 9.23.  
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)  
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2  
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6.  
-2" X 6" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.  
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. T.2.1.1.2.A.)  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
-NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = BE SPACED @ 12" (300mm) O.C.

**ALTERNATE BRICK VENEER CONSTRUCTION:**

O.B.C. 9.23.  
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT  
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING  
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS  
-BASE FLASHING UP TO 5/78" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) )  
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER  
-1" (25mm) AIR SPACE  
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS  
-BRACE W/ CONT. 1/6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR  
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL  
-R14 (RSI 2.46) INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = BE SPACED @ 12" (300mm) O.C.

**REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.  
-REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

**REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:  
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.  
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.  
-REPLACE 1/2(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

**ALTERNATE FRAME WALL CONSTRUCTION:**

O.B.C. 9.23.  
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)  
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)  
-BRACE W/ CONT. 1/6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS  
-R14 (RSI 2.46) INSULATION (ZONE 1, O.B.C. T.2.1.1.2.A.)  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.  
-NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = BE SPACED @ 12" (300mm) O.C.

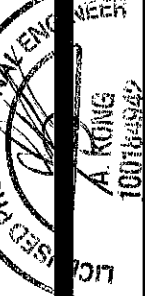
**REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.  
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.  
-REPLACE 1/2(12.7mm) GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.  
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.  
-REPLACE 1/2(12.7mm) GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**FOR STRUCTURAL ONLY**



client Gold Park Homes

location Brampton

project Mclaughlin and Mayne  
marketing name The Brahms

Table with 4 columns: #, date, dwn, chk. Rows 1-4.

**REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):**  
-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:  
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS),  
OR  
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

**FRAME WALL CONSTRUCTION @ GARAGE:**

O.B.C. 9.23.  
-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.1)  
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2  
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6.  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
-FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

**REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.  
-REPLACE 1/2(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):**

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:  
-NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS),  
OR  
-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

**BRICK VENEER CONSTRUCTION:**

O.B.C. 9.23.  
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT  
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING  
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS  
-BASE FLASHING UP TO 5/78" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) )  
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER  
-1" (25mm) AIR SPACE  
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.  
-O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS  
-BRACE W/ CONT. 1/6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR  
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL  
-R14 (RSI 2.46) INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

**ALTERNATE BRICK VENEER CONSTRUCTION:**

O.B.C. 9.23.  
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT  
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING  
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS  
-BASE FLASHING UP TO 5/78" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) )  
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER  
-1" (25mm) AIR SPACE  
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.  
-O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS  
-BRACE W/ CONT. 1/6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR  
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL  
-R14 (RSI 2.46) INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

**REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.  
-REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**ALTERNATE BRICK VENEER CONSTRUCTION:**

O.B.C. 9.23.  
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36"-1" (11m) MAX. HEIGHT  
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING  
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS  
-BASE FLASHING UP TO 5/78" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2) )  
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER  
-1" (25mm) AIR SPACE  
-1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)  
-2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS  
-BRACE W/ CONT. 1/6 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR  
-CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL  
-R14 (RSI 2.46) INSULATION  
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.  
-1/2" (12.7mm) GYPSUM BOARD  
-NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
-FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

**REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):**

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)  
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.1.6. BETWEEN RIGID INSULATION AND WOOD STUD.  
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.  
-REPLACE 1/2(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**24** **REG. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):**  
 O.B.C. SB-3 WALL = EW1B (STC = N/A, FIRE = 45 MIN)  
 FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:  
 -ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m.  
 -REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

**17** **INTERIOR STUD WALLS:**  
 O.B.C. 1.9.23.10.1.  
 -2" X 4" (38mm x 89mm) WOOD STUDS @ 16" (400mm) O.C. OR  
 -2" X 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE  
 -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

**18** **BEARING STUD WALL (BASEMENT):**  
 -2" X 4" (38mm x 89mm) WOOD STUDS @ 16" (400mm) O.C. OR  
 -2" X 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ DBL. 2" X 4" OR 2" X 6" TOP PLATE.  
 -2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.  
 -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.  
 -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.  
 -FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

**19** **PARTY WALL - BLOCK:**  
 O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE US OF ROOF DECK.  
 -SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE  
 -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES  
 -2" X 2" (38mm x 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES  
 -ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.  
 -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)  
 -STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.1(1) & TABLE 2.1.1. SB-2  
 -ACoustICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

