

APPROVED FOR GRADING

Lot No(s) 25

Block No(s)

We certify that the proposed elevations at the lot corners and existing and rear of the proposed dwelling are compatible with the approved elevations.

John C. Williams Ltd.
Architectural Control Review
Professional Engineer

Stamp: REGISTERED PROFESSIONAL ENGINEER, PROVINCE OF ONTARIO, CIVIL, No. 10000, Exp. 03/31/2021

Oct 9/19

COVERAGE CALCULATION	
LOT NO.:	25
LOT AREA:	305.10 m ²
BLDG. AREA:	133.87 m ²
LOT COVERAGE (50% MAX.):	43.88 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.80 m
F.F. ELEVATION:	97.54 m
F.F. TO MEAN OF ROOF:	7.51 m
PROPOSED BLDG. HGT:	8.25 m

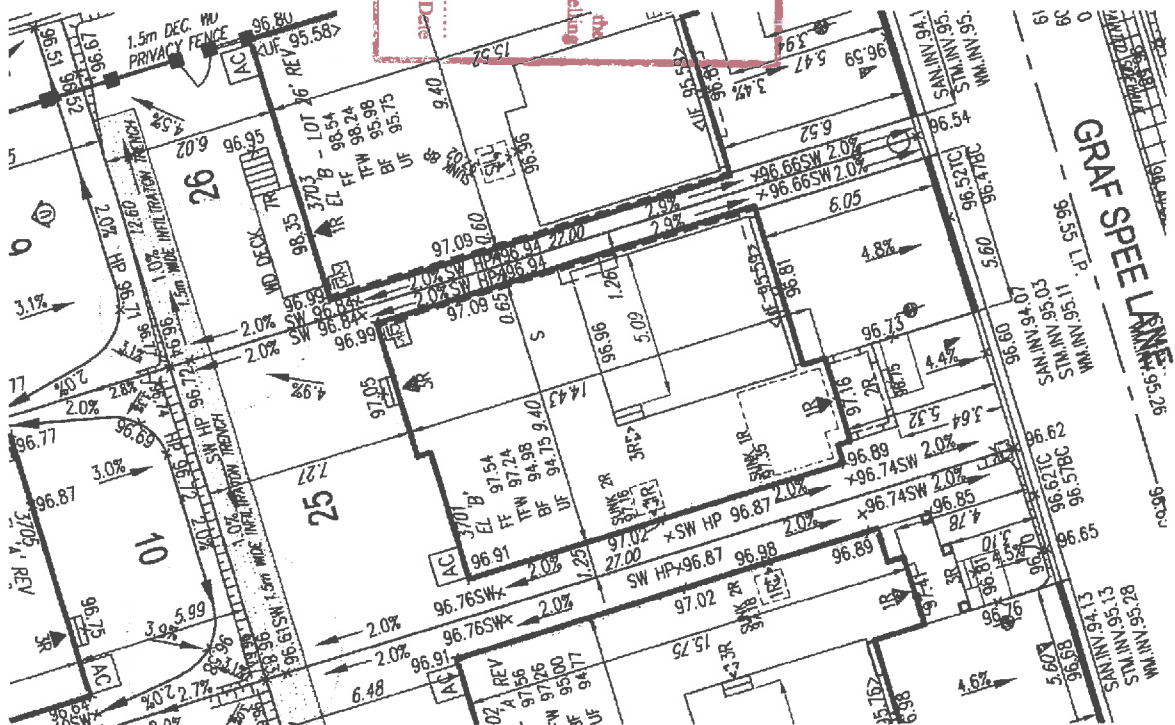
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or for any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Ajax Planning Community.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: OCT 04, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



- NOTES
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
 - BUILDER TO VERIFY ELEVATION OF STA. AND SAN. LATERS IN RELATION TO BASEMENT FLS OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

⊗

BURIED UTILITIES

⊗

SEWAGE MANHOLE

⊗

STREET TREE

⊗

RETAINING WALL

⊗

CATCH BASIN

⊗

DOUBLE/ANGLE STAIL SM CONNECTION

⊗

STORM MANHOLE

⊗

HYDRO SERVICE

⊗

SHEET DRAINAGE

⊗

STREET LIGHT PEGGING

⊗

STREET LIGHT

⊗

TRAFFIC SIGNAL

⊗

POWER PEGGING

⊗

BELT PEGGING

⊗

CABLE PEGGING

⊗

HYDRO POLE

⊗

HYDRO POLE GUY

⊗

STREET SIGN

⊗

COMMUNITY WALLBOX

⊗

MAN 31.82 ELEV

⊗

HYDRO TRANSFORMER

⊗

PLUMBING MOTOR

⊗

EXISTING GRABBER

⊗

2.0% SLOPE DIRECTION

⊗

EMERGENCY REPAIR

⊗

BELT

⊗

HYDRO GAS

⊗

BELT CABLE LINE

⊗

DOWNSPUTS

⊗

WINDING PERMITTED

⊗

45 MINUTE FIRE RATED WALL

⊗

NO WINDING PERMITTED

⊗

NO WINDING PERMITTED

⊗

EXTENSION DOWN LOCATION

⊗

IF GRADE PERMITS

⊗

SUB FLOOR AND SURFACE DISCHARGE LOCATION

⊗

UPPER ELEVATION

⊗

CHAIN LINK FENCE

⊗

FENCE AND GATE

⊗

PERIMETER FENCE

⊗

ACOUSTIC FENCE

⊗

FINISHED FLOOR

⊗

IF BASEMENT FLOOR

⊗

IF UNFINISHED OF FOOTING

⊗

WOB WALKOUT DECK

⊗

WOB WALKOUT BASEMENT

⊗

MOD MODIFIED

⊗

REV REVERSED

⊗

NO NO DOOR

⊗

HIGHLIGHTED GRADE

GENERAL NOTES:

- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
- BUILDER TO VERIFY ELEV. OF STA. AND SAN. LATERS IN RELATION TO BASEMENT FLS OF EXCAVATION.
- APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
- UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYPICAL SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ISSUED FOR FINAL APPROVAL

ISSUED FOR PRELIMINARY APPROVAL

VS 2019.05.29

VS 2019.05.12

