

**APPROVED FOR GRADING**

Lot No(s) **29**

Block No(s) .....

**We certify that the proposed elevations at the lot corners and at other points on the lot are in compliance with the applicable zoning regulations.**

**LICENSÉ PROFESSIONNEL ENGINEER**  
1.17 TOWLE  
46821013  
Civil Engineering  
John Towle  
Consulting Engineer

**Nov 21/19**  
Date

CONVEYANCE INFORMATION	
LOT NO.:	29
LOT AREA:	343.99 m <sup>2</sup>
BLDG. AREA:	162.12 m <sup>2</sup>
LOT COVERAGE (50% MAX.):	47.13 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.82 m
F.F. ELEVATION:	97.91 m
F.F. TO MEAN OF ROOF:	7.45 m
PROPOSED BLDG. HGT:	8.54 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

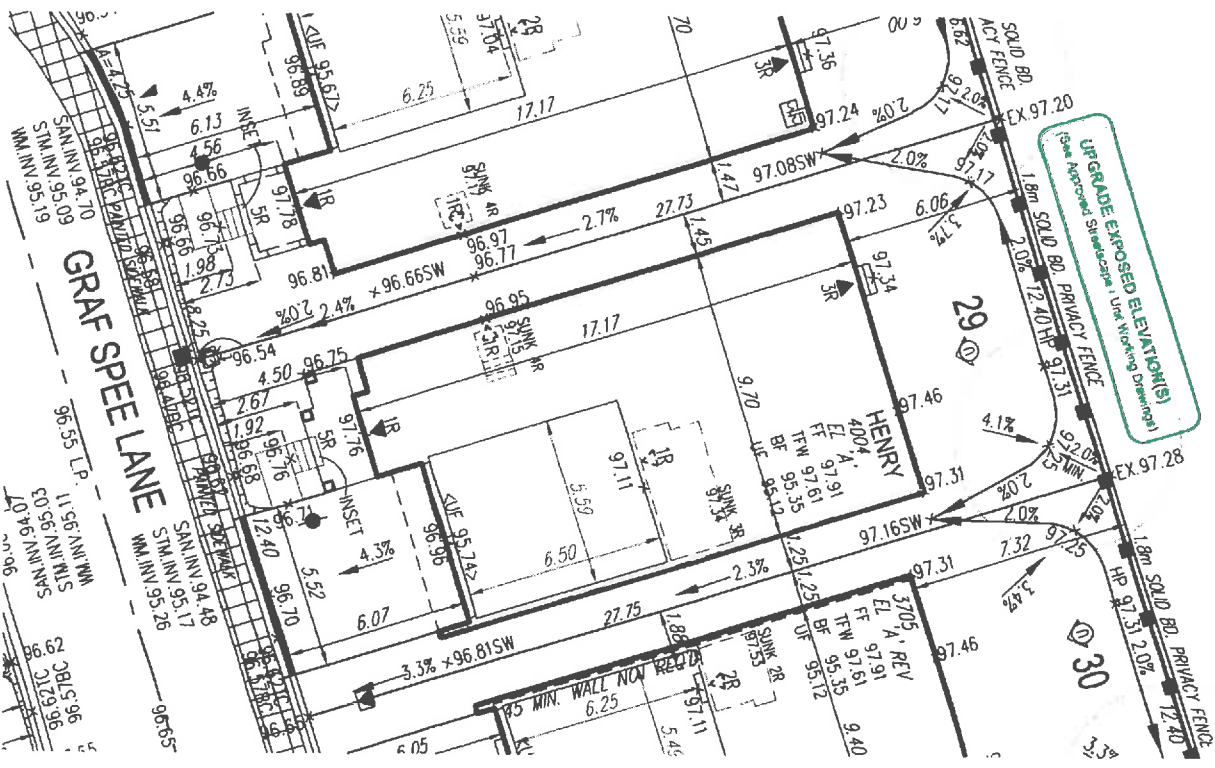
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: **NOV 04, 2019**

The stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- NOTES
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
  - BUILDER TO VERIFY ELEVATION OF STYL. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
  - BUILDER TO VERIFY ELEV. OF STYL. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
  - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
  - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TTW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ENGINEERED PL. LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEGESTYL	HYDRO TRANSFORMER	SANITARY LINE	DOWNSPOUTS	SOLID RAMP AND SURFACE	FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PAVING MOTOR	WATER LINE	WINDOWS PERMITTED	DISCHARGE LOCATION	TOP OF FOUNDATION WALL
RETAINING WALL	WAVE CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	HYDRO LINE	45 MINUTE FIRE RATED WALL	UPGRADE ELEVATION	UNDERSTORY OF FOOTING
CATCH BASIN	WAVE BOX	STREET LIGHT REESTABL	HYDRO POLE CUT	90.10 PROPOSED GRADES	CABLE LINE	SIDEWALK DISTANCE IS LESS THAN 1.2m TO LOT LINE	CHAIN LINK FENCE	WOOD WALKOUT BASEMENT
DOUBLE FENCE	HYDRANT	STREET LIGHT	STREET SIGN	2.0% SWALE DIRECTION	BELL	EXTENSION DOOR LOCATION	FENCE AND GATE	MOD. REVERSED
DATA SAN CONNECTION	POWER PEGESTYL	TRAPING SIGNAL	COMMUNITY MAILBOX	MAX 2% SLOPE	HYDRO GAS	IF GRADE REMAINS	PRIVACY FENCE	NO DOOR
					BELL CABLE LINE		ADAPTIVE GRADE	UNLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**HUNT DESIGN ASSOCIATES INC.**

**ESQUIRE HOMES - 214090**  
**KINGS LANDING, AJAX, ON.**

Drawn By: **VS** Checked By: **VS** Scale: **1:250** File Number: **214090SP01.DWG** Lot Page Number: **29**

NAME: **VS\H\PAUL** REGISTRATION INFORMATION: **19696** SIGNATURE: **VS** **19696** **www.huntdesign.ca** **8866 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326**