

APPROVED FOR GRADING

Lot (No(s)) 13

Block (No(s))

Proposed elevations for the proposed dwelling are shown and bear of the proposed dwelling are shown with the approved elevations.

Licensed Professional Engineer
John Toke Associates Ltd.
46821013
Nov 21/19

LOT NO.:	13
LOT AREA:	305.10 m ²
BLDG. AREA:	137.12 m ²
LOT COVERAGE (50% MAX.):	44.94 %
BUILDING HEIGHT	
MAX. BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.28 m
F.F. ELEVATION:	96.96 m
F.F. TO MEAN OF ROOF:	7.19 m
PROPOSED BLDG. HGT:	7.87 m

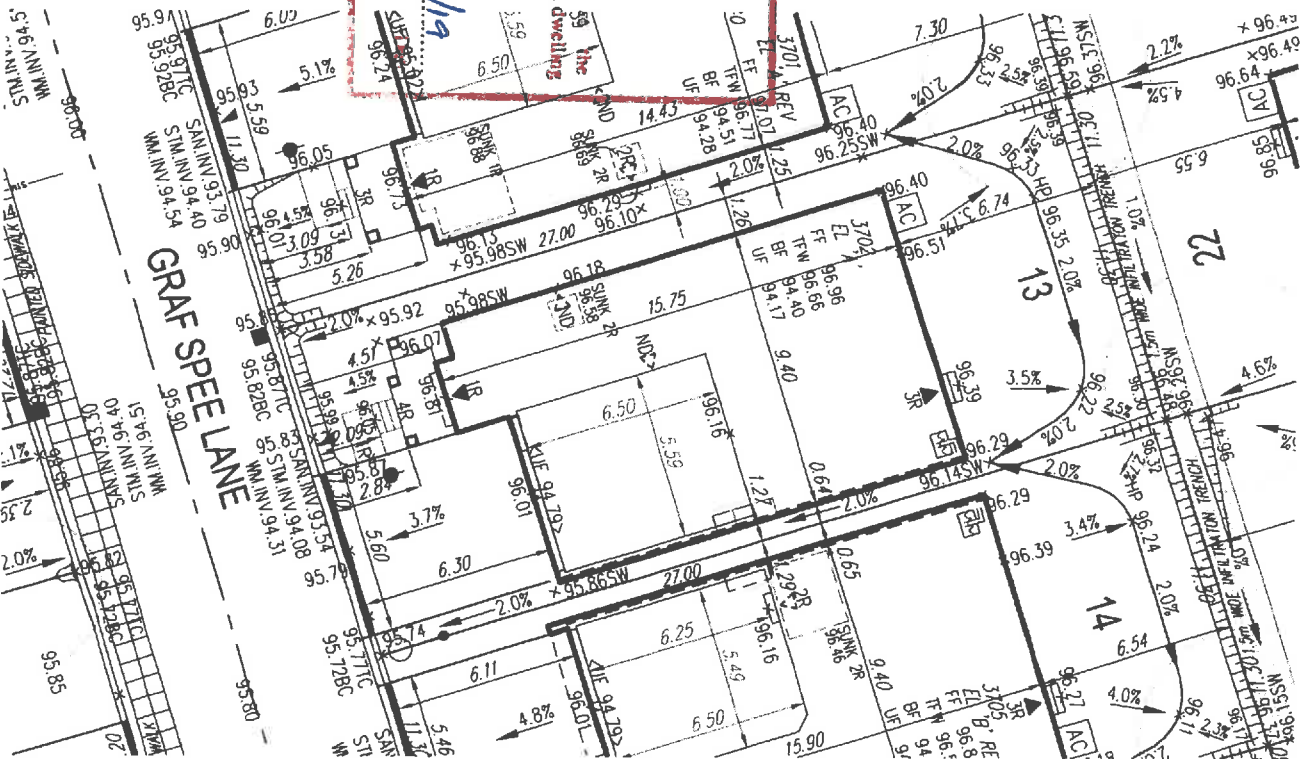
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: NOV 04, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- GENERAL NOTES:
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
 2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
 4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP. ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

REVISED AS PER CITY'S COMMENTS	VS	2019.11.01
ISSUED FOR PRELIMINARY APPROVAL	VS	2019.08.28

ENGINEERED ALL LOTS

STREET TREE

RETAINING WALL

CATCH BASIN

DOUBLE / SINGLE

STVA / SAN CONNECTION

SANITARY MANHOLE

STORM MANHOLE

VALVE & CHAMBER

VALVE & BOX

DOUBLE / SINGLE

STVA / SAN CONNECTION

WATER SERVICE

SHEET DRAINAGE

STREET LIGHT FEEDSTL

HYDRO POLE CLAY

STREET SIGN

COMMUNITY LIAISON BOX

BELL PEDESTAL

CABLE FEEDSTL

HYDRO POLE

HYDRO POLE CLAY

STREET SIGN

COMMUNITY LIAISON BOX

HYDRO TRANSFORMER

PLAYGROUND MOTOR

EXISTING GRADES

PROPOSED GRADES

2.0% SLOPE DIRECTION

STAKEWENT / BENCH

BELL CABLE LINE

SANITARY LINE

STORM WATER LINE

WATER LINE

CABLE LINE

HYDRO GAS

BELL CABLE LINE

DOWNPOUTS

SILO PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

CHAIN LINK FENCE

EXTENSION DOOR LOCATION

PRIVACY FENCE

ADJACENT FENCE

FINISHED FLOOR

TOP OF FOUNDATION WALL

BASEMENT FLOOR

UNDERDECK OF FOOTING

WOOD WALKOUT BASEMENT

WOOD WALKOUT BASEMENT

REV. REVERSED

NO DOOR

HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Vicay Shivapaul
HUNT DESIGN ASSOCIATES INC.
19695

DESIGN ASSOCIATES INC.
www.huntdesign.ca

ESQUIRE HOMES - 214090
KINGS LANDING, AJAX, ON.
VS VS 1:250 214090SP01.DWG