

APPROVED FOR GRADING

Lot Nos) 24

Block No(s)

We hereby certify the proposed elevations at the lot corners and the proposed new or the proposed dwelling are in compliance with the approved provisions.

Licensed Professional Engineer

John Towle

1468214713

Province of Ontario

Civil Engineering

Nov 21/19

COVERAGE CALCULATION	
LOT NO.:	24
LOT AREA:	306.10 m ²
BLDG. AREA:	137.12 m ²
LOT COVERAGE (50% MAX.):	44.94 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.85 m
F.F. ELEVATION:	97.56 m
F.F. TO MEAN OF ROOF:	7.19 m
PROPOSED BLDG. HGT:	7.90 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Ajax Planning Community.

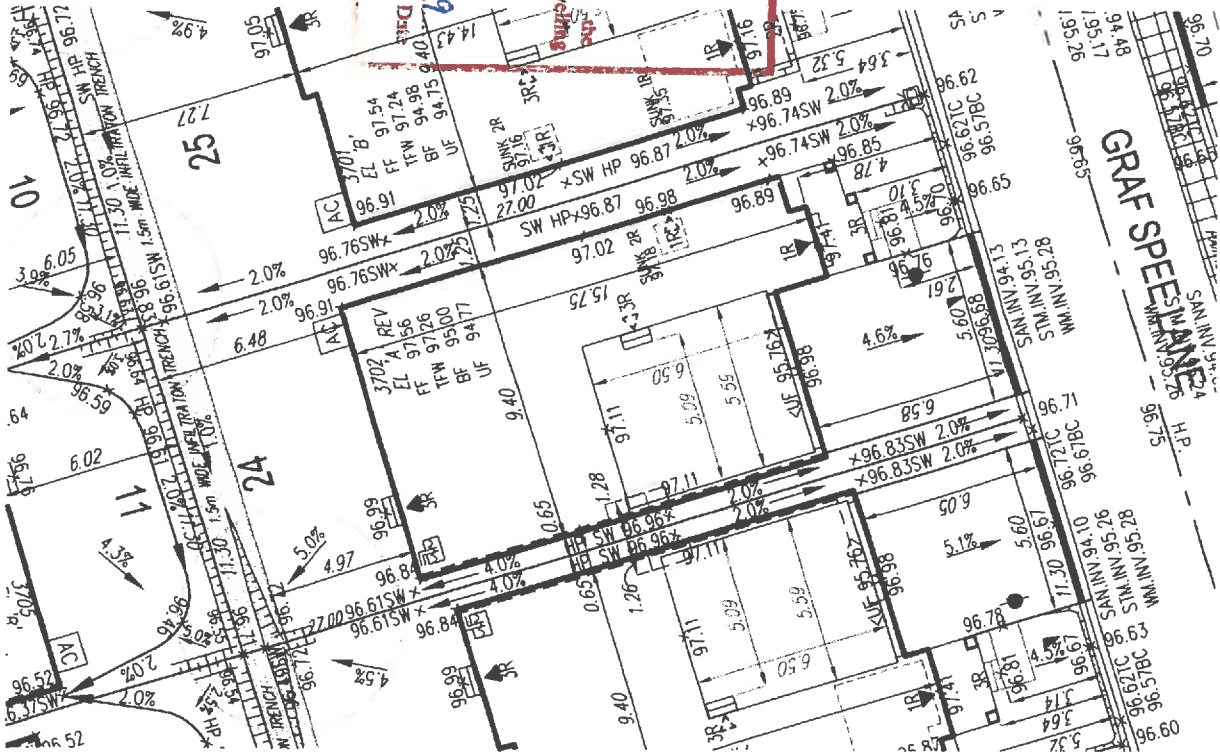
JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL INSPECTION AND APPROVAL

APPROVED BY:

DATE: NOV 04, 2019

This stamp certifies compliance with the applicable Design Guidelines and meets the requirements of the Professional Responsibility.



- NOTES
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIGHER OWN EXPENSE.
 2. BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

ENGINEERED UTILITIES

STREET TREE

RETAINING WALL

CATCH BASIN

DOUBLE / SINGLE

STW & SW CONNECTION

SWIFTWAY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

HYDROANT

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT / FEEDSTAIL

STREET LIGHT-1

POWER FEEDSTAIL

BELL FEEDSTAIL

CABLE FEEDSTAIL

HYDRO POLE

HYDRO POLE ONLY

STREET SIGN

COMMUNITY MAILBOX

HYDRO TRANSFORMER

PAVEMENTED MOTOR

EXISTING GRADES

2.0% PROPOSED GRADES

2.0% SMALL DIRECTION

ENHANCEMENT / BERM

WALKWAY SLOPE

STAIRWAY MANHOLE

STORM WATER LINE

WATER LINE

HYDRO LINE

CABLE LINE

BELL

HYDRO GAS

BELL CABLE LINE

DOWNSPOUTS

AS W/OUT PRE RATED WALL

SIDEWALK DISTANCE IS LESS

NO WINDOWS PERMITTED

EXTENSION DOOR LOCATION

EXTENSION DOOR LOCATION

GRADE PERMITS

SLURRY PUMP AND SURFACE

DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

NO DOOR

NO DOOR

NO DOOR

FINISHED FLOOR

TOP OF FOUNDATION WALL

BASEMENT FLOOR

UNDERGROUND FOOTING

WOOD WALKOUT BASEMENT

MODIFIED

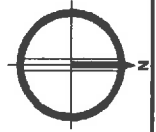
REV

NO DOOR

NO DOOR

NO DOOR

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDERS EXPENSE.	-	-	-
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.	-	-	-
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.	-	-	-
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.	-	-	-
REVISED AS PER CITY'S COMMENTS	VS	2019.11.04	
ISSUED FOR FINAL APPROVAL	VS	2019.08.29	
ISSUED FOR PRELIMINARY APPROVAL	VS	2019.06.25	



SITING AND GRADING PLAN

24

13 GRAF SPEE LANE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Vicky Simola

HUNT DESIGN ASSOCIATES INC.

19695

DESIGN ASSOCIATES INC.

29444

BOCM

19695

www.huntdesign.ca

ESQUIRE HOMES - 214090

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Drawn By

VS

Checked By

VS

Scale

1:250

File Number

214090SP01.DWG

Lot / Page Number

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