

LOT# 16E See Attached Extras SUTTON

Drywall stage - Inventory home  
updated: 09/3/2024



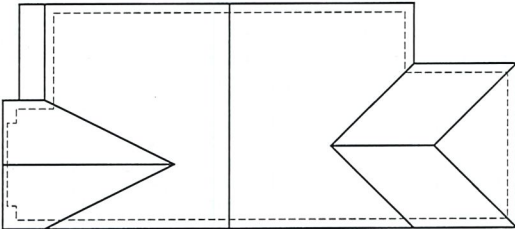


SCHILLER ENGINEERING LTD.  
JOB NO.: 2017SE246  
DATE: 09/30/2022  
GENERAL NOTES:  
[X] STRUCTURAL INFORMATION ONLY  
[X] STEEL BEAMS  
[X] EXTERIOR WALL UNITS  
[X] FOOTING, CONC. WALLS, AND SLABS  
[X] ENGINEERED FLOOR DESIGNS AND  
[X] ROOF TRUSSES CERTIFIED BY OTHERS\*

\* ALL WORK SHALL COMPLY TO THE ONTARIO BUILDING CODE AND THE PROVISIONS THEREIN

\*\*\* NO STRUCTURAL PLASTIC\*\*\*  
GUARD COMPONENTS  
PERMITTED  
ALL GUARDS TO COMPLY WITH O.B.C. 9.8.8.  
NOTE: GUARD PRODUCTS ARE AVAILABLE AND ADVERTISED AS "APPROVED" THAT DO NOT COMPLY WITH THE ONTARIO BUILDING CODE. CHECK WITH YOUR INSPECTOR FIRST!