**19c** **PARTY WALL - BLOCK (AGAINST GARAGE):**  
 O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS  
 -1/2" (12.7mm) GYPSUM BOARD  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.  
 -2" X 4" (38mm x 89mm) WOOD STRAPPING @ 16" (400mm) O.C.  
 -R20 (RSI 3.52) RIGID INSULATION  
 -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)  
 -1/2" (12.7mm) GYPSUM BOARD @ WALL & US OF CEILING BETWEEN HOUSE AND GARAGE  
 -TAPE AND SEAL ALL JOINTS GAS TIGHT

**REG. INSULATION VALUES:**  
 INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90  
 RIGID INSULATION = 20.00  
 -LOW DENSITY CONCRETE BLOCK = 1.70  
 -WOOD FRAME W/ GYPSUM = 2.72  
 -AIR FILM - MOVING = 0.68  
 -AIR FILM - STILL = 0.17  
 TOTAL 'R' VALUE = 25.27

**19d** **FIREWALL:**  
 O.B.C. 9. 10.11.1. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)  
 - ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. 1.3.2.2.47.  
 -1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS  
 -2" X 2" (38mm x 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL  
 -SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY  
 -7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING  
 -EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS  
 -STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.1(1) & TABLE 2.1.1 SB-2  
 -ACoustICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)  
 -PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING  
 -EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINIUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.1(1)  
 -WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.1(2)

**20** **PARTY WALL - FOUNDATION:**  
 O.B.C. 9. 15.4.2.  
 -7 7/8" (200mm) SLD CONC. FOUNDATION WALL @ 2200psf (15MPa)  
 -COMPRESSIVE STRENGTH AFTER 28 DAYS  
 -FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

**21** **PARTY WALL - WOOD STUD:**  
 O.B.C. SB-3 WALL = W13g (STC = 57, FIRE = 1 HR)  
 -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE US OF ROOF DECK  
 -2 ROWS 2"x4" (38mm x 89mm) STUDS @ 16" (400mm) O.C. W/ SEPARATE 2" X 4" (38mm x 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mm x 89mm) TOP PLATES  
 -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.  
 -5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.  
 -ACoustICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)  
 -NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. = REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
 -FOR 2 FLOORS SUPPORTED ABOVE 2" X 4" (38mm x 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.  
 -FOR 3 FLOORS SUPPORTED ABOVE 2" X 6" (38mm x 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

**22** **GARAGE WALL & CEILING:**  
 O.B.C. 9. 10.9.1.6.1(3)  
 -1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & US OF CEILING BETWEEN HOUSE AND GARAGE  
 -R22 (RSI 3.87) INSULATION IN WALLS.  
 -R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. FOR FLOOR ABOVE.  
 -INSULATION AROUND DUCTS AND PIPING NOT TO ENCRoACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).  
 -1/2" (12.7mm) GYPSUM BOARD  
 -ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOENAILS  
 -BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS. BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

**22a** **WALLS ADJACENT TO ATTIC SPACE:**  
 -1/2" (12.7mm) GYPSUM BOARD  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.  
 -2" X 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C.  
 -R22 (RSI 3.87) INSULATION  
 -1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.  
 -ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

**23** **DOUBLE VOLUME WALLS:**  
 O.B.C. 9.23.10.1  
 -3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING  
 -REFER TO PLAN FOR STUD SPECIFICATION  
 -STUDS FASTENED AT TOP & BOTTOM WITH 3/3-1/4" (82mm) TOE NAILS  
 -DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.  
 -SOLID BRIDGING AT 8'-11" (1200mm) O.C.  
 -MIN. R22 (RSI 3.87) INSULATION (ZONE 1, O.B.C. 1.2.1.1.2.A.)  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

◆ CLIENT SPECIFIC REVISIONS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C-PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
 FRM BCIN: 26995  
 DATE: JAN 24-2016

SIGNATURE:

**24** **EXPOSED FLOOR:**  
 -FLOOR AS PER NOTE # 28  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4.  
 -R31 (RSI 5.46) INSULATION  
 -VENTED ALUMINIUM SOFFIT

**24a** **SUNKEN FINISHED AREAS:**  
 -USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.  
 -WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.  
 -FLOOR STRUCTURE AS PER NOTE # 28.  
 O.B.C. 9.20.8.2.  
 -3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.  
 -SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION. OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.  
 O.B.C. 9.23.9.4.

