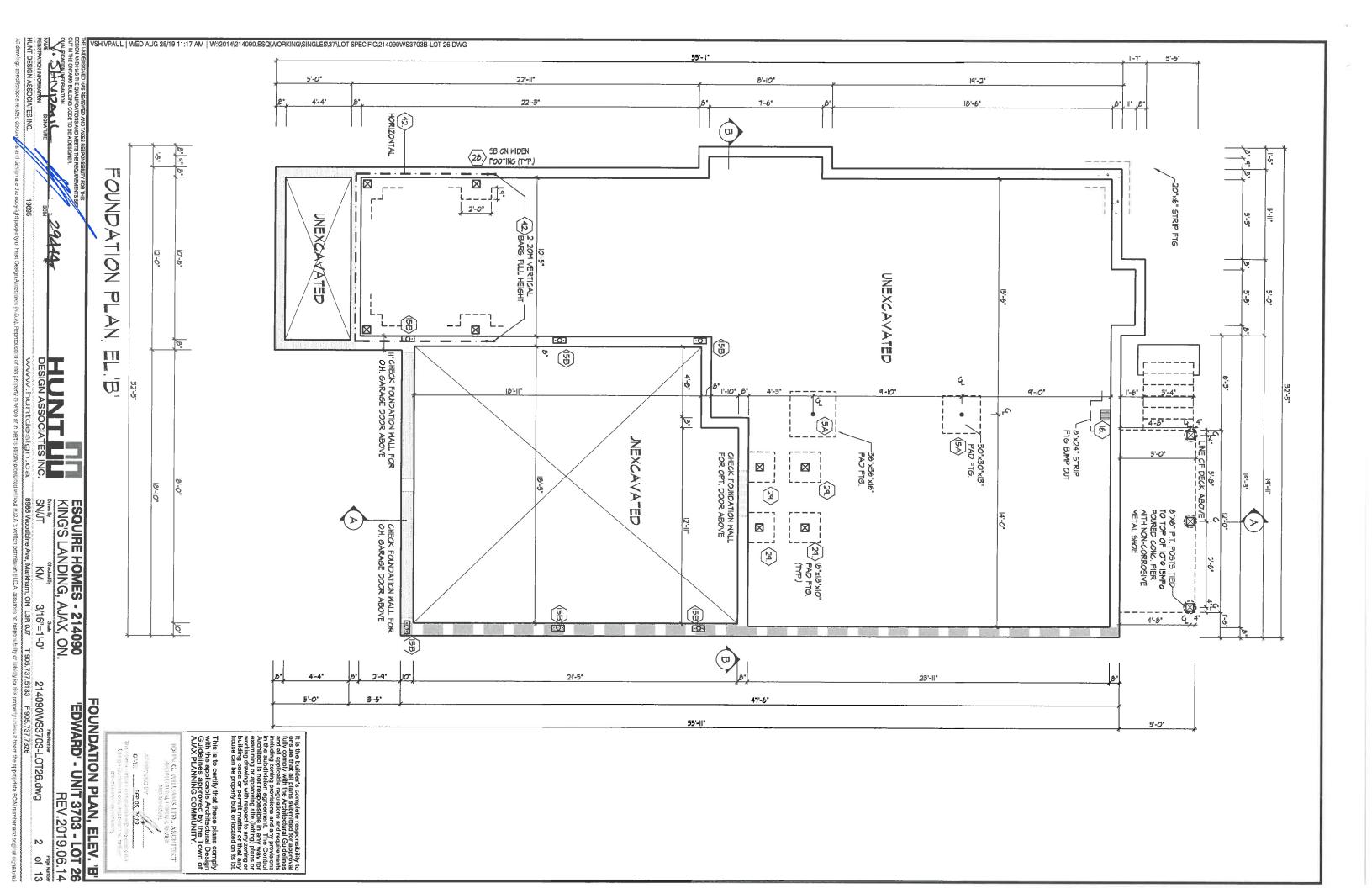
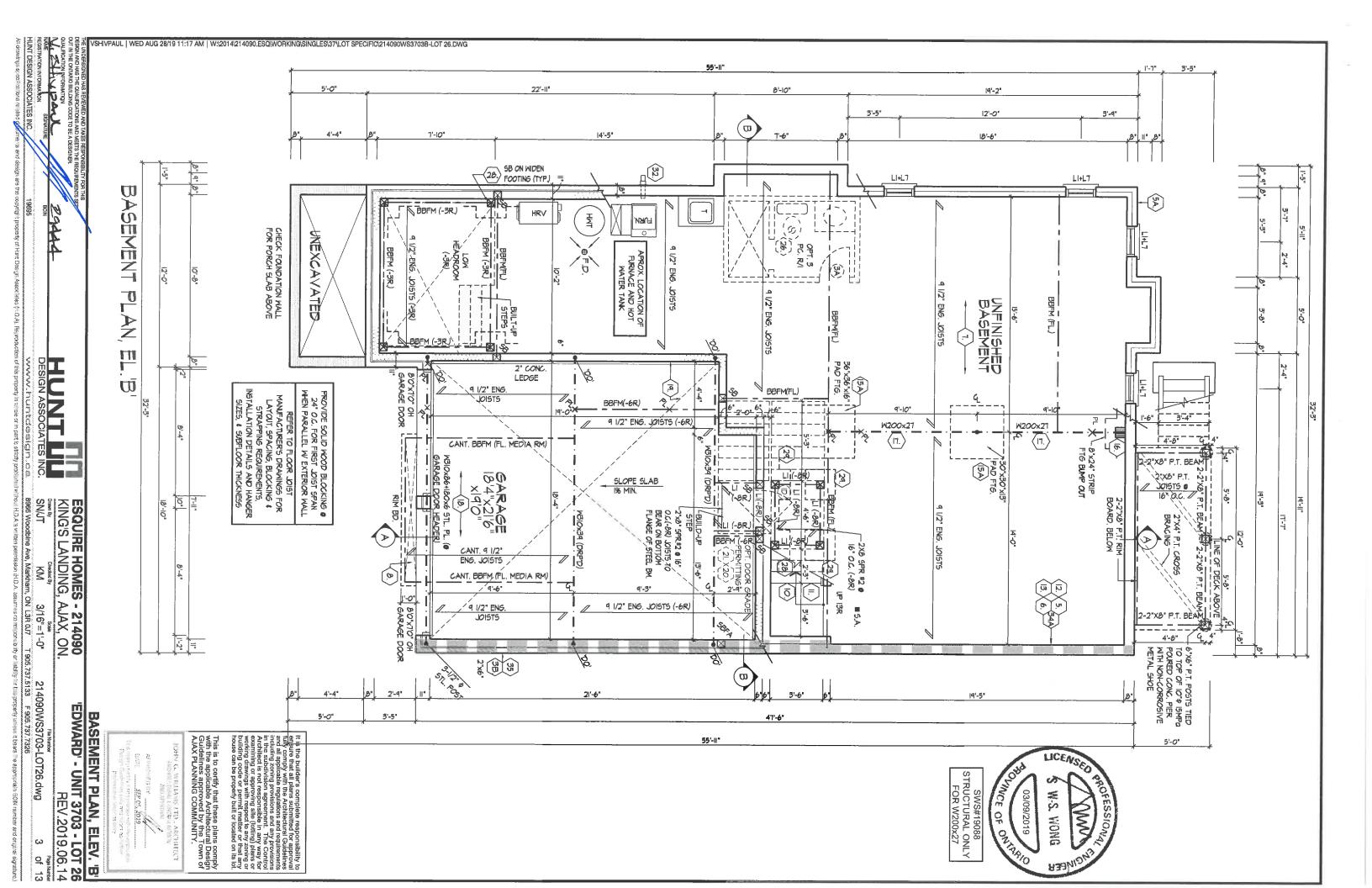
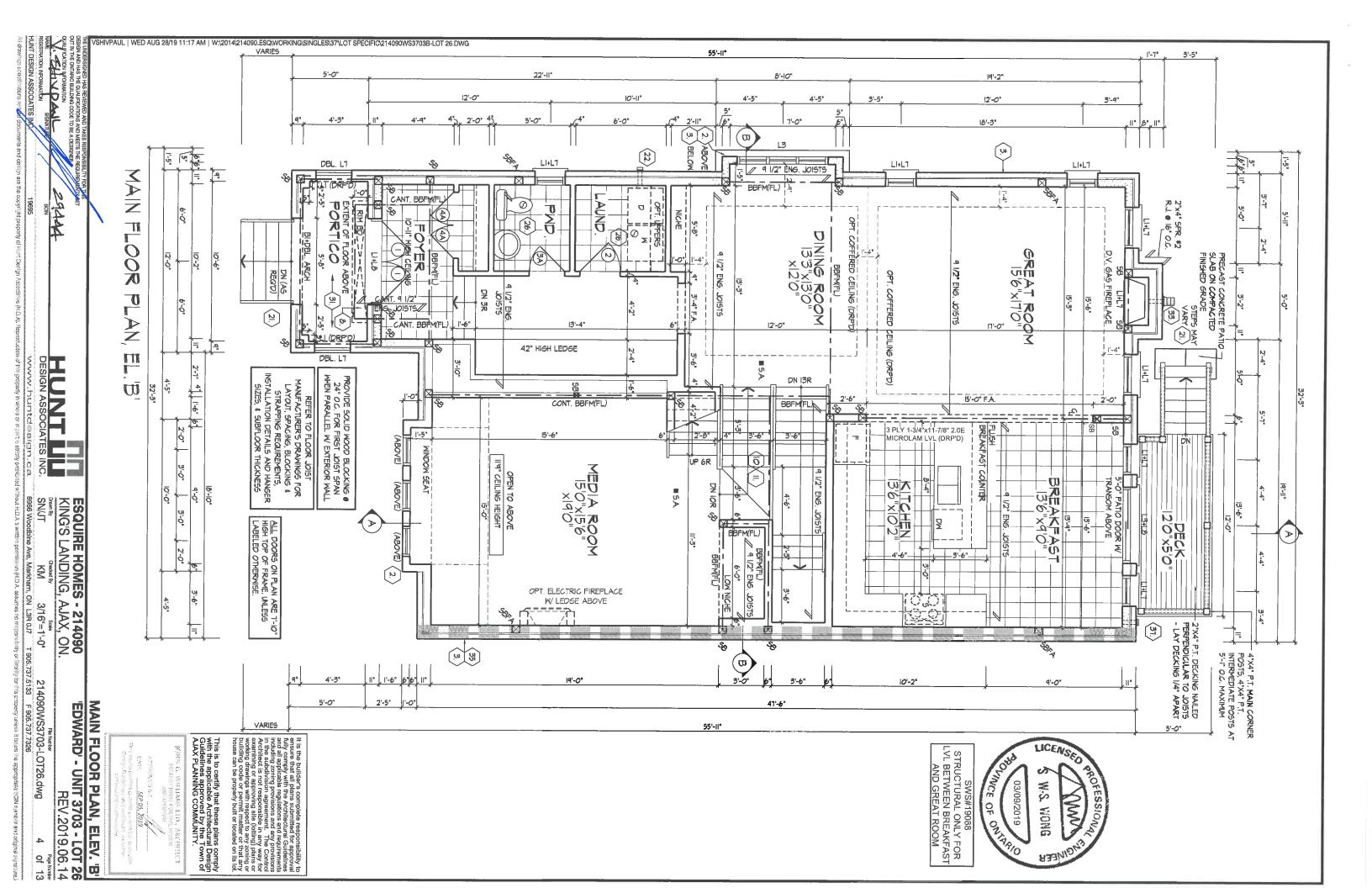


