

FRONT ELEVATION 'B'

'EDWARD' - UNIT 3703 - LOT 26

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE

SB-12 (SECTION 3.1.1) TABLE 3.1.1.2A

PACKAGE A1

SPACE HEATING FUEL	
<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

- 1 - TITLE PAGE
- 2 - FOUNDATION PLAN, ELEV. 'B'
- 3 - BASEMENT PLAN, ELEV. 'B'
- 4 - MAIN FLOOR PLAN, ELEV. 'B'
- 5 - SECOND FLOOR PLAN, ELEV. 'B'
- 6 - FRONT ELEVATION 'B'
- 7 - LEFT SIDE ELEVATION 'B'
- 8 - RIGHT SIDE ELEVATION 'B'
- 9 - REAR ELEVATION 'B'
- 10 - CROSS SECTION 'A-A'
- 11 - CROSS SECTION 'B-B' & 'C-C'
- 12 - CONSTRUCTION NOTES 1
- 13 - CONSTRUCTION NOTES 2

AREA CALCULATIONS	E.L. 'B'
GROUND FLOOR AREA	STD. PLAN 1528 sq. ft.
SECOND FLOOR AREA	1532 sq. ft.
SUBTOTAL	3060 sq. ft.
DEDUCT ALL OPEN AREAS	285 sq. ft.
TOTAL NET AREA	2775 sq. ft. (257.81 sq. m.)
FINISHED BASEMENT AREA	0 sq. ft.
COVERAGE	1518 sq. ft.
W/O UT PORCH	(141.03 sq. m.)
COVERAGE W/ PORCH	1578 sq. ft. (146.60 sq. m.)
WINDOW / WALL AREA	E.L. 'B' STD. PLAN 3647 sq. ft. (338.82 sq. m.)
GROSS WALL AREA	(338.82 sq. m.)
GROSS WINDOW AREA	323 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(30.01 sq. m.)
TOTAL WINDOW %	8.86 %

NO.	REVISIONS	DATE (YYYYMMDD)	BY
1.	ISSUED FOR CLIENT REVIEW	2019/06/14	JT
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3.			
4.			
5.			
6.			
7.			
8.			

TITLE PAGE

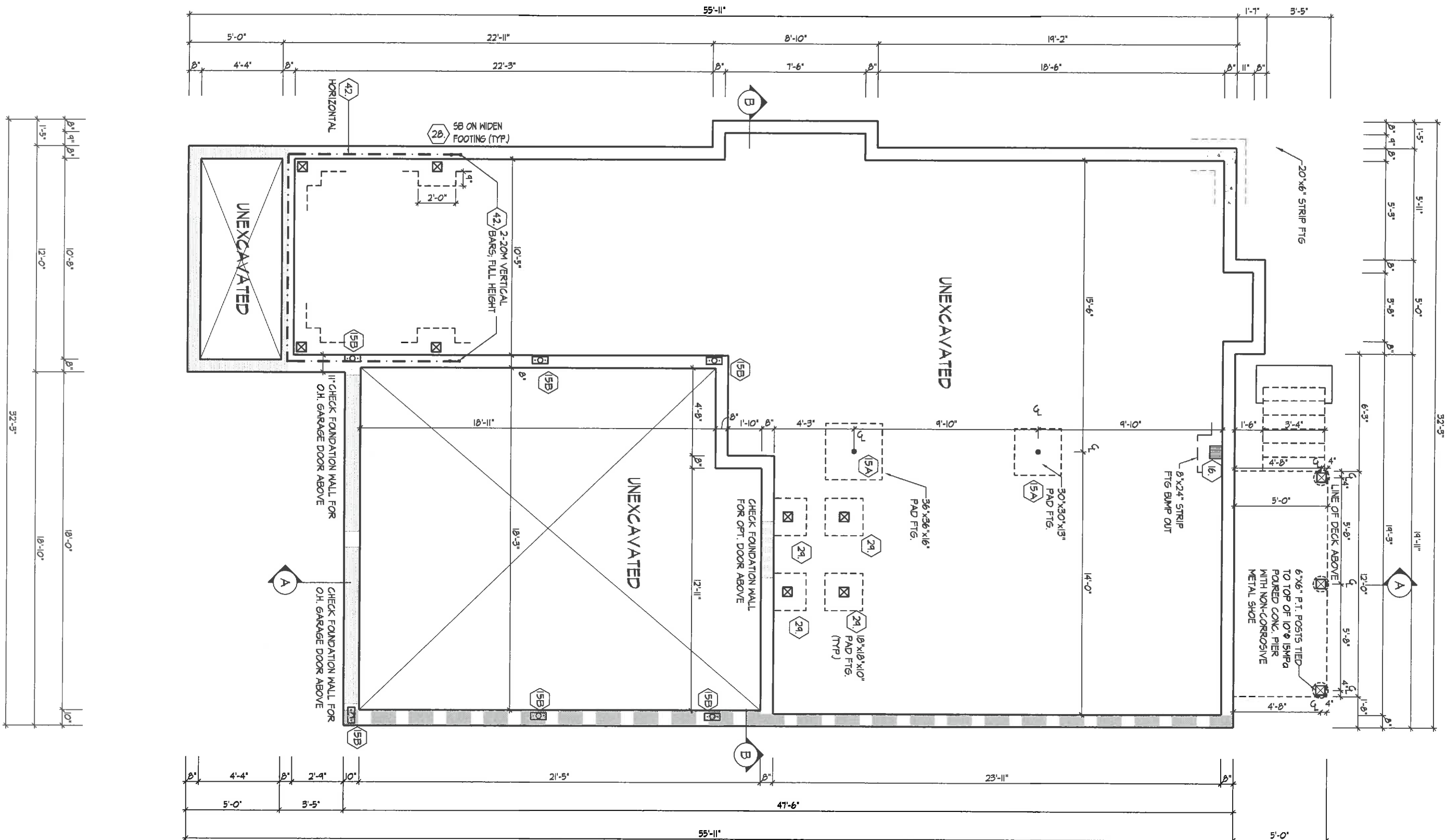
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONY AND BUILDING CODE TO BE A DESIGNER.

