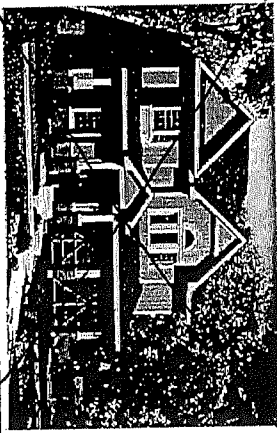
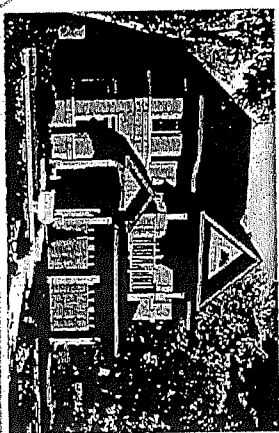


NORTHGLEN

The Buckingham



Elevation A - 2856 sq. ft.



Elevation B - 2851 sq. ft.

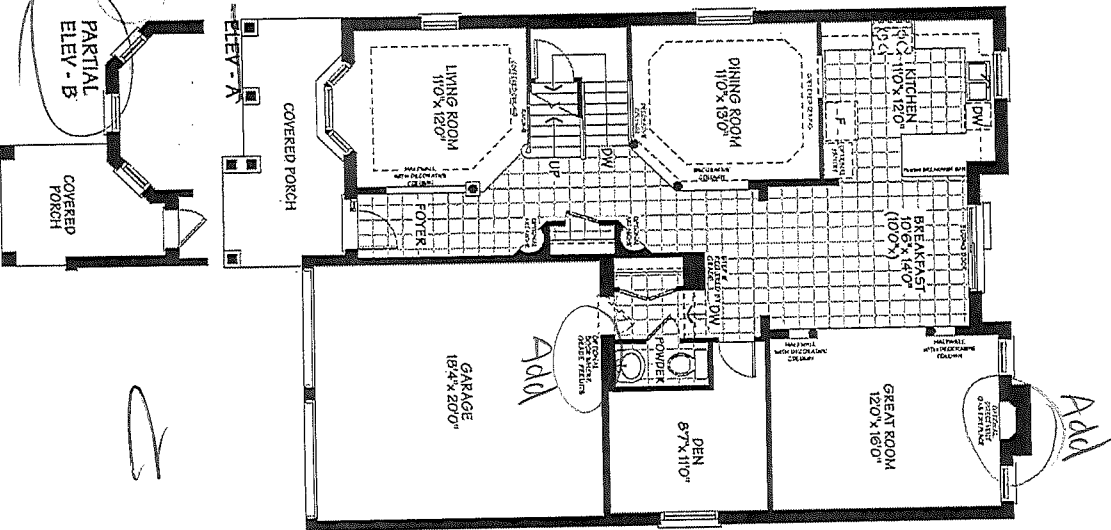
Model 45-4

DEL PARK

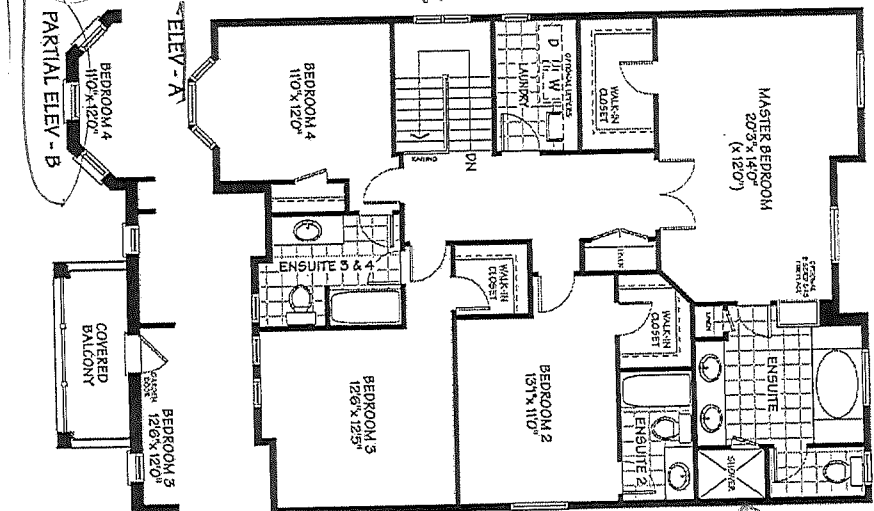
H Q M E S

REVISIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
DIMENSIONS MAY VARY FROM THE STATED FOOTPRINT.
DIMENSIONS ARE AN ARTIST CONCEPT ONLY.

