

COVERAGE CALCULATION	
LOT NO.:	23
LOT AREA:	305.10 m2
BLDG. AREA:	128.86 m2
LOT COVERAGE (50% MAX.):	42.24 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	98.86 m
F.F. ELEVATION:	97.56 m
F.F. TO MEAN OF ROOF:	7.26 m
PROPOSED BLDG. HGT:	7.96 m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or for any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of ALEX PLANNING COMMUNITY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Vijay Shivpaul
NAME
REGISTRATION INFORMATION

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HUNT DESIGN ASSOCIATES, INC.

19695

DESIGN ASSOCIATES INC.
www.hunttdesign.ca







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vs
dine Ave,


1:250
7, ON L21409USPU1.DWG
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	ENGINEERED FLANGE		SAWTOOTH MANHOLE
	STREET TREE		WATER SERVICE
	RETAINING WALL		SHEET PILE
	CATCH BASIN		HAZARD SERVICE
	DOUBLE FLANGE		STREET LIGHT
	SMA 35M CONNECTION		TRAFFIC SIGNAL
			POWER POLE
			HYDRANT
			VALVE & BOX
			VALVE & CHAMBER
			STREET MANHOLE
			SHEET DRAWINGS
			STREET LIGHT POLE
			TRAFFIC SIGNAL
			POWER POLE
			HYDRANT
			VALVE & BOX
			VALVE & CHAMBER
			STREET MANHOLE
			SHEET DRAWINGS
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			SHEET DRAWINGS
			STREET LIGHT POLE

BELL PEDESTAL		HORO TRANSFORMER
CABLE PEDESTAL		PADMOUNTED MOTOR
-HORO POLE		EXISTING GRADES
HORO POLE BUY		90-10 PROPOSED GRADES
-STREET SIGN		2.0% GRADE DIRECTION
COMMUNITY MAILBOX		ENHANCEMENT / BIRMA
		MAX 3% SLOPE

SAINTARY LINE	DOWNSPOUTS
STORM WATER LINE	WINDOWS PLUMBING
WATER LINE	AS QUALITY FIRE RATED WALL
HYDRO LINE	SIDEWALK RAMPWALKS DE
GAS LINE	THAT CAN BE USED FOR
CABLE LINE	AND WINDOWS PLUMBING
BELL	EXTENSION DOOR LOCATIONS
HYDRO, GAS,	EXTENDING FROM LOCALITY
BELL, CABLE LINE	IF GRADE PERMITS

	SUMP PUMP AND SURFACE DISCHARGE LOCATION		FF FINISHED FLOOR
	UPGRADE ELEVATION		TFV TOP OF FOUNDATION WALL
	CHAIN LINK FENCE		BR BASEMENT FLOOR
	FENCE AND GATE		UD UNDERLIE OF POOLING
	PRIVACY FENCE		WU WALKOUT DECK
	ACOUSTIC FENCE		WOB WALKOUT BASEMENT
			MWD MODIFIED
			REV REVERSE
			ND NO DOOR
			HIGHLIGHTED GRADE

23 11 GRAF SPEE LANE

ESQUIRE HOMES - 214090
KING'S LANDING, AJAX, ON.

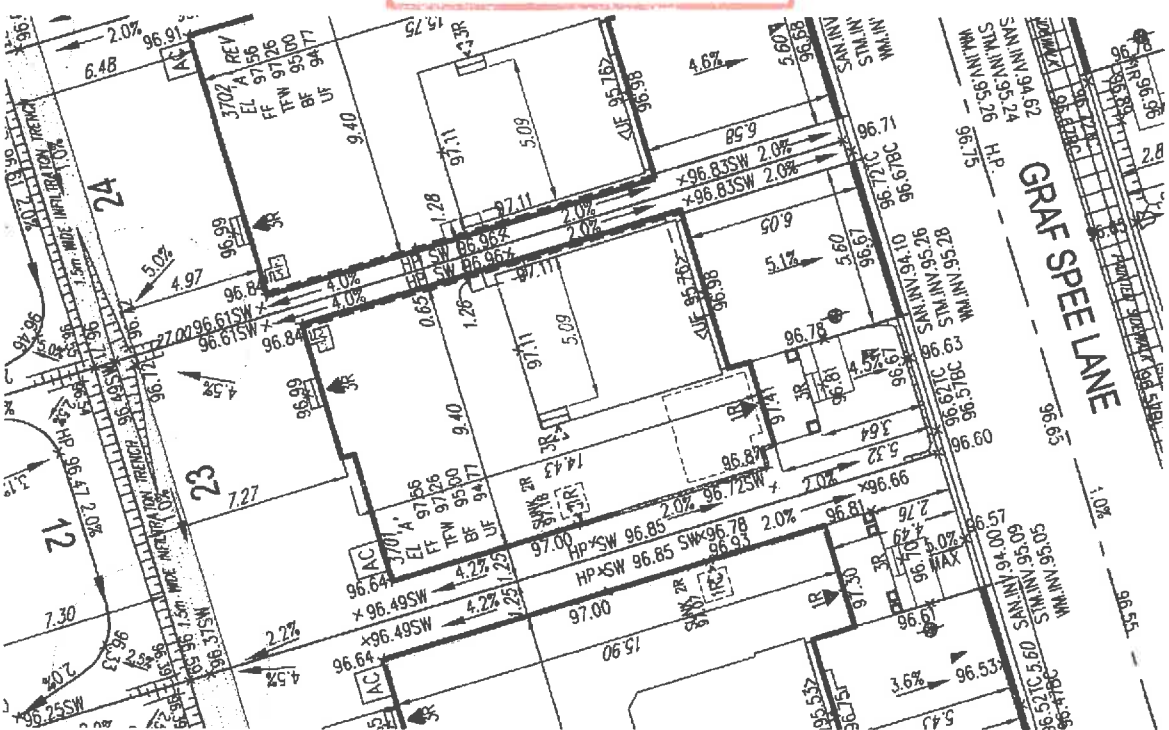
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GRAF SPEED LANE



NOTES

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
2. BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FPG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEY, OR STYL AND SAN. LATERSIES IN RELATION TO BILDMEN UP OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE OBTAINED AND FOLLOWED IN CONJUNCTION WITH THE SINKING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ELEVATIONS ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP. ON SITING AND GRADING PLAN. THE EXTENSION OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