NAME: **SHYDAR SHYDAR**
SIGNATURE: 
REGISTRATION INFORMATION: 19895
HUNT DESIGN ASSOCIATES INC.

DESIGN ASSOCIATES INC.
19895

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DESIGN ASSOCIATES INC.

ESQUIRE HOMES - 214090
KINGS LANDING, AJAX, ON.
'EDWARD' - UNIT 3703 - LOT 26
REV. 2019.06.14



FOUNDATION PLAN, EL. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN G. WILLIAMS LTD., ARCHITECT
 4000 SHEPPARD AVENUE EAST
 UNIT 101 SCARBOROUGH, ONTARIO M1S 1T6
 APPROVED BY: *[Signature]*
 DATE: SEP 05, 2019
 THE TOWN OF AJAX COMMUNITY DEVELOPMENT DEPARTMENT
 1000 SHEPPARD AVENUE EAST, 3RD FLOOR
 SCARBOROUGH, ONTARIO M1S 1T6

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

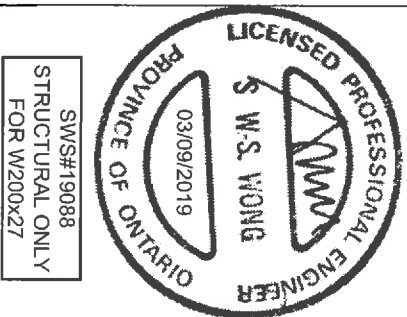
NAME: **V. SHIVPAUL** SIGNATURE: *[Signature]* REGISTRATION INFORMATION: **29444** BCIN: **19895**

DESIGN ASSOCIATES INC. HUNTINGWOOD DESIGN ASSOCIATES INC. 8986 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

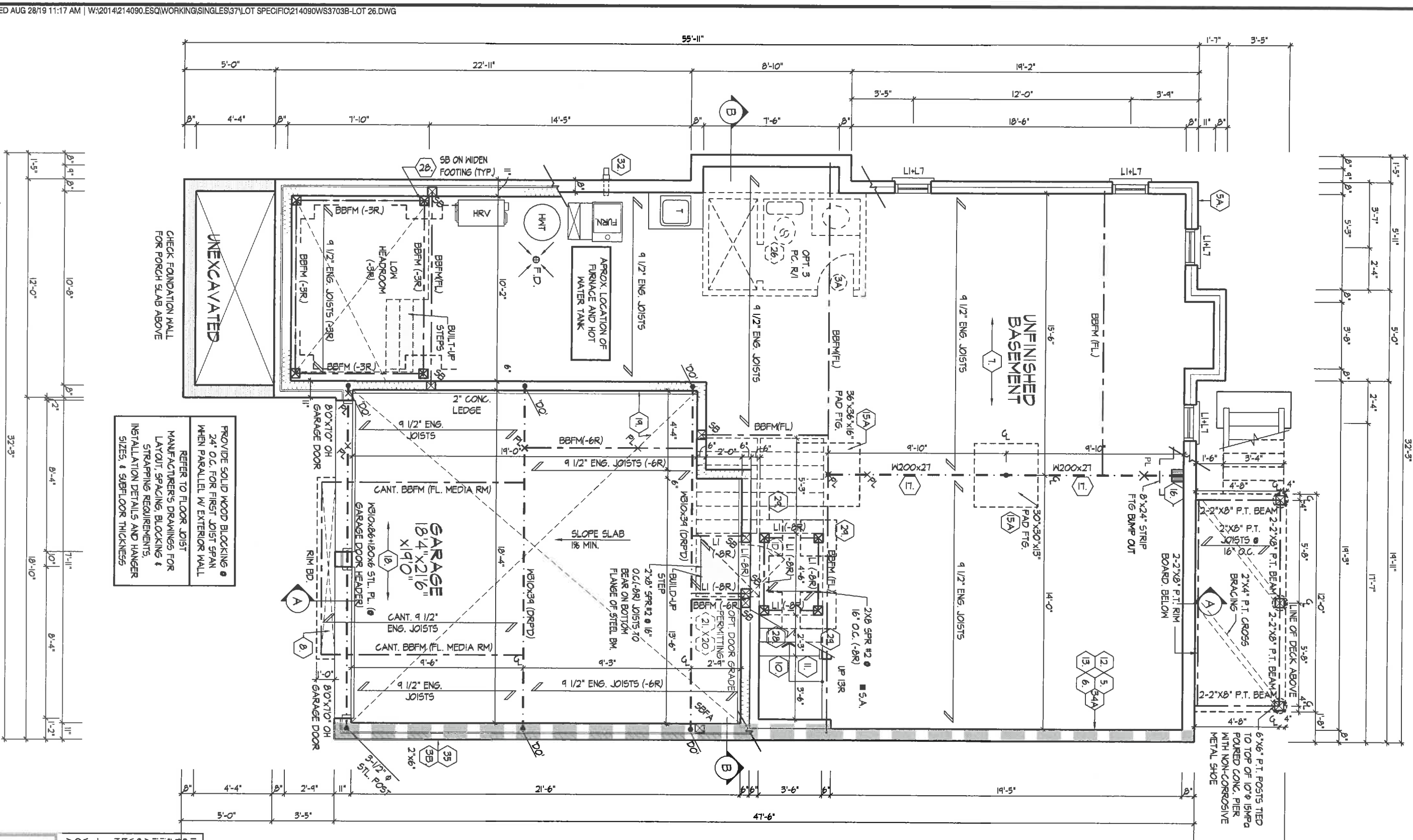
ESQUIRE HOMES - 214090 KINGS LANDING, AJAX, ON. 'EDWARD' - UNIT 3703 - LOT 26 REV. 2019.06.14