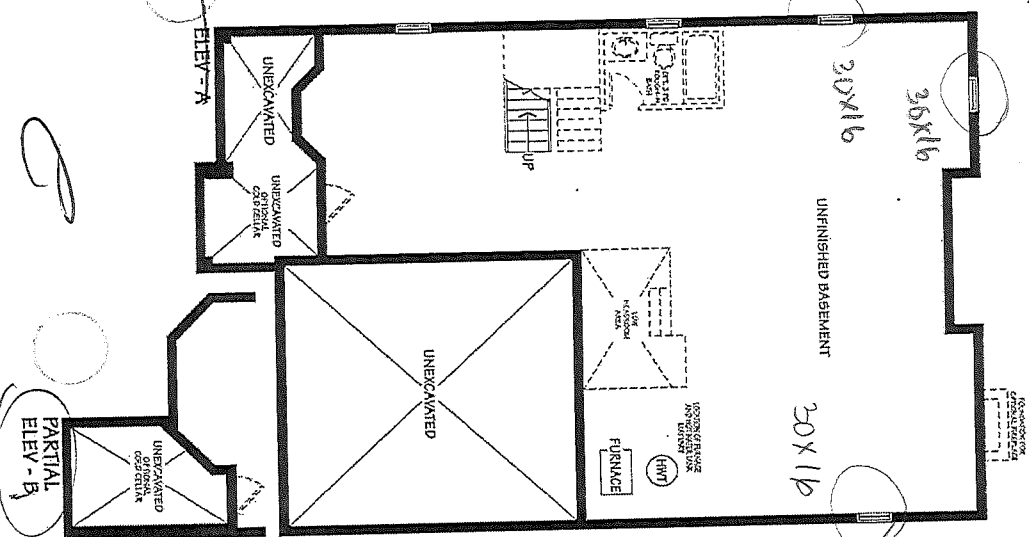
all brick



MAIN FLOOR



SECOND FLOOR



BASEMENT

LOT# 197 ALL BRICK

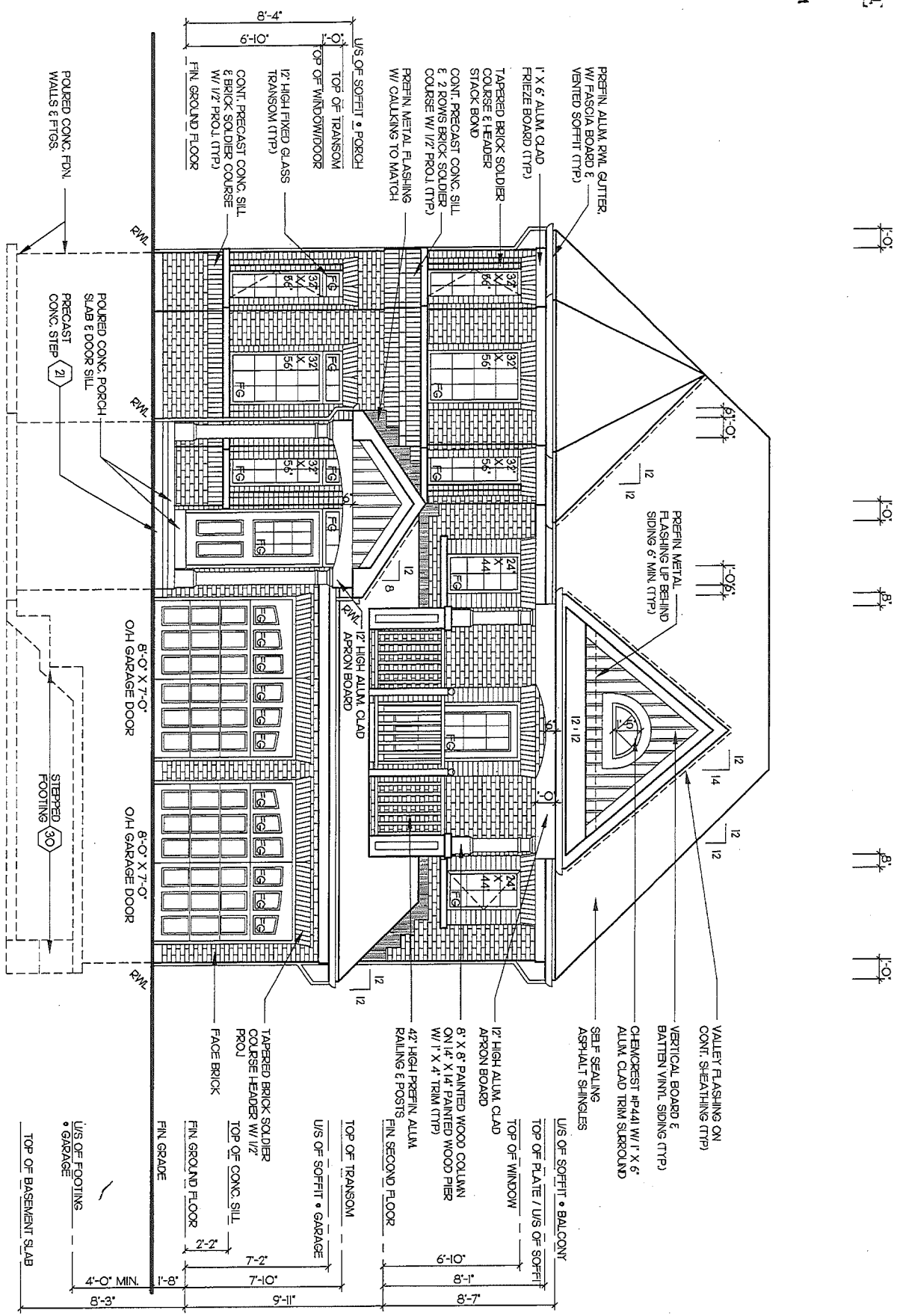
It is the builder's complete responsibility to ensure that all plans are built for approval and that all materials and workmanship conform to the applicable building code and all applicable regulations and requirements including zoning provisions and any provisions of the applicable building code. The Architect is not responsible in any way for examining or approving site (selling) plans or working drawings with respect to any zoning or building code provisions. The builder is responsible for obtaining all necessary permits and ensuring that the house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 17 2017

