

APPROVED FOR GRADING

Lot Nos) 6

Professionally prepared elevations at the lot corners and at the front and rear of the proposed dwelling are acceptable with the approved conditions.

LICENCE
J. L. ROWLE
46821013
Professional Engineer
Ontario
Consolidated
Nov 21/19
Date

COVERAGE CALCULATION	
LOT NO.:	6
LOT AREA:	323.32 m ²
BLDG. AREA:	152.27 m ²
LOT COVERAGE (50% MAX.):	47.10 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.11 m
F.F. ELEVATION:	96.70 m
F.F. TO MEAN OF ROOF:	7.43 m
PROPOSED BLDG. HGT:	8.02 m

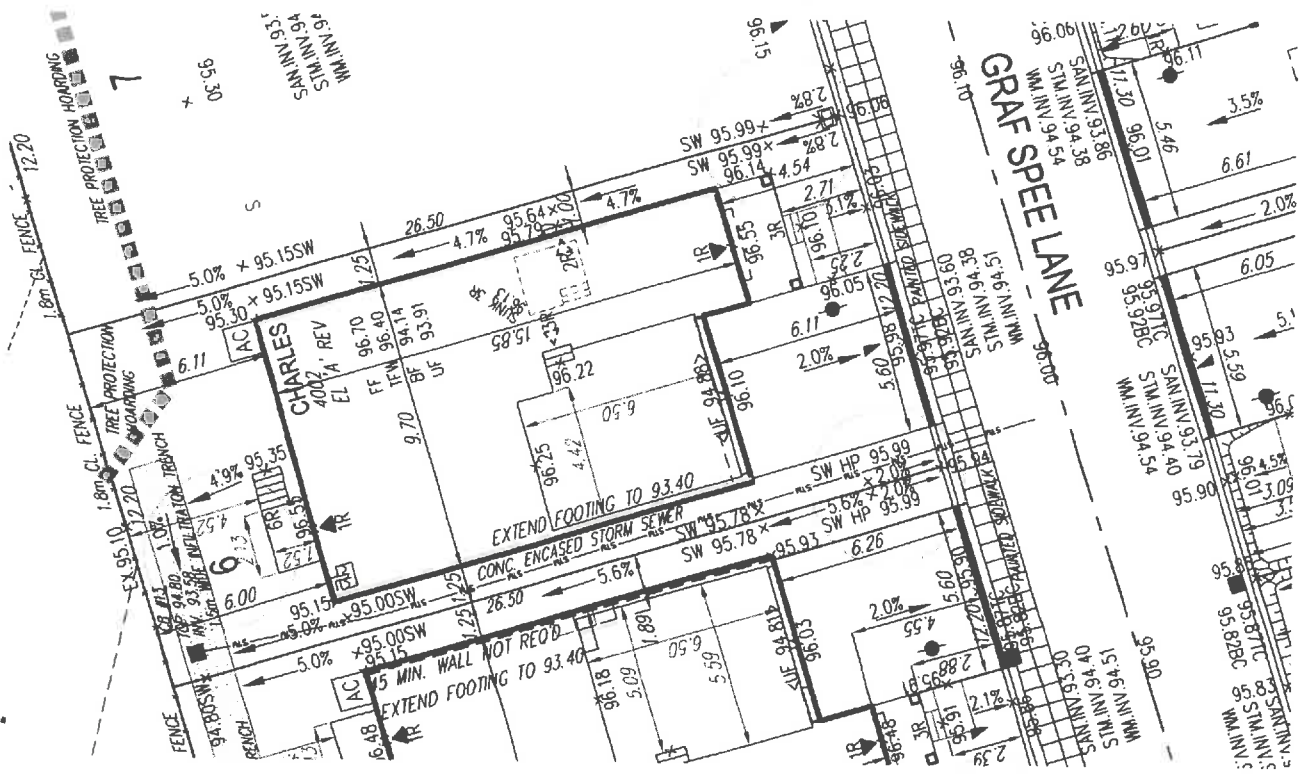
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL, ENGINEERING
AND APPROVAL

APPROVED BY: [Signature]
DATE: NOV 04 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- NOTES
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES, IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
 - BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

ENGINEERED FL. LOTS	SAINTARY MANHOLE	WATER SERVICE	BELL PEDESTAL	STORM TRANSFORMER	SAINTARY LINE	DOWNSPOUTS	SLIP SHIP AND SURFACE DISCHARGE LOCATION	FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PAVED/UNPAVED MOTOR	STORM WATER LINE	WINDOWS PERMITTED	UPGRADE ELEVATION	TOP OF FOUNDATION WALL
RETAINING WALL	WALK & CHAUSER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	WATER LINE	45 MINUTE FIRE RATED WALL	UNDERGRADE OF FOOTING	BASEMENT FLOOR
CATCH BASIN	WALK & BOX	STREET LIGHT/RESTRAL	HYDRO POLE GUY	90/10 PROPOSED GRADES	GAS LINE	THAN 1.5 M (NOT LESS)	W/O WALKOUT DECK	W/O WALKOUT BASEMENT
DOUBLE / SINGLE	HYDRO	STREET LIGHT	STREET SIGN	2.0% SWALE DIRECTION	CABLE LINE	NO WINDOWS PERMITTED	FRIDGE AND GATE	REV REVERSED
STIM SWM CONNECTION	POWER PEDestal	COMMUNITY MAIL BOX	STREET SIGN	ENHANCEMENT BERM	BELL	EXTERIOR DOOR LOCATION	PRIVACY FENCE	NO DOOR
				WALK ON SLOPE	HYDRO GAS	IF GRADE REMAINS	ADJUST TO FENCE	HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

NAME	SGM/PAUL	29444	62N	19695	DESIGN ASSOCIATES INC.	8666 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	F 905.737.7326	214090SP01.DWG	6
REGISTRATION INFORMATION	SGM/PAUL	29444	62N	19695	DESIGN ASSOCIATES INC.	8666 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	F 905.737.7326	214090SP01.DWG	6
Viley Shippall	29444	62N	19695	DESIGN ASSOCIATES INC.	8666 Woodbine Ave, Markham, ON L3R 0J7	T 905.737.5133	F 905.737.7326	214090SP01.DWG	6	