Drawn by: **SN/UT** Checked by: **KM** Scale: **3/16"=1'-0"** Page Number: **2** of **13**

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SWS#19088
STRUCTURAL ONLY
FOR W200x27



PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

BASEMENT PLAN, EL. 'B'

BASEMENT PLAN, ELEV. 'B'

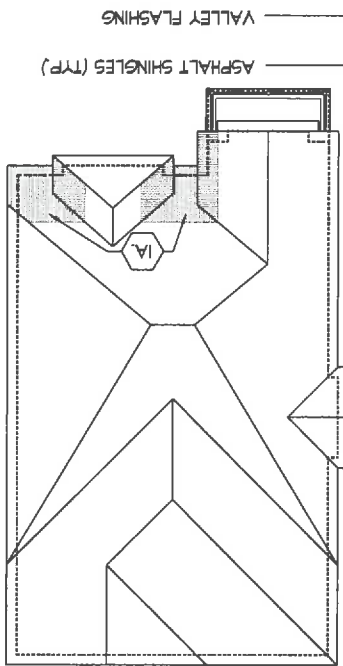
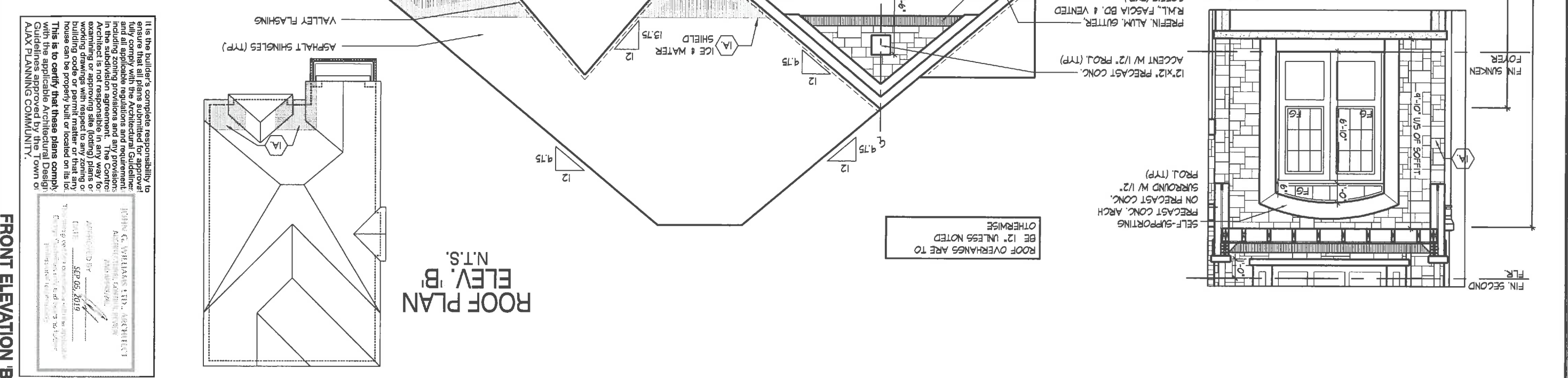
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONSULTANTS
214090WS3703-LOT26

DATE: SEP 05, 2019
SCALE: AS SHOWN
PROJECT: 214090WS3703-LOT26.dwg

FRONT ELEVATION 'B' - FOR LOT 26



ROOF PLAN
ELEV. 'B'
N.T.S.

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APPROVED BY: *[Signature]*
DATE: SEP 05, 2019
PROJECT: 214090WS3703-LOT26.dwg

