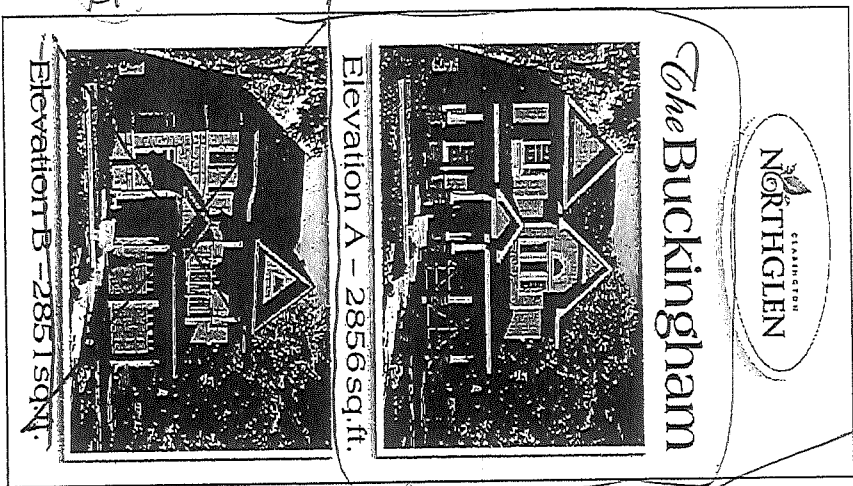


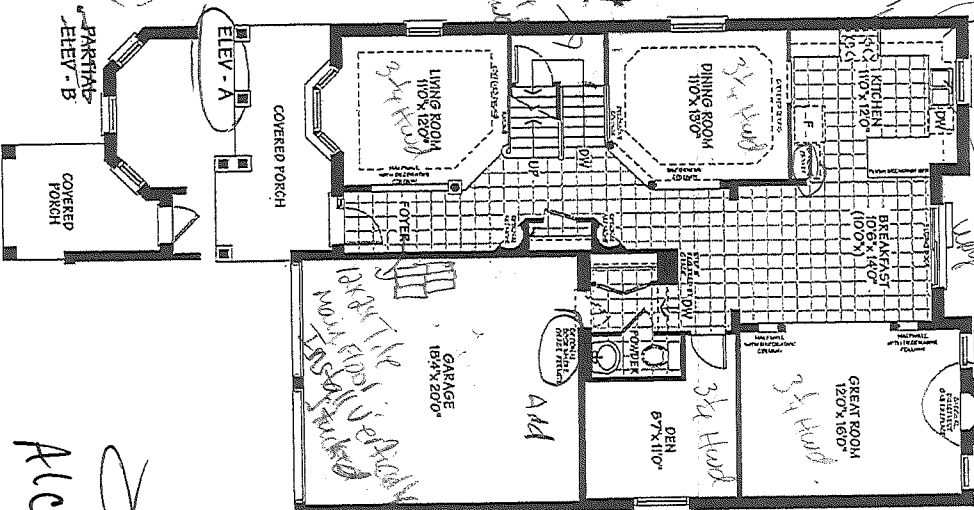


Model 45-4

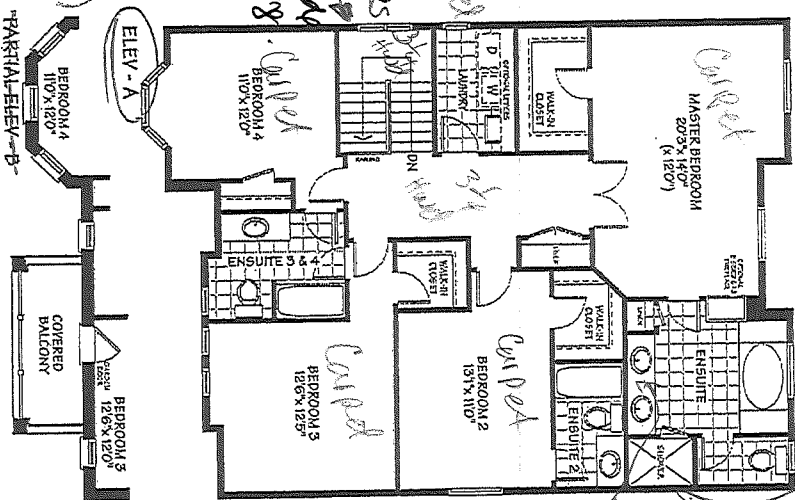
DEL PARK

H. G. M. E. S.

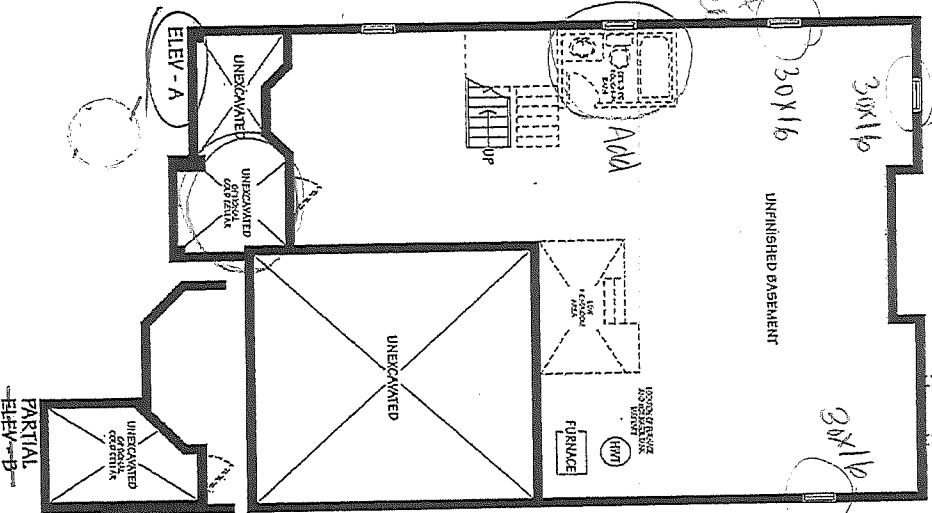
VISIONS AND SPECIFICATIONS ARE SUBJECT TO CHANGES WITHOUT NOTICE. ALL FLOOR SPACES AND ANY OTHER DIMENSIONS SHOWN ARE APPROXIMATE. LANDSCAPE DESIGN ARE AN ARTIST CONCEPT. E&E



MAIN FLOOR



SECOND FLOOR



BASEMENT

Deep Fridge upper with glass doors

Valance with glass doors
32\"/>

Lot 198 B3

Inventory here

Upgrade wall tile
Upgrade Master Bedroom glass doors and upgrade

Revised ~~May 14, 2019~~
