

COVERAGE CALCULATION	
LOT NO.:	10
LOT AREA:	305.10 m2
BLDG. AREA:	147.07 m2
LOT COVERAGE (50% MAX.):	48.20 %
BUILDING HEIGHT	
MAX BUILDING HEIGHT:	11.00 m
ESTABLISHED GRADE:	96.34 m
F.F. ELEVATION:	97.50 m
F.F. TO MEAN OF ROOF:	7.51 m
PROPOSED BLDG. HGT:	8.67 m

It is the jurisdiction's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.














This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AJAX PLANNING COMMUNITY.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY [Signature]  
DATE OCT 04 2019

The stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility

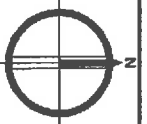
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|---------------------|-----------------|---------------------|-------------|
|                     |                 |                     |             |
| DUAL LOCKING SYSTEM | CATCH BUSHIN    | REMAINING WALL      | STREET TREE |
| BRAKED BY ROLLTOP   |                 |                     |             |
|                     |                 |                     |             |
| SHUTTER HANDLE      | STEEL WAREHOUSE | WALL & CHAMBER      |             |
|                     |                 |                     |             |
| WITH SHUTTER        | HDPO SERVICE    | STREET DRINKING     |             |
|                     |                 |                     |             |
| PAPER REQUAL        | STREET LIGHT    | STREET LIGHT PEBBLE |             |
|                     |                 |                     |             |
| WATER RESISTANT     | WALL & BOX      |                     |             |
|                     |                 |                     |             |
| HORIZONTAL          |                 |                     |             |
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|---|-------------------|---|---------------------|
|  | BELL PEDESTAL     |  | HYDRO TRANSFORMER   |
|  | CABLE PEDESTAL    |  | PNEUMATICALLY MOTOR |
|  | HYDRO POLE        |  | EXISTING GRADES     |
|  | HYDRO POLE GUY    |  | PROPOSED GRADES     |
|  | STREET SIGN       |  | SWALE DIRECTION     |
|  | COMMUNITY MAILBOX |  | EMBANKMENT/BERM     |
|   |                   |  | MAX 2:1 SLOPE       |

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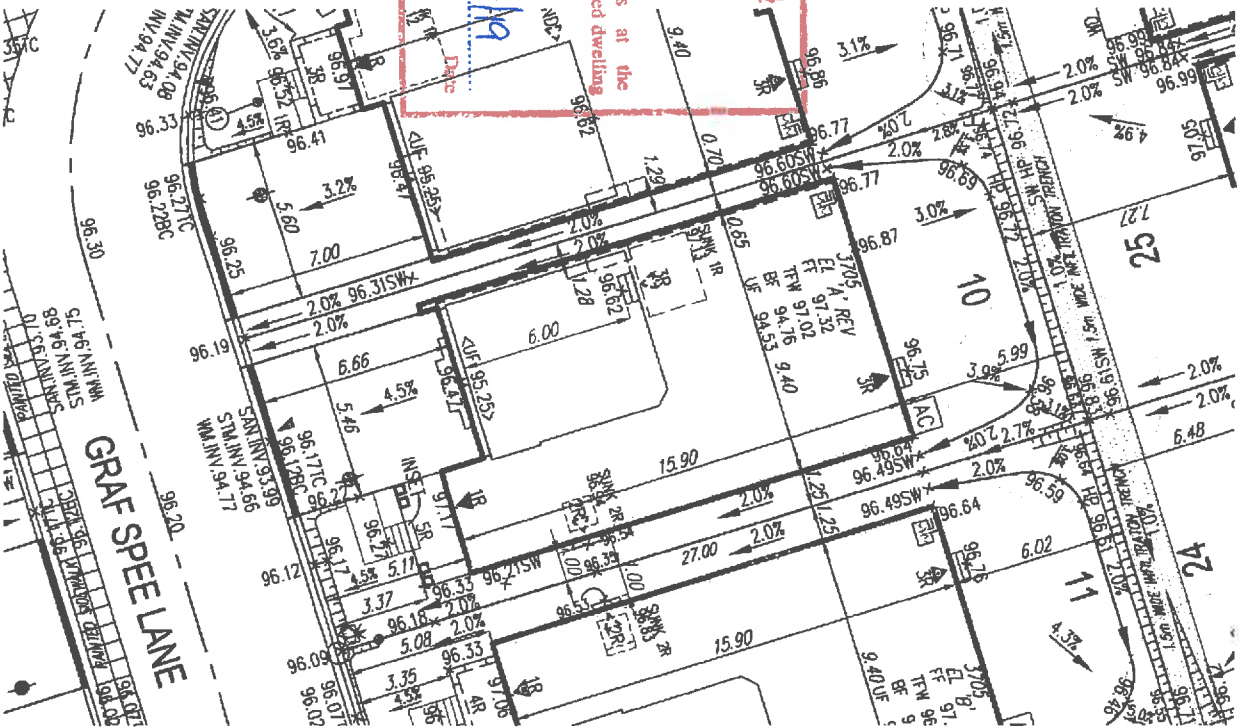
1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS/HER OWN EXPENSE.
2. BUILDER TO VERIFY ELEVATION OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FTG. ELEV. FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

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(ISSUED FOR FINAL APPROVAL)	VS 2019.08.28
(ISSUED FOR PRELIMINARY APPROVAL)	VS 2019.03.12



GENERAL NOTES:

1. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MAIN DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
2. BUILDER TO VERIFY ELEV. OF STIM AND SAN. LATERALS IN RELATION TO BASEMENT FLOOR OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
3. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOVED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN. WHETHER APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO FOLLOING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HMMT DESIGN ASSOCIATES, INC.
4. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TIE IN SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A MENTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.



## SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

### QUALIFICATION INFORMATION

NAME Ally Campbell

REGISTRATION INFORMATION

~~HUNT DESIGN ASSOCIATES INC.~~

19695

**HUNT**   
DESIGN ASSOCIATES INC.  
www.hunt-design.com

<b>ESQUIRE HOMES - 214090</b>		
<b>KING'S LANDING, AJAX, ON.</b>		
<b>Drawn By</b>	<b>Checked By</b>	<b>Scale</b>
VS	VS	1:250
		<b>2144</b>
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.373.5131		

File Number: 00SP01.DWG  
L&P Page Number: 10  
F 905.737.7326

Title	Plan No.	Lot	Sheet Name
SITING AND GRADING PLAN	-	10	21 GRAF SPEE LANE