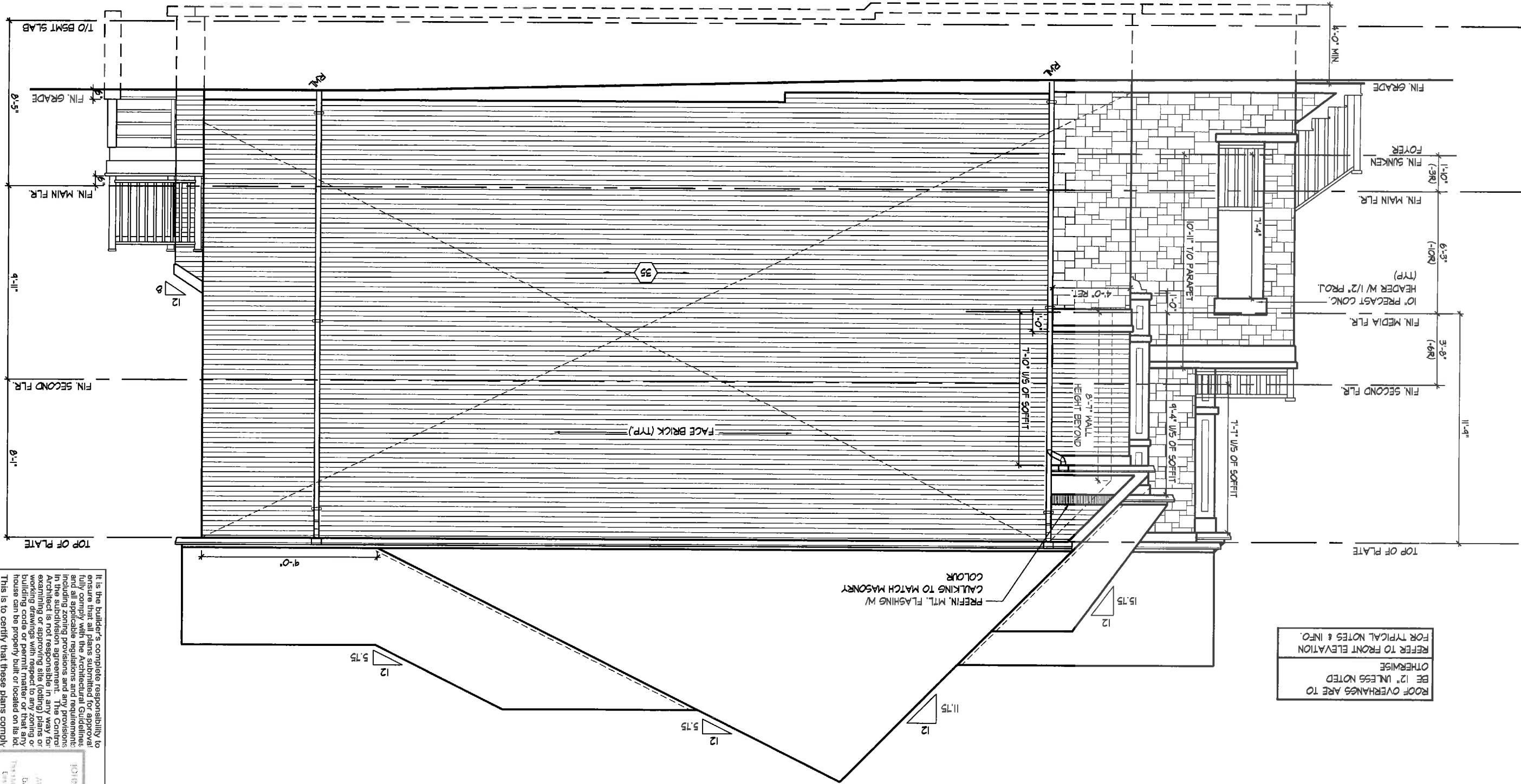
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NAME: VSHVPAUL
SIGNATURE: *[Signature]*
REGISTRATION INFORMATION: 19695
DESIGN ASSOCIATES INC.
WWW.VSHVPAUL.COM
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3/16"=1'-0"

ESQUIRE HOMES - 214090
KINGS LANDING, AJAX, ON.
EDWARD - UNIT 3703 - LOT 26
REV 2019.06.14

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19695
29444
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6 of 13

RIGHT SIDE ELEVATION 'B' - LOT 26



ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: SEP 05, 2019
PROJECT: 214090WS3703-LOT26.dwg

RIGHT SIDE ELEVATION 'B'

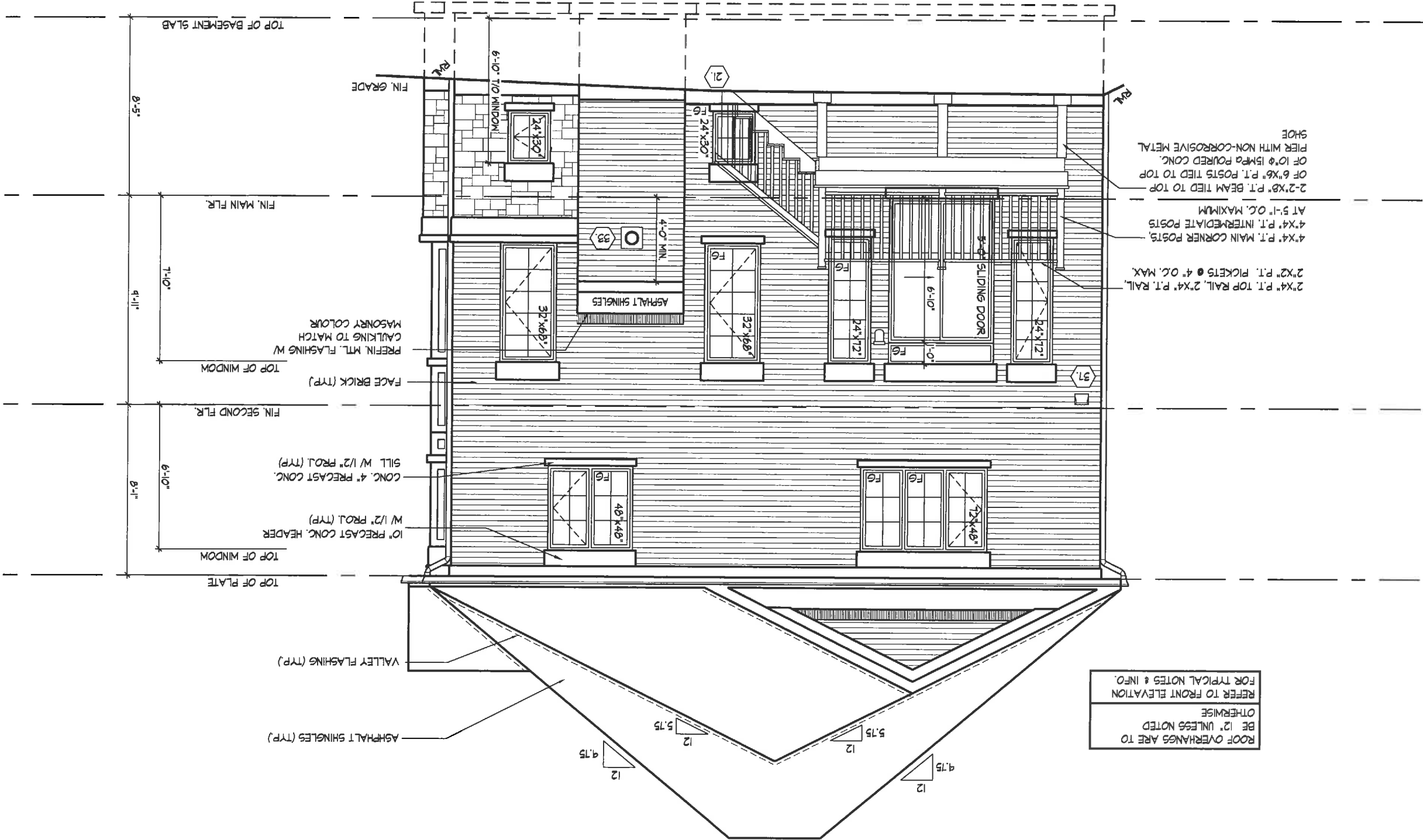
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EDWARD - UNIT 3703 - LOT 26
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HUNTING
DESIGN ASSOCIATES INC.
www.huntingdesign.ca

