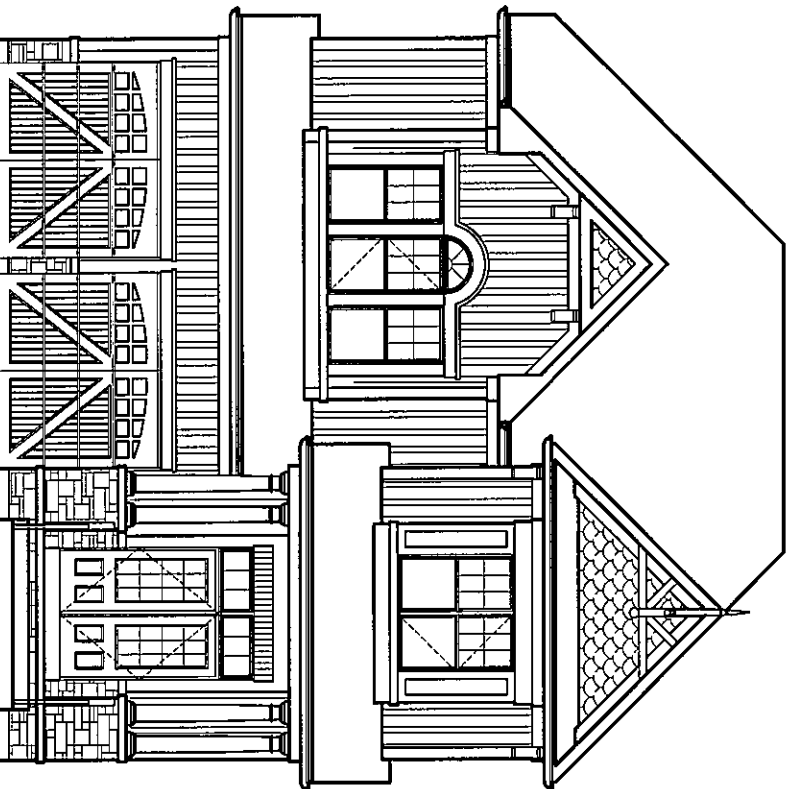
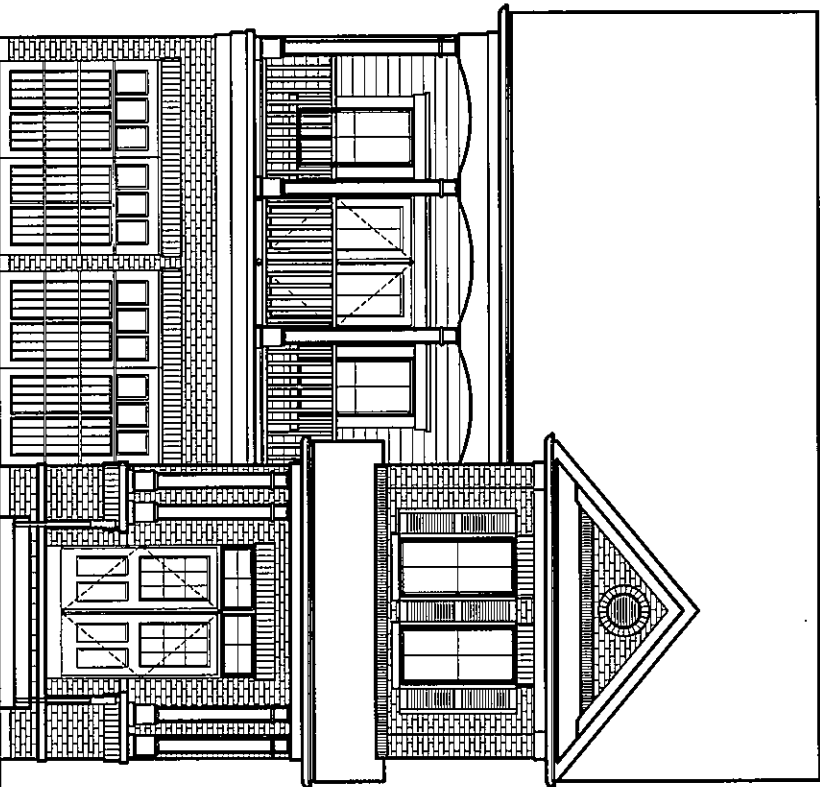




FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

OBC 2012

DRAWING LIST:

37-5 (MERCHANT)

- T1 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. A
- A2 GROUND FLOOR ELEV. A
- A3 SECOND FLOOR ELEV. A
- A4 BASEMENT FLOOR ELEV. 'B'
- A5 GROUND FLOOR ELEV. 'B'
- A6 SECOND FLOOR ELEV. 'B'
- A7 PARTIAL PLANS FOR OPT. LAYOUTS A & B
- A8 FRONT ELEVATION A
- A9 RIGHT SIDE ELEVATION A
- A10 REAR ELEVATION A
- A11 LEFT SIDE ELEVATION A
- A12 FRONT ELEVATION 'B'
- A13 RIGHT SIDE ELEVATION 'B'
- A14 REAR ELEVATION 'B'
- A15 LEFT SIDE ELEVATION 'B'
- D1 CONSTRUCTION SHEET
- D2 CONSTRUCTION SHEET
- D3 CONSTRUCTION SHEET
- D4 TYPICAL SECTION

GROSS GLAZING AREA 'A'

TOTAL PERIPHERAL WALL AREA	3465.99 SF	321.99 m²
FRONT GLAZING AREA	67.15 SF	6.24 m²
LEFT SIDE GLAZING AREA	0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	58.72 SF	5.46 m²
REAR GLAZING AREA	110.27 SF	10.24 m²

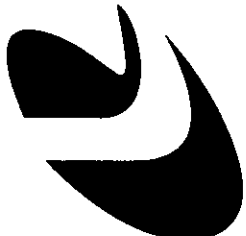
TOTAL GLAZING AREA	236.14 SF	21.94 m²
TOTAL GLAZING PERCENTAGE	6.81 %	

GROSS GLAZING AREA 'B'

TOTAL PERIPHERAL WALL AREA	3403.01 SF	316.14 m²
FRONT GLAZING AREA	87.11 SF	8.09 m²
LEFT SIDE GLAZING AREA	0.0 SF	0.00 m²
RIGHT SIDE GLAZING AREA	58.72 SF	5.46 m²
REAR GLAZING AREA	110.28 SF	10.25 m²

TOTAL GLAZING AREA	256.11 SF	23.79 m²
TOTAL GLAZING PERCENTAGE	7.53 %	

ESQUIRE HOMES
NORTHGLEN - PH. 2
CLARINGTON, ONTARIO



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8395 JANE STREET
SUITE 203
VAUGHAN, ON
TEL: 905-738-3177
FAX: 905-738-5449

CONTACT PERSON: NELSON CUNHA

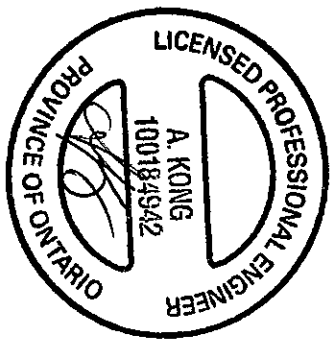
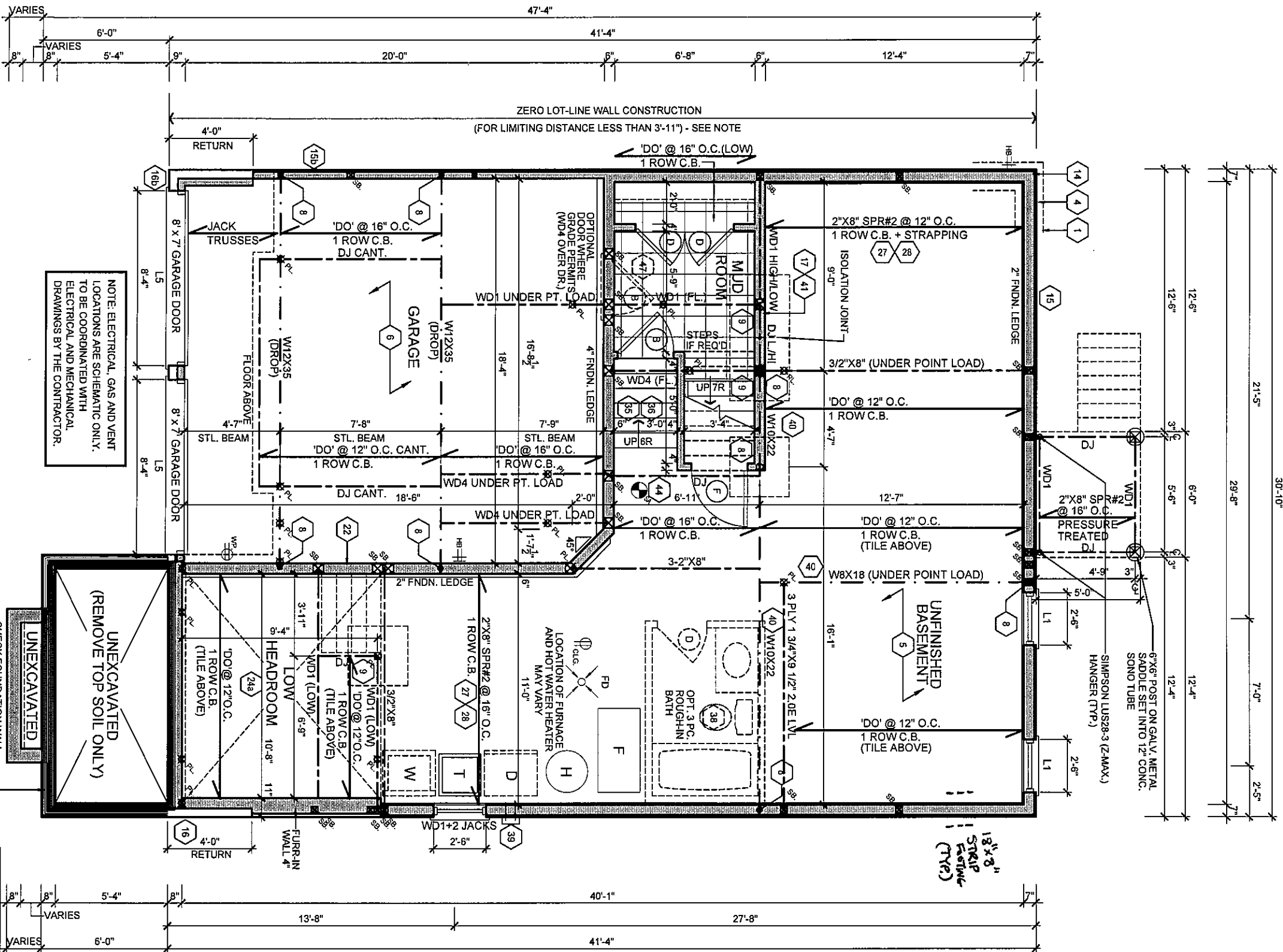
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1.	UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	--	NC						AS NOTED
										PROJECT No. 14093
										T1

THESE DRAWINGS ARE NOT TO BE SCALED
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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES
MUST BE REPORTED DIRECTLY TO RN DESIGN LTD.
REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SP-12 COMPLIANCE PACKAGE J
FILE C:_RN_ Standards\ACA 2016\temp\acp\ub\sh_143481\4093-37-5 FINAL-MERCHANT.dwg Plotted: Oct. 19, 2015 By: Arthur L.

1. NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN
RESPONSIBILITY FOR THE DRAWING. I AM A REGISTERED PROFESSIONAL
UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE.
I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE
CLASSIFICATION CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 19, 2015

SIGNATURE:



OCT 22 2015
FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS

NOTE: ELECTRICAL, GAS AND VENT
LOCATIONS ARE SCHEMATIC ONLY.
TO BE COORDINATED WITH
ELECTRICAL AND MECHANICAL
DRAWINGS BY THE CONTRACTOR.

BASEMENT FLOOR ELEV. 'A'

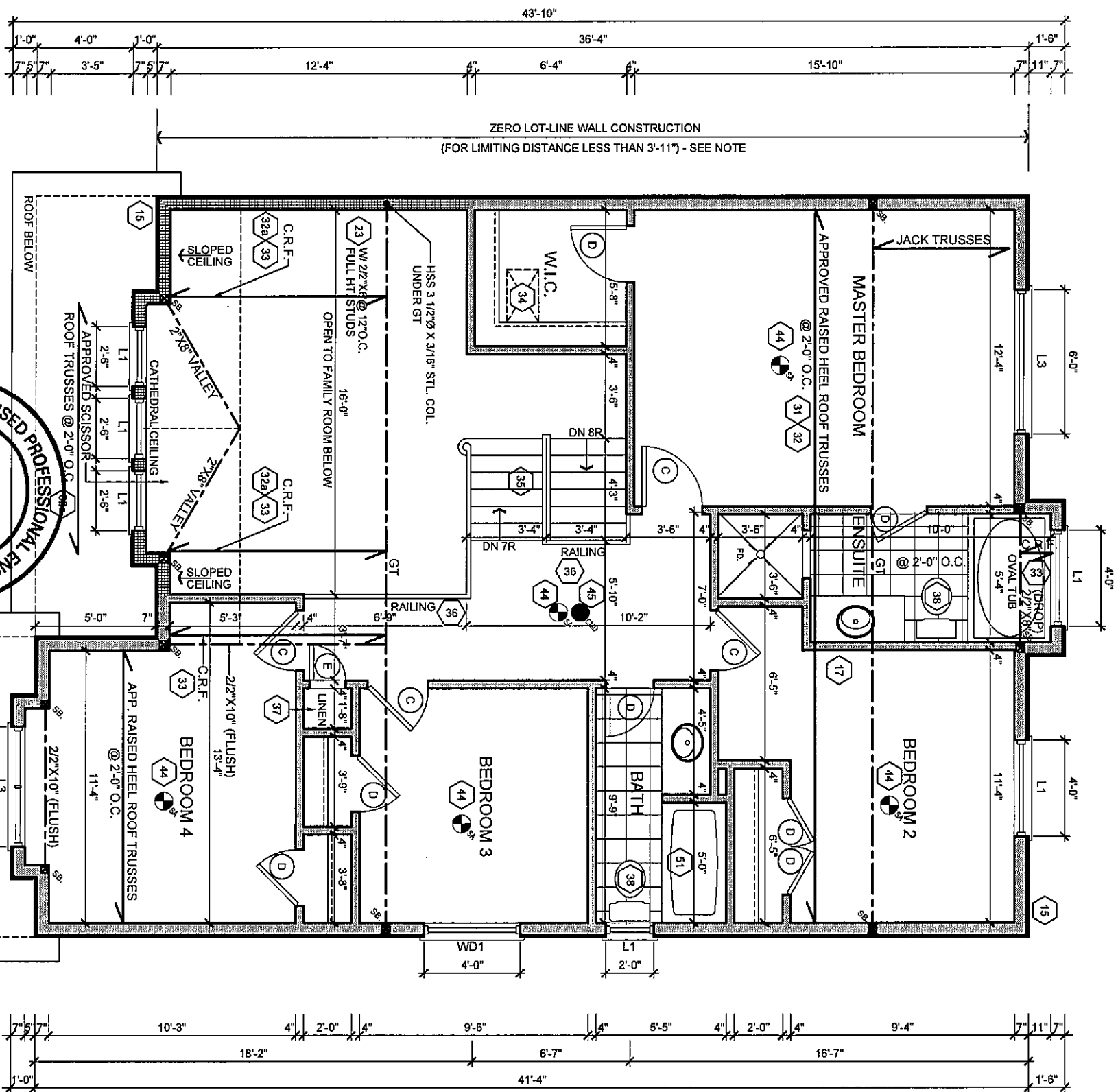
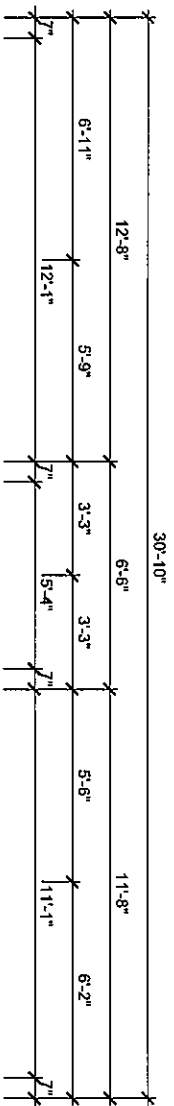
This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Municipality of
CLARINGTON.

 RN design Imagine • Inspire • Create TEL: (905) 738-3177 FAX: (905) 738-5449	MODEL	37-5 (MERCHANT)		No. ISSUED OR REVISION COMMENTS		DATE	DWN	CHK	SCALE
	CLIENT	ESQUIRE HOMES NORTHCLEEN - PHASE 2 CLARINGTON, ONTARIO		1.	UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	-	NC	3/16" = 1'0"
									PROJECT NUMBER
									14093
									PAGE
									A1

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TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES
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REVISED: JANUARY 09, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J
CLASSIFICATION: CATEGORIES

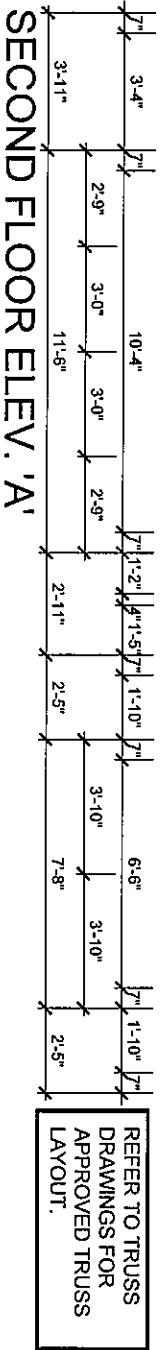
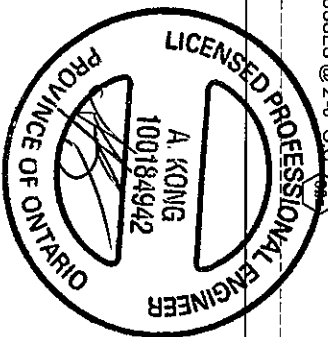
THESE DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES
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REVISED: JANUARY 09, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J
CLASSIFICATION: CATEGORIES

FILE: C:_RN_Standards\A\CA 2016\template\10151_14348114093-37-5-FINAL-MERCHANT.dwg Plotted: Oct 19, 2015 By: Arthur L.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control of the subdivision is not responsible in any way for the design of the building or the building's working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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TRUSS DESIGNS



REFER TO TRUSS
DRAWINGS FOR
APPROVED TRUSS
LAYOUT.

MODEL	37-5 (MERCHANT)	No. ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE
CLIENT	ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO	1. UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	-	NC	3/16" = 1'0"
						PROJECT NUMBER 14093
						PAGE A3

These drawings are not to be scaled. All dimensions are given in feet and inches. To COMMENCEMENT OF ANY WORK, ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD.

REVISED: JANUARY 06, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J

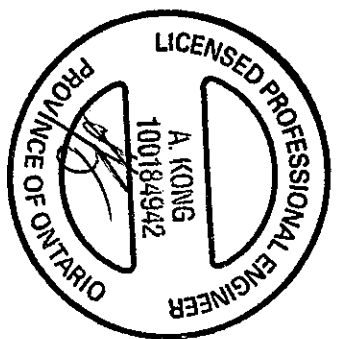
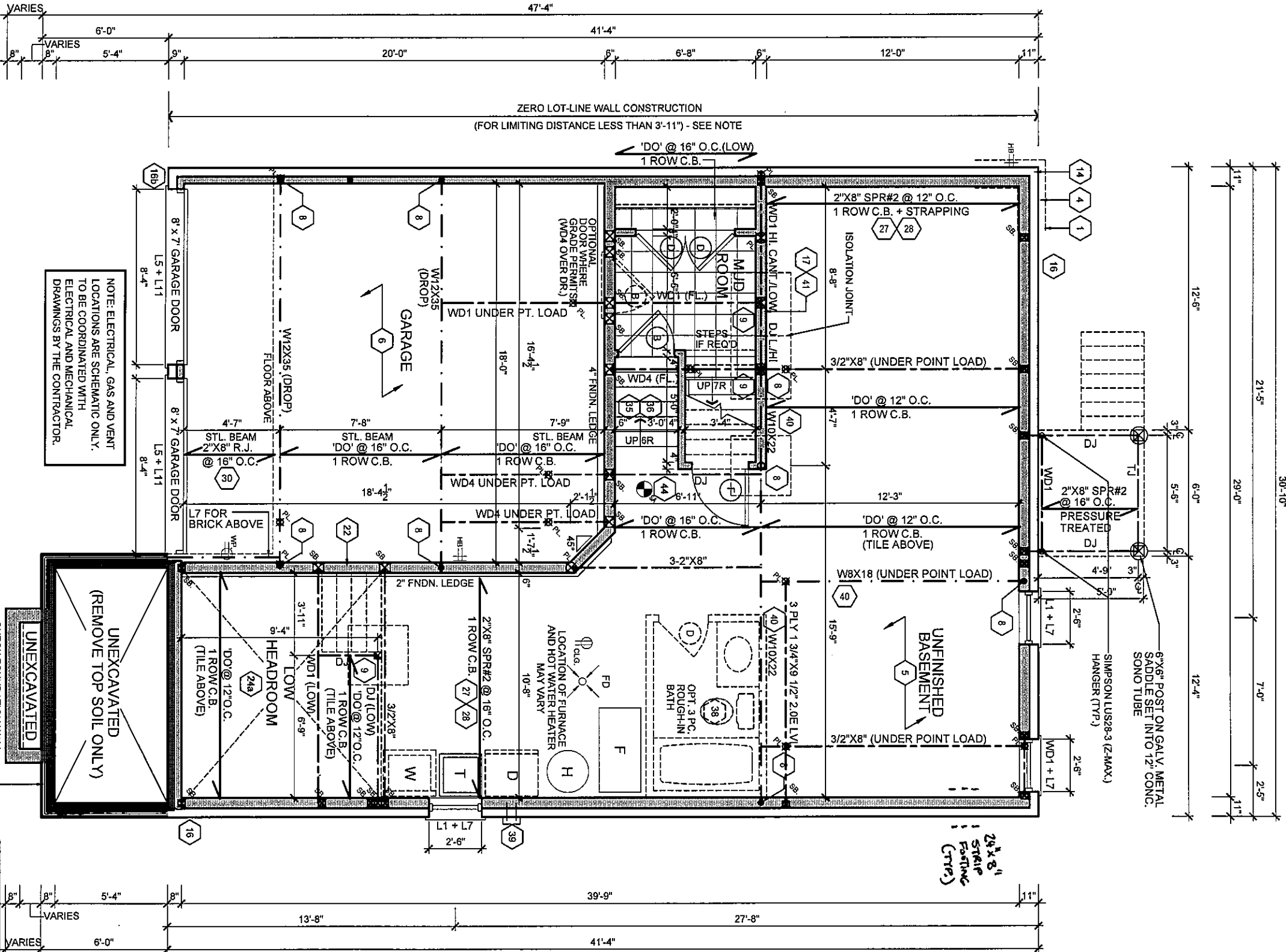
CLASSES/CATEGORIES:

1. NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED. I AM QUALIFIED TO SIGN AND SEAL THESE DRAWINGS IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 19, 2015
SIGNATURE:

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TEL: (905) 738-3177
FAX: (905) 738-5449

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building codes or permit material of their any house can be properly built or located on its lot.

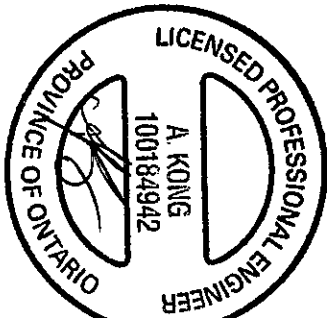
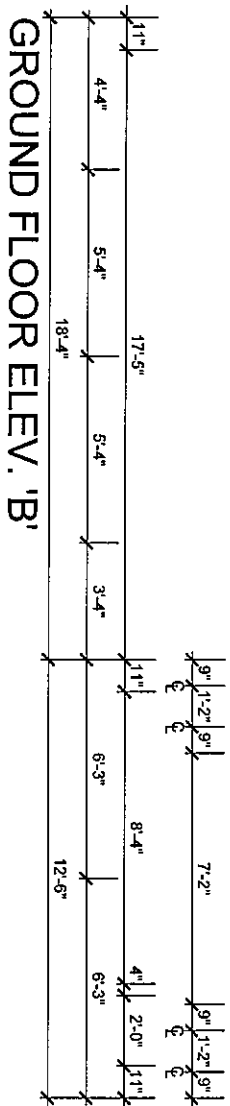
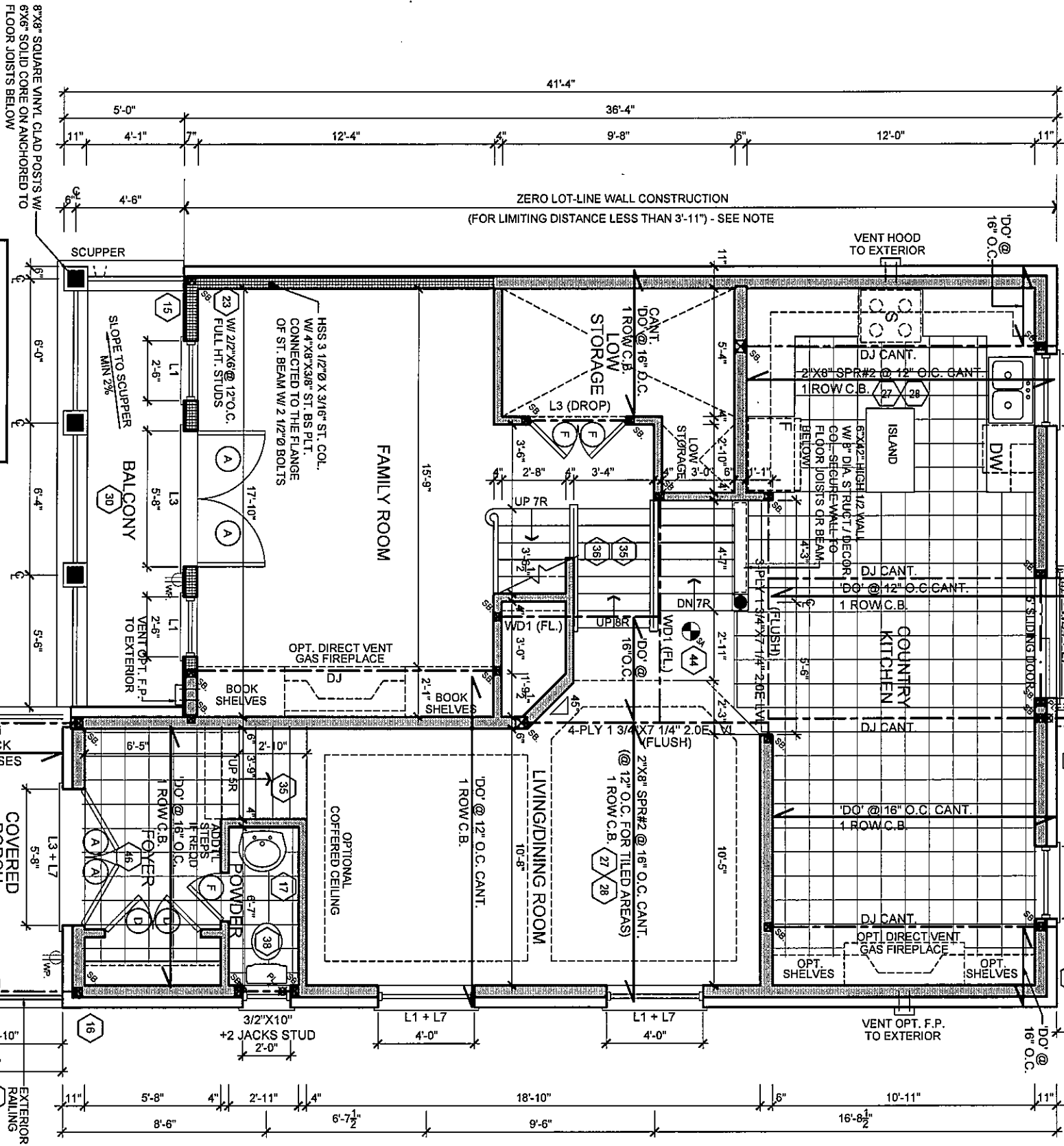
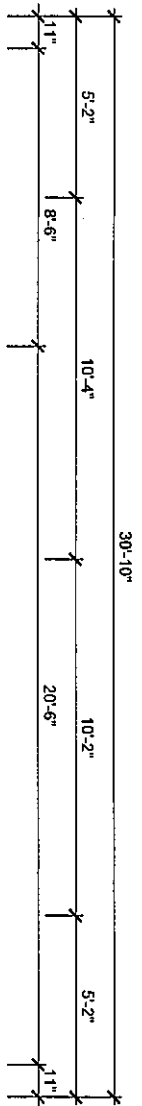
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

 RN design Imagine • Inspire • Create TEL: (905) 738-3177 FAX: (905) 738-5449	MODEL	37-5 (MERCHANT)		
	CLIENT	ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO		
	No. ISSUED OR REVISION COMMENTS	DATE	DWN	CHK
	1. UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT, 19/15	-	NC
PROJECT NUMBER		14093		
SCALE		3/16" = 1'0"		
PAGE		A4		

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REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J

I, NELSON GUINIA, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THESE DRAWINGS. I AM A REGISTERED PROFESSIONAL ENGINEER UNDER DIVISION 2 OF THE ENGINEERING ACT, 1986, AND I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 19, 2015
SIGNATURE:



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EXCLUDING ROOF
TRUSS DESIGNS

MODEL 37-5 (MERCHANT)

CLIENT

ESQUIRE HOMES
NORTHGLEN - PHASE 2
CLARINGTON, ONTARIO

No. ISSUED OR REVISION COMMENTS

1. UPDATED TO OBC 2012 - 2015 ENACTMENT

DATE

OCT. 19/15

DWN CHK

NC

SCALE 3/16" = 1'0"

