

APPROVED FOR GRADING

Lot No(s) 5

Block No(s)

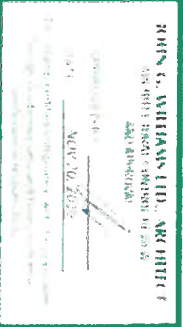
John Torvic Associates Ltd.
Consulting Engineer

Nov 21/19
Date

COVERAGE CALCULATION	
LOT NO.:	5
LOT AREA:	323.32 m ²
BLDG. AREA:	137.12 m ²
LOT COVERAGE (50% MAX.):	42.41 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	95.96 m
F.F. ELEVATION:	96.63 m
F.F. TO MEAN OF ROOF:	7.19 m
PROPOSED BLDG. HGT:	7.86 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for extending or applying site (utility) plans or working drawings with the exception of the building code or permit matter of that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Ajax PLANNING COMMUNITY.

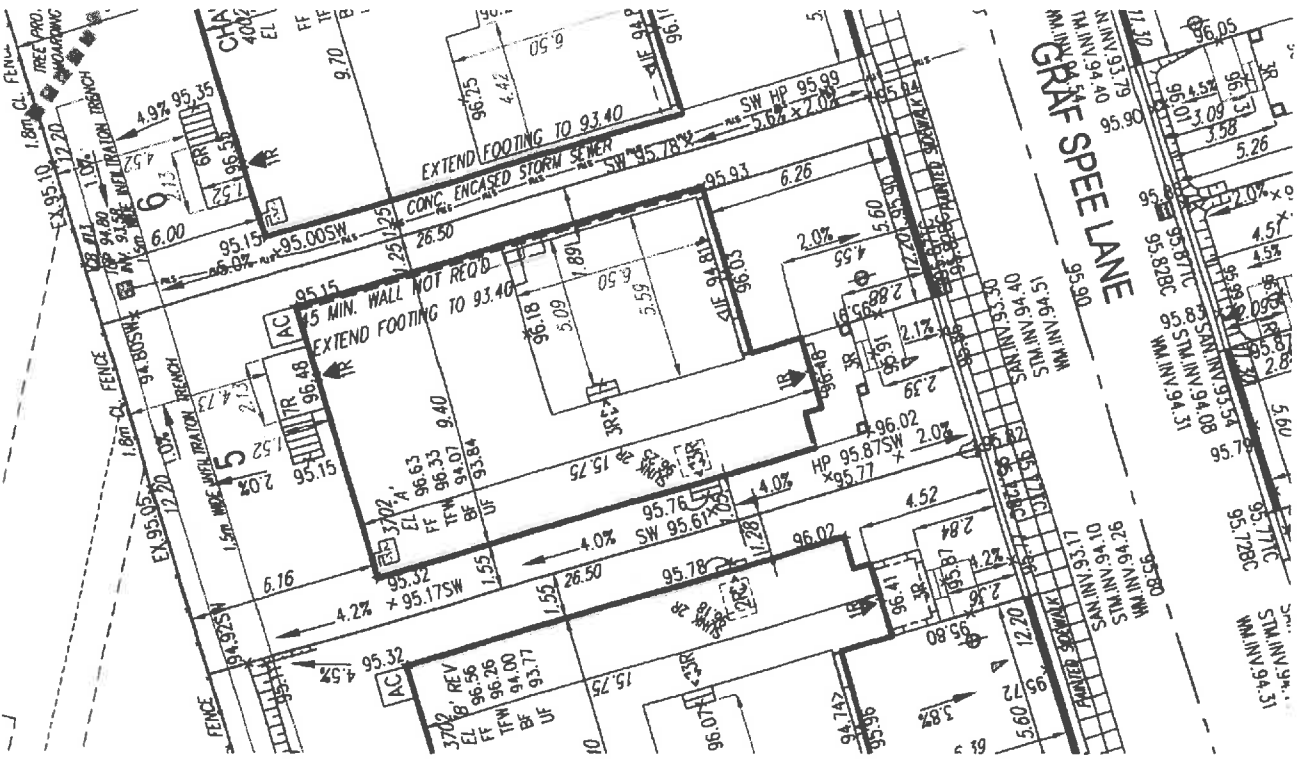


NOTES

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
2. BUILDER TO VERIFY ELEVATION OF STA. AND SAN. LATRINALS IN RELATION TO BASEMENT U/S OF FIG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

GENERAL NOTES:

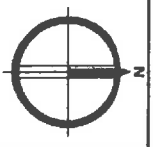
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STA. AND SAN. LATRINALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR FTW ON SITING AND GRADING PLAN. THE EXTENSOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY JOINTS AS REQUIRED.



ENGINEERED/FILLOUTS

- SAINTARY MANHOLE
- STREET TREE
- RETAINING WALL
- CATCH BASIN
- DOUBLE / SINGLE STAIR SIGN CONNECTION
- WATER SERVICE
- HYDRO SERVICE
- SHEET PILE
- STREET LIGHT FEDESTAL
- TRAYE SIGNAL POWER FEDESTAL
- BELL FEDESTAL
- CABLE FEDESTAL
- HYDRO POLE
- HYDRO POLE CAP
- STREET SIGN
- COMMUNITY MAIL BOX
- HYDRO TRANSFORMER
- PUMP/GENERATOR
- EXISTING GRADIES
- PROPOSED GRADIES
- SMALL DIRECTION
- ENHANCEMENT / REM
- MAX 3.1 SLOPE
- SAINTARY LINE
- STORM WATER LINE
- WATER LINE
- HYDRO LINE
- GAS LINE
- CABLE LINE
- BELL
- HYDRO GAS
- REL. CONDUIT LINE
- DOWNSPOUTS
- WINDOWS PERMITTED
- 45 MINUTE FIRE RATED WALL
- MINUTE FIRE RATED WALL
- MINUTE FIRE RATED WALL (NO WINDOWS PERMITTED)
- EXTENSION DOOR LOCATION
- F. GRADE RESULTS
- SUMP PUMP AND SERVICE DISCHARGE LOCATION
- UPGRADE ELEVATION
- CHAIN LINK FENCE
- FENCE AND GATE
- PRIVATE FENCE
- ADJACENT FENCE
- FINISHED FLOOR
- TOP OF FOUNDATION WALL
- BASEMENT FLOOR
- UNDERSIDE OF FOOTING
- W/O WALKOUT DECK
- W/O WALKOUT BASEMENT
- H/O MODIFIED
- REV. REVERSED
- NO DOOR
- NO DOOR
- HIGH/LIFTED GRADE

ISSUED FOR PRELIMINARY APPROVAL	VS	2019.07.10
REMOVED AS PER CITY'S COMMENTS	VS	2018.11.01
ISSUED FOR FINAL APPROVAL	VS	2019.08.28
	VS	2019.07.10



SITING AND GRADING PLAN 28 GRAF SPEE LANE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE ASSOCIATED CONSTRUCTION DETAILS AND APPROVED SET OUT IN THE ONTARIO BUILDING CODE. THE DESIGNER HAS CALLED OUT IN THE ONTARIO BUILDING CODE. THE DESIGNER HAS CALLED OUT IN THE ONTARIO BUILDING CODE.

NAME: **Vijay Shrivastava** REGISTRATION INFORMATION: **VS 19898** SCALE: **1:250** FILE NUMBER: **214090SP01.DWG**

NAME: **HUNT DESIGN ASSOCIATES INC.** REGISTRATION INFORMATION: **19898** DESIGN ASSOCIATES INC. 8866 Woodbine Ave, Markham, ON L3R 0J7 T: 905.737.5133 F: 905.737.7326