19885
BOIN

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19885

REAR ELEVATION 'B' - LOT 26



ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO

- 2"x4" P.T. TOP RAIL, 2"x4" P.T. RAIL
- 2"x2" P.T. PICKETS @ 4" O.C. MAX.
- 4"x4" P.T. MAIN CORNER POSTS
- 4"x4" P.T. INTERMEDIATE POSTS AT 5'-1" O.C. MAXIMUM
- 2-2"x8" P.T. BEAM TIED TO TOP OF 6"x6" P.T. POSTS TIED TO TOP OF 10" @ 15MPa POURED CONC. SHOE WITH NON-CORROSIIVE METAL

TOP OF PLATE 6'-10"

TOP OF WINDOW 10" PRECAST CONC. HEADER W 1/2" PROJ. (TYP)

CONC. 4" PRECAST CONC. SILL W 1/2" PROJ. (TYP)

FIN. SECOND FLR. 6'-10"

FACE BRICK (TYP) PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR

TOP OF WINDOW 9'-11"

FIN. MAIN FLR. 1'-10"

8'-5"

TOP OF BASEMENT SLAB

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JOHN G. WILHELMUS LTD., ARCHITECT
ARCHITECTURAL CONSULTING SERVICE
REGISTERED ARCHITECT
APPROVED BY: *[Signature]*
DATE: SEP 05 2019
The above certificate represents the approval of the Architectural Guidelines of the Building Department.

REAR ELEVATION 'B'

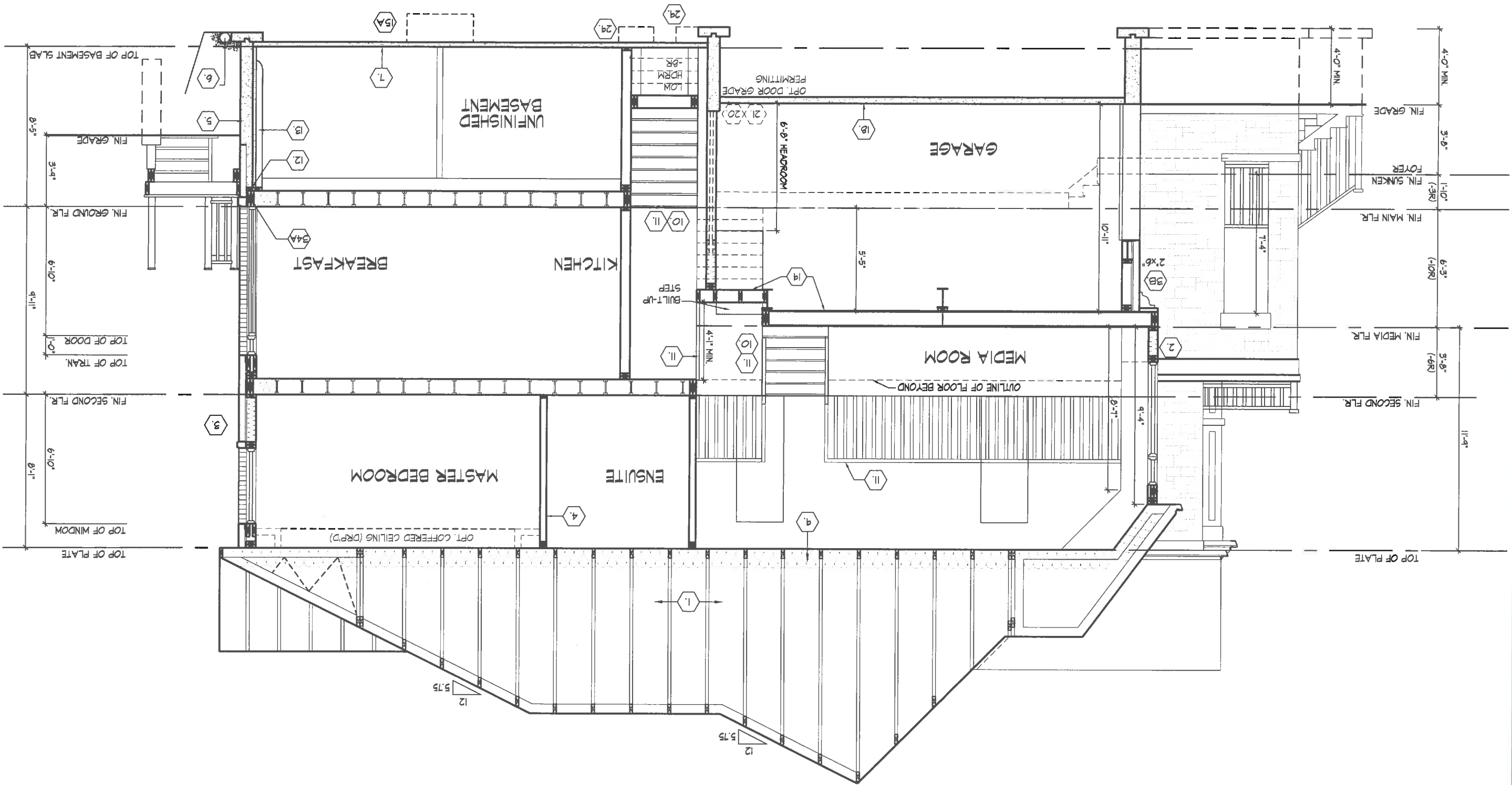
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NAME: **V. SHIVPAUL**
SIGNATURE: *[Signature]*
REGISTRATION INFORMATION: **19695**