**25** **DOUBLE MASONRY WYTHE WALL:**  
 O.B.C. 9.20.8.2.  
 -3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.  
 -SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION. OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.  
 O.B.C. 9.23.9.4.

**25a** **CORBEL MASONRY VENEER:**  
 -MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.1.2.3.(1)

**26** **FLOOR ASSEMBLIES:**  
**SILL PLATE:**  
 O.B.C. 9.23.7.  
 -2" X 4" (38mm x 89mm) PLATE  
 -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL.  
 -SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSION. OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.  
 O.B.C. 9.23.9.4.

**27** **BRIDGING & STRAPPING:**  
 a) STRAPPING  
 -1" X 3" (19mm x 64mm) NAILED TO US OF JOISTS @ MAX. 6'-11" (2100mm) O.C.  
 -FASTENED TO SILL OR HEADER @ ENDS  
 b) BRIDGING  
 -1" X 3" (19mm x 64mm) OR 2" X 2" (38mm x 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.  
 c) BRIDGING & STRAPPING  
 -a) & b) USED TOGETHER OR  
 -1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)  
 g) FURRING OR PANEL TYPE CEILING  
 -STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

**28** **FLOOR ASSEMBLY:**  
 O.B.C. 9.23.14.3. 9.23.14.4  
 -5/8" (15.9mm) WATERBOARD (R-1 GRADE) OR EQUIVALENT  
 -FLOOR JOISTS AS PER FLOOR PLANS

**29** **FORCH SLABS ABOVE COLD CELLAR:**  
 O.B.C. 9.39.1.4.  
 -REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED 8'-2"  
 -4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT  
 -REINFORC WITH 10M BARS @ 7 7/8" (200mm) EACH WAY  
 -1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB  
 -3" (75mm) END BEARING ON FOUNDATION WALL  
 -23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 28 5/8" (600mm) O.C.

**30** **EXTERIOR BALCONY ASSEMBLY:**  
 -1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING  
 -2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATER-PROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING OR 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)  
 -EXTERIOR GUARD AS PER #36g  
 -SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER  
 -REQUIRED FOR OVER HEATED SPACES:  
 -ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)  
 -ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS  
 -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
 -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
 -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-1.9.29.5.3.)

**30a** **EXTERIOR FLAT ROOF ASSEMBLY:**  
 -SINGLE PLY W/ TERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 -1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS REQUIRED MIN. 2% TO ROOF SCUPPER.  
 -3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)  
 -REQUIRED FOR OVER HEATED SPACES:  
 -ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)  
 -ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS  
 -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
 -ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
 -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

**ROOF ASSEMBLIES**  
**TYPICAL ROOF:**  
 O.B.C. 9.26.  
 -NO. 210 (30. 5KG/m<sup>2</sup>) ASPHALT SHINGLES  
 -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1/2" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.  
 -EAVES PROTECTION LAID BENEATH STARTER STRIP.  
 -LEAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.  
 -STARTER STRIP AS PER O.B.C. 9.26.7.2.  
 -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)  
 -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS LAYOUT)  
 -TRUSS BRACING AS PER TRUSS MANUFACTURER  
 -EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINIUM)  
 -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH .50% AT SOFFIT.

**31** **CEILING:**  
 -R30 (RSI 5.81) INSULATION  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.  
 -1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR  
 -5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

**32** **VAULTED OR CATHEDRAL CEILING:**  
 O.B.C. 9.26. & TABLE A4  
 -NO. 210 (30. 5KG/m<sup>2</sup>) ASPHALT SHINGLES  
 -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1/2" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.  
 -EAVES PROTECTION LAID BENEATH STARTER STRIP.  
 -LEAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.  
 -STARTER STRIP AS PER O.B.C. 9.26.7.2.  
 -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)  
 -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

