

COVERAGE CALCULATION	
LOT NO.:	24
LOT AREA:	305.10 m ²
BLDG. AREA:	137.12 m ²
LOT COVERAGE (90% MAX.):	44.94 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.85 m
F.F. ELEVATION:	97.66 m
F.F. TO MEAN OF ROOF:	7.19 m
PROPOSED BLDG. HGT:	7.90 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

ROBIN G. WILLIAMS LTD., ART DIRECTOR
 6000 WEST CHURCH STREET, CHICAGO, ILL. 60631
 TEL: 437-1700

ADDRESS: BY _____
 NAME _____
 NEW ORLEANS _____

THE ADDRESS OF THE ADDRESSEE MUST BE ON THE "TO" LINE.
 [The name of the company and the name of the person
 to whom the letter is addressed must be on the "TO" line.]

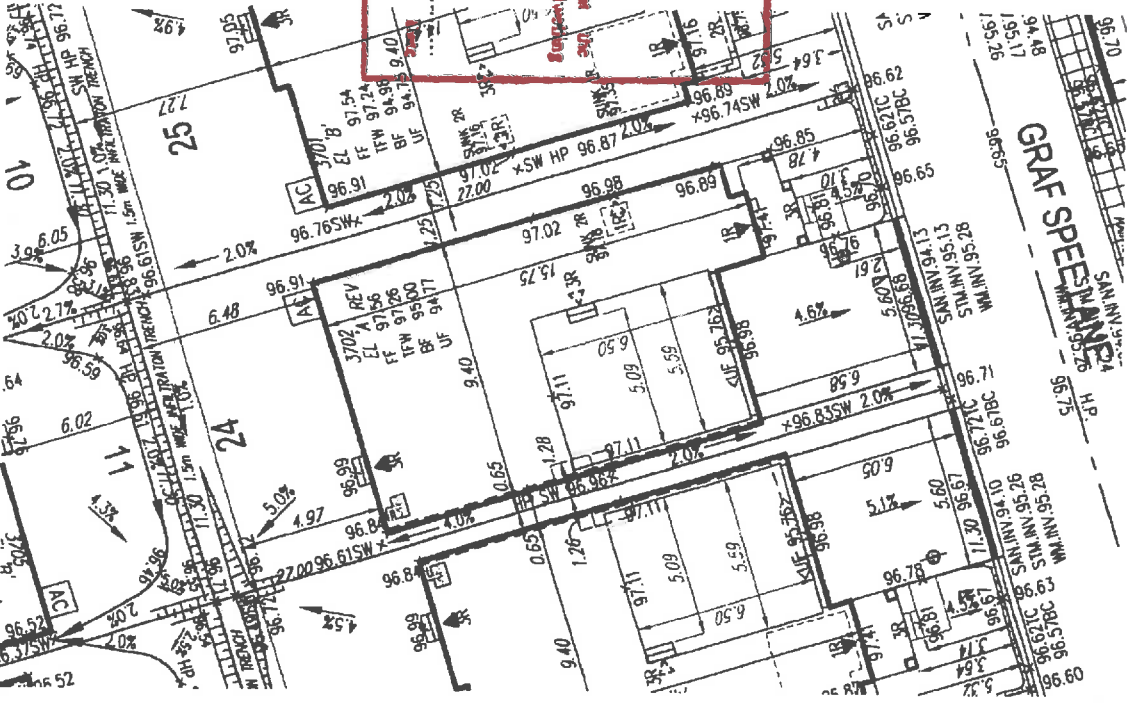
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
2. BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT USE OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF FIN. AND SILL LEVELS IN RELATION TO BASEMENT USE OF FOOTING ELEVATIONS FOR COMPARISON WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONNECTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP. ON SITING AND GRADING PLAN. THE EXTENSION OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

REVISIONS	DATE	BY	DESCRIPTION
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
REVISED AS PER CITY COMMENTS	VS	2010.11.104	
ISSUED FOR FINAL APPROVAL	VS	2010.08.29	
DESIGNED FOR PERMITS SUBMITTAL	VS	2010.06.29	

A north arrow pointing upwards, labeled with the letter 'N'. Below it is a circular symbol with a vertical line through its center, likely representing a foundation or footing plan view.



SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Vijay Shrivastava

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.



HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

ESQUIRE HOMES - 214090		
KINGS LANDING, AJAX, ON.		
Drawn By	Created By	Scale
VS	VS	1:250
		2140

File Number
214090SP01.DWG
737.5133 F 905.737.7326

Lot: Page Number
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