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HUNTINGWOOD
19695

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EDWARD - UNIT 3703 - LOT 26
REV.2019.06.14
Page Number: 9 of 13

CROSS SECTION 'A-A'



CROSS SECTION 'A-A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND SPECIFICATIONS AS SHOWN ON THESE PLANS AND MEETS THE REQUIREMENTS SET FORTH IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

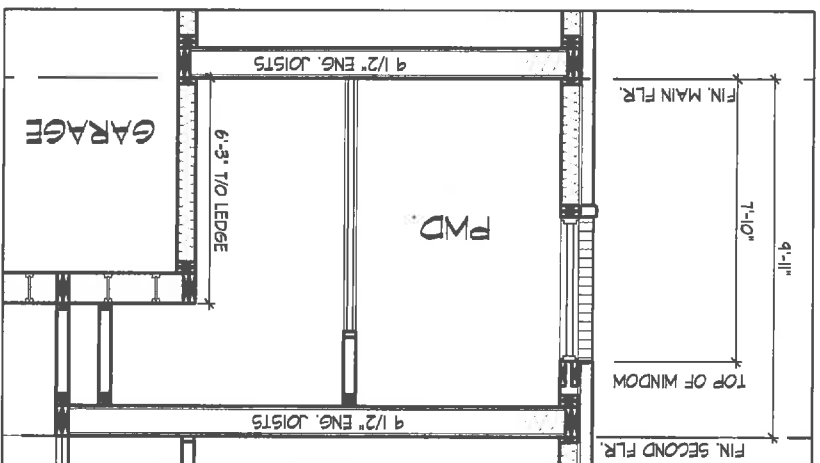
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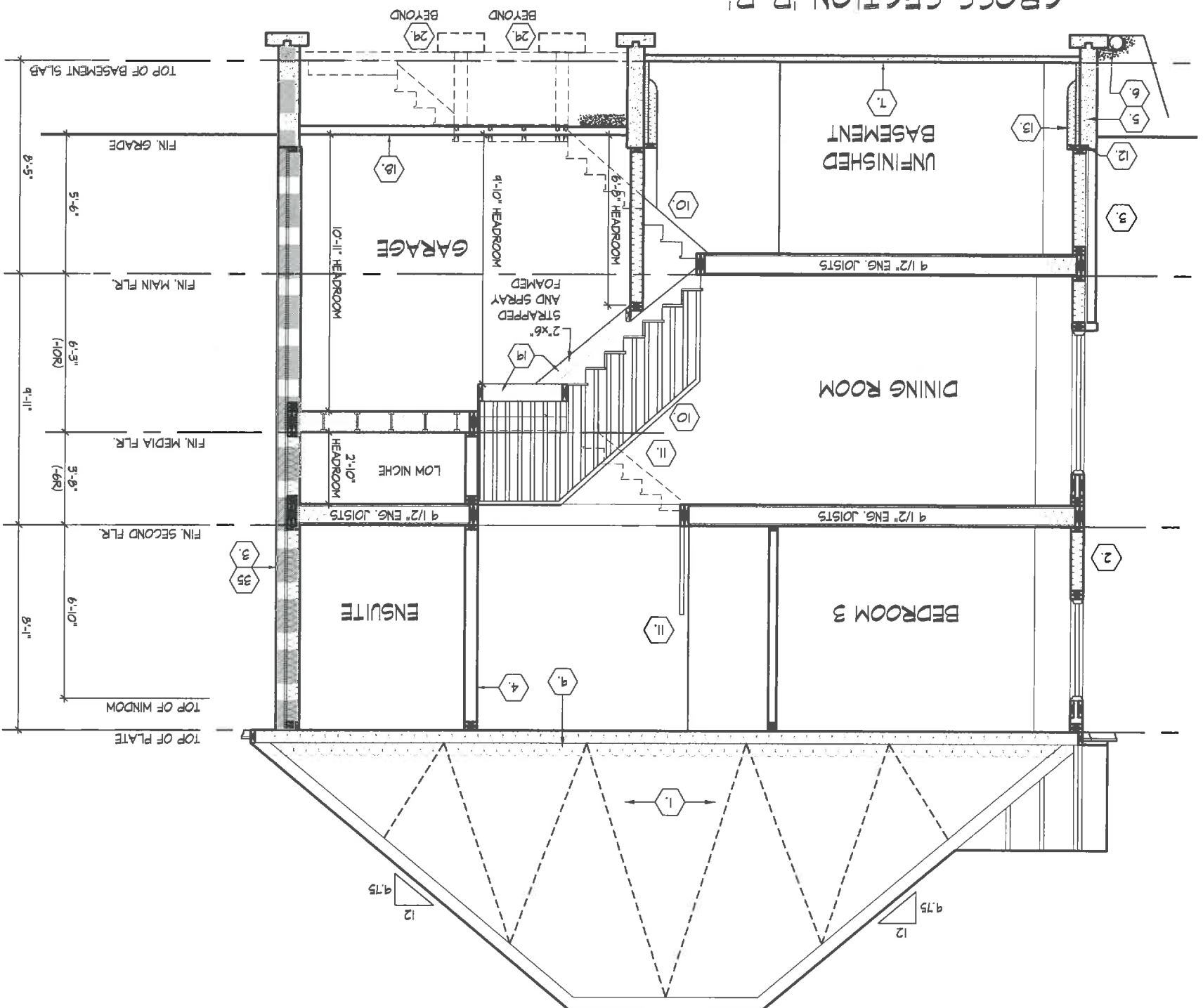
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FIN. SECOND FLR. - 214090WS3703-LOT26.dwg
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 Page Number: 10 of 13