### ROOF PLAN 'A'

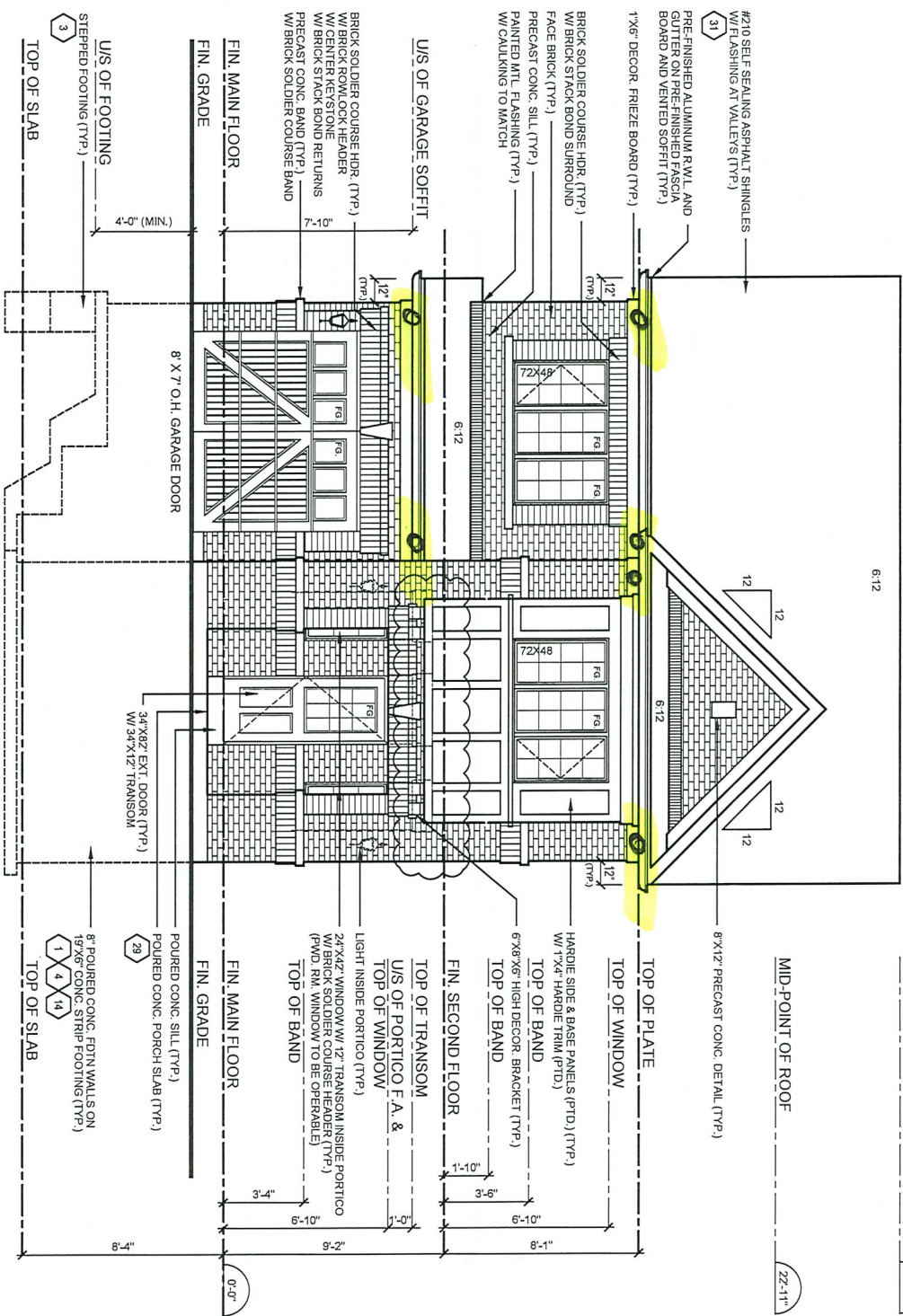


NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE O.B.C. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPT @ 24" O.C. WITH A 2"x4" SPT VERTICAL POST TO THE TRUSS UNDER. AT ROOF CROSS OVERS, THE TRUSS UNDER THE ROOF CROSS OVER SHALL BE BRACED TO THE TRUSS ABOVE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET-SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

### FRONT ELEVATION 'A'



6- EXTERIOR PORTS





LOT- 16E

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

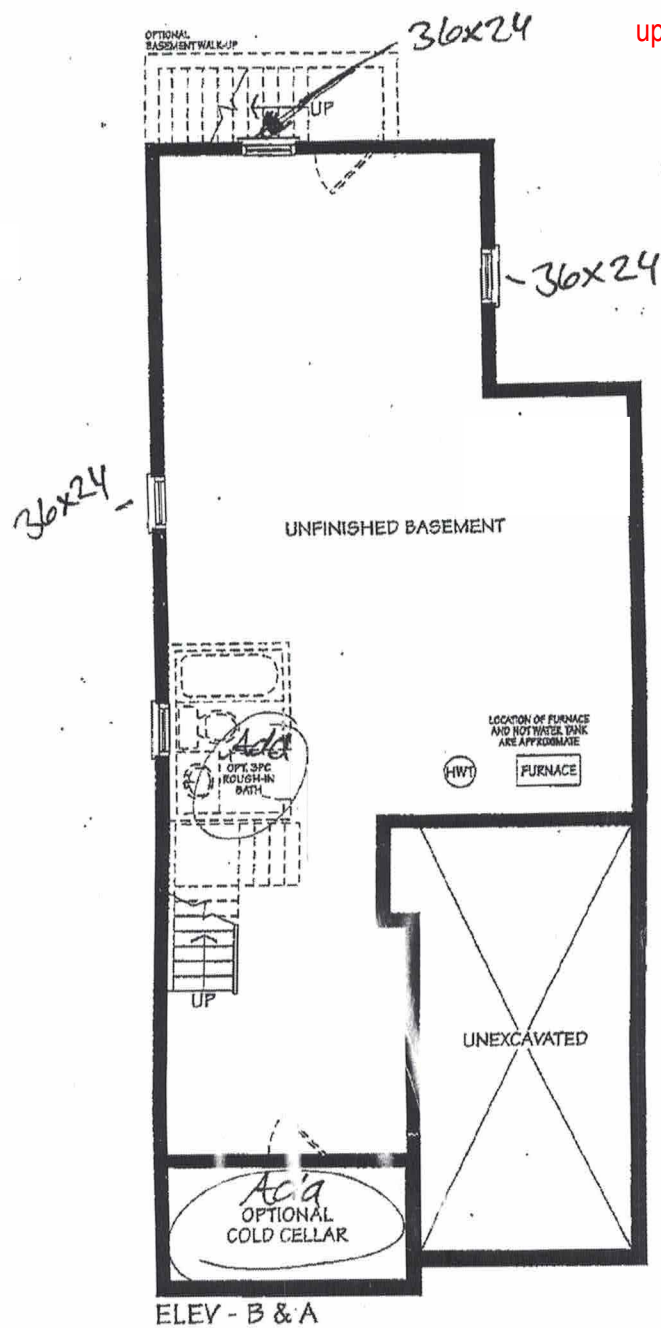
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of SUTTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: OCT 03, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