PROJECT NUMBER 14093

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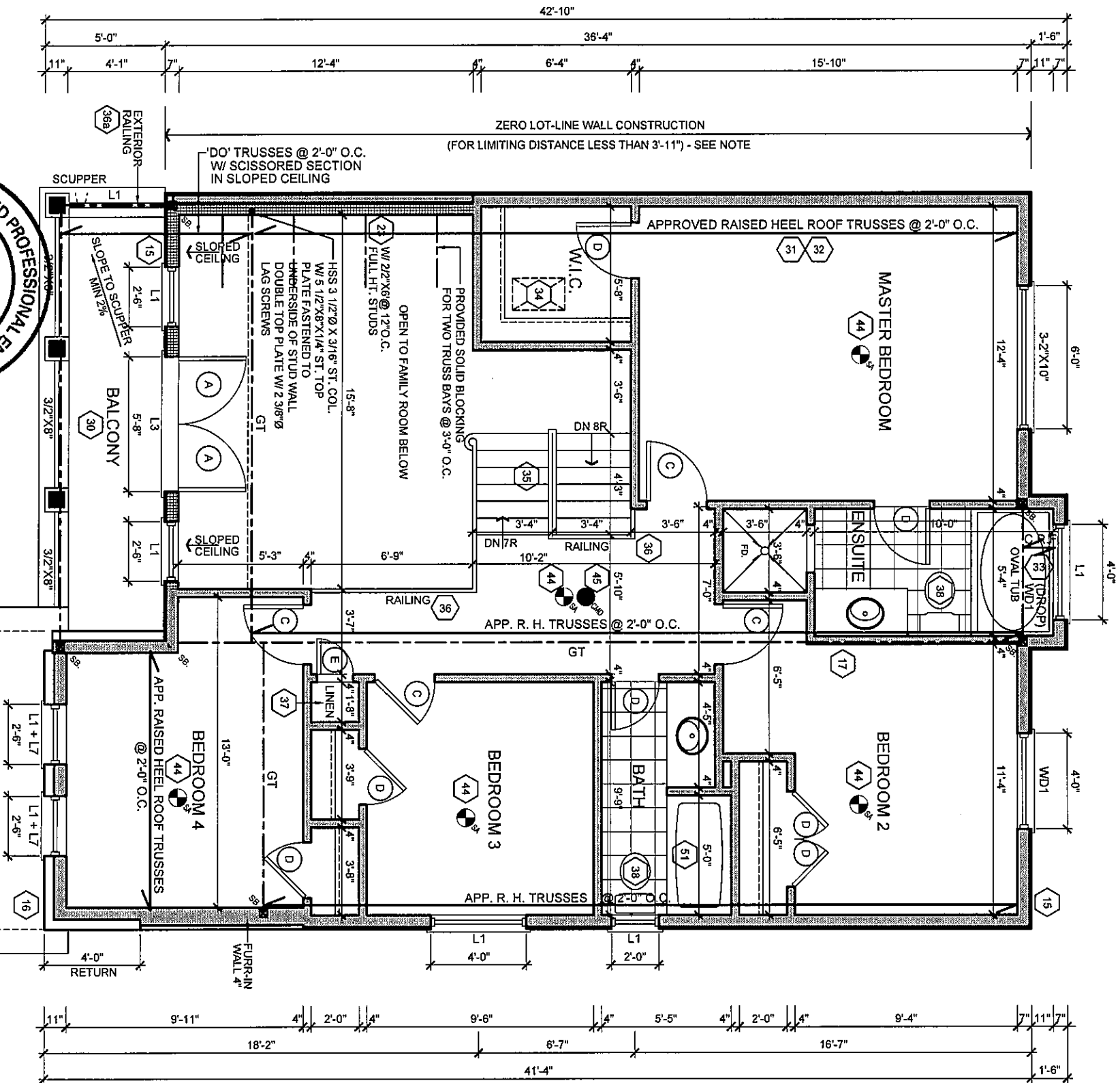
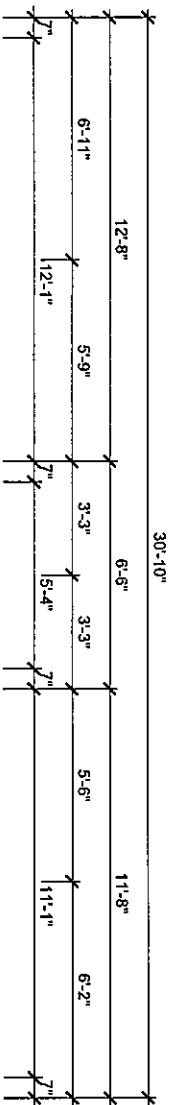
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ALL DIMENSIONS ARE TO FACE UNLESS
OTHERWISE SPECIFIED. PRIOR TO
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DISCREPANCIES MUST BE REPORTED
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REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-42 COMPLIANCE PACKAGE J
CLASSIFICATION: RESIDENTIAL

UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
I, NELSON GUIN, DECLARE THAT I HAVE REVIEWED AND THIS DESIGN UNDER DIVISION C PART 1, SUBSECTION 1.1, OF THE CNBC, I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSIFICATION: RESIDENTIAL.

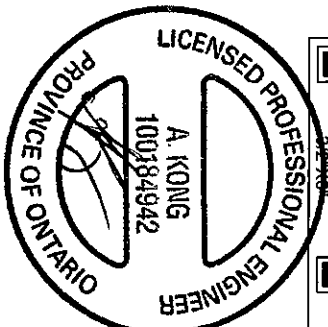
QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 28995
DATE: OCTOBER 19, 2015
SIGNATURE:

PAGE A5

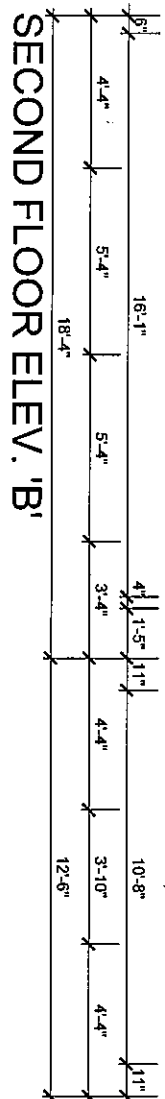
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Council of the Municipality of Clarington is not responsible for examining or approving site planning or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.



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NORTHGLEN - PHASE 2
CLARINGTON, ONTARIO

MODEL	CLIENT	No. ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE
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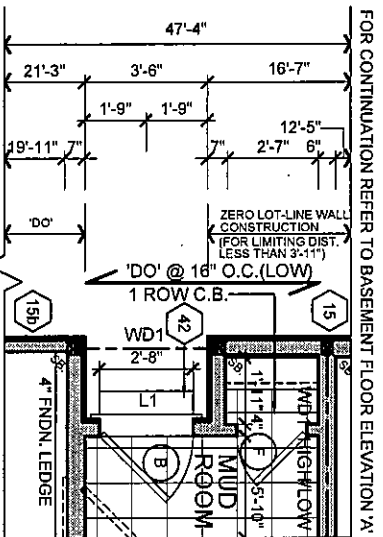
DATE	SIGNATURE:	PAGE
OCTOBER 19, 2015		14093

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REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J

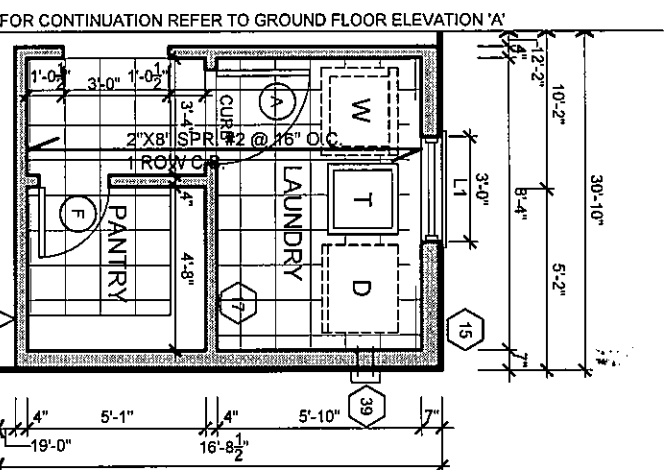
THESE DRAWINGS ARE NOT TO BE SCALED.
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REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J

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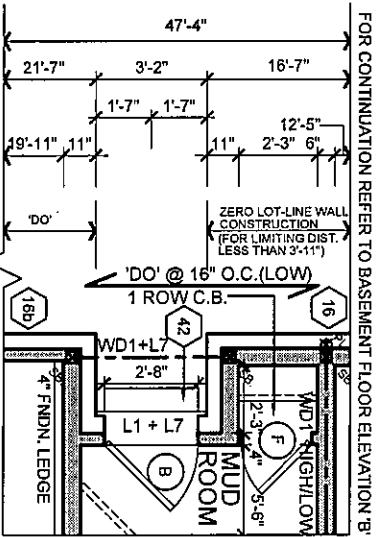
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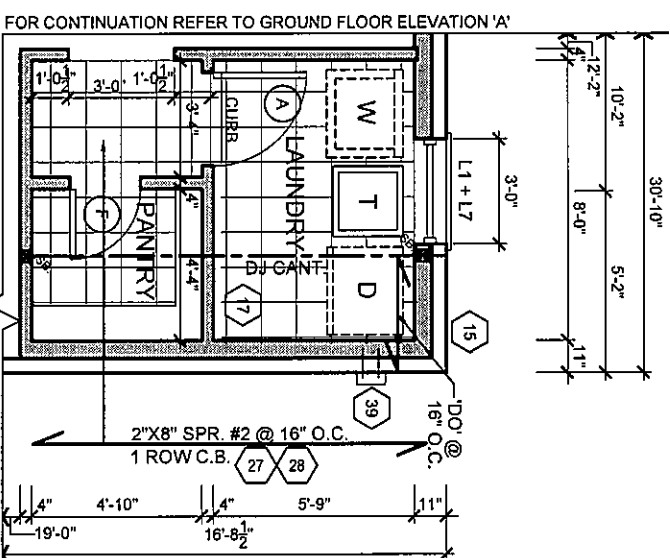
OPT. PARTIAL BASEMENT FLR.
ELEV. 'A' W/OPT. SIDE
ENTRANCE @ MUD ROOM



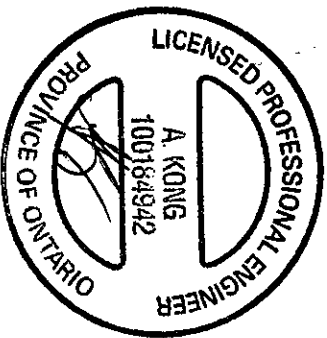
OPT. PARTIAL GROUND FLOOR
ELEV. 'A' W/ALT. LAUNDRY
& PANTRY LOCATION



OPT. PARTIAL BASEMENT FLR.
ELEV. 'B' W/OPT. SIDE
ENTRANCE @ MUD ROOM



OPT. PARTIAL GROUND FLOOR
ELEV. 'B' W/ALT. LAUNDRY
& PANTRY LOCATION

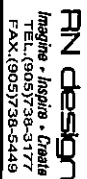


OCT 22 2015
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EXCLUDING ROOF
TRUSS DESIGNS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

 RN design <i>Imagine • Inspire • Create</i> TEL: (905) 738-3177 FAX: (905) 738-5149	MODEL		37-5 (MERCHANT)				No.		ISSUED OR REVISION COMMENTS		DATE	DWN	CHK	SCALE											
	CLIENT		ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO		1.		UPDATED TO OBC 2012 - 2015 ENACTMENT		OCT. 19/15		--	NC	3/16" = 1'0"												
THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD. REVISED: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J														I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CODES.		QUALIFIED DESIGNER BCIN: 21032		SIGNATURE:		FIRM BCIN: 26995		DATE: OCTOBER 19, 2015		PAGE	
																								A7	



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CLARINGTON, ONTARIO

CLARINGTON, ONTARIO

37-5 (MERCHANT)

MODEL

CLIENT

No.	ISSUED OR REVISION COMMENTS	DATE	DWN	CHK
1.	UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	-	NC