May 14, 2019

John G. Williams Limited, Architects

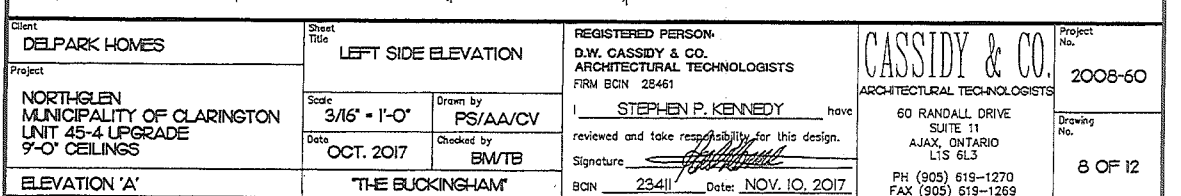
ARCHIEBOLD REVEREND, APR 18, 1881.

Lot 198
All Black



Client DELPARK HOMES	Sheet Title FRONT ELEVATION	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FX (905) 619-1269	Project No. 2008-60
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 45-4 UPGRADE 9'-0" CEILINGS	Scale 3/16" = 1'-0"	Drawn by PS/AA/CV	I <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design.		Drawing No. 7 OF 12
	Date OCT. 2017	Checked by BM/TB	Signature 		
ELEVATION 'A'	"THE BUCKINGHAM"	BCIN <u>23411</u>	Date NOV. 10, 2017		

