

COVERAGE CALCULATION	
LOT NO.:	15
LOT AREA:	304.89 m2
BLDG. AREA:	128.86 m2
LOT COVERAGE (50% MAX.):	42.26 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	85.83 m
F.F. ELEVATION:	96.73 m
F.F. TO MEAN OF ROOF:	7.26 m
PROPOSED BLDG. HGT:	8.16 m
























It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any plans can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: 07/04/2019

	ENGINEERED FILL LOTS		SANITARY MANHOLE
	STREET TREE		STORM MANHOLE
	RETAINING WALL		VALVE & CHAMBER
	CATCH BASIN		VALVE & BOX
	DOUBLE & SINGLE STORM SEWER CONNECTION		HYDROBAR
			WATER SERVICE
			HIRO SERVICE
			SHEET DRAINAGE
			STREET LIGHT
			STREET LIGHT
			TRAFFIC SIGNAL POWER PEDISTAL

	BELL PEDESTAL		HYDRO THROATPOWER		SUNGLASS LINE
	CABLE REEL		PLANNED MOTOR		STUD WATER LINE
	HYDRO POLE		EXISTING BRADIES		WATER LINE
	STREET SIGN		190.10 EXISTING BRADIES		HYDRO LINE
	COMMUNITY MAIL BOX		20% SHALL DESIGN		GAS LINE
			ENHANCEMENT / REPAIR		CABLE LINE
			MAX. 10' STOVE		BELL
					HYDRO GAS
					BELL CABLE LINE

POINTEMENTS	SHADE ROOF AND SURFACE	FINISHED FLOOR
WINDOWS (REQUIRED)	FINISH ROOF LOCATION	FIN. TOP OF FOUNDATION WALL
54 MINUTE FIRE RATED WALL	UPGRADE ELEVATION	BASEMENT FLOOR
SURFACE FINISH (REQUIRED)	CHAIN LINK FENCE	1F. DISPOSE OF FOOTING
(NO WINDOWS REQUIRED)	FENCE AND GATE	WB. WALKOUT DECK
EXTERIOR DOOR LOCATION		WB. WALKOUT BASEMENT
FINISHED FLOOR LOCATION		AND MODIFIED
FINISH GRADE FINISH	PRIVACY FENCE	REV RECESSED
		NO DOOR
	ACOUSTIC FENCE	NO DOOR
		EXPOSED UNLIGHTED DOOR

STING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Вілей Штйрпauli

NAME
PCOLITHO 17064 11170001150011

~~HUNT DESIGN ASSOCIATES INC.~~

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www.huntedesign.ca

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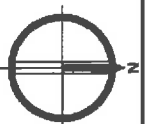
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1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF FLOOR AND SKYL. INTERIORS IN RELATION TO BASEMENT USE OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONFORMANCE WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TYP. ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL, TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

ISSUED FOR FINAL APPROVAL	VS	2015.09.19
ISSUED FOR PRELIMINARY APPROVAL	VS	2016.09.13



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