SCALE

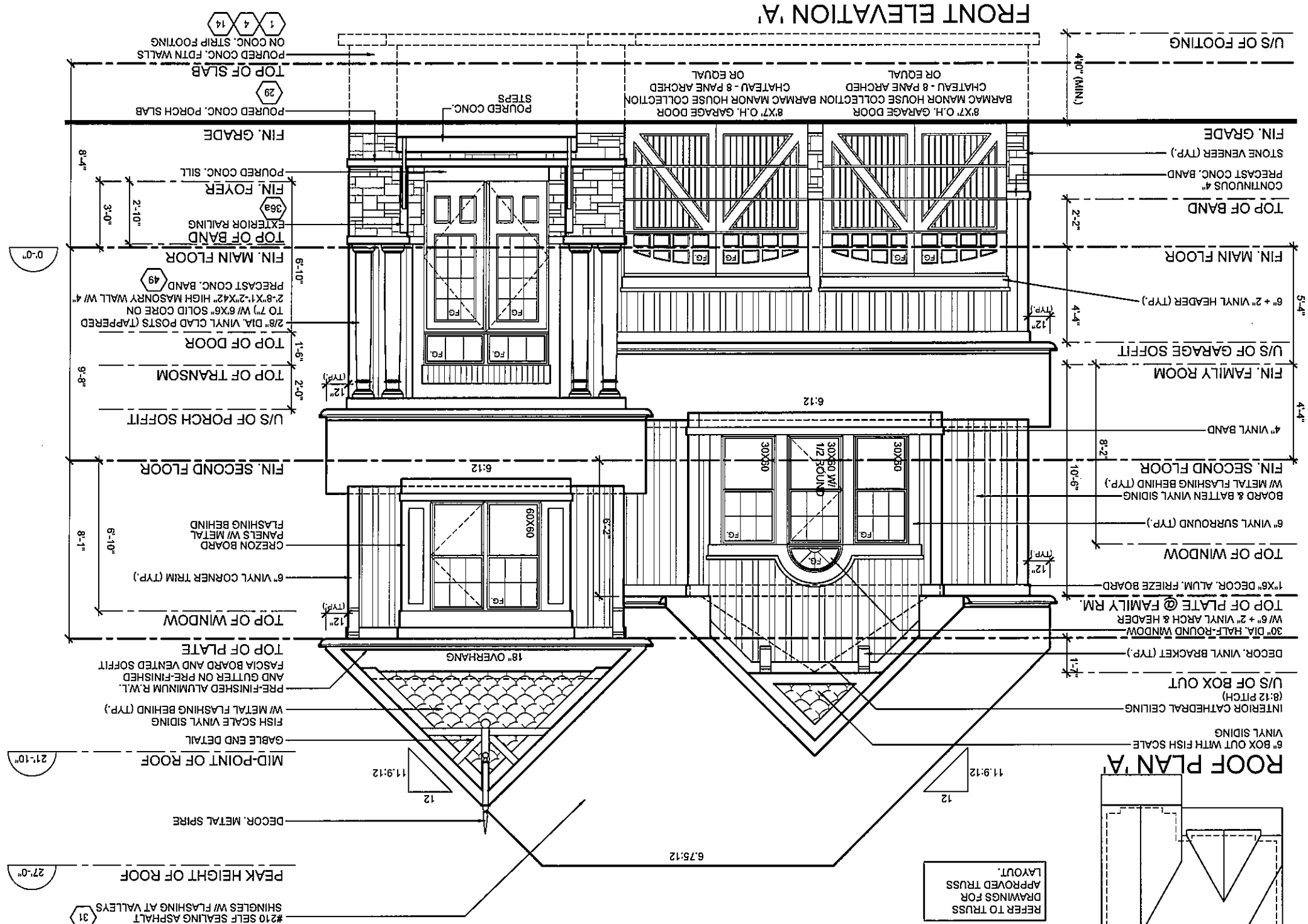
PROSECUTOR
14093

PAGE

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FIRM BCIN: 26995	
DATE: OCTOBER 10 2015	

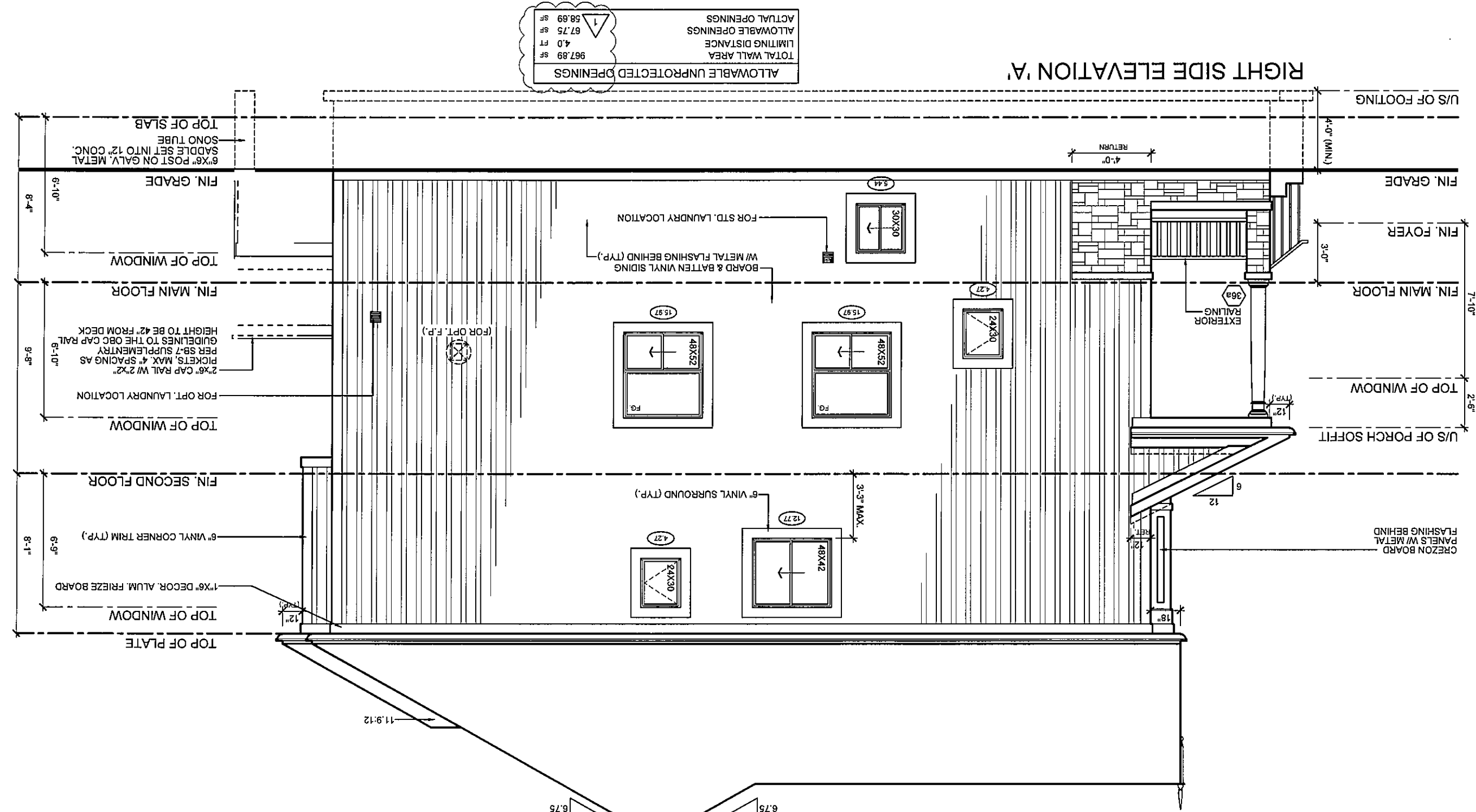
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DATE:	OCTOBER 19, 2015

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ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 8' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of LANGLINGTON.



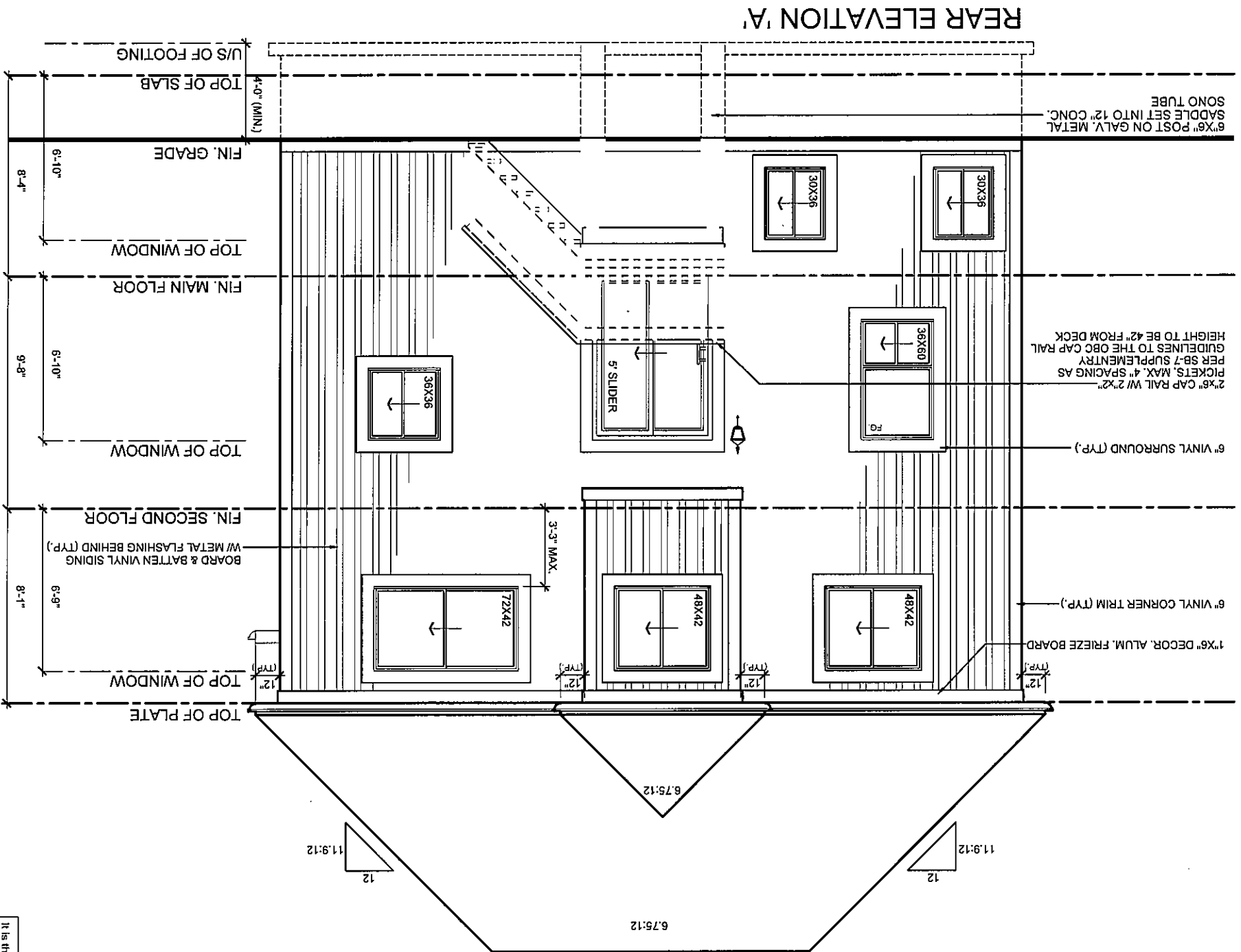
ALLOWABLE UNPROTECTED OPENINGS	967.89 SF
TOTAL WALL AREA	4.0 FT
ALLOWABLE OPENINGS	87.75 SF
ACTUAL OPENINGS	58.89 SF

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.