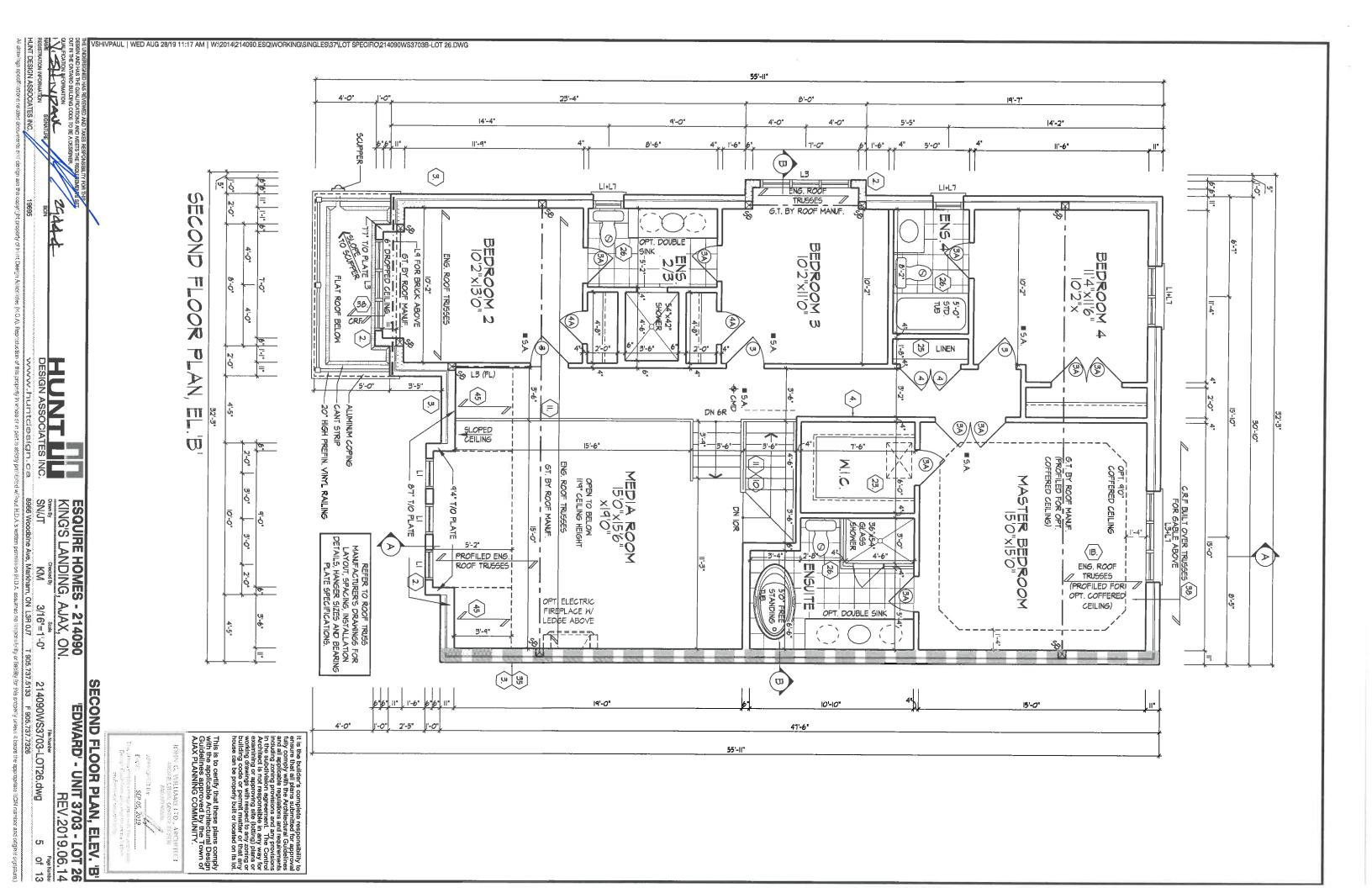
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					_	
					WINDOW / WALL AREA EL. 'B' CALCULATIONS STD. PLAN	
					NEW! AREA	
					T (:	
					TOTAL NET AREA 2775 sq. ft.	
					STD. PLAN GROUND FLOOR AREA 1528 sq. ft.	
					AREA CALCULATIONS EL. 'B'	
			0.8	0.8	DHW HEATER (EF)	F
			75%	75%	HHV ETTICIENCY (%)	기 푸
			96%	96%	SPACE HEATING EQUIP. (AFUE%)	- S
					APPLIANCE EFFICIENCY	AP
			2.8	2.8	SKYLIGHTS (MAX. U-VALUE)	S.
			1.6	1.6	WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	≦ :
			1.76 (R10)	1./6 (H10)	MINDOWS & DOORS	W
			1.76 (R10)	1.76 (R10)	EUGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	 =  [=
			1	ı	BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	] 深
			(R20 ci) *		* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)	