RECEIVED  
BY THE TOWN OF GEORGINA  
Jan 25, 2023  
BUILDING DIVISION

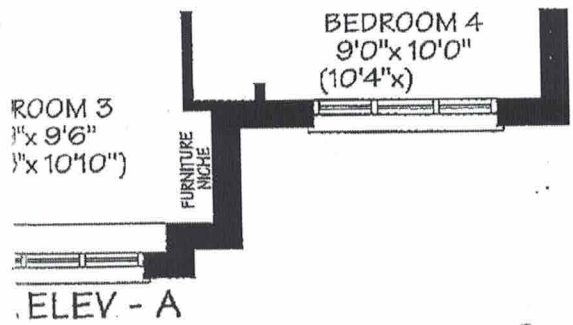
 RN design Imagine • Inspire • Create TEL.(905)738-3177 FAX.(905)738-5449	MODEL	30-4	No.	ISSUED OR REVISION COMMENTS	DATE	DWN	CHK	SCALE	
	CLIENT	 Delpark HOMES	 CEDAR Ridge IN SUTTON	1.	ISSUED FOR CLIENT REVIEW	JUL. 12/13	KK	CR	3/16" = 1'0"
				2.	TRUSS COORDINATION	APR. 1/14	FE	DJH	PROJECT NUMBER
				3.	REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	APR. 08/14	RPA	DJH	22003
				4.	REV. DEPTH OF CANT. BOX-OUT	FEB. 29/16	DJH	DJH	PAGE
				5.	ISSUED FOR PERMIT	FEB 28/18	PV	DJH	A5
THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD. REVISED: JANUARY 2020 - RN STAFF IN ACCORDANCE TO SB-12 COMPLIANCE PACKAGE A1			I, DANIEL HANNINEN, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASS/CATEGORIES.			QUALIFIED DESIGNER BCIN: 20888 FIRM BCIN: 26995 DATE: 			





A/C unit

BASEMENT



# LOT- 16 E

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- - POTLIGHT
- 1ST FLOOR
- SMOOTH CEILINGS