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1434814083-37.5
FAX: (905) 738-5446

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	FIRM BCIN: 26895				
	DATE: OCTOBER 19, 2015				
A9					



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MODEL	37-5 (MERCHANT)	No.	ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE
CLIENT		1.	UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	--	NC	3/16" = 1'0"
							PROJECT NUMBER
							14093
							PAGE
							A10

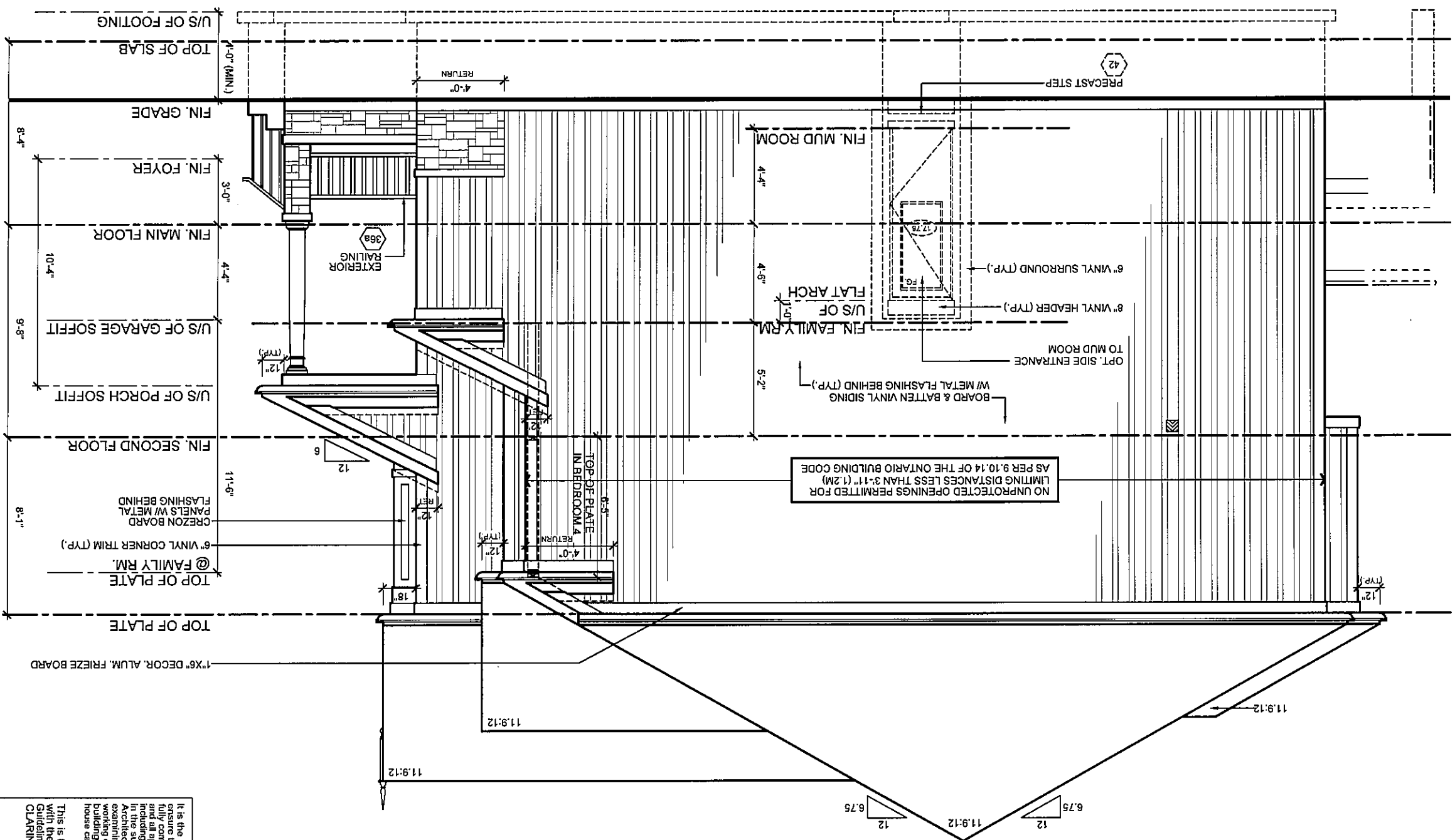
THESE DRAWINGS ARE NOT TO BE SCALED. PRIOR TO CONSTRUCTION, ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR. PRIOR TO CONSTRUCTION, ALL DIMENSIONS MUST BE REPORTED DIRECTLY TO FN DESIGN LIMITED. REVISED: JANUARY 08, 2015 - FN STATE IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE 2

I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LIMITED UNDER DIVISION 6, PART 7, SUBSECTION 3.2.4 OF THE BUILDING CODE. CLASSIFICATION: DESIGNER.

QUALIFIED DESIGNER BCIN: 21032, SIGNATURE: FIRM BCIN: 26995, DATE:

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	847.24 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	59.31 SF
ACTUAL OPENINGS	17.78 SF

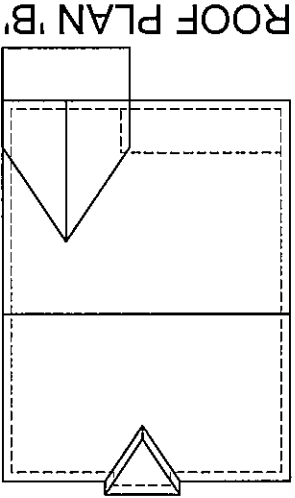
LEFT SIDE ELEVATION 'A'



NO UNPROTECTED OPENINGS PERMITTED FOR
LIMITING DISTANCES LESS THAN 3'-11" (1.2M)
AS PER 9.10.14 OF THE ONTARIO BUILDING CODE

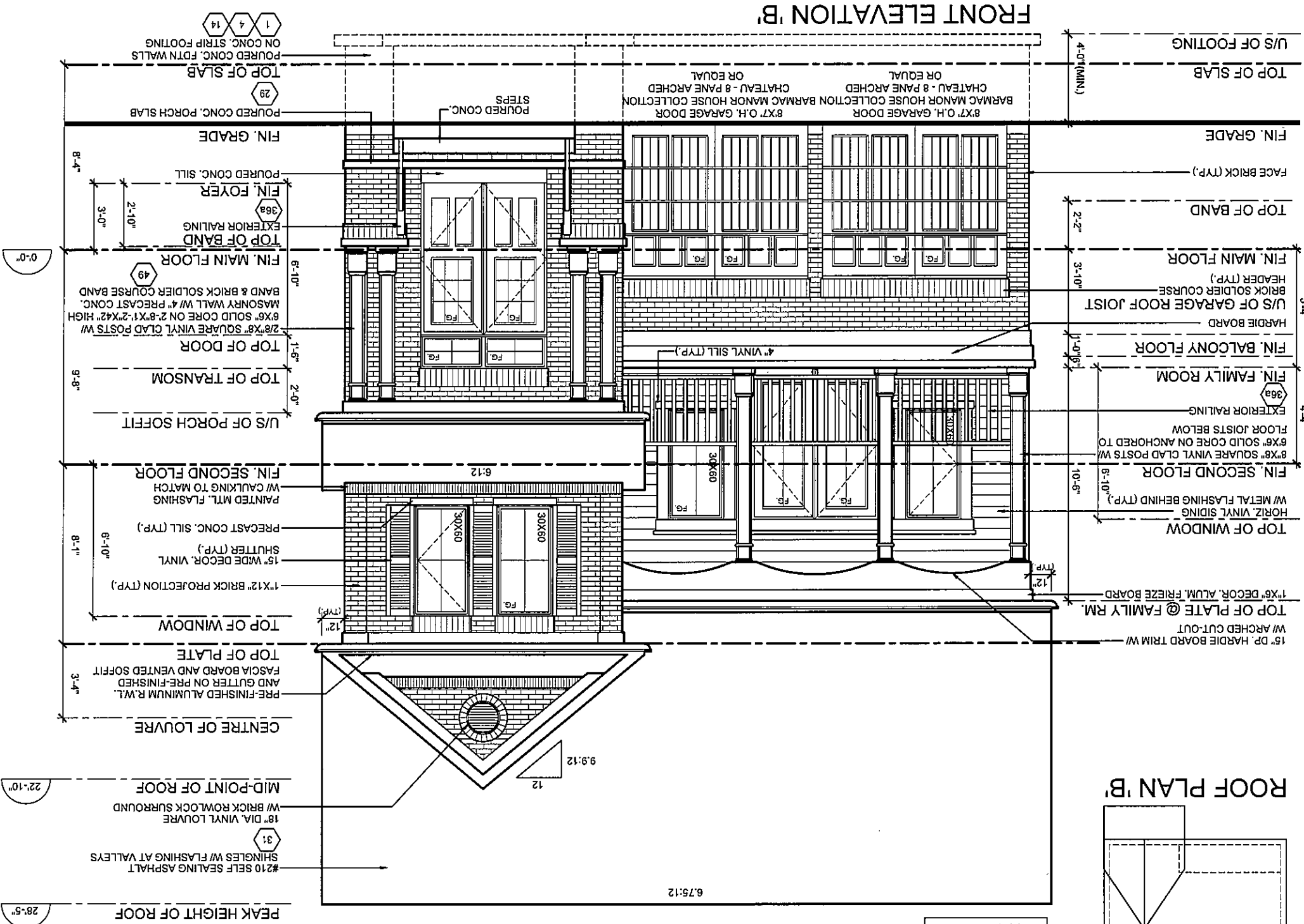
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of LARINGTON.

 PN design <i>Imagine • Inspire • Create</i> TEL.(905)738-3177 FAX.(905)738-5449	MODEL	37-5 (MERCHANT)					
	CLIENT	ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO					
THESE DRAWINGS ARE NOT TO BE SCALED. THESE DRAWINGS ARE FOR INFORMATION ONLY. NO WORK SHALL BE DONE ON ANY OF THESE DRAWINGS UNTIL THE DESIGNER HAS BEEN ADVISED BY THE ARCHITECT THAT THE DRAWINGS ARE TO BE USED FOR THE PROJECT. REVISION: JANUARY 09, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J	No.		ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE
	1.		UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	--	NC	3/16" = 1'0"
							PROJECT NUMBER
							14093
							PAGE
							A11



ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

REFER TO TRUSS
DRAWINGS FOR
APPROVED TRUSS
LAYOUT.