		- CONSTRUCTION NOTES 2		3.52 ci	BASEMENT WALLS	망
		12 - CONSTRUCTION NOTES 1	3.87 (B22)	3.46 (H31)	WALLS ABOVE GRADE	<b>\$</b>  ç
		- CROSS SECTION 'B-B' & 'C-C'		5.46 (R31)	CEILING W/O ALLIC SPACE	7 6
		- OROSS SECTION 'A-A'		10.56 (R60)	CEILING W/ ATTIC SPACE	2 2
		- REAR ELEVATION B			INSULATION RSI (R) VALUE	Z
		- BIGHT SIDE ELEVATION B'	PROPOSED /-	REQUIRED	BUILDING COMPONENT	<u></u>
			SOLID FUEL 6-	□ EARTH		
		- SECOND FLOOR PLAN, ELEV. B'	ا آ 4 تک	الصله	PACKAGE A1	
			SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A  SPACE HEATING FUEL	(SECTION 3.1.1) SPACE HE	PRESCRIPTIVE COMPLIANCE SB-12	- F
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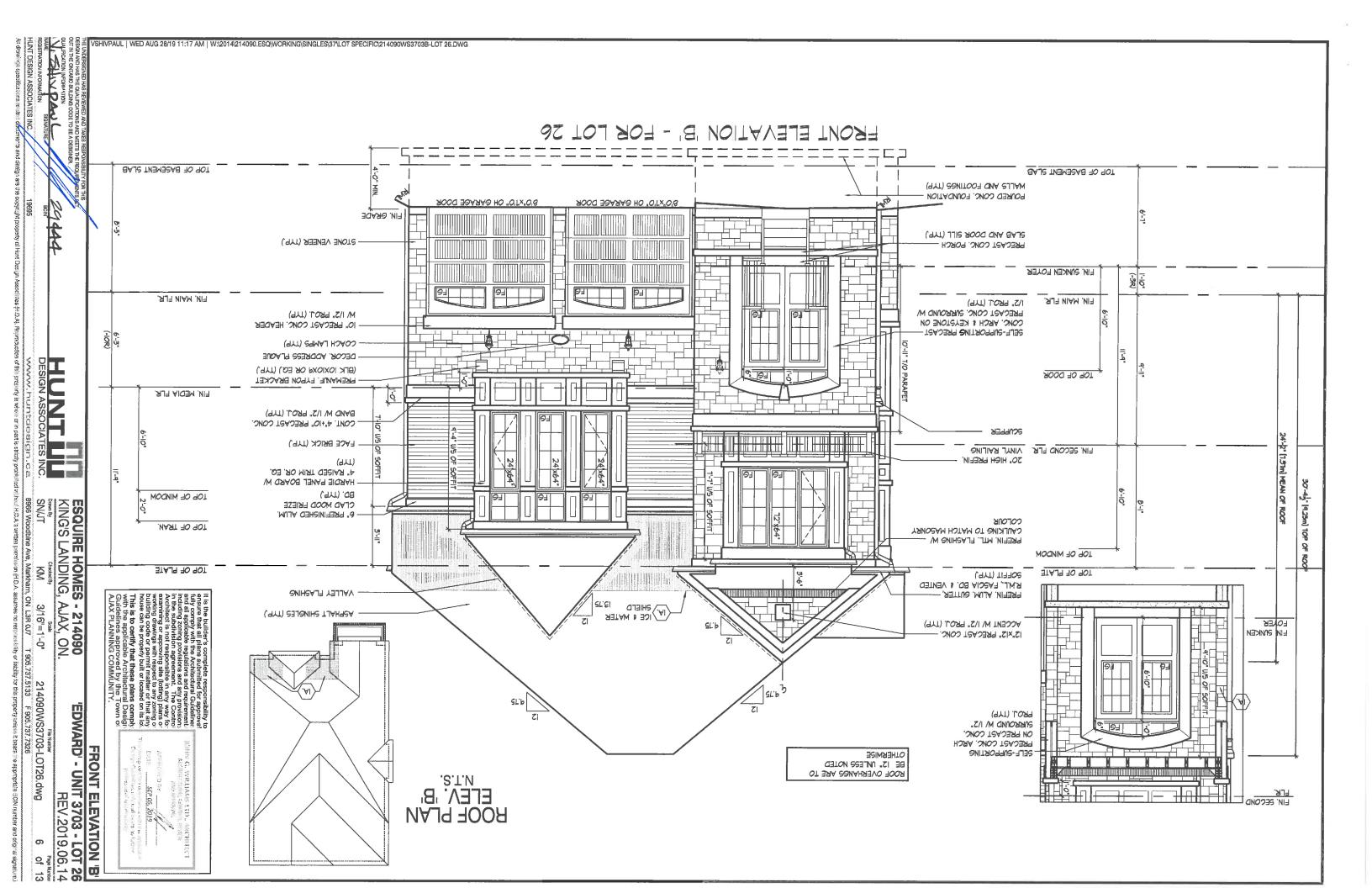
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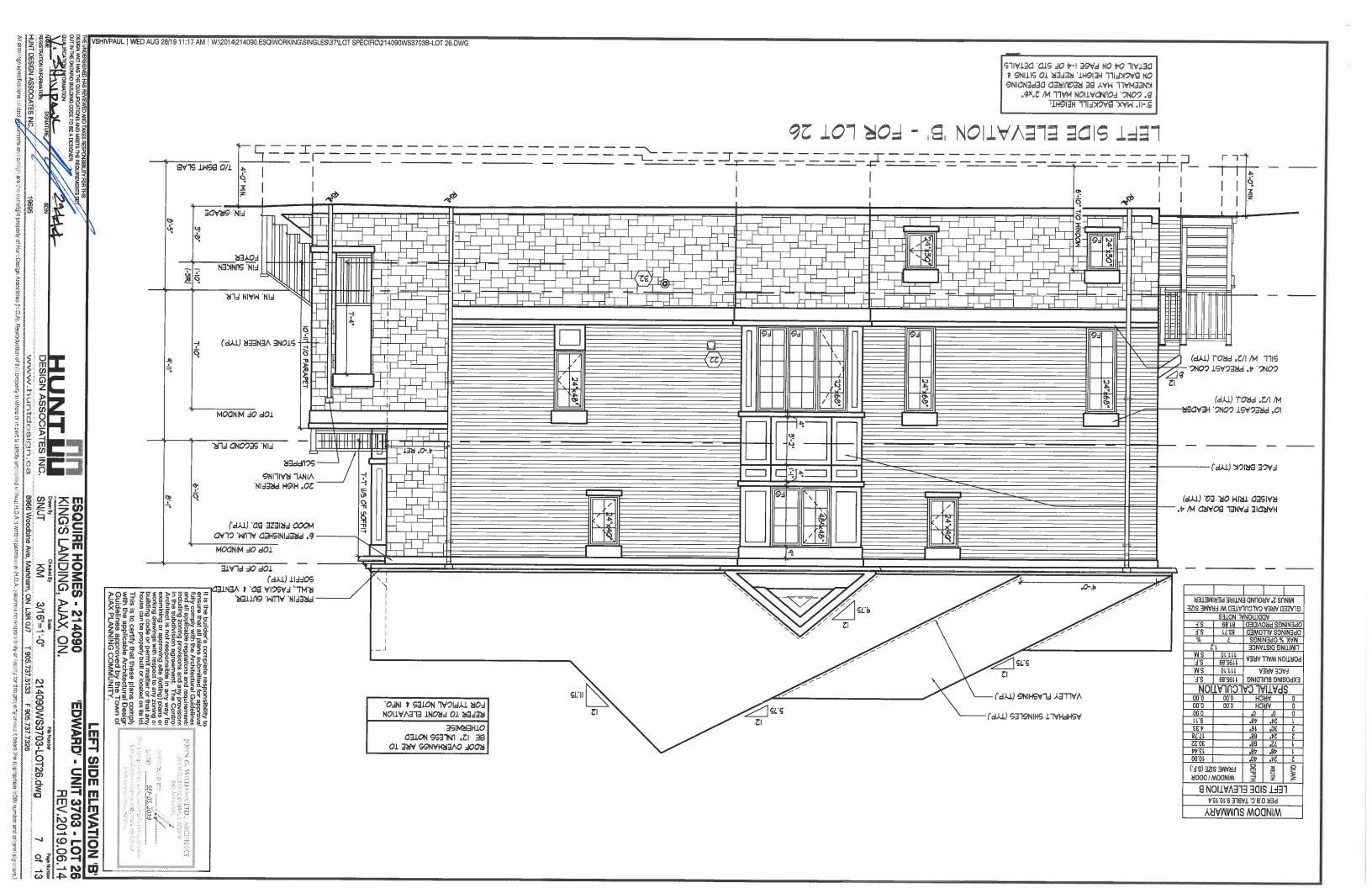


