

APPROVED FOR GRADING

Lot No(s) 21

Block No(s)

We certify that the proposed elevations at the lot corners are in accordance with the approved grading plan and the proposed dwelling is in compliance with the applicable zoning regulations.

Licensed Professional Engineer
J. ADWLE
46821013
Ivan Tomic Associates Ltd.
Civil Engineer
Province of Ontario

Nov 2/19
Date

COVERAGE CALCULATION	
LOT NO.:	21
LOT AREA:	305.10 m ²
BLDG. AREA:	133.87 m ²
LOT COVERAGE (50% MAX.):	43.88 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.62 m
F.F. ELEVATION:	97.32 m
F.F. TO MEAN OF ROOF:	7.51 m
PROPOSED BLDG. HGT:	8.21 m

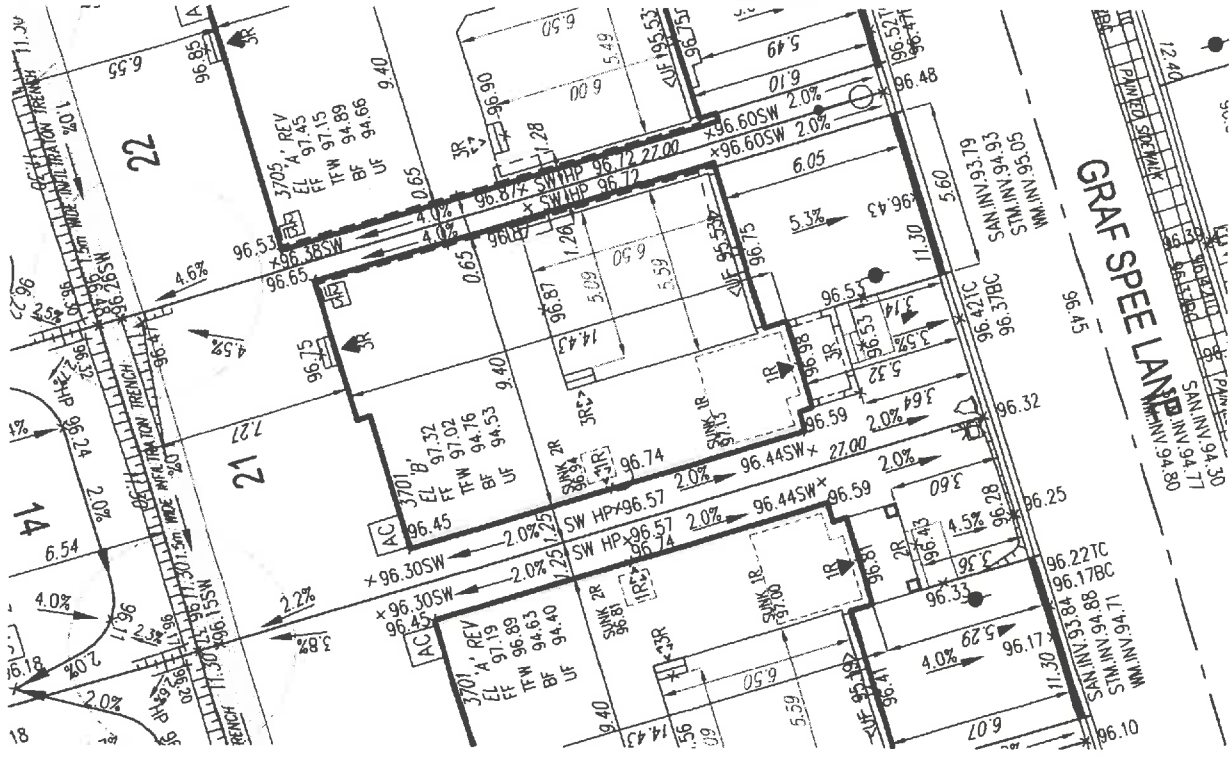
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Ajax Planning Community.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE NOV 04, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
 - BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
 - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP. ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

- NOTES
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIGHER OWN EXPENSE.
 - BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

ENHANCED TEL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

DOUBLE / SINGLE

STW SW CONNECTION

SWIFTWAY MANHOLE

STORM MANHOLE

VALVE / LOWERER

VALVE / BOX

HYDRO PUMP

WATER SERVICE

HYDRO SERVICE

SHEET DRAINAGE

STREET LIGHT PERISTYL

POWER SIGNAL

BELL PERISTYL

CABLE PERISTYL

HYDRO POLE

STREET LIGHT

COMMUNITY MAIL BOX

HYDRO TRANSFORMER

PANCAVED MOTOR

EXISTING GRADES

PROPOSED GRADES

SWALE DIRECTION

EMPAVMENT / BEAM

MAX SW SLOPE

SANITARY LINE

STORM WATER LINE

HYDRO LINE

GAS LINE

CABLE LINE

HYDRO GAS

TEL. CABLE LINE

DOWNPOUTS

WINDOWS REQUISITED

UPGRADE ELEVATION

CHAIN LINK FENCE

FENCE AND GATE

PRIVACY FENCE

ADJUSTIVE FENCE

FINISHED FLOOR

TOP OF FOUNDATION WALL

BASEMENT FLOOR

UNDERSTORY OF FOOTING

WOOD WALKOUT DECK

WOOD WALKOUT BASEMENT

MODIFIED REVERSE

REV. REVERSE

NO DOOR

HIGHLIGHTED GRADE

STREET LIGHT

HYDRO POLE

STREET SIGN

EMPAVMENT / BEAM

MAX SW SLOPE

SANITARY LINE

STORM WATER LINE

HYDRO LINE

GAS LINE

CABLE LINE

HYDRO GAS

TEL. CABLE LINE

DOWNPOUTS

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WOOD WALKOUT BASEMENT

MODIFIED REVERSE

REV. REVERSE

NO DOOR

HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME: Váley Shihpaúl
SIGNATURE: [Signature]
REGISTRATION INFORMATION: 29444 BCM 19695

HUNT DESIGN ASSOCIATES INC.
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ESQUIRE HOMES - 214090
KINGS LANDING, AJAX, ON.
Drawn By: VS
Checked By: VS
Scale: 1:250
File Number: 214090SP01.DWG
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
Lot / Page Number: 21