John G. Williams Limited, Architect



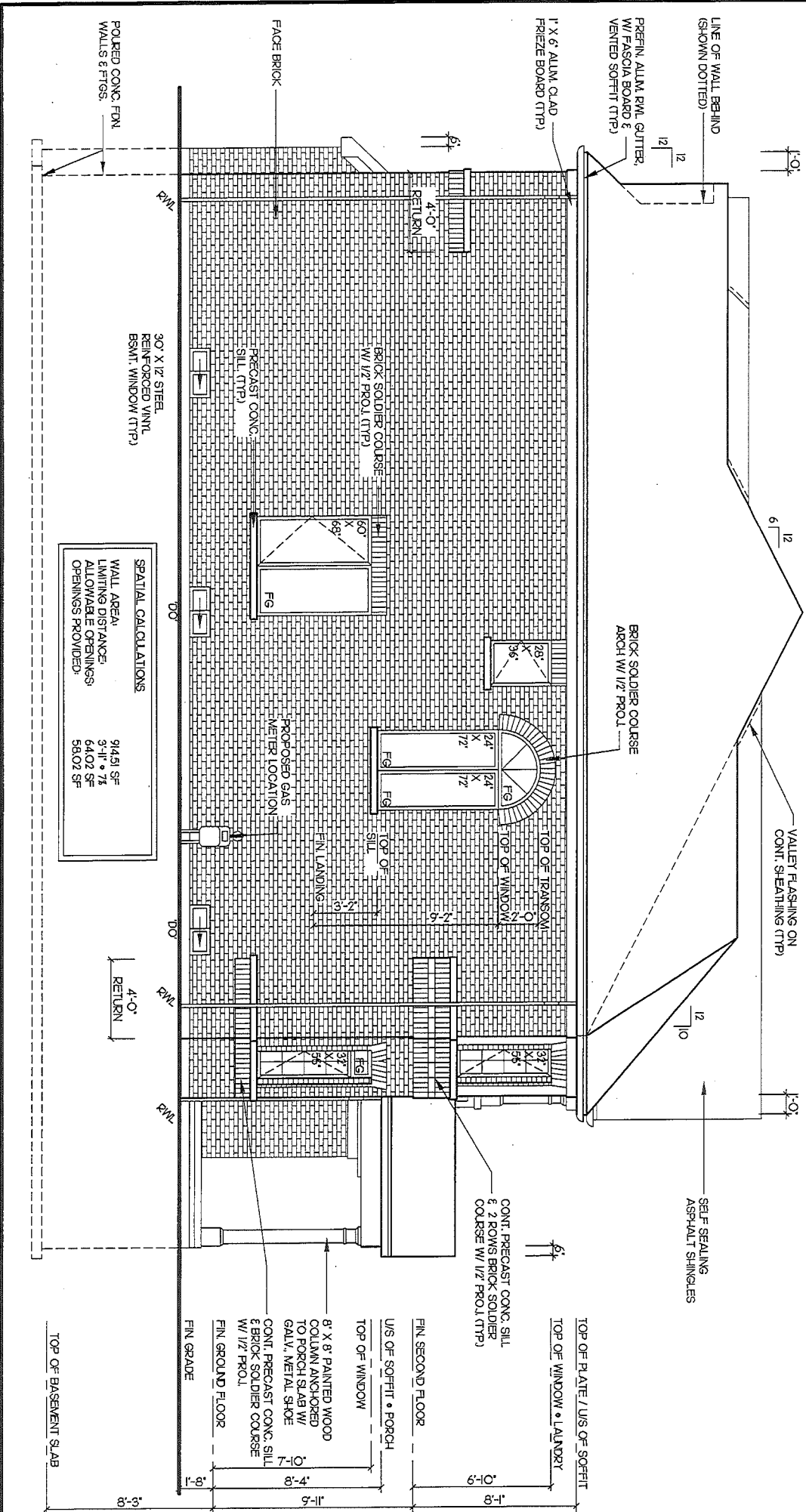
Client DELPARK HOMES	Sheet Title FRONT ELEVATION	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS	Project No. 2008-60
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 45-4 9'-0" CEILINGS	Scale 3/16" = 1'-0" Date DEC. 2012	Drawn by TB Checked by TB	60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Drawing No. 6 OF 11
ELEVATION 'B' - LOT 197 ONLY	"THE BUCKINGHAM"	I, STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature <i>[Signature]</i> BCIN 23411 Date: NOV. 10, 2017		

It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable building codes and regulations, including zoning provisions and any provisions in the subdivision agreement. The contractor shall be responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW APPROVAL

NOV 1 2017

John G. Williams Limited Architect



SPATIAL CALCULATIONS	
WALL AREA	91451 SF
LIMITING DISTANCE	3'-11" • 73'
ALLOWABLE OPENINGS	6402 SF
OPENINGS PROVIDED	5802 SF

Client DELPARK HOMES	Sheet Title LEFT SIDE ELEVATION		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461 I <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design. Signature  BCIN <u>23411</u> Date: <u>NOV. 10, 2017</u>	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Project No. 2008-60
Project NORTHGLENN MUNICIPALITY OF CLARINGTON UNIT 45-4 9'-0" CEILINGS	Scale 3/16" = 1'-0"	Drawn by TB			Drawing No. 7 OF 11
ELEVATION 'B' - LOT 197 ONLY	Date NOV. 2017	Checked by TB			
"THE BUCKINGHAM"					

