

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council of the Municipality of Clarington is not responsible for reviewing site (grading) plans or engineering drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

CONSULTANT'S DECLARATION:

THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATIONS DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASE, HYDRANT, VALVE OR ANY STREET UTILITY.

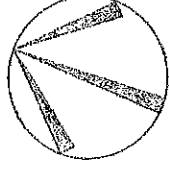
CONSULTANT: GHD

GHD INC.

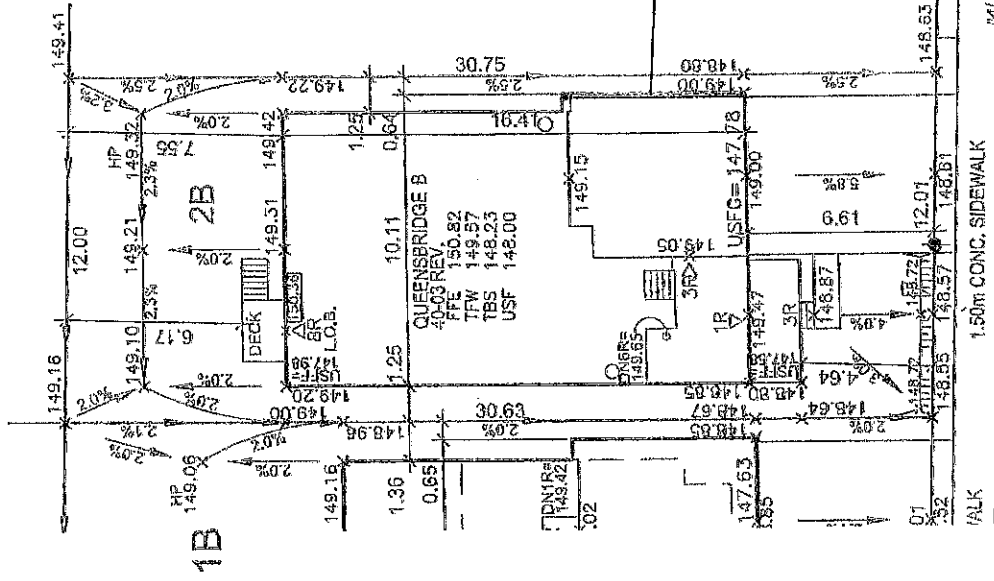
110 Scadding Court, Unit 41
Whitby, Ontario L1N 3T7
Phone: (905) 432-7870
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LOT GRADING REVIEWED

JUN 02 2014



STUD KNEE WALL ON FOUNDATION.
MAXIMUM ALLOWABLE BACKFILL
HEIGHT IS 3'-11" (1.19m) FROM TOP OF SLAB
FOR 8" FOUNDATION WALL LATERALLY
UNSUPPORTED.



1.50m CONC. SIDEWALK

SAN=145.54
STM=145.80

NORTHGLEN BOULEVARD

Min 2 outdoor parking spaces per single
or semi/link unit. If spaces side by side
total width may be 4.6m min. front yard
landscaped area equals 30%.

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF DIMENSIONS ARE NOT SHOWN, BUILDER IS TO RELOCATE AT HIS OWN RISK.

CLIENT

ESQUIRE HOMES

PROJECT LOCATION

NORTHGLEN
CLARINGTON, ONTARIO

DRAWING

SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN NO.	
ZONE	2B
LOT NUMBER	2B
LOT AREA(m ²)	368.25
BLDG AREA(m ²)	158.89
LOT COVERAGE(%)	43.4
No. OF STOREYS	1
MEAN HEIGHT(m)	7.78
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TES	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
Δ	WINDOW
○	SEAL PEDISTAL
⊗	CABLE PEDISTAL
□	CATCH BASIN
⊠	DBL CATCH BASIN
✱	ENGINEERED FILL
⚡	HYDRO CONNECTION
⚡	FIRE HYDRANT
⚡	STREET LIGHT
⚡	MAIL BOX
⚡	TRANSFORMER
⚡	WATER VALVE
⚡	WATER CONNECTION
⚡	SEWER CONNECTIONS
⚡	SEWER CONNECTIONS
⚡	1 FLO
⚡	AIR CONDITIONING
⚡	DOWN SPOUT TO SPLASH PAD
⚡	SWALE DIRECTION
⚡	CHAINLINK FENCE
⚡	PRIVACY FENCE
⚡	SOUND BARRIER
⚡	FOOTING TO BE EXTENDED TO 1.5 (MIN) BELOW GRADE

ISSUED OR REVISION COMMENTS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	JUNE 19/14
2		
3		
4		
5		
6		
7		
8		
9		
10		

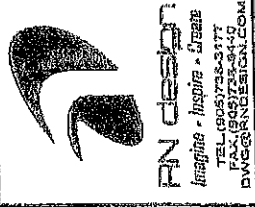
I, NELSON CUNHA
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF AN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSIFICATION CATEGORIES.

QUALIFIED DESIGNER BCIN 21032
FIRM BCIN 26955

JUNE 19, 2014
DATE

SIGNATURE

DRAWN BY	NC
SCALE	1:250
PROJECT NO.	08080
LOT NUMBER	2B



PN DESIGN
Imagine - Inspire - Create
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