PART. CROSS SECTION 'C-C'



CROSS SECTION 'B-B'



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 VSHIVPAUL
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 3/16" = 1'-0"

CROSS SECTION 'B-B' & 'C-C'
 'EDWARD' - UNIT 3703 - LOT 26
 REV. 2019.06.14
 11 of 13

SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION (9.19, 9.23.1.3, 9.23.15) NO. 2/10 (10.25 KG/M2) ASPHALT SHINGLES... 2 SIDING WALL CONSTRUCTION 3 BRICK VENEER WALL CONSTRUCTION 3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 4 INTERIOR STUD PARTITIONS 4A EXT. LOFT WALL CONSTRUCTION - NO CLADDING 4B W/ CONTINUOUS INSULATION 5 FOUNDATION WALL/FOOTINGS 6 POLYMER-FORGED SOLID CONCRETE FOUNDATION WALLS 7 MINIMUM STRIP FOOTING SIZES 8 NUMBER FLOORS SUPPORTING MASONRY WALLS 9 NUMBER FLOORS SUPPORTING EXTERIOR PARTIAL WALLS 10 NUMBER FLOORS SUPPORTING EXTERIOR FULL WALLS

- 5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY 6 WEeping TILE 7 BASEMENT SLAB OR SLAB ON GRADE 8 EXPOSED FLOOR TO EXTERIOR 9 EXPOSED CEILING TO EXTERIOR W/ ATTIC 10 ALL STAIRS/EXTERIOR STAIRS 11 GUARDS/RAILINGS 12 GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING 13 GUARDS/RAILINGS (8.8.7, 9.8.8) 14 GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING 15 GUARDS/RAILINGS (8.8.7, 9.8.8) 16 ADJUSTABLE STEEL BASEMENT COLUMN 17 NON-ADJUSTABLE STEEL BASEMENT COLUMN 18 ADJUSTABLE STEEL COLUMN 19 ADJUSTABLE STEEL COLUMN 20 ADJUSTABLE STEEL COLUMN 21 ADJUSTABLE STEEL COLUMN 22 ADJUSTABLE STEEL COLUMN 23 ADJUSTABLE STEEL COLUMN 24 ADJUSTABLE STEEL COLUMN 25 ADJUSTABLE STEEL COLUMN 26 ADJUSTABLE STEEL COLUMN 27 ADJUSTABLE STEEL COLUMN 28 ADJUSTABLE STEEL COLUMN 29 ADJUSTABLE STEEL COLUMN 30 ADJUSTABLE STEEL COLUMN 31 ADJUSTABLE STEEL COLUMN 32 ADJUSTABLE STEEL COLUMN 33 ADJUSTABLE STEEL COLUMN 34 ADJUSTABLE STEEL COLUMN 35 ADJUSTABLE STEEL COLUMN 36 ADJUSTABLE STEEL COLUMN 37 ADJUSTABLE STEEL COLUMN 38 ADJUSTABLE STEEL COLUMN 39 ADJUSTABLE STEEL COLUMN

- 21 EXTERIOR AND GARAGE STEPS 22 PRECAST CONC. STEP OR WOOD STEP 23 ATTIC ACCESS 24 ATTIC ACCESS 25 FIREPLACE CHIMNEYS 26 MECHANICAL VENTILATION 27 PARTY WALL BEARING 28 WOOD FRAMING IN CONTACT TO CONCRETE 29 BUILT-UP WOOD POST AND FOOTING 30 STEP FOOTINGS 31 CONC. PORCH SLAB 32 FURNACE VENTING 33 FIREPLACE VENTING 34 FLOOR FRAMING 35 EXPLODED BUILDING FACE W/ LIMITING DISTANCE 36 GOLD LEAD CORNER PORCH SLAB 37 RANGE HOODS AND RANGE-TOP FANS 38 CONVENTIONAL ROOF FRAMING 39 TWO STOREY VOLUME SPACES

UNDESIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND VALUE OF THE PROJECT. THE DESIGNER'S LIABILITY IS LIMITED TO THE ONTARIO BUILDING CODE TO BE A REASONABLE...