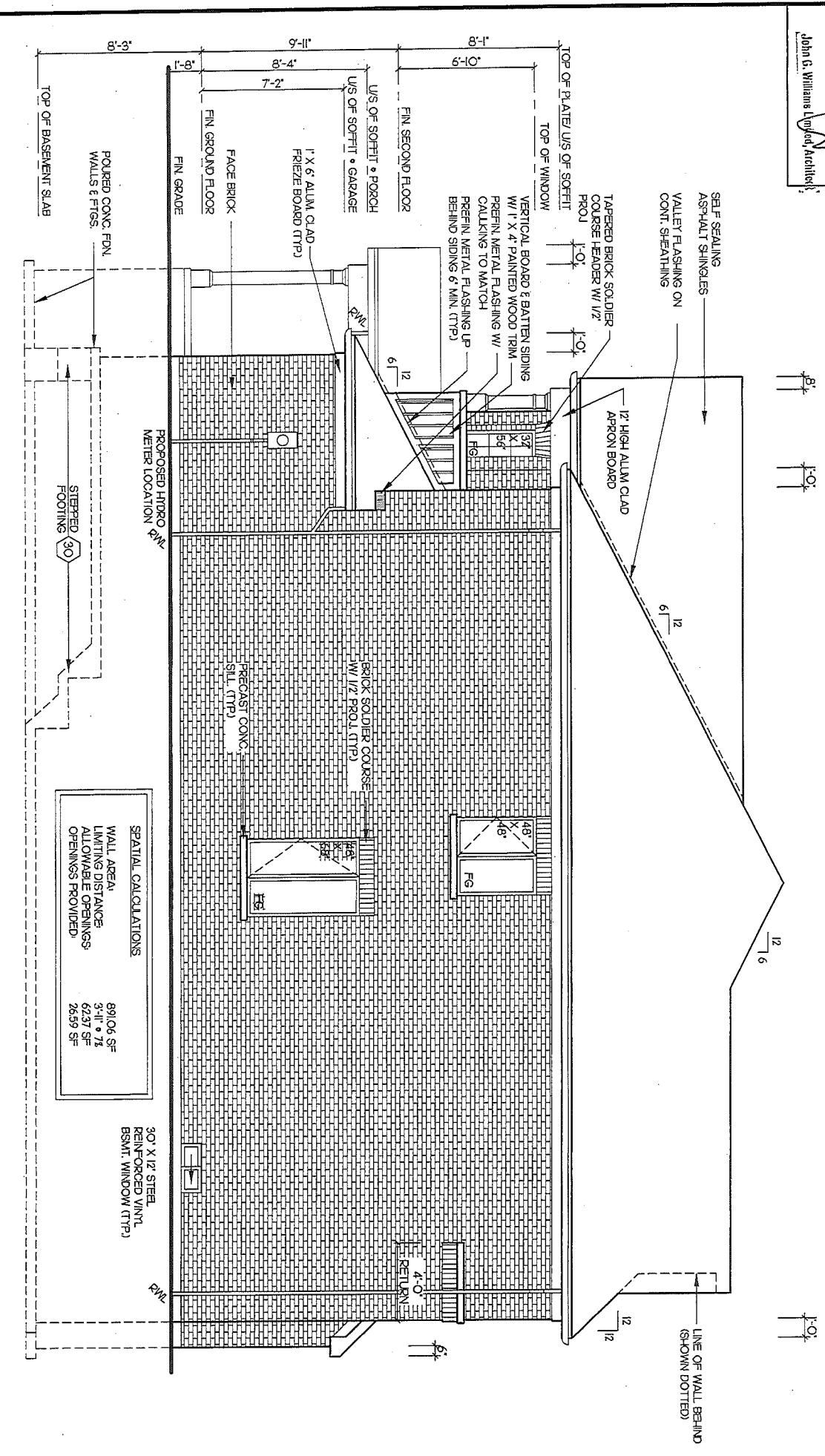
It is the builder's complete responsibility to ensure that the construction complies with all applicable regulations and requirements and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or construction details. The Control Architect's building code or permit matter of that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable regulations and requirements of the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 17 2017