John G. Williams Limited, Architects
 2000-10-10-11

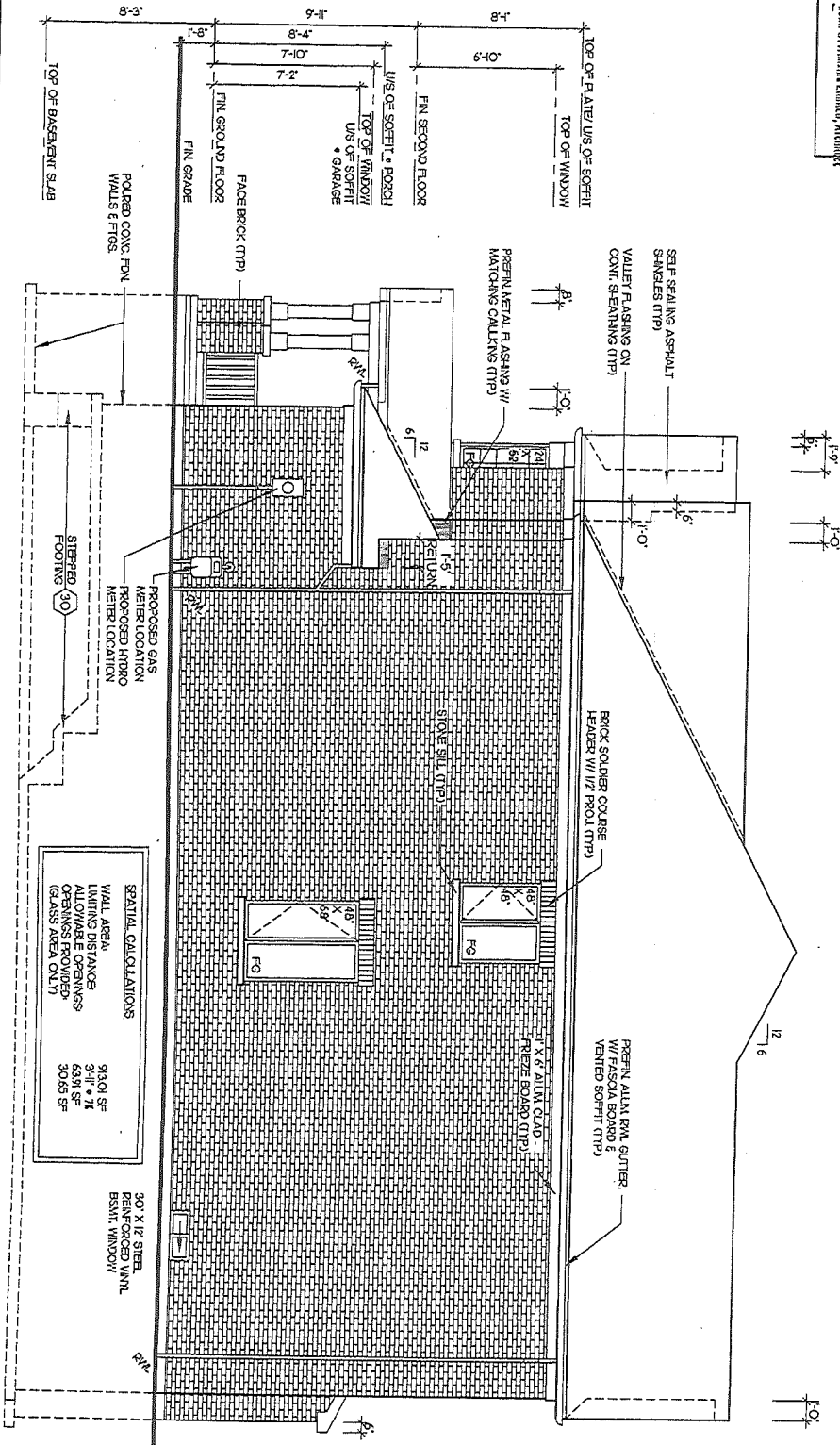


This is a copy of the plans and specifications for the construction of the building shown on these plans. It is not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for the construction of the building or for the safety of the building or for the safety of the people using the building. The Architect is not responsible for the construction of the building or for the safety of the building or for the safety of the people using the building.