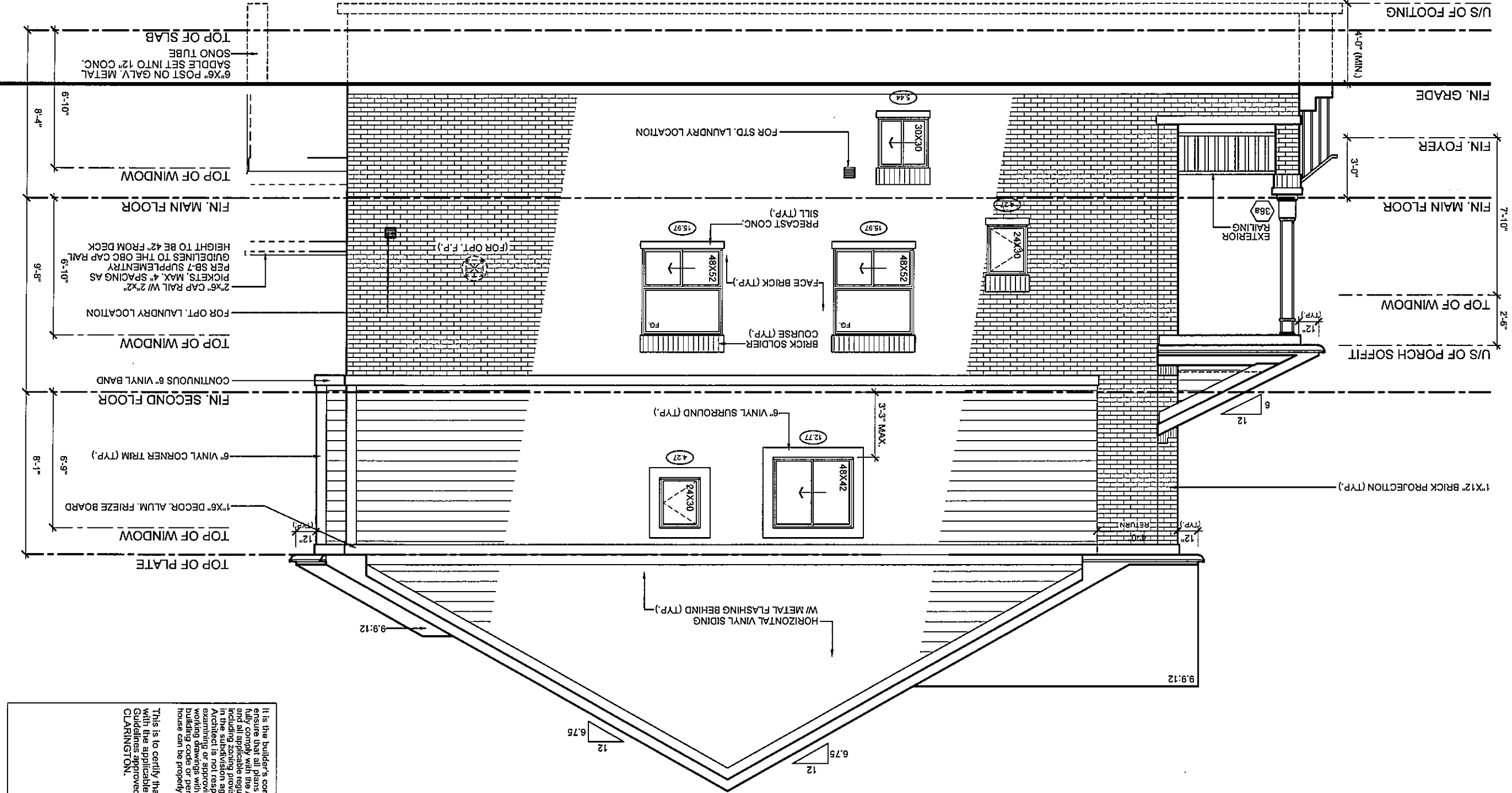
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

 FN design <i>Imagine • Inspire • Create</i> TEL: (905) 736-3177 FAX: (905) 736-5445	MODEL		37-5 (MERCHANT)			
	CLIENT		ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO			
	No.		ISSUED OR REVISION COMMENTS		DATE	DWN
	1.		UPDATED TO OBC 2012 - 2015 ENACTMENT		OCT. 19/15	NC
QUALIFIED DESIGNER BCIN: 21032		DATE:		OCTOBER 19, 2015		SIGNATURE:
FIRM BCIN: 26955						
SCALE		3/16" = 1'0"				
PROJECT NUMBER		14093				
PAGE		A12				

RIGHT SIDE ELEVATION 'B'

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	967.89 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	67.75 SF
ACTUAL OPENINGS	58.69 SF



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements of the City of Clarington. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.



FN design
Imagine • Inspire • Create
Tel: (905) 738-5176
Fax: (905) 738-5176

MODEL
37-5 (MERCHANT)

No.	ISSUED OR REVISION COMMENTS
1.	UPDATED TO OBC 2012 - 2015 ENACTMENT

DATE	DWN	CHK
OCT. 19/15	-	NC

SCALE
3/16" = 1'0"

PROJECT NUMBER
14093

ESQUIRE HOMES
NORTHGLEN - PHASE 2
CLARINGTON, ONTARIO

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FN DESIGN LIMITED UNDER DIVISION C, PART 3, SUBSECTION 12.4 OF THE BUILDING CODE. I AM A MEMBER OF THE PROFESSION OF ARCHITECTS IN THE APPROPRIATE CLASSIFICATION CODES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: SIGNATURE:

PAGE
A13

17 INTERIOR STUD WALLS:

O.B.C. 19.23.10.1.
-2" x 4" (38mm x 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" x 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DOUBLE 2" x 4" OR 2" x 6" TOP PLATES AND SINGLE BOTTOM PLATE
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

18 BEARING STUD WALL (BASEMENT):

-2" x 4" (38mm x 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" x 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DBL. 2" x 4" OR 2" x 6" TOP PLATE
-2" x 4" OR 2" x 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
-FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

19 PARTY WALL - BLOCK:

O.B.C. SB-3. WALL = B66 (SIC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS
TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY TILED W/
MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT
SMOKE PASSAGE
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
-2" x 2" (38mm x 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH
SIDES
-ASSORTIVE MATERIAL ON BOTH SIDES TILING A MINIMUM OF 90% OF THE
CAVITY
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER
O.B.C. 9.10.29.1(1) & TABLE 2.1.1, SB-2
-ACUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
PARTY WALL - BLOCK (AGAINST GARAGE):

19b PARTY WALL - BLOCK (AGAINST GARAGE):

O.B.C. SB-3. WALL = B66 (SIC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3.
& 9.25.4.
-2" x 4" (38mm x 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
-R20 (RSI 3.52) RIGID INSULATION
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN
HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
REQ. INSULATION VALUES:

INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90

RIGID INSULATION = 20.00
-LOW DENSITY CONCRETE BLOCK = 1.70
-WOOD FRAME W/ GYPSUM = 2.72
-AIR FILM - MOVING = 0.68
-AIR FILM - STILL = 0.17
TOTAL "R" VALUE = 25.57

19b FIREWALL:

O.B.C. 9.10.1.1. & 3.1.10. & SB-3. WALL = B66 (SIC = 57, FIRE = 2 HR)
-ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING
AREA. O.B.C. 13.22.47.
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
-2" x 2" (38mm x 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES
OF WALL
-SOUND ABSORPTIVE MATERIAL, EACH SIDE FILLING 90% OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER
O.B.C. 9.10.29.1(1) & TABLE 2.1.1, SB-2
-ACUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CONNECTION
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/
THROUGH WALL FLASHING PER O.B.C. 3.1.10.4(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER
THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER
O.B.C. 3.1.10.4(2)

20 PARTY WALL - FOUNDATION:

O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15Mpa)
-COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

21 PARTY WALL - WOOD STUDS:

O.B.C. SB-3. WALL = W13d (SIC = 57, FIRE = 1 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF
FOOTINGS TO THE U/S OF ROOF DECK
-2 ROWS 2"x4" (38mm x 89mm) STUDS @ 16" (400mm) O.C. W/ SEPARATE
2" x 4" (38mm x 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" x 4"
(38mm x 89mm) TOP PLATES
-SOUND ASSORTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF
90% OF THE CAVITY.
-5/8" (16mm) TYPE "X" GYPSUM BOARD BOTH SIDES W/ JOINTS TAPE &
FILLED.

-ACUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 19.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE 2" x 4" (38mm x 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE 2" x 4" (38mm x 89mm) STUDS ARE
REQUIRED TO BE SPACED @ 12" (300mm) O.C.

22 GARAGE WALL & CEILING:

O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-BEFORE AND AFTER ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS.
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.
9.25.3. & 9.25.4. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN.
REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH
4-3 1/4" (82mm) TOE NAILS
-BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR
RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.
-WALLS ADJACENT TO ATTIC SPACE

22b WALLS ADJACENT TO ATTIC SPACE:

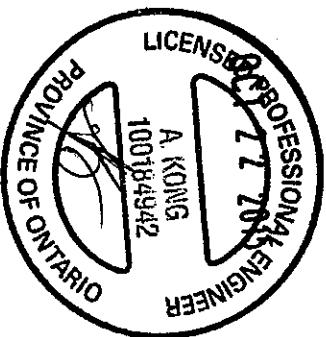
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.
9.25.3. & 9.25.4.
-2" x 6" (38mm x 140mm) WOOD STUDS @ 16" (400mm) O.C.
-R22 (RSI 3.87) INSULATION
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) GYPSUM BOARD
ON ATTIC SIDE.
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

23 DOUBLE VOLUME WALLS:

O.B.C. 9.23.10.1.
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD
-REFER TO PLAN FOR STUD SPECIFICATION
-STUDS FASTENED AT TOP & BOTTOM WITH 3/4" (19mm) NAILS
-DOUBLE TOP PLATES FASTENED TOGETHER WITH 3/4" (19mm) NAILS
7 7/8" (200mm) O.C.
-SOLID BRIDGING AT 3'-11" (1200mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 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- 360) EXTERIOR GUARDS @ Juliet BALCONY:**
-FOR RAILING SPANNING MAXIMUM OF 6'-0".
-PROVIDE PERIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-2/8.8.5.
-GUARDS TO BE 3'-6" (1070mm)
-FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
-VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 12" MIN. EMBEDMENT TO STUDS.
-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37) -JULIEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP**
- 38) -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. O.B.C.- 9.32.1, 3.13)**
- 39) -CAPPED DRYER VENT**
- 40) -1"x2" (19mmx38mm) BOTH SIDES OF STEEL.**
- 41) -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.**
- 42) -PRECAST CONC. STEP**
- 43) -2 RISERS MAXIMUM PERMITTED TO BE Laid ON GROUND**
- 44) -SMOKE ALARM, O.B.C.- 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM
-INSTALLED AT OR NEAR CEILING
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALING COMPONENT
-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM**
- 45) -CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
-WHERE THERE IS A FIRE, BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.**
- 46) -MAIN DOOR TO BE OPERABLE FROM INSIDE W/O UT KEY
-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
-R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
-R4 (RSI 0.70)**
- 47) -GARAGE MAIN DOORS TO BE GAS PROTECTED WITH SELF CLOSING WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
-R4 (RSI 0.70)**
- 48) -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY
OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH. SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (710mm) ABOVE ADJACENT GROUND LEVEL.**
- 49) EXTERIOR COLUMN W/ MASONRY PIER:**
-MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
-1-4" X 1-4" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
-SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
-3/4" AIR SPACE AROUND POST.
OR
-MIN. 6"x6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
-1-4" X 1-4" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.
- 50) COLD CEILARS:**
FOR COLD CEILARS PROVIDE THE FOLLOWING:
-VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
-COVER VENT W/ BUG SCREEN
-WALL MOUNTED LIGHT FIXTURE
-1-1/2" FOR DOOR OPENING
-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN. R-4 RSI 0.7)
-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)
- 51) STUD WALL REINFORCEMENT:**
O.B.C. 9.3.2.3.
-WALL STUDS ADJACENT TO WATER CLOSERS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.13) (14) (c) & 3.8.3.13.12) (1) & 3.8.3.13.14) (c)
-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.12)
- FRAME CONSTRUCTION:**
-ALL FRAMING LUMBER TO BE NO. 1 AND NO. 2 SPF UNLESS NOTED OTHERWISE.
-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-4" (3200mm)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
-BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 254mm) OR LARGER.**
- WINDOWS:**
-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
-WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.8 W/(m2.K) OR
-AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS & 31 FOR FIXED WINDOWS
-BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
-FOR GROSS GLAZED AREAS LESS THAN 17%
- ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE J.**
-THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED: THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6, OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52).
OR
-WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED, THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT:
a) THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS NOT LESS THAN R40 (RSI 10.55).
b) THE MINIMUM EFFICIENCY OF THE HRV IS INCREASED BY NOT LESS THAN 8 PERCENTAGE POINTS.
c) THE MINIMUM AFUE OF THE SPACE HEATING EQUIPMENT IS INCREASED BY NOT LESS THAN 2 PERCENTAGE POINTS.
d) THE MINIMUM EF OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY NOT LESS THAN 4 PERCENTAGE POINTS.
- THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD
- ◆ CLIENT SPECIFIC REVISIONS

