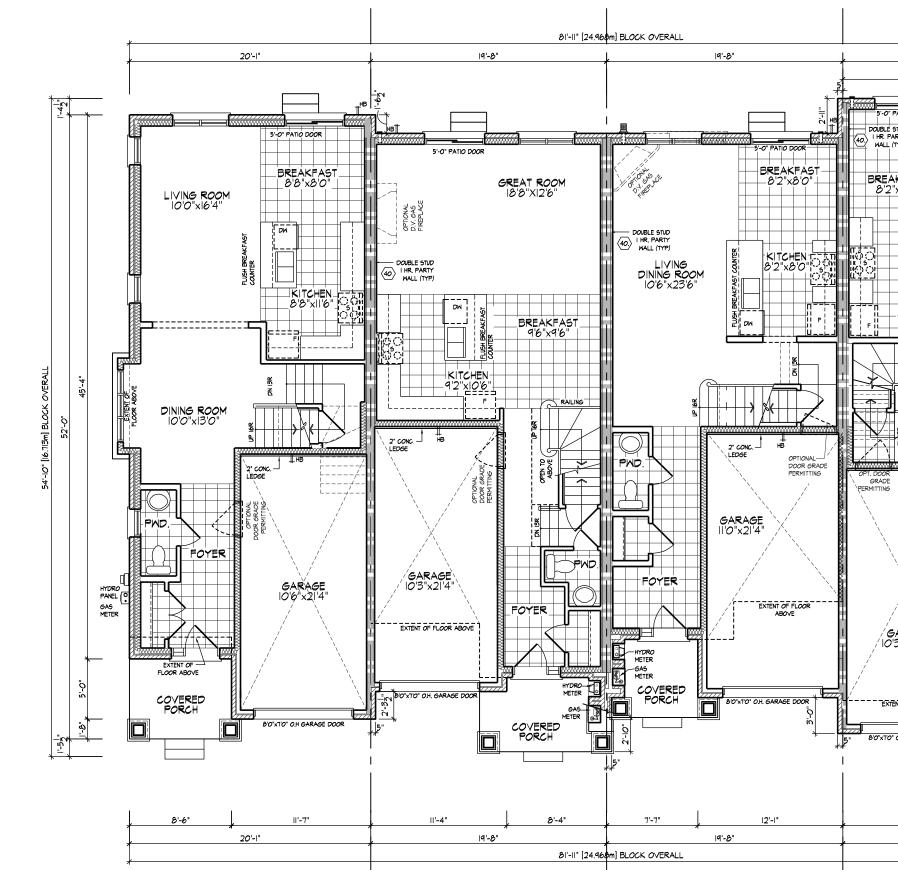
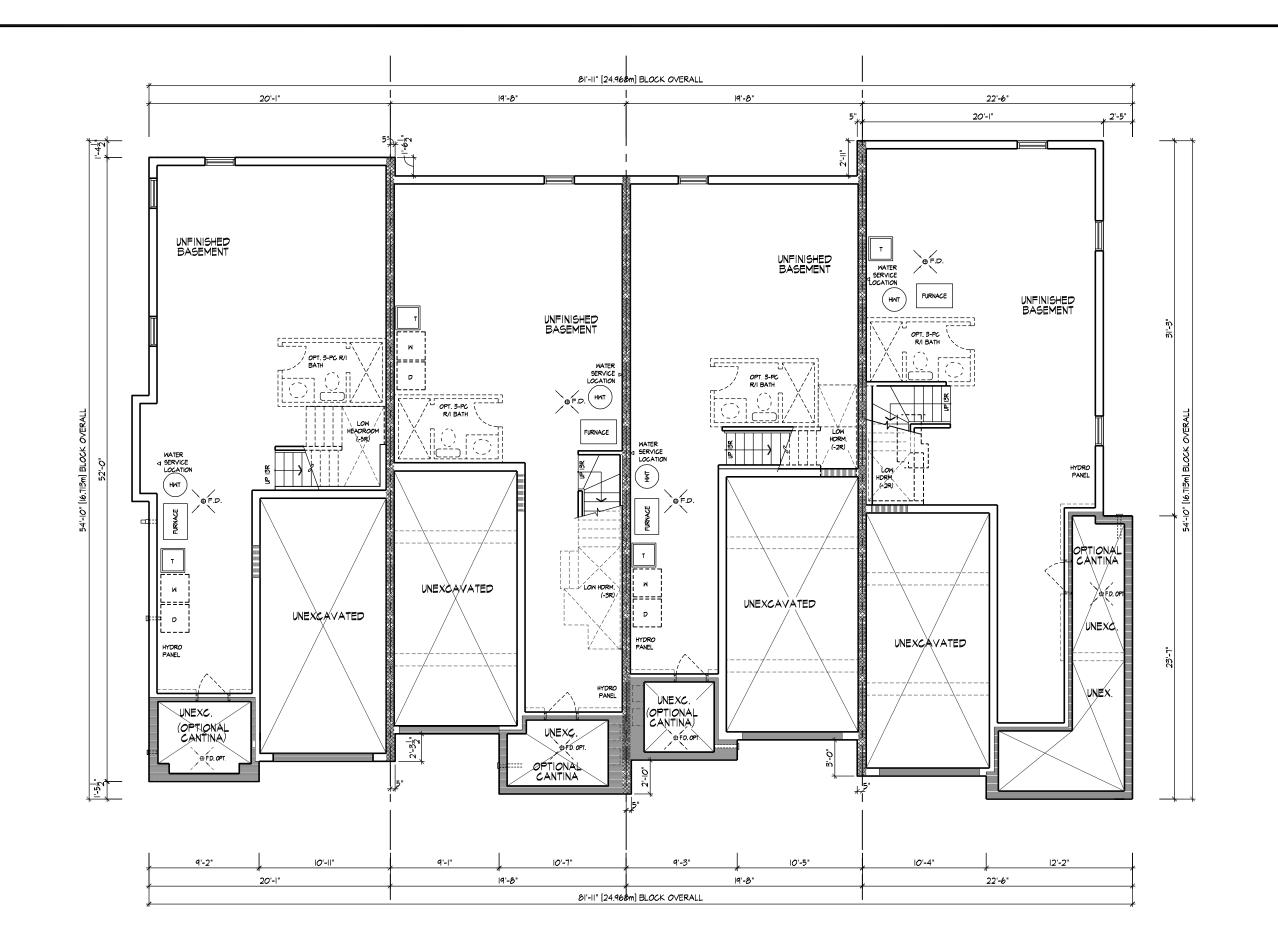
81'-11" [24.968m] BLOCK OVERALL