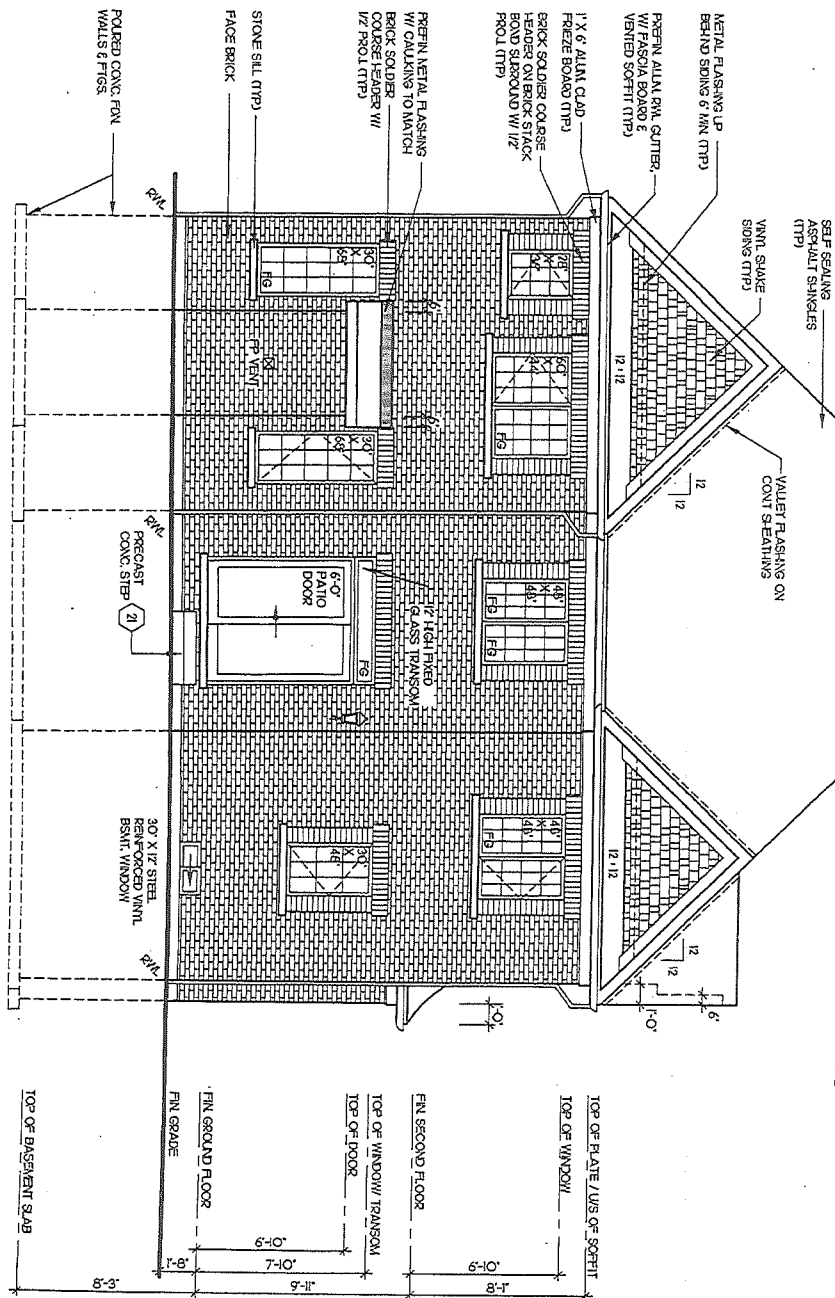
ARCHITECTURAL REVIEW APPROVAL

NOV 17 2017

John G. Williams Limited, Architect



Client DELPARK HOMES	Sheet Title RIGHT SIDE ELEVATION	REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	Project No. 2008-60
Project NORTHGLENN MUNICIPALITY OF CLARINGTON UNIT 45-4 UPGRADE 9'-0" CEILINGS	Scale 3/16" = 1'-0" Date OCT. 2017	Drawn by PS/AA/CV Checked by BM/TB Signature <i>[Signature]</i> BCIN 23411 Date: NOV. 10, 2017	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269
ELEVATION 'A'			Drawing No. 9 OF 12



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any building can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of Clarington.

Signed: John G. Williams Ltd., Architect

Date: NOV. 17 2017

Client DELPARK HOMES	Sheet Title REAR ELEVATION	REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	Project No. 2008-60
Project NORTHGLENN MUNICIPALITY OF CLARINGTON UNIT 45-4 UPGRADE 9'-0" CEILINGS	Scale 3/16" = 1'-0" Drawn by PS/AA/CV Date OCT. 2017 Checked by BM/TB	I, STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature <u>[Signature]</u> BCIN 23411 Date NOV. 10, 2017	Drawing No. 10 OF 12
ELEVATION 'A'	THE BUCKINGHAM	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	

OVERALL HANG HEIGHT @ 87" AFF
O = finished end

VFS42

VFS42

13

13 VDF



27" BT 84"

27" BT 84"

24" Deep Upper
with gables

Hand-drawn floor plan of a kitchen layout. The plan includes the following components:

- Top Wall (Left to Right):**
 - W4230
 - W3018
 - W3930
 - WC3330R
- Bottom Wall (Left to Right):**
 - BF42
 - 30" RANGE1
 - BD24
 - BFSC36R
- Right Wall (Top to Bottom):**
 - W2130L
 - BF9L
 - BFSC42
 - 24" DISHW
 - W3330
- Left Wall (Top to Bottom):**
 - 36" REF-2D
 - W3615
 - BF27
 - W3030
- Bottom Wall (Left to Right):**
 - BF21R
 - BFSC48L
- Handwritten Notes:**
 - "24" Deep upper with cabinets" (written vertically on the left side, pointing to the 36" REF-2D and BF27 units).
 - "27" BT 84"
 - "STOP UP HERE" (written vertically on the right side, with an arrow pointing to the 24" DISHW unit).
- Dimensions:**
 - 27" BT 84"

Idler 394



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 25/08/2011
Printed: 08/09/2011

45-4 The Buckingham

All	Drawing #: 1	No Scale
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