◆ FOR STRUCTURAL ONLY

client **Gold Park Homes** location **Brampton**

project **Mclaughlin and Mayfield** marketing name **The Brahms**

#	ISSUED FOR CLIENT REVIEW	date dwn	BY	date dwn	chk
1	ISSUED FOR PERMIT	1/26/2016	JP	1/27/2016	
2					
3					
4					

PROFESSIONAL ENGINEER  
 JENNIFER MCLAUGHLIN  
 10014942  
 FEB 17 2016  
 PROVINCE OF ONTARIO

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR  
 -2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)  
 -R31 (RSI 5.46) INSULATION  
 -MIN. 3" CLEARANCE FROM US OF ROOF SHEATHING TO INSULATION  
 -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.  
 -1/2" (12.7mm) GYPSUM BOARD

**33** **CONVENTIONAL FRAMING:**  
 O.B.C. TABLE A6 OR A7  
 -2" X 6" (38mm x 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)  
 -2"x4" (38mm x 89mm) COLLAR TIES AT MIDSPANS  
 -CEILING JOISTS TO BE 2" X 6" (38mm x 140mm) @ 16" (400mm) O.C.  
 -UNLESS OTHERWISE NOTED.  
 -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

**34** **ATTIC ACCESS HATCH:**  
 O.B.C. 9.19.2.1.  
 -19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

**GENERAL:**  
**PRIVATE STAIRS:**  
 O.B.C. 9.8.4.  
 -MAX. RISE = 7-7/8" (200mm)  
 -MIN. RUN = 8-1/4" (210mm)  
 -MIN. TREAD = 9-1/4" (235mm)  
 -MAX. NOSING = 1" (25mm)  
 -MIN. HEADROOM = 6'-5" (1950mm)  
 -MIN. WIDTH = 2'-10" (640mm)  
 -MIN. WIDTH = 2'-11" (900mm)  
 (BETWEEN WALL FACES)  
 (EXT STAIRS, BETWEEN GUARDS)  
 ANGLED TREADS:  
 -MIN. RUN = 5-7/8" (150mm)  
 -MIN. AVG. RUN = 7-7/8" (200mm)  
 -FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
 -EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE  
 -FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:  
 O.B.C. 9.8.7  
 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
 -TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
 -ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS  
 -HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

**HEIGHT:**  
 O.B.C. 9.8.7.4  
 -2'-10" (665mm) MIN. TO 3'-2" (965mm) MAX.  
 -3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
 -MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**  
 O.B.C. 9.8.7.6  
 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

**35** **PUBLIC STAIRS:**  
 O.B.C. 9.8.4.  
 -MAX. RISE = 7-3/32" (180mm)  
 -MIN. RUN = 11" (280mm)  
 -MIN. TREAD = 11" (280mm)  
 -MAX. NOSING = 1" (25mm)  
 -MIN. HEADROOM = 6'-9" (2050mm)  
 -MIN. WIDTH = 2'-11" (900mm)  
 (EXT STAIRS, BETWEEN GUARDS)  
 -FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS  
 -FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2  
 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:  
 O.B.C. 9.8.7  
 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)  
 -TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)  
 -TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH  
 -HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

**HEIGHT:**  
 O.B.C. 9.8.7.4  
 -2'-10" (665mm) MIN. TO 3'-2" (965mm) MAX.  
 -3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS  
 -MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

**PROJECTIONS:**  
 O.B.C. 9.8.7.6  
 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

**TERMINATION:**  
 O.B.C. 9.8.7.3  
 -ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS FINISH:  
 O.B.C. 9.8.9.6  
 -TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.6.4(4)  
 -STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATTE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

**36** **INTERIOR GUARDS:**  
 O.B.C. SB-7 & 9.8.8.3  
 -GUARDS TO BE 3'-6" (1070mm) HIGH  
 -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
 -INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS  
 -PICKETS TO HAVE 4" (100mm) MAX. SPACING  
 -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

**36a** **EXTERIOR GUARDS:**  
 O.B.C. SB-7 & 9.8.8.3  
 -GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm).  
 -GUARDS TO BE 3'-6" (1070mm)  
 -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH  
 -FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.  
 -PICKETS TO HAVE 4" (100mm) MAX. SPACING  
 -PROVIDE MID-SPAN POSTS AS PER SB-7.  
 -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

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project **Mclaughlin and Mayfield** marketing name **The Brahms**

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CLIENT SPECIFIC REVISIONS

I, JULIO PINZON DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C-PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 38688  
 FRM BCIN: 26995  
 DATE: JAN 24-2016

SIGNATURE:

