

APPROVED FOR GRADING

Lot No(s) **15**

Block 15

PROFESSIONAL

NOTED that the proposed elevations at the proposed dwelling are consistent with the approved elevations.

31 GRAF SPEE LANE

46821013

Nov 7/19

Date

COVERAGE CALCULATION	
LOT NO.:	15
LOT AREA:	304.89 m ²
BLDG. AREA:	128.86 m ²
LOT COVERAGE (50% MAX.):	42.26 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	95.83 m
F.F. ELEVATION:	96.73 m
F.F. TO MEAN OF ROOF:	7.26 m
PROPOSED BLDG. HGT:	8.16 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and any other provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

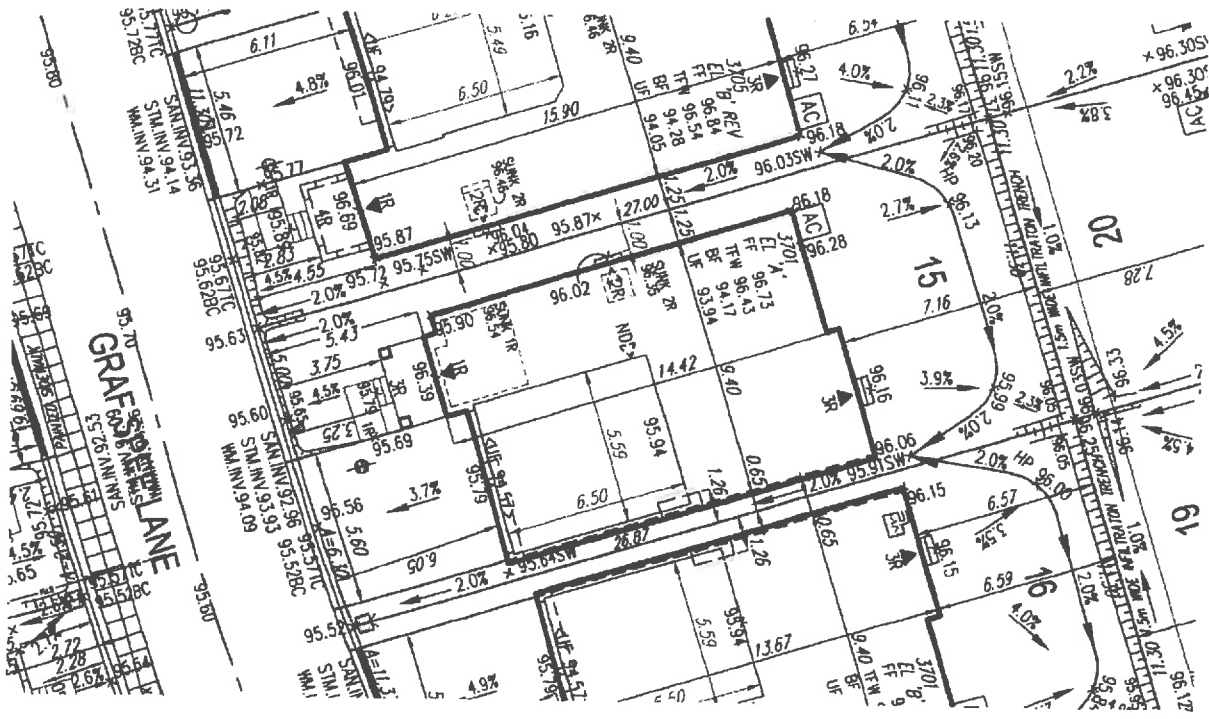
MR. C. WHITMAN LTD., ARCHITECTS

ARCHITECTS, ENGINEERS, INTERIORS, LANDSCAPE ARCHITECTS

APPROVED BY:

NOV 21 2019

15



- NOTES**
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES, IF ANY, DIMENSIONS ARE NOT MAINTAINED. BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
 2. BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

GENERAL NOTES:	
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES, IF ANY, DIMENSIONS ARE NOT MAINTAINED. BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.	
2. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.	
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.	
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TRV ON SITING AND GRADING PLAN. THE EXTENSION OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MAXIMUM VIBRATION AS REQUIRED.	
REVISIONS AS PER CITY'S COMMENTS	
ISSUED FOR FINAL APPROVAL	VS 2019.11.01
ISSUED FOR PRELIMINARY APPROVAL	VS 2019.08.19
VS 2019.08.13	

<input checked="" type="checkbox"/> ENGINEERED PILLOTS	<input checked="" type="checkbox"/> SANITARY WASTE	<input checked="" type="checkbox"/> WATER SERVICE	<input checked="" type="checkbox"/> TEL. PESTICIDE	<input checked="" type="checkbox"/> HYDRO TRANSFORMER	<input checked="" type="checkbox"/> SANITARY LINE	<input checked="" type="checkbox"/> STORM WATER LINE	<input checked="" type="checkbox"/> DOWNSPOUTS	<input checked="" type="checkbox"/> STORM PUMP AND SURFACE	<input checked="" type="checkbox"/> FRESH FLOOR
<input checked="" type="checkbox"/> STREET TREE	<input checked="" type="checkbox"/> STORM WASTEWATER	<input checked="" type="checkbox"/> HYDRO SERVICE	<input checked="" type="checkbox"/> CABLE PESTICIDE	<input checked="" type="checkbox"/> EXISTING GRASSES	<input checked="" type="checkbox"/> WATERLINE	<input checked="" type="checkbox"/> WATERLINE	<input checked="" type="checkbox"/> WINDOWS REFINISHED	<input checked="" type="checkbox"/> TOP OF FOUNDATION WALL	<input checked="" type="checkbox"/> FRESH FLOOR
<input checked="" type="checkbox"/> RETAINING WALL	<input checked="" type="checkbox"/> WASTE CHAMBER	<input checked="" type="checkbox"/> SHEET PILE	<input checked="" type="checkbox"/> HYDRO POLE	<input checked="" type="checkbox"/> 190 TO PROPOSED GROUPS	<input checked="" type="checkbox"/> GAS LINE	<input checked="" type="checkbox"/> GAS LINE	<input checked="" type="checkbox"/> EXISTING FENCE	<input checked="" type="checkbox"/> UNDERGROUND OF FOOTING	<input checked="" type="checkbox"/> UNDERGROUND OF FOOTING
<input checked="" type="checkbox"/> CATCH BASIN	<input checked="" type="checkbox"/> VALVE & BOX	<input checked="" type="checkbox"/> STREET LIGHT PESTICIDE	<input checked="" type="checkbox"/> HYDRO POLE CAY	<input checked="" type="checkbox"/> 2.0% SWALE DIRECTION	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> EXISTING FENCE	<input checked="" type="checkbox"/> WOOD WITHOUT RECY	<input checked="" type="checkbox"/> WOOD WITHOUT RECY
<input checked="" type="checkbox"/> DOUBLE SINGLE	<input checked="" type="checkbox"/> HYDROBT	<input checked="" type="checkbox"/> STREET LIGHT	<input checked="" type="checkbox"/> STREET SIGN	<input checked="" type="checkbox"/> 2.0% SWALE DIRECTION	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> EXISTING FENCE	<input checked="" type="checkbox"/> WOOD WITHOUT RECY	<input checked="" type="checkbox"/> WOOD WITHOUT RECY
<input checked="" type="checkbox"/> STAIR CONNECTION	<input checked="" type="checkbox"/> HYDROBT	<input checked="" type="checkbox"/> STREET LIGHT	<input checked="" type="checkbox"/> STREET SIGN	<input checked="" type="checkbox"/> 2.0% SWALE DIRECTION	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> CABLE LINE	<input checked="" type="checkbox"/> EXISTING FENCE	<input checked="" type="checkbox"/> WOOD WITHOUT RECY	<input checked="" type="checkbox"/> WOOD WITHOUT RECY
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SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO SIGN THESE PLANS.

HUNT DESIGN ASSOCIATES INC.

ESQUIRE HOMES - 214090

KING'S LANDING, AJAX, ON.

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