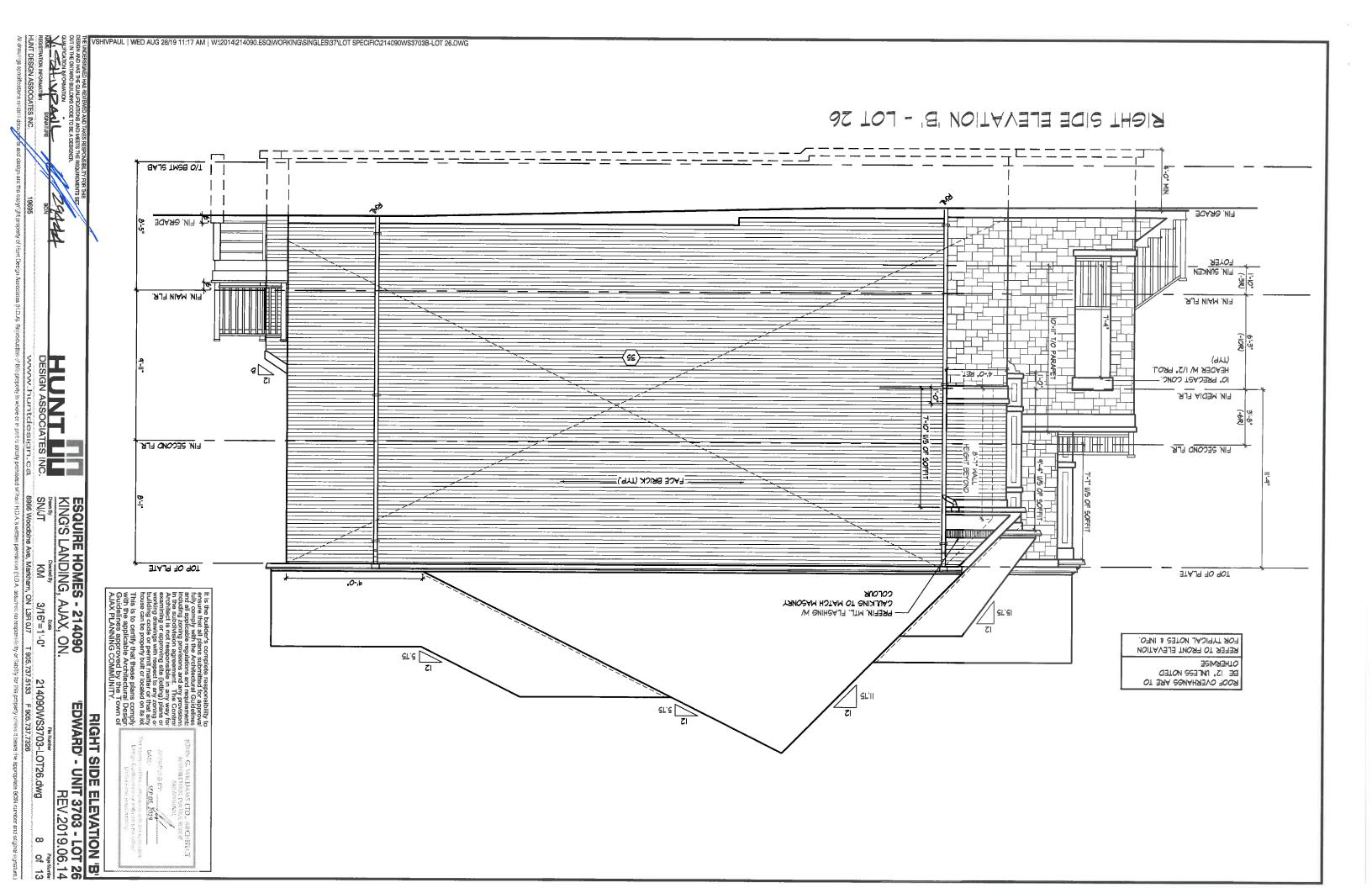


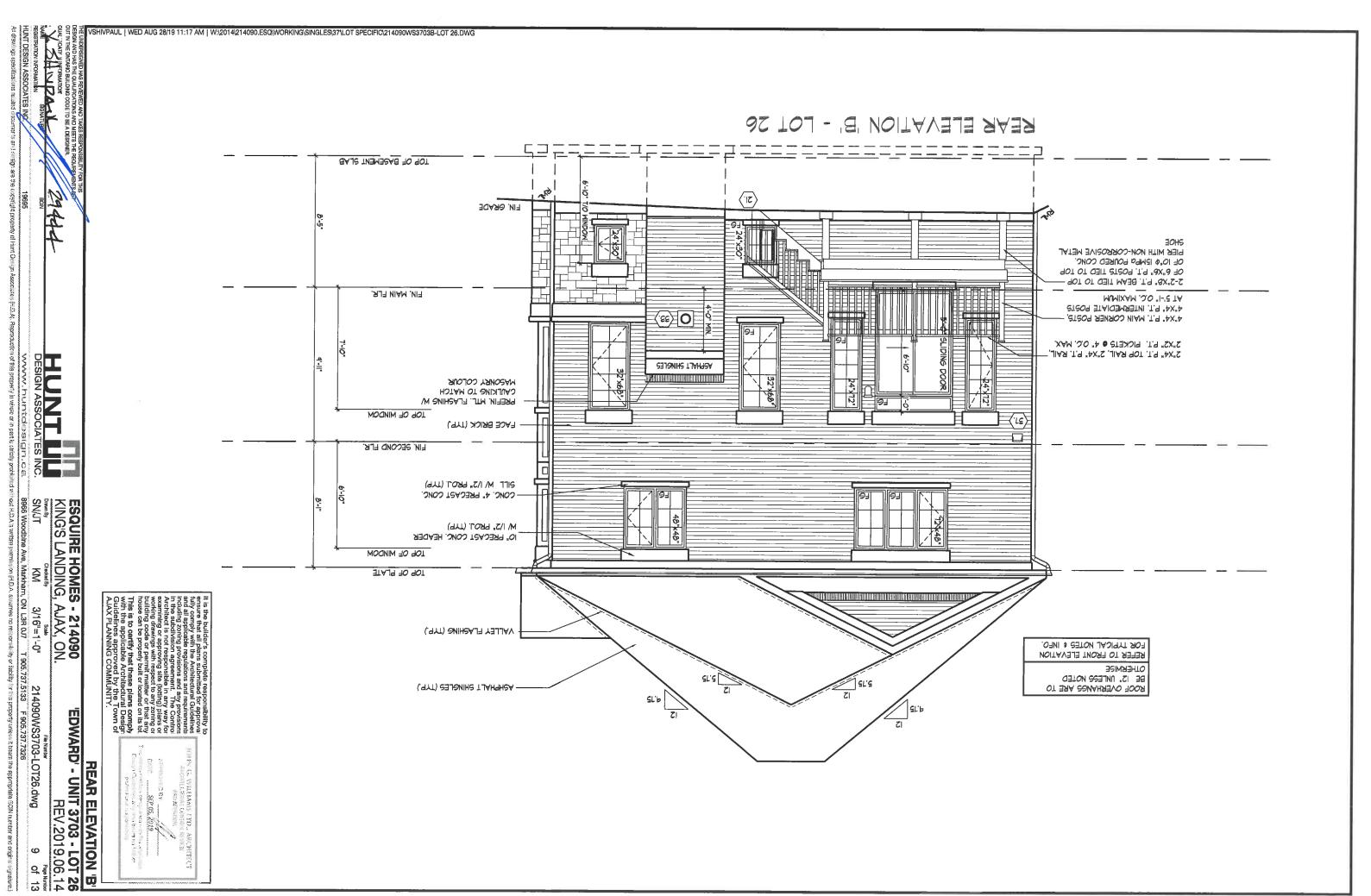


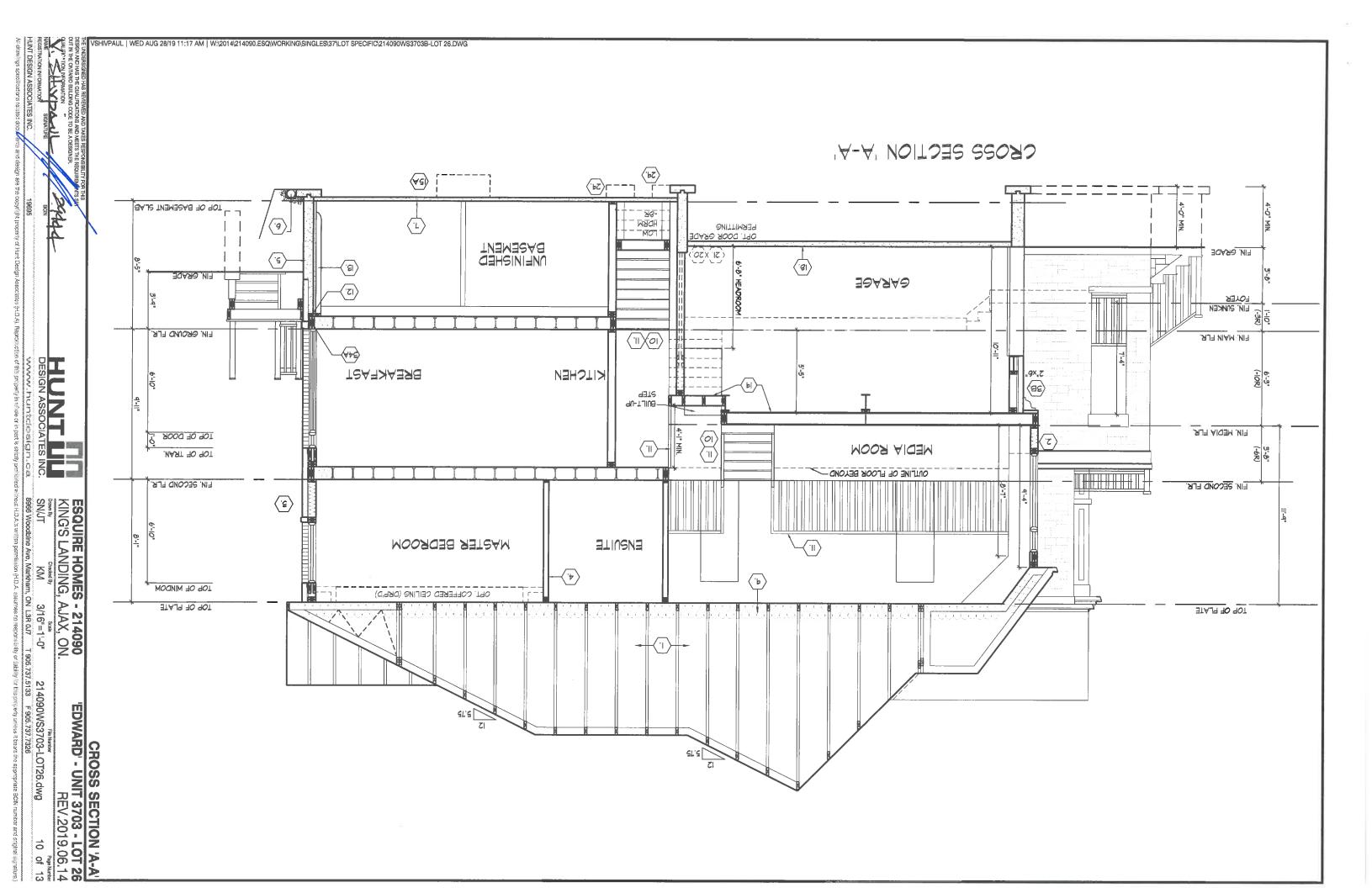


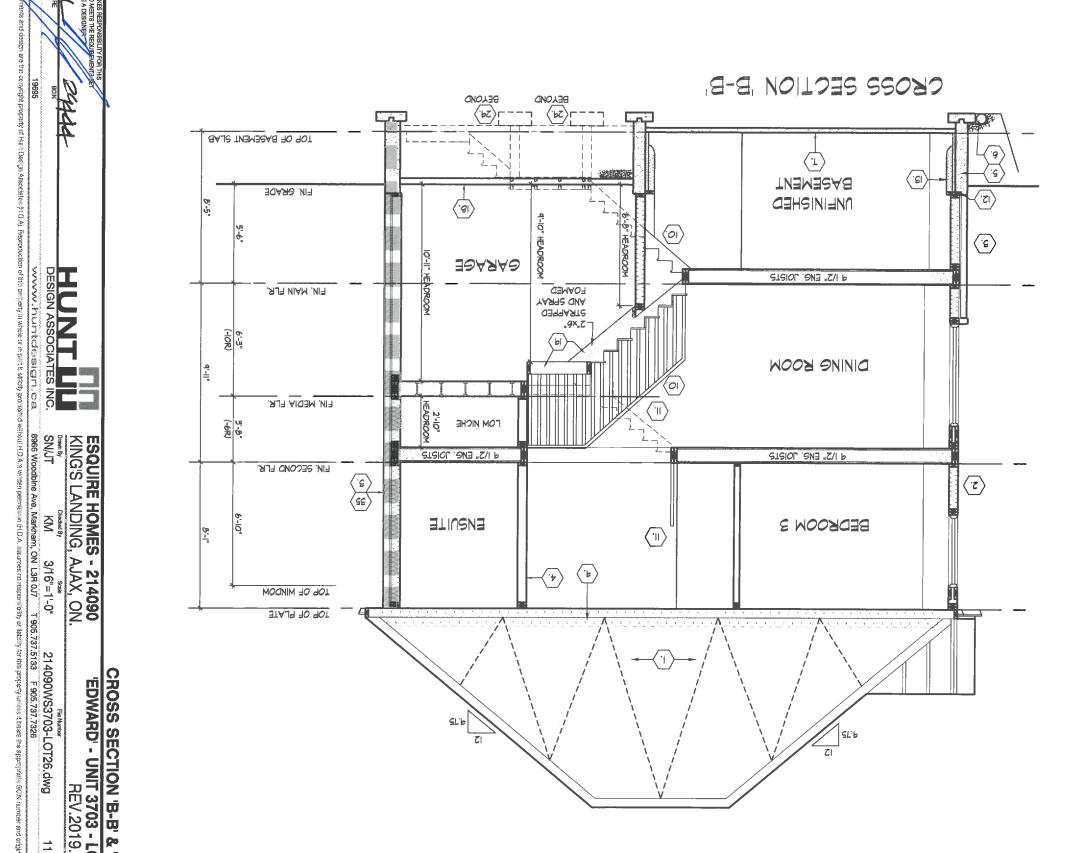


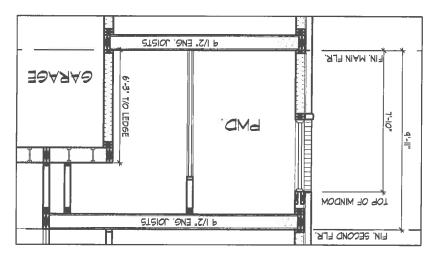












PART. CROSS SECTION 'C-C'

HUNT DESIGN ASSOCIATION

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

PROFILED ROOF TRUSSES.

PROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION.

SIDING WALL CONSTRUCTION.

(B)

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(<u>F</u>) 2 SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 378" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO OB. (9.23 to 1.4) & SECTION 1.1. INSULATION, APPROVED G. MILL POLYETHYLENE AIRWAPOUR BARRIER, ON 172" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FREEBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SUDING (9.23 to 1.4) & SECTION 1.1. INSULATION, APPROVED G. MILL POLYETHYLENE AIRWAPOUR BARRIER, ON 172" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FREEBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SUDING (9.23 to 1.4) & SECTION 1.1. INSULATION, APPROVED G. MILL POLYETHYLENE AIRWAPOUR BARRIER, ON 172" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FREEBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SUDING (9.23 to 3.1).) A SECTION 1.1. INSULATION, APPROVED G. MILL POLYETHYLENE AIRWAPOUR BARRIER, ON 172" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FREEBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SUDING (9.23 to 3.1).) REFERE TO 35 NOTE AS REQ.) SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED SHEATHING, SOR SHEATHING, SOR

(3B) IRICK VENEER WALL @ GARAGE CONSTRUCTION

1/2' (90) BRICK VENEER, MIN. 11 (25) AIR SPACE, 7/85/7%0.03" (22x180x0.76) GALV,
16TAL TIES @ 16" (400) O.C. HORIZ, 24" (600) O.C. VERT. BONDING AND FASTENING
ORI TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 30" (9.5)
XTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) &
ECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP
OULS @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE
ASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