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SCHEDULES

DOORS 48)		WOOD BEAMS	
A 865x2030x45 (2'10"x6'8"x1-3/4")	WD1 3/2" X 8" SPR	WD6 5/2" X 10" SPR	WD10 2/1 3/4" X 1 1/4" (2.0E) LVL
B 815x2030x35 (2'8"x6'8"x1-3/8")	WD2 4/2" X 8" SPR	WD7 3/2" X 12" SPR	WD11 3/1 3/4" X 1 1/4" (2.0E) LVL
C 760x2030x35 (2'6"x6'8"x1-3/8")	WD3 5/2" X 8" SPR	WD8 4/2" X 12" SPR	WD12 2/1 3/4" X 1 1/2" (2.0E) LVL
D 710x2030x35 (2'4"x6'8"x1-3/8")	WD4 3/2" X 10" SPR	WD9 5/2" X 12" SPR	WD13 3/1 3/4" X 1 1/2" (2.0E) LVL
E 460x2030x35 (1'6"x6'8"x1-3/8")	WD5 4/2" X 10" SPR		WD14 2/1 3/4" X 1 1/2" (2.0E) LVL
F 610x2030x35 (2'0"x6'8"x1-3/8")			WD15 3/1 3/4" X 1 1/2" (2.0E) LVL
G OVER SIZED EXTERIOR DOOR -REFER TO ELEVATIONS FOR SIZE			
		LINTELS	
L1 2/2" X 8" SPR	L10 4-7/8" X 3-1/2" X 5/16" L	L15 5-7/8" X 4" X 1/2" L	
L3 2/2" X 10" SPR	L11 4-7/8" X 3-1/2" X 3/8" L	L16 7-1/8" X 4" X 3/8" L	
L5 2/2" X 12" SPR	L12 4-7/8" X 3-1/2" X 1/2" L	L17 7-1/8" X 4" X 1/2" L	
L7 3-1/2" X 3-1/2" X 1/4" L	L13 5-7/8" X 3-1/2" X 3/8" L		
L9 4" X 3-1/2" X 1/4" L	L14 5-7/8" X 3-1/2" X 1/2" L		
		STEEL BEAMS	
ST1 W 6 X 15	ST3 W 8 X 18	ST5 W 8 X 24	
ST2 W 6 X 20	ST4 W 8 X 21		

FLOOR AREA CALCULATIONS

ELEVATION	A	B			
FIRST FLOOR	1194	1183			
SECOND FLOOR	1212	1193			
TOTAL (ft ²)	2406	2376			
DEDUCT O.T.B.	233	223			
TOTAL (ft ²)	2173	2153			
FIN. BASEMENT	74	74			
TOTAL (ft ²)	2247	2227			
LOFT PLAN	N/A	N/A			
TOTAL (ft ²)	2247	2227			
COVERAGE (ft ²)	1194	1274			
W/O PORCH (m ²)	110.9	118.4			
COVERAGE (ft ²)	1269	1349			
W/ PORCH (m ²)	117.9	125.3			

PLAN/ELEVATION LEGEND	
44) SMOKE ALARM	45) CARBON MONOXIDE DETECTOR
WATERPROOF DUPLEX OUTLET	D.J. DOUBLE JOINT
VENTS AND INTAKES	P.T. PRESSURE TREATED LUMBER
HOSE BIB	G.T. GUTTER TRUSS
EXHAUST FAN	A.F.F. ABOVE FINISHED FLOOR
COLD CELLAR VENT 50)	EXT. LIGHT FIXTURE (WALL MOUNTED)
STORE VENT	HYDRO METER
FIRE PLACE VENT	GAS METER
DRYER VENT	FLOOD DRAIN SOLID BEARING
	TO BE SAME WIDTH AS SUPPORTED MEMBER
	POINT LOAD
	FLAT ARCH
	2 STORY WALL
	UNDER SILL
	FIXED GLAZING
	GLASS BLOCK
	BLACK GLASS

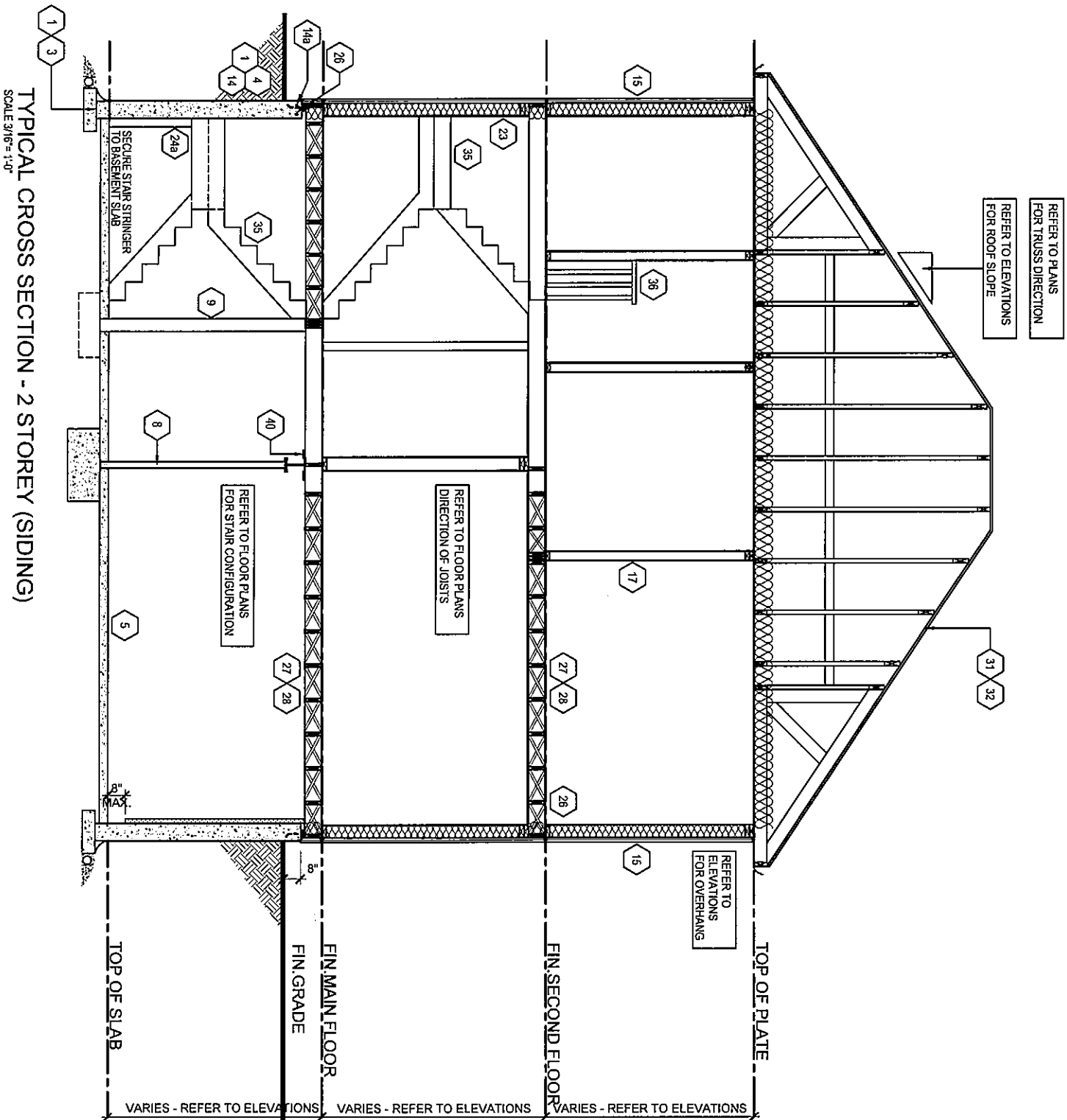
37-5 (MERCHANT)



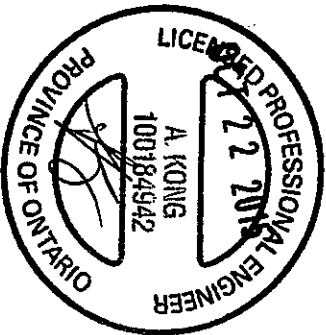
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ESQUIRE HOMES
NORTHGLEN - PHASE 2
CLARINGTON, ONTARIO

MODEL	CLIENT	No. ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE
		1. UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	-	NC	N/A
REVISION: JANUARY 08, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J						
◆ CLIENT SPECIFIC REVISIONS						
1. FIELDING CLIMA DECARE THAT HAVE REVIEWED AND TAKE DESIGN UNDER DIVISION C, PART 1, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSIFICATION CATEGORIES.		QUALIFIED DESIGNER BCIN: 21032	SIGNATURE:			
		FIRM BCIN: 26995	DATE: OCTOBER 19, 2015			
						PAGE 14093
						D3



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 RN design Imagine • Inspire • Create TEL: (905) 738-3177 FAX: (905) 738-5449	MODEL: 37-5 (MERCHANT)	No. ISSUED OR REVISION COMMENTS		DATE	DWN	CHK	SCALE
	CLIENT: ESQUIRE HOMES NORTHGLEN - PHASE 2 CLARINGTON, ONTARIO	1.	UPDATED TO OBC 2012 - 2015 ENACTMENT	OCT. 19/15	-	NC	N/A
THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD. REVISED: JANUARY 09, 2015 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE J		I, NELSON GUINIA DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE ENTIRETY OF THE DRAWINGS PREPARED BY ME OR UNDER MY SUPERVISION. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.		QUALIFIED DESIGNER BCIN: 21032 FIRM BCIN: 26995 DATE: OCTOBER 19, 2015		SIGNATURE:	
						PAGE D4	
						PROJECT NUMBER 14093	