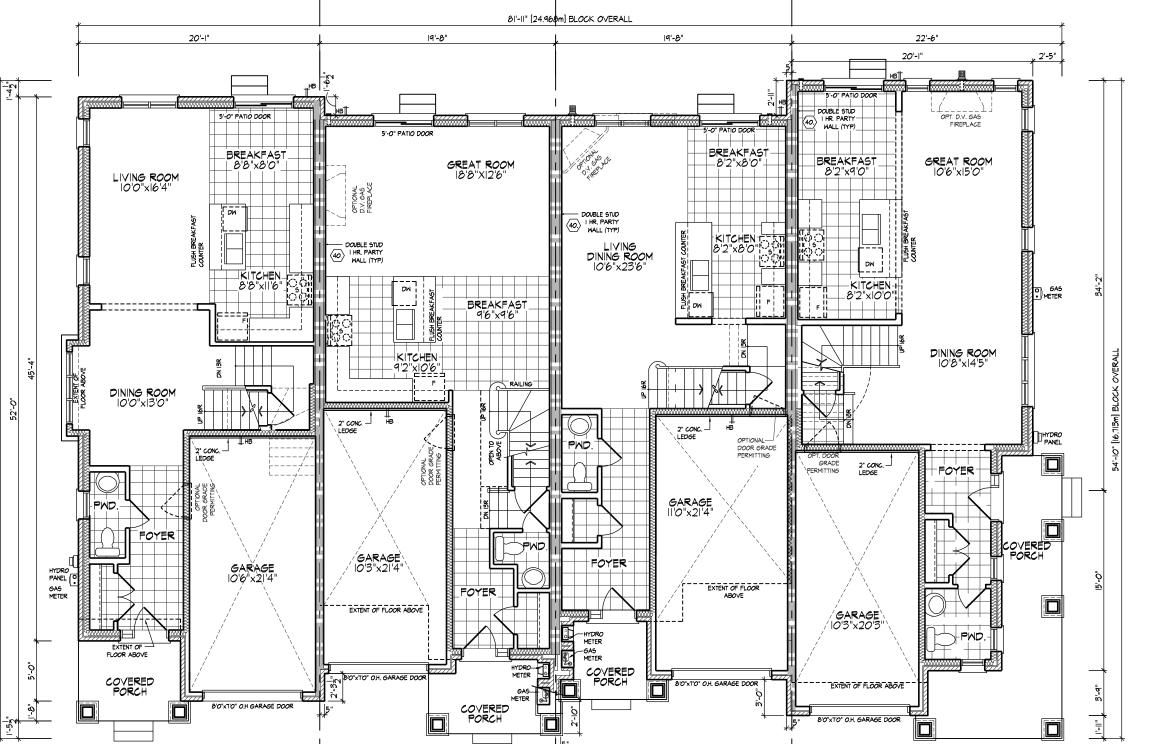
BEDROOM 3 9'2"x9'8"





6-22 UNIT TO3 ELEV. 'A' REV.





6'-2" 2'-7" 2'-5"

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6-20 UNIT TO6 ELEV. 'A' REV

۷.	-	2015.03.17	KC.
1.	ISSUED FOR CLIENT REVIEW .	2015.02.19	VS
NO.	DESCRIPTION	YYYY.MM.DD	BY
RE	VISIONS		
	DERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND H THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNE		SAND
QUALIF	ICATION INFORMATION		
VIJAY	/ SHIVPAUL		29444
NAME REGIST	SIGNATURE RATION INFORMATION		BCIN
HUNT	DESIGN ASSOCIATES INC.		19695
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HUNTUU
DESIGN ASSOCIATES INC.
www.huntdesign.ca
966 WOODBINE AVE, MARKHAM, ON L3R 05.737.5133 // 416.410.7374 F 905.737.7326 email: hdai@huntdesi

ESQUIRE HOMES - 212043 TAUNTON ROAD, AJAX, ON.

BUILDING AREA

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING

CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PE O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.

INCLUDING PORCHES

SECTION

LOT(S) 20-23

LOTS(S) ###

LOT(S) ###

GENERAL NOTES

INFORMATION AND VERIFICATION.

DETAILS AND HANGER SIZES.

ARE THE PROPERTY OF H.D.A.I..

LEGEND

 $^{
ightarrow}$ veneer on Sides.

 $^{
ightarrow}$ indicated.

² ROOF PLAN.

. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.1 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS

DRAWINGS AND SITEPLAN FOR ADDITIONAL

3. REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION

4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE

PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND

5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF

GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE

PROJECTION ON ANOTHER BUILDING ON THE SAME

POURED IN PLACE STEPS WITH MASONRY

DROP OR RAISE BANDING BY AMOUNT

ADDED CAMBERED HEADERS.

FOYER SUNKEN AS INDICATED

WALL TYPE LEGEND

FRR LINE TYPE

DETAILS

8'-0" X 8'-0" GARAGE DOORS.

ADD BANDING AND/OR TRIM AS INDICATED.

DROPPED OR RAISED SOFFIT AS INDICATED.

ADJUSTED ROOF OVERHANG AS INDICATED ON

PROVIDE GUARD PER CONSTRUCTION NOTE 11

45 MIN SECTION 1, 2 & 3

60 MIN SECTION 8 (BLOCK) SECTION 9 (WOOD STUD) 120 MIN SECTION 10

01.1-1 MASONRY VENEER, 2"x6" STUDS, 2 STOREY WALL SECTION 01.1-2 MASONRY VENEER, 2"x6" STUDS, 2 STOREY AT GARAGE WALL SECTION 01.1-3 MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION

01.9-1 TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 2"X4" DOUBLE STU

02.9-2 TYPICAL 1 HR PARTY WALL SECTION, PERPENDICULAR ROOF TRUSSES, 2'X4" DOUBLE STUD

03.9-3 TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 2'X4' DOUBLE STUDS AT PAIRED GAR 04.9-4 TYP.STUD PARTY WALL SECTION AT U/S OF GAR. CEILING SPACE

05.9-5 1 HR DOUBLE STUD PARTY WALL, BRICK VENEER, FLUSH UNIT 06.9-5 1 HR DOUBLE STUD PARTY WALL, BRICK VENEER, STAGGERED UNIT 11.9-6 TYP. R.H.S.S. AT PARTY WALL RECESSED CONDITION-DOUBLE STUD

12.9-6 TYP. R.H.S.S. AT PARTY WALL FURRED OUT CONDITION-DOUBLE STUD

15.9-7 REQUIRED FIRE STOPPING AT SOFFITS SECTION

02.10-2 TYPICAL 2 HR FIREWALL AT VARIED FLOOR LEVELS

01.10-1 TYPICAL 2 HR FIREWALL

REVISED AS PER CITY COMMENTS

REVISED AS PER CLIENT COMMENTS

ISSUED FINAL

TITLE

PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE

4089.49 sq ft 379.93 sq m

BUILDING AREA

4089.49 sq ft

379.93 sq m 0.00 sq ft

0.00 sq m

0.00 sq ft 0.00 sq m

BLOCK 6 LOTS 20 to 23

PLAN & ROOF REV.2016.02.25 1/8"=1'-0"

13.9-7 1 HR DOUBLE STUD PARTY WALL @ GARAGE, 45 MIN FIRE RATING, BRICK VENEE 14.9-7 1 HR DOUBLE STUD PARTY WALL, FLUSH AT GARAGE, BRICK VENEER

2016.02.25

2015.06.22

6-22 UNIT TO3 ELEV. 'A' REV.

6-21 UNIT TO2 ELEV. 'A'

81'-11" [24.968m] BLOCK OVERALL

ROOF BELOW

DOUBLE STUD — I HR. PARTY WALL (TYP) 40

6-20 UNIT TO6 ELEV. 'A' REV

BEDROOM 3 9'0"x||'0"

6'-2" 2'-7" 2'-5"

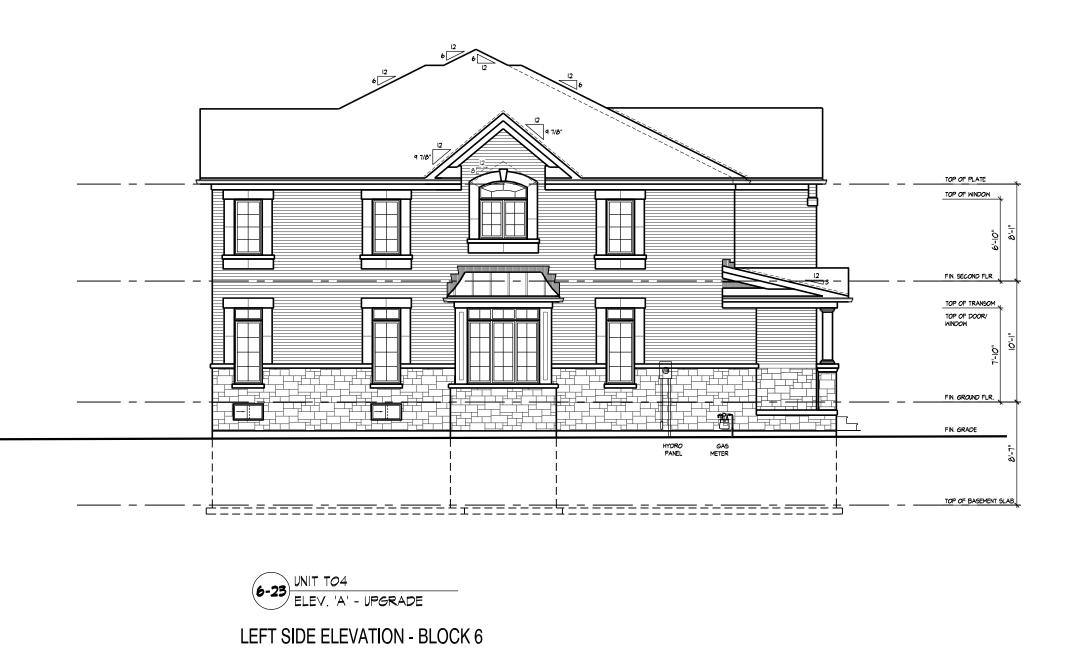
SECOND FLOOR PLAN - BLOCK 6

BEDROOM 2 8'4"x|2'2"

MASTER BEDROOM |0'0"x|5'8" |x|2'2"

BEDROOM 3 9'0"x10'0"

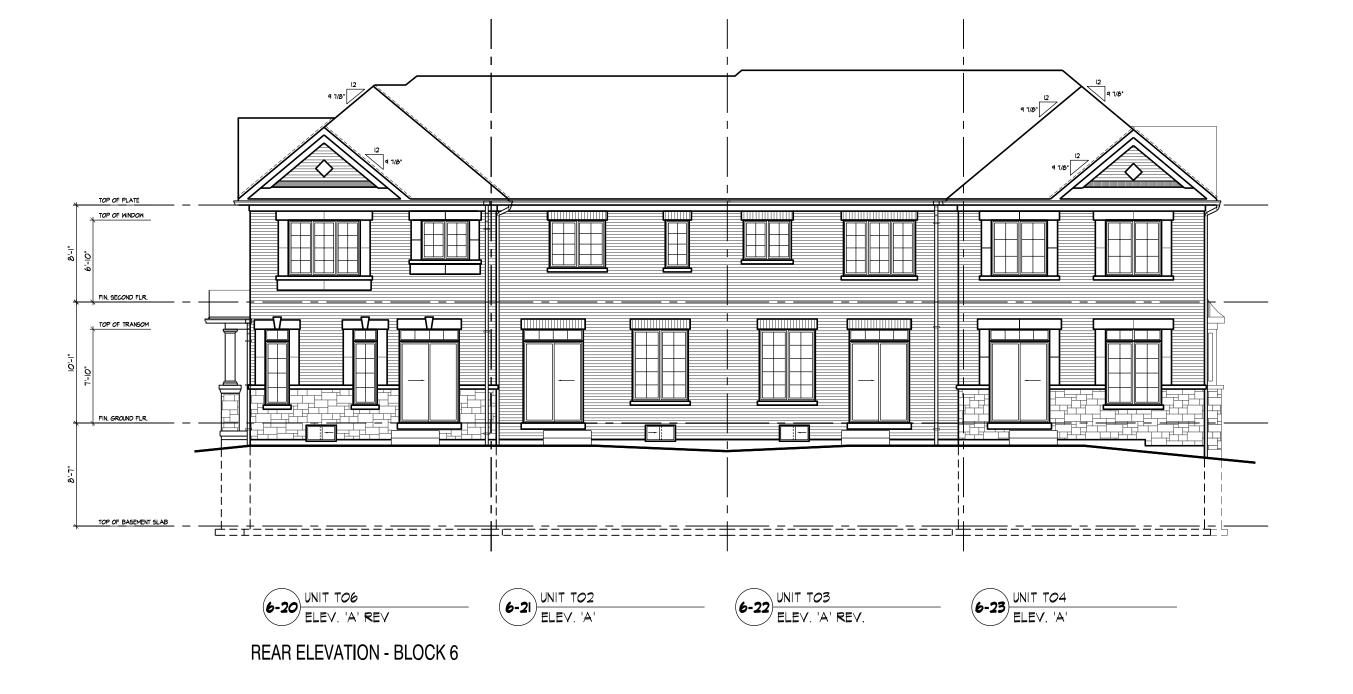
GROUND FLOOR PLAN - BLOCK 6







RIGHT SIDE ELEVATION - BLOCK 6



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BUILDING AREA 4089.49 sq ft 379.93 sq m INCLUDING PORCHES A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m2 (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2 IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE) BUILDING AREA CALCULATION FOR FIREWALLS AS PE O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10. SECTION **BUILDING AREA** 4089.49 sq ft LOT(S) 20-23 379.93 sq m 0.00 sq ft LOTS(S) ### 0.00 sq m 0.00 sq ft 0.00 sq m LOT(S) ###

GENERAL NOTES

. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.1 2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.

3. REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..

5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

LEGEND

POURED IN PLACE STEPS WITH MASONRY $^{
ightarrow}$ veneer on Sides.

DROP OR RAISE BANDING BY AMOUNT $^{
ightarrow}$ indicated.

ADD BANDING AND/OR TRIM AS INDICATED.

ADDED CAMBERED HEADERS.

8'-0" X 8'-0" GARAGE DOORS.

DROPPED OR RAISED SOFFIT AS INDICATED. ADJUSTED ROOF OVERHANG AS INDICATED ON

 $^{
ightarrow}$ ROOF PLAN.

PROVIDE GUARD PER CONSTRUCTION NOTE 11

FOYER SUNKEN AS INDICATED

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN		SECTION 10

DETAILS TITLE

01.1-1 MASONRY VENEER, 2"x6" STUDS, 2 STOREY WALL SECTION 01.1-2 MASONRY VENEER, 2"x6" STUDS, 2 STOREY AT GARAGE WALL SECTION 01.1-3 MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION

01.9-1 TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 2"X4" DOUBLE STU 02.9-2 TYPICAL 1 HR PARTY WALL SECTION, PERPENDICULAR ROOF TRUSSES, 2'X4" DOUBLE STUD

O3.9-3 TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 2 X4 DOUBLE STUDS AT PAIRED GA 04.9-4 TYP.STUD PARTY WALL SECTION AT U/S OF GAR. CEILING SPACE 05.9-5 1 HR DOUBLE STUD PARTY WALL, BRICK VENEER, FLUSH UNIT

06.9-5 1 HR DOUBLE STUD PARTY WALL, BRICK VENEER, STAGGERED UNIT 11.9-6 TYP. R.H.S.S. AT PARTY WALL RECESSED CONDITION-DOUBLE STU

12.9-6 TYP. R.H.S.S. AT PARTY WALL FURRED OUT CONDITION-DOUBLE STUI

13.9-7 1 HR DOUBLE STUD PARTY WALL @ GARAGE, 45 MIN FIRE RATING, BRICK VENE 14.9-7 1 HR DOUBLE STUD PARTY WALL, FLUSH AT GARAGE, BRICK VENEER

15.9-7 REQUIRED FIRE STOPPING AT SOFFITS SECTION 01.10-1 TYPICAL 2 HR FIREWALL 02.10-2 TYPICAL 2 HR FIREWALL AT VARIED FLOOR LEVELS

5.		•	
4.			
3.	ISSUED FINAL .	2015.06.22	RC
2.	REVISED AS PER CLIENT COMMENTS -	2015.03.17	RC
1.	ISSUED FOR CLIENT REVIEW .	2015.02.19	VS
NO.	DESCRIPTION	YYYY.MM.DD	В

IUNT DESIGN ASSOCIATES INC



ESQUIRE HOMES - 212043 TAUNTON ROAD, AJAX, ON.

BLOCK 6

LOTS 20 to 23 **ELEVATIONS**

REV.2016.02.25