

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

THE UNIVERSITY OF CHICAGO

John G. Williams Limited, Arcadia,

# SITE PLAN REVIEW

LOT NO 151..... REGISTERED PLAN

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR THE DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT

COMMENTS AS NOTED ☐ DATE Feb 24, 2016

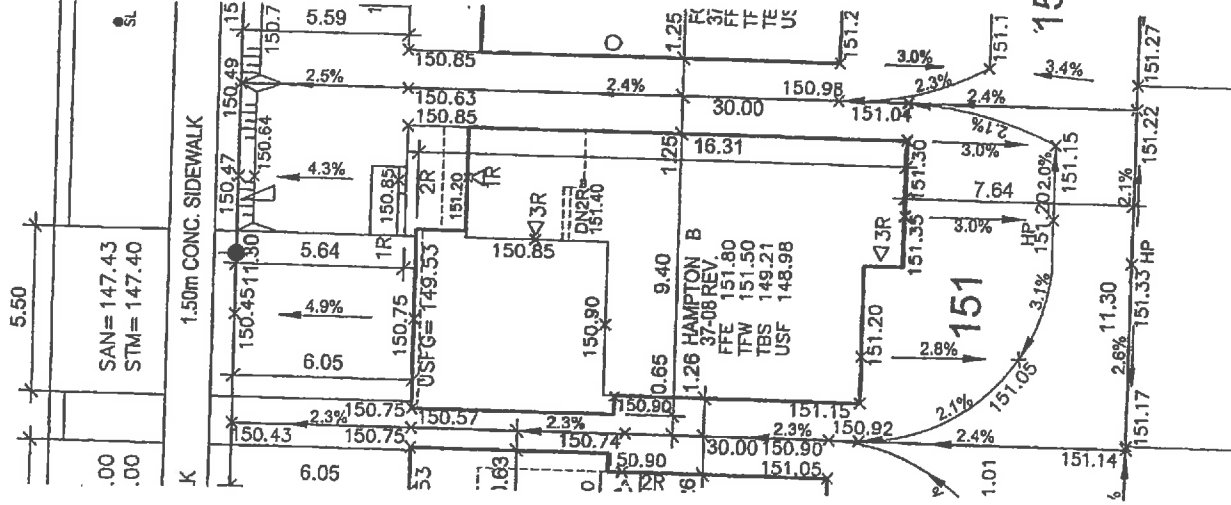


**CONSULTING ENGINEERS AND PLANNERS**

**CONSULTANT'S DECLARATION:**

THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

WILLIAM FAIR DRIVE



152

**NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.**

## CLIENT

ESQUIRE HOMES

PROJECT/LOCATION

**NORTHGLEN PHASE 2  
CLARINGTON, ONTARIO**

## DRAWING

## SITE GRADING PLAN

## BUILDING STATISTICS

|                            |        |
|----------------------------|--------|
| REG. PLAN No.              | R2-54  |
| ZONE                       | 151    |
| LOT NUMBER                 | 339.00 |
| LOT AREA(m <sup>2</sup> )  | 135.70 |
| BLDG AREA(m <sup>2</sup> ) | 40.0   |
| LOT COVERAGE(%)            | 2      |
| No. OF STOREYS             | 8.29   |
| MEAN HEIGHT(m)             | N/A    |
| PEAK HEIGHT(m)             | N/A    |
| DECK LINE(m)               |        |

## LEGEND

| FINISHED FLOOR ELEVATION    |
|-----------------------------|
| FFE                         |
| TFW                         |
| TBS                         |
| TOP OF BASEMENT SLAB        |
| USF                         |
| UNDER SIDE FOOTING          |
| USFR                        |
| UNDER SIDE FOOTING @ REAR   |
| USFG                        |
| UNDER SIDE FOOTING @ GARAGE |
| TEF                         |
| TOP OF ENGINEERED FILL      |
| R                           |
| NUMBER OF RISERS TO GRADE   |
| WOD                         |
| WALKOUT DECK                |
| LOB                         |
| LOOKOUT BASEMENT            |
| WOB                         |
| WALK OUT BASEMENT           |
| REV                         |
| REVERSE PLAN                |
| STD                         |
| STANDARD PLAN               |
| △                           |
| DOOR                        |
| ○                           |
| WINDOW                      |
| ☒                           |
| BELL PEDISTAL               |
| ☑                           |
| CABLE PEDISTAL              |
| □                           |
| CATCH BASIN                 |
| DBL                         |
| DBL CATCH BASIN             |
| ENGINEERED FILL             |
| HYDRO CONNECTION            |
| FIRE HYDRANT                |
| STREET LIGHT                |
| MAIL BOX                    |
| TRANSFORMER                 |
| WATER VALVE                 |
| WATER CONNECTION            |
| SEWER CONNECTIONS           |
| 2 LOTS                      |
| SEWER CONNECTIONS           |
| 1 LOT                       |
| AIR CONDITIONING            |
| DOWN SPOUT TO SPLASH PAD    |
| SWALE DIRECTION             |
| CHAINLINK FENCE             |
| PRIVACY FENCE               |
| SOUND BARRIER               |
| FOOTING TO BE EXTENDED      |
| TO 1.25 (MIN) BELOW GRADE   |

[illegible]

I, NELSON CUNHA DECLARE THAT  
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY  
FOR THE DESIGN WORK ON BEHALF OF RN DESIGN  
LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING  
CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED  
IN THE APPROPRIATE CLASSES/CATEGORIES.

|                         |       |
|-------------------------|-------|
| QUALIFIED DESIGNER BCIN | 21032 |
| FIRM BCIN               | 26995 |

**DATE** FEB 22, 2016

**SIGNATURE**

DRAWN BY  
NC

SCALE  
1:250

PROJECT No.  
14093

LOT-NUMBER  
151



**RN design**  
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