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CONSTRUCTION NOTES 1

Cont. SECTION 1.0. CONSTRUCTION NOTES

- 40 1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE B66 & B10) 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (38x89) VERTICAL WD STRAPPING @ 24" (610) O.C. ON 8" (203) CONC. BLOCK. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2x2" (38x89) WD STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
41 1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE W134) 5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2x4" (38x89) SILL PLATES. 2x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
41B STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
41A STUCCO WALL CONSTRUCTION W/ CONT. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE THE RIGID INSULATION (JOINTS UNFURRED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1) & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 10'-0" OPENING) (10'-0" TO 13'-0" OPENING) 6-20M BARS, 6" VERT. SPACING IN TOP PORTION OF WALL (13'-0" TO 16'-0" OPENING) - BARS STACKED VERTICALLY DIVIDED EVENLY BETWEEN INTERIOR & EXTERIOR FACE OF WALL - BARS TO HAVE MIN. 2" (50) CLEAR CONC. COVER OUTSIDE FACE & 3/4" CLEAR COVER INSIDE FACE - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING VERTICAL REINFORCING / REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 2" (50) CLEAR CONC. COVER OUTSIDE FACE & 3/4" CLEAR COVER INSIDE FACE - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING
43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.1) AND 3.8.3.9 (3). (REFER TO DETAILS)
44 WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21.58" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE OR A FILTER CLOTH W/ 4" AND FILLED WITH CRUSHED STONE. (9.9.10.1.5). (9.14.6.3)
45 SLOPED CEILING CONSTRUCTION (SB-12) 2.1.1.7. 9.23.4.2) 2x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2x2" (38x89) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM). W/ INSULATION BETWEEN JOIST. 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (9.52.85).
46 FLAT ROOF/ROOF CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11. 9.26.16) FULLY ADHERED TO 5/8" (13.9) 1/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (38x89) PURLINS ANGLED TOWARDS SLOPE @ 2% MINIMUM LAID PERPENDICULAR TO 2x8" (38x134) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILD UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS T. TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS
BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH
47 BARREL VAULT CONSTRUCTION CANTIL EVERED 2x4" (38x89) SPACERS LAID FLAT ON 2x10" (38x263) SPR. #2 ROOF JOIST VAILED TO BUILD UP 3-3/4" (119) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

SECTION 1.1. WALL STUDS
REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE RE-STUD AND APPROVED BY ENGINEER.

SECTION 2.0. GENERAL NOTES
2.1. WINDOWS
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35M2 UNOBSTRUCTED OPEN POSITION W/ NO DIMENSION LESS THAN 1'-3" (380). CAPABLE OF MAINTAINING THE OPENING W/OUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD ON A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (600) (3-5' (1070) FOR ALL OTHER BUILDINGS) SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). ON THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS
2.2. CEILING HEIGHTS
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

SECTION 3.0. LEGEND
3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9, TABLE A8 TO A10 AND A12, A15 & A16)
FORMING PART OF SENTENCE 9.23.4.2 (9), 9.23.4.2 (4), 9.23.12.3 (1), (3), 9.23.13.8 (2), 9.37.3.1 (1)
2x8" SPRUCE #2
L1 2/2x8" (238x184) L3 2x10" (238x255) L5 2x12" SPRUCE #2 (238x286)
B1 3/2x8" (438x184) B3 3/2x10" (338x225) B5 3/2x12" (338x286)
B2 4/2x8" (438x184) B4 4/2x10" (438x225) B6 4/2x12" (438x286)
B7 5/2x8" (538x184) B8 5/2x10" (538x225) B9 5/2x12" (538x286)
ENGINEERED LUMBER SCHEDULE
1 3/4" x 9 1/2" LVL LVL3 1 3/4" x 11 7/8" LVL LVL10 1 3/4" x 14" LVL
LVL2 1-1 3/4x9 1/2" LVL3 1-1 3/4x11 7/8" LVL10 1-1 3/4x14"

SECTION 3.3. DOOR SCHEDULE
CONFORMING TO SECTIONS 9.5.1.1, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10
1 EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (R9 0.7)
1A EXTERIOR 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (R9 0.7)
1B EXTERIOR 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (R9 0.7)
1C EXTERIOR 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (R9 0.7)
1D EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (R9 0.7) (SEE HEX NOTE 20)
1E EXTERIOR 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (R9 0.7)
2A EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (R9 0.7)
2 INTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 35)
3 INTERIOR 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 35)
3A INTERIOR 2'-4" x 6'-8" x 1-3/4" (710 x 2030 x 35)
4 INTERIOR 2'-0" x 6'-8" x 1-3/4" (610 x 2030 x 35)
4A INTERIOR 2'-2" x 6'-8" x 1-3/4" (660 x 2030 x 35)
5 INTERIOR 1'-6" x 6'-8" x 1-3/4" (460 x 2030 x 35)

SECTION 4.0. CLIMATIC DATA
DESIGN SNOW LOAD (9.4.2.2): 1.00 kPa
WIND LOAD (q50) (SB-1.2.): 0.48 kPa

SECTION 4.0. CLIMATIC DATA
DESIGN SNOW LOAD (9.4.2.2): 1.00 kPa
WIND LOAD (q50) (SB-1.2.): 0.48 kPa

CONSTRUCTION NOTES 2
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DIMENSIONS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.
CONSTRUCTION NOTE REVISION DATE: MARCH 5, 2018

HUNT DESIGN ASSOCIATES INC. 19895
HUNT DESIGN ASSOCIATES INC. BOHN
SIGNATURE: [Signature]
REGISTRATION INFORMATION: 19895

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KINGS LANDING, AJAX, ON.
EDWARD - UNIT 3703 - LOT 26
REV. 2019.06.14