(**4**) 4 INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2'x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2'x4" (38x89) @ 22" (610) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2'x4" (28x89) TOP PLATE. 172" (12.7) INT. DRYWALL BO'H SIDES OF STUDS, PROVIDE 2'x4" (28x89) TOP PLATE. 172" (12.7) INT. DRYWALL BO'H SIDES OF STUDS, PROVIDE 2'x4" (38x89) TOP PLATE. 172" (12.7) INT. DRYWALL BO'H SIDES OF STUDS, PROVIDE 2'x4" (38x89) WOOD BLOCKING ON FLAT (9.3-11" (1194) O.C. MAXD BETWEEN FLOOR JOISTS.

EXT. LOFT WALL CONSTRUCTION - NO CLADDING

SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

EXT. LOFT WALL CONSTRUCTION - NO CLADDING

WI CONTINUOUS INSULATION

APPROVED AIRWANTER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER

**\$** 

**4** IS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID RECHANICALLY FASTENED AS PER RECHANICALLY FASTENED AS PER VS. ON 98' (9.5) EXTERIOR TYPE SHEATHING, 2.31 (1.1.) & SECTION 1.1. INSULATION AND 6 RIER WITH APPROVED CONT. AIR BARRIER. 1/2" RINISH. (9.23.)

(a) FOUNDATION WALLFOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALL SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOUNDATION WALL SHALL BE DAMPROOFED FROM THE TOP OF THE FOUNDATION WALL SHALL BE DAMPROOFED FROM THE TOP OF THE FOUNDATION WALL. SHALT BE DAWROOFED FROM THE TOP OF THE FOUNDATION WALL. SHALT BE DAWROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16-1" (490) SHALL BE SIZED IN ACCORDANCE WITH 9,15.3.4" (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE), BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 150/R\*a OR COMPACIED ENGINEERED FILL WITH MIN. ALLOWABLE BEARING CAPACITY OF 150/R\*a. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERHELD WITH SOIL ENGINEERING REPORT.

REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT ININ ESS CONTENSIONS AND STALL SOIL IN SOIL DETAILS FOR FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED

AND THICKNESS AND DETAILS FOR FOUNDATION AND THICKNESS AND 9.15.4.

LLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED DIFFERMISE NOTED. [9.15.4.2.(1.)]

ED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)

MAX. HEIGHT FROM FIN. SLAB TO GRADE OPRIED SUPPOPULTO. 

36" WIDE x 14" THIC	26" WIDE x 9" THICK	36" WIDE x 14" THICK 26" WIDE x 9" THICK 36" WIDE x 14" THICK	3
24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x B' THICK	2
16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK	_
SUPPORTING PARTYWALL	SUPPORTING EXTERIOR	SUPPORTING INT. LOAD BEARING MASONRY WALLS	NUMBER FLOORS SUPPORTED
٣	NIMUM STRIP FOOTING SIZES (9.15.3.)	MINIMUM STRIP FO	

(§)

3" (80) MIN. 25MPa (3600ps)) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900ps) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) MFERWOOLS BOARD FOR BOND BREAK AT EDGE. (9.13) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTENDING GRADE PROVIDE RIGID INSUL AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ((SB-12) 3.1.1.7.(5) & (6))

(**6**)

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**3** 

						(
1	PUBLIC	PRIVATE		PUBLIC	PRIVATE	
3	2'-11" (900)	2'-10' (860)	MIN. STAIR WIDTH	7" (180)	PRIVATE 7 7/8" (200)	MAX. RISE
		60)	WIDTH	5' (125)	5' (125)	MIN. RISE
** UTION IT OUT OF A TRANSPORT OF A	MIN. AVG. RUN 7 7/8" (200)	MIN. RUN	CURVED STAIRS	NO LIMIT 11" (280)	_	E MAX. RUN
	7 7/8" (200)	5 7/8" (150)	AIRS	11' (280)	14" (355) 8 1/4" (210)	MIN. RUN
		MAX, NOSING	ALL STAIRS	NO LIMIT	14" (355)	MAX. RUN MIN. RUN MAX. TREAD MIN. TREAD
		G 1" (25)	TAIRS	11' (280)	9 1/4" (235)	MIN. TREAD

2x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7-10" (2388) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION (189-12) 3.1.7.)

BASEMENT INSULATION (189-12) 3.1.7.)

BASEMENT INSULATION (189-12) 3.1.7.)

PROVIDE CONTINUOUS BLANKET INSULATION W/BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER, INSULATION TO EXTEND NO MORE THAN 8' (200) ABOVE FINISHED BASEMENT FLOOR, DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

27x4' (38x89) STILDS @ 16' (406) O.C., 27x4' (38x89) SILL PLATE (27x6' (38x14)) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLER FILM, 1/2' (12.7) Ø ANCHOR BOLTS 8' (200) LONG, EMBEDDED 4' (100) MIN. INTO CONC. @ 7'-10' (2390) O.C. 4' (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

4. ADJUSTABLE STEEL BASEMENT COLLIANS 3 1/2' (90)/2 SINGLE TUBE ADJUSTABLE STEEL COLLIAN CONFORMING TO CANCGSB-7.2M, AND WITH 6'85'83'8' (152'31'529.5) STEEL PLATE TOP & BOTTOM, FELD WELD BASEMENT COLLIANS CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDSTURBED SOIL OF 75x9'a OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150x9'a AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34''34''16' (870x870x410) CONC. FOOTING

OREY FLR. LOAD PROVIDE 34"x34"x18" (870x870x410) CONC. FOOTING OREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3 1/2" (90)0 x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6%3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION, POUJRED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 15kPa AS PER SOILS REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42%42%18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48%48%24" (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY (1220x1220x610) CONC. FOOTING SUPPORTING 3 STOREY (1220x1220x610) CONC. FOOTING SUPPORTING 48%48%24" (1220x1220x610) CONC. FOOTI

12" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GRAAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANVULC\*505.2)

GARAGE TO HOUSE WALL S/CEILING W/ CONTIN. INSULATION

1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16...9.10.17.10, CANVULC-S705.2)

(2) GARAGE DOOR TO HOUSE (9.10.9.16., 9.10.13.10., 9.10.13.16.)
GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

OSED TO WEATHER.
EQUIRED NUMBER
EXTERIOR CONCRETE
L BE PROVIDED WITH
L BE CANTILEVERED

## FOUNDATION REDUCTION IN THICKNESS FOR JOISTS

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

\*\* (100) Ø WEEPING TILE (9.14.3.)

\*\* (100) Ø WEEPING TILE (9.14.3.)

\*\* (90) MIN. 25MPa (3600ps) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OF 20MPa (3600ps) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL ON 20MPa (3600ps) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL ON 20MPa (3600ps) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL ON 20MPa (3600ps) CONC. SLAB ON 20MPa (3600ps) CONC. SLAB ON 20MPa (3600ps) CONC. SLAB ON

(4) (6)

PROVIDE SPRAY FOAM INSULATION BETWEEN CANT, JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO JUS OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR W/ ATTIC (9.25.2.4)
INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/o ATTIC

JOISTS/IRUSSES AS PER PLANS W/ 2'x" (38/38) PURLINS @ 16" (406) O.C.
PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES)
W// INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7)
GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/JUC-S705.2, 9.19.1, 9.10.17.1)

ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)

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**QUARDS/FAILINGS** (9.8.7., 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.

INTERIOR GUARDS: 2-11\* (900) MIN.
EXTERIOR GUARDS: 2-11\* (900) MIN. (LESS THAN 5-11\* (1800) TO GRADE)
EXTERIOR GUARDS: 2-11\* (900) MIN. (MORE THAN 5-11\* (1800) TO GRADE)
3-6\* (1970) MIN. (MORE THAN 5-11\* (1800) TO GRADE)
GUARDS FOR EXIT STARS: 3-0\* (920) MIN.
GUARDS FOR EXIT STARS: 3-0\* (1970) MIN.
GUARDS FOR HANDINGS: © EXIT STARS: 3-8\* (1970) MIN.
GUARDS FOR HANDINGS: © EXIT STARS: 3-8\* (1970) MIN.
GUARDS FOR HANDINGS: © EXIT STARS: 3-8\* (1970) MIN.
GUARDS FOR HANDINGS: © EXITERIOR WALLS: THAT IS 28 5/8\* (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6\* (150) HIGH, AND GUARD
MIN. 3-6\* (1070) HIGH.
REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN
ELEVATION MORE THAN 23 5/8\* (600) OR ADJACENT SURFACE WITHN 3-11\* (1200)
& WALKING SURFACE W/A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED
WITH GUARDS PER CONSTRUCTION HEX MOTE 11.
HANDPAIL HEIGHTS - O.B.C. 9.8.7: - REQUIRED AS PER 9.8.7.1.(3)
MIN. HEIGHT AT STAIRS OR RAMP: 3-2\* (965)
MAX. HEIGHT AT STAIRS OR RAMP: 3-2\* (965)
MAX. HEIGHT AT LANDING: 3-6\* (1070)
STARS OR RAMP MIN. 7-3\* (2200) WIDE: 2-9\* (865) MIN. HEIGHT

2

(15<sub>A</sub>)

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.)
BEAM POCKET OR 8'78' (200200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2' (90).
WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.(3), 9.23.9.3.)
17) 1'',3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (9.16., 9.35.)
4" (100) 32MPa (4640ps) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL SLOPE TO FRONT @ 1% MIN.

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)
19) 172" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND

MASONRY

J THICKNESS TO

THE REDUCED

RICK VENEER SHALL
RICK VENEER SHALL
RICK WENEER SHALL
RICK WENEE 21

EXTERIOR AND GARAGE

PRECAST CONC. STEP OR WOOD STEP WHERE NO I TAN ENGLY

MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235), FOR THE REQUIL

OF STEPS REFER TO SITING AND GRADING DRAWINGS, EXTER

STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE I FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE I FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE

24 CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.3:
ATTIC ACCESS (9.19.2.1.)
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS
THAN 21 1/2" (5.45) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC
OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE
NSULATED WITH MIN. R20 (R81.3.25) ([SB-12] 3.1.1.8.(1))

25 FIREPLACE CHIMNEYS (9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 2:-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (910) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10"-0" (3048) FROM THE CHIMNED

LINEN CLOSET
PROVIDE 4 SHELVES MIN. 14" (356) DEEP

26 MECHANICAL VENTILATION (9.32.1.3)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.
PARTY WALL BEARING (9.23.8)
123(2)3/8" (305)305x15.9) STEEL PLATE FOR STEEL BFAMS AND 1971974197

27 45/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12'x12'x1/2" (505x305x15.9) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV PRS WITHIN SOLID BLOCK COURSE. LEVEL W NON-STHRINK GROUT. TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

ANCHORS WITHING SOLID BEARING (SECTION 2017)

REFER TO NOTE SOLID BEARING (SECTION 2017)

28

WOOD FRAMING IN CONTACT TO CONCRETE

2.7)

WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY, STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6' (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

WALL AND/OR WOOD POST. (9.17.4.3.)

WALL AND/OR WOOD POST. (9.17.4.3.)

29) BUILT-UP WOOD POST A
3-2%" (3-38x140) BUILT-UP WOO
METAL BASE SHOE ANCHORED
(610x610x305) CONC. FOOTING ( DD POST AND FOOTING (9.17.4.1., 9.15.3.7.)

JUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON PACHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"524"x12" (C. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

S22 DIRECT VENT FURNACE TERMINAL MIN. 12" (2013) ABOVIC FIN. GENORE 

DIRECT VENIT FURNACE TERMINAL MIN. 3:0' (915) FROM A GAS REGULATOR.
MIN. 12' (305) ABOVE FIN. GRADE, FROM ALL OPÉNINGS, EXHAUST AND
INTAKE VENTS, HRY INTAKE TO BE A MIN. 0F 6:0' (1830) FROM ALL EXHAUST
TERMINALS. REFER TO GAS UTILIZATION CODE.

33 FIREPLACE VENTING (9.32.3)
DIRECT VENI GAS FIREPLACE VENT TO BE A MIN. 12' (305) FROM ANY
OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
FLOOR FRAMING (9.23.3.5., 9.23.9.4., 9.23.14.)
TEG SUBFLOOR ON WOOD FLOOR JOISTS, FOR CERAMIC TILE APPLICATION
SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2'X2'
(38:38) CROSS BRACING OR SOLID BLOCKING @ 6'-11' (2'108) O.C. MAX ALL
JOISTS TO BE STRAPPED WITH 1'x3' (19x64) @ 6'-11' (2'108) O.C. UNLESS A
PANIEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP)
UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE
BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND G\* (125) BELOW THE
TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE
FOUNDATION WALL EXTEND HEADER WRAP G\* (152) UP THE INTERIOR SIDE
OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL
THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

35 WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANVUIC-5702 & HAVIN A MASS OF NOT LESS THAN 1.22 KGM2 OF WALL SUFFACE AND 1/2" (12.7) TYPE X GYBSUM WALLBOARD INTERON FINISH, EXTENDED, CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (0.60m) OR LESS, WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS, THAN A MINUTES & CONFORMING TO O.B.C. (9) 10.14. OR 9 10.15.), REFER TO DETAILS OF MOIL SUBJECT OR MINUTES & SPECS, \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 16\* (1.30cm) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 10 11 for 16 for

(S)

(37) RANGE HOODS AND RANGE-TOP FANS
COOKING APPLANCE EXHAUST FANS VENTED TO
CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10. NCE EXHAUST FANS VENTED TO EXTERIOR MUST 3C 9.10.22, 9.32.3.9. & 9.32.3.10.

8

(9.23.10.1., 9.23.11., 9.23.16.)

39

WALL A	WALL ASSEMBLY		WIND LOADS	OADS		
EXTERIOR STILLS	SUI ITS	<= 0.5	<=0.5  kPA (q50)	> 0.5	> 0.5 kPa (q50)	
	01000	SPACING	SPACING MAX HEIGHT SPACING MAX HEIGHT	SPACING	MAX HEIGHT	
BRICK		12" (305) O.C.	12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588)	8" (200) O.C.	18'-4" (5588)	
SIDING	SPR.#2	16" (406) O.C.	SPR.#2 16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588)	12* (305) O.C.	18'-4" (5588)	
BRICK	2-2"x8"	12" (305) O.C.	12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400)	12" (305) O.C.	21'-0" (6400)	
SIDING	SPR.#2	16" (406) O.C.	SPR.#2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400)	16" (406) O.C.	21'-0" (6400)	
‡ OT 5	777	1000	** OTHER DISCUSSION OF STREET PARTY OF STREET			

STUDS ARE TO BE CONTINUOUS, C/M 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1220) O.C. VERTICALLY.

KING'S LANDING, A

SNUJT KM

Cheeselby
SNUTCH

Chees 3 - **214090** AJAX, ON.

CONSTRUCTION NOTES 'EDWARD' - UNIT 3703 - LOT REV.2019.06.

71.5133 F 905.737.7326

HUNT LINE DESIGN ASSOCIATES INC.

3/16"=1'-0" DN L3R0J7 T

ATION INFORMATION SIGNATURE

29444

## SECTION 1.0. CONSTRUCTION NOTES

1 HR. PARTY WALL (CONC. BLOCK) (ISB-3] WALL TYPE B86' & '81b)

1/2' (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2'-2' (38-38) VERTICAL WD. STRAPPING @ 24' (610) O.C. ON 8' (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W 2 COATS OF PAINT OR FURRED WITH 2'X2' (38-38) WD. STRAPPING & 1/2' (12.7) GYPSUM SHEATHING.

(40) 1 HR. PARTY WALL (DOUBLE STUD) (ISB-3) WALL TYPE W13c)
5/8" (15.9) TYPE X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF
2X4" (38x89) STUDS @ 16" (406) O.C., MIN. 1' (25) APART ON SEPARATIE 2X4"
(38x89) SILL PLATES. (2'x6" (38x40) AS REQUIRED) FILL ONE SIDE OF STUD
CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM
ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

**£** 

(41A) 2 HR. FIREWALL (18-3) WALL TOPE 1866 & 1810)

1/2' (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2'x2" (38x38) VERTICAL WOOD STRAPPING @ 24' (610) O.C ON 8' (200) CONC. BLOCK 75% SOLID. FILL STRAPPING @ 24' (610) O.C ON 8' (200) CONC. BLOCK 75% SOLID. FILL STRAPPING @ 24' (610) O.C ON 8' (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ASSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE. FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE STALLD WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK (REFER TO DETAILS)

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE HIGD INSULATION JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED BARRIER SPECIFICATIONS, OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED BARRIER SPECIFICATIONS, OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED BARRIER SPECIFICATIONS, OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED BARRIER SPECIFICATIONS, OVER 1 1/2" (39) E.I.F.S. (MINIMUM) ON APPROVED BARRIER, 1/2" (12.7) STRUCCO WALL OR GRARGE CONST.

(4) (B)

STUCCO WALL @ GARAGE CONST.

STUCCO WALL @ GARAGE CONST.

STUCCO WALL @ GARAGE CONST.

STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1.1/2" (38) E.F.I.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1), & SECTION 1.1., 1/2" (12.7) GYPSUM BRD. ON WALLBOARD INT. FINISH, (REFER TO 38 NOTE AS REQ.)

\*\*\*\* FOR DIWELLINGS USING CONTIN. INSULATION CONSTRUCTION. PROVIDE APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON WALLBOARD INT. FINISH, (REFER TO 38 NOTE AS REQ.)

\*\*\*\* FOR DIWELLINGS USING CONTIN. INSULATION CONSTRUCTION. PROVIDE APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED MALL (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED MALL (12.7) DENISGLASS GOLD GYPSUM BRD. ON APPROVED APPROVED

**42** 

**E** 

**(1)** WINDOW WELLS
WHERE A WINDOW OPE

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW, EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER EVEL OR A FLITER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9. 10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION (ISB-12) 2.1.1.7., 9.23.4.2.)

2\*X12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W! 2\*X" (38x286) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EO, INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RS)).

**8** 

WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2'X2" (38x38) PURILINS ANGLED TOWARDS SCUPPER (9.2% MINIMUM LAID PERPENDICULAR TO 2'X8" (38x184) FLOOR JOISTS (9.16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS L'ITHIN DRIP EDGÉ TO BE PROVIDED ON OUTSIDE FACE OF CURB SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SORTH (9.23.2.3). REMOVE CURB WHERE REQ.

BALCONY CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2'x4" (38x89) PT. SLEEPERS (9.12" (305) O.C. LAID FLAT PARPALLEL TO JOISTS ON 2'x4" (38x89) PT. SLEEPERS (9.12" (305) O.C. LAID FLAT PARPALIDATION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY, REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

**(4)** BARREL VAULT CONSTRUCTION

CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2
ROOF JOST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR
BARREL SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD.
INTERIOR FIN. (REFER TO DETAILS)

MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQU

RED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

9.7.5.2, & 9.10.13.10 LATED MIN. R4 (RSI 0.

EXTERIOR

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS RED
WALLS ONLY, REFER TO STING & GRADING PI AN ACTUME
OF TOP OF FOUNDATION WALLS. - REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCREDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

_		_		_				_	
(38x140)	2"X6"	(38x89)	2"x4"	1	in (mm)	SIZE	<u>S</u>	SIZE	
	1	9'-10" (3.0)	24" (610)			W/o ATTIC		& SPACING OF	
9'-10" (3.0)	24" (610)	9'-10" (3.0)	16" (405)	MAX. UNSUPPORTED HGT., ft-in (m)	MAX. STUD SPACING, in (mm) O.C.	ATTIC & 1 FLOOR	SUPPORTED LOADS (EXTERIOR)	SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)	
11'-10" (3.6)	16" (406)	9'-10" (3.0)	12" (305)	IED HGT., ft-in (m	ING, in (mm) O.C	ATTIC & 1 FLOOR ATTIC & 2 FLOOR ATTIC & 3 FLOOR	ADS (EXTERIOR)	FERENCE - TABL	
5'-11" (1.8)	12" (305)	N/A	N/A	1)		ROOF w/ OR w/o ATTIC & 3 FLOOR		E 9.23.10.1.)	

1A EXTERIOR 2:10° x 6'-8° x 1-3/4° (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

1B EXTERIOR 2:6° x 6'-8° x 1-3/4° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

1C EXTERIOR 2:6° x 6'-8° x 1-3/4° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

1D EXTERIOR 2:6° x 6'-8° x 1-3/4° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

2A EXTERIOR 2:6° x 6'-8° x 1-3/4° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

2A EXTERIOR 2:6° x 6'-8° x 1-3/8° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

2A INTERIOR 2:6° x 6'-8° x 1-3/8° (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

3 INTERIOR 2:6° x 6'-8° x 1-3/8° (815 x 2030 x 35)

4 INTERIOR 2:4° x 6'-8° x 1-3/8° (710 x 2030 x 35)

4 INTERIOR 2:2° x 6'-8° x 1-3/8° (610 x 2030 x 35)

5 INTERIOR 2:2° x 6'-8° x 1-3/8° (610 x 2030 x 35)

5 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

5 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

5 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

6 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

7 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

8 INTERIOR 2'-2° x 6'-8° x 1-3/8° (660 x 2030 x 35)

9 INTERIOR 2'-2° x 6'-8° x 1-3/8° (660 x 2030 x 35)

10 INTERIOR 1'-6° x 6'-8° x 1-3/8° (660 x 2030 x 35)

## SECTION 2.0. GENERAL NOTES 2.1. WINDOWS

DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL AS THE BEDROOM PROVIDES
DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS
TO HAVE AT LEAST ONE OUTSIDE WINDOW WINN 0. 355m2 UNOBSTRUCTED OPEN
PORTION WINO DMERISION LESS THAN 1-37 (380), CAPABLE OF MANINAINING THE
OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXINUM RESTRICTED
OPENING WIDTH OF 47 (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS
LOCATED LESS THAN 1-77 (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE
FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 2-17\* (1800), (9.8.8.1.)
3) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800), (9.8.8.1.)
4) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
5) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
4) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
5) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
6) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
7) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
8) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.1.)
9) WINDOWS IN EXIT STARRWAYS THAT EXTEND TO LESS THAN 2-17\* (1800) (9.8.8.

2.2. CEILING HEIGHTS

	$\overline{}$	_	_	_				_	
22 MECHANICAL PRINCIPLE	STORAGE GARAGE	MEZZANINES	MENTIONED ABOVE	BATHROOM, LAUNDRY AREA ABOVE GRADE	BASEMENT	BEDROOM	ROOM AND KITCHEN	ROOM OR SPACE	THE CEILING HEIGHTS OF R
	6'-7" (9.5.3.3.)	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)	6-11"	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING	6-11* OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6-5".	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT	MINIMUM HEIGHTS	THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

FLAT ARCH FLOOR DRAIN FIXED GLASS

SPR SPR IVO

ENGINEERED ESTIMATED

COMPLETE WITH

DOUBLE JOIST/ TRIPLE JOIST

AM BY ROOF MANUFACTURER

NVENTIONAL ROOF FRAMING

BY FLOOR MANUFACTURER GLASS W/ BLACK BACKING

LAMINATED VENEER LUME
A OPEN TO BELOW/ABOVE
POINT LOAD

.3. MECHANICAL / PLUMBING
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR
NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24
JURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM
3 OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO
ECHANICAL DRAWINGS.

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (HEIGHT AS NOTED A.F.)

3.5. SYMBOLS
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN A

CLASS 'B' VENT

IN ACCORDANCE WITH SECTION 9.34

HEAT RETURN VENTILATION UNIT

DER TRUSS

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE RECUIREMENTS OF 3.1.1.12. OF THE O.B.C.

2.4. LUMBER

1) ALL LUMBER

1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

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ROUGH IN FOR ELECTRIC VEHICLE CHARGING STATION (9.34.4)

|<del>-</del>

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

\$ **\$** 

SWITCH (2/3/4 WAY)

CABLE T.V. JACK

CENTRAL VACUUM OUTLET

LIGHT FIXTURE (PULL CHAIN)

\*\*\*

TELEPHONE JACK

CHANDELIER (CEILING MOUNTED)

JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND SILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVITY. IN CONTACT WITH ONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE LLM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT HERE THE WOOD MEMBER IS AT LEAST 8" (152) ABOVE THE GROUND.

**2.6. FLAT ARCHES**1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F. 2.5. STEEL (9.23.4.3.)

2.5. STEEL (9.23.4.3.)

1) STRUCTURAL STEEL SHALL CONFORM TO CANVCSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CANVCSA-G40-21 GRADE 350W CLASS "H".

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE
2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

**2.9. GRADING**1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9,14.6.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED
ASSEMBLY, SPECIFIED WITHIN THESE DRAWNIGS, CANNOT BE ALTERED OR SUBSTITUTED
FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED
IN THAT 'SPECIFIED ULC LISTING: THERE SHALL BE NO DEVIATIONS UNDER ANY
CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWNIGS.

**ECTION 3.0. LEGEND** 

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES AS TO A10 AND A12, A15 & A16) ING PART OF SENTENCE 9.23.4.2(3), 9.23.4.2(4), 9.23.12.3(1),(3), 9.23.13.8(2), 9.37.3.1.(1)

_	_			_	_	_		_	_		1		_		,		_		_
L12	ᇤ	L10	L9	8	۲7	CODE			LVLB	LVL5	LVL4	LVI2			В7	B2	В1	=	
7 1/8" x 4" x 3/8" (178 x 102 x 11)	5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	47/8" x 3 1/2" x 3/8" (127 x 89 x 11)	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	SIZE	FORMING P	3.2. STEEL LIN	4-1 3/4"x9 1/2"	3-1 3/4"x9 1/2"	2-1 3/4"x9 1/2"	1-1 3/4"x9 1/2"	1 3/4" x 9 1/2" LVL	П	5/2"x8" (5/38x184)	4/2"x8" (4/38x184)	3/2"x8" (3/38x184)	2/2"x8" (2/38x184)	Z XD OFFICE #Z
102 x	2 x 89	7 x 89	27 x 8	89 x 6	× 89 >		ART O	륜	LVL9	LVL7	LVL6	LVL3		NGIN	B8	В4	Вз	L3	Γ
							(DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)	3.2. STEEL LINTELS SUPPORTING MASONRY VENEER	4-1 3/4"x11 7/8"	3-1 3/4"x11 7/8"	2-1 3/4°x11 7/8"	1-1 3/4"x11 7/8"	1 3/4* x 11 7/8" LVL	ENGINEERED LUMBER SCHEDULE	5/2"x10" (5/38x235)	4/2"x10" (4/38x235)	3/2"x10" (3/38x235)	2/2"x10" (2/38x235)	ZXIU SPROCE #Z
14'-1" (4.30m)	12'-6" (3.82m)	11'-5" (3.48m)	10'-10" (3.31m)	8'-9" (2.66m)	8'-1" (2.47m)	BRICK	<b>0.5.2</b> & 9.20	SONE	LVL13	LVL12	LVL11	LVL10		Ή	В9	В6	В5	L5	
<u>E</u>	3	m)	三	im)	m)		<b>B.)</b>	IY VE			2-1		1 3/4		5/2	4/2	3/2	2/2	7 X Z
13'-1" (3.99m)	11'-7" (3.54m)	10'-7" (3.24m)	10'-1" (3.03m)	8'-1" (2.48m)	7'-6" (2.30m)	STONE		NEER	4-1 3/4"x14"	3-1 3/4"x14"	2-1 3/4"x14*	1-1 3/4"x14"	3/4" x 14" LVL		5/2"x12" (5/38x286)	4/2"x12" (4/38x286)	3/2"x12" (3/38x286)	2/2"x12" (2/38x286)	ZXIZ SPRUCE #2
	8	류오	£¦		3												STA	Ta	<u> </u>

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HUNT DESIGN ASSOCIAT TES INC.

FICATION INFORMATION
SIGNATURE

25,44

ESQUIRE HOMES - 214090
KING'S LANDING, AJAX, ON.

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CMD CARBON MONOXIDE ALARM (9.33.4.)

\*\*CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM(S)
CONFORMING TO CANCIGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH
DWELLING UNIT ADJACENT TO EACH SLEEPING AREA CARBON MONOXIDE ALARM(S)
SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS
AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SA SMOKE ALARM (9.10.19.)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO AN ELECTINGTAE ALL ALARMS IF ONE SOUNDES, ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP, ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".

SS SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)
THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF
SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH
NOT LESS THAN 2-3" (76) NAILS SPACED NOT MORE THAN 8" (300) O.C. THE NUMBER OF
STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM
TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

\*\*\*\*\*\*\*\*\*\*\* TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

T 1 HR. PARTY WALL
REFER TO HEX NOTE 40. 2 HR. FIREWALL REFER TO HEX NOTE 40A

SECTION 4.0. CLIMATIC DATA
DESIGN SNOW LOAD (9.4.2.2.):
WIND LOAD (q50) (SB-1.2.): 1.00 **kPa** 0.48 **kPa** 

H THE WORK ALT THE DRAWINGS & THE PROPERTY OF H.D.A.I.
CATIONS AND TO CONFORM TO THE AND AUTHORITIES HAWNG JURISDICTION.
ATIONS, ONT. REG. 332/12.

EDWARD' -

ERAPPLICABLE UNITED AND INCOMES 2

ATE: MARCH 5, 2018

CONSTRUCTION NOTES 2

'EDWARD' - UNIT 3703 - LOT 26

REV.2019.06.14

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KM 3/16"=1"-0" 214090WS3703-LOT26.dwg 4ve, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326