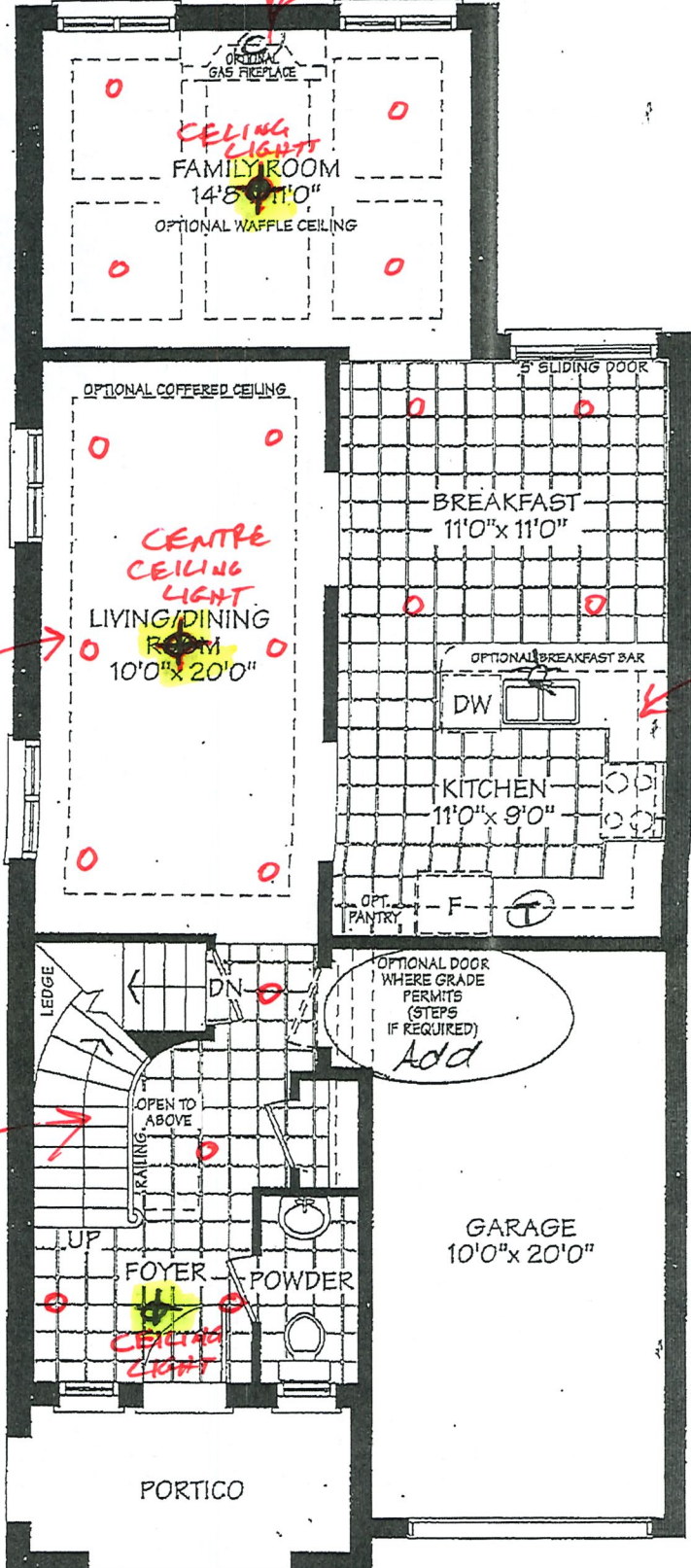
ADD GAS FIREPLACE  
+ MANTLE

ADD  
COFFERED  
CEILING

36" UPPER  
CABINETS

ADD OAK  
STAIRS

R/I water line



ELEV - B & A

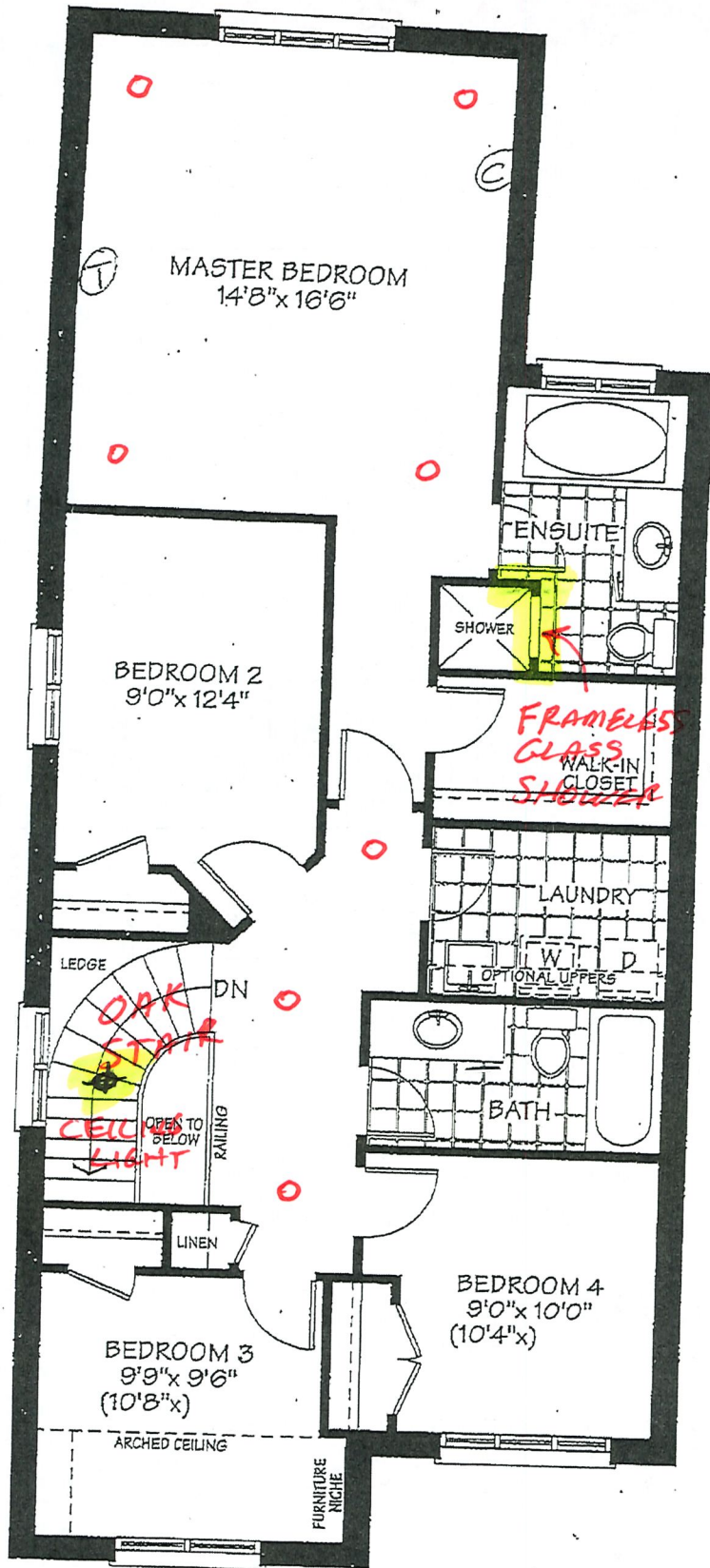
- ① Telephone R/I
- ② Cable R/I
- ⊕ Ceiling box

MAIN FLOOR

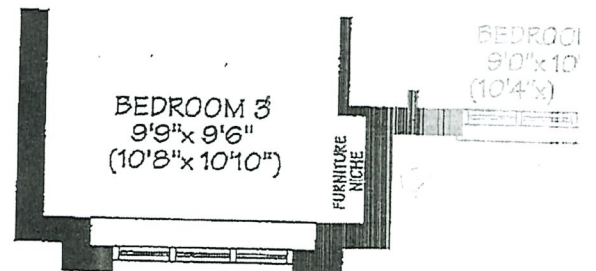
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ELEV - B



PARTIAL ELEV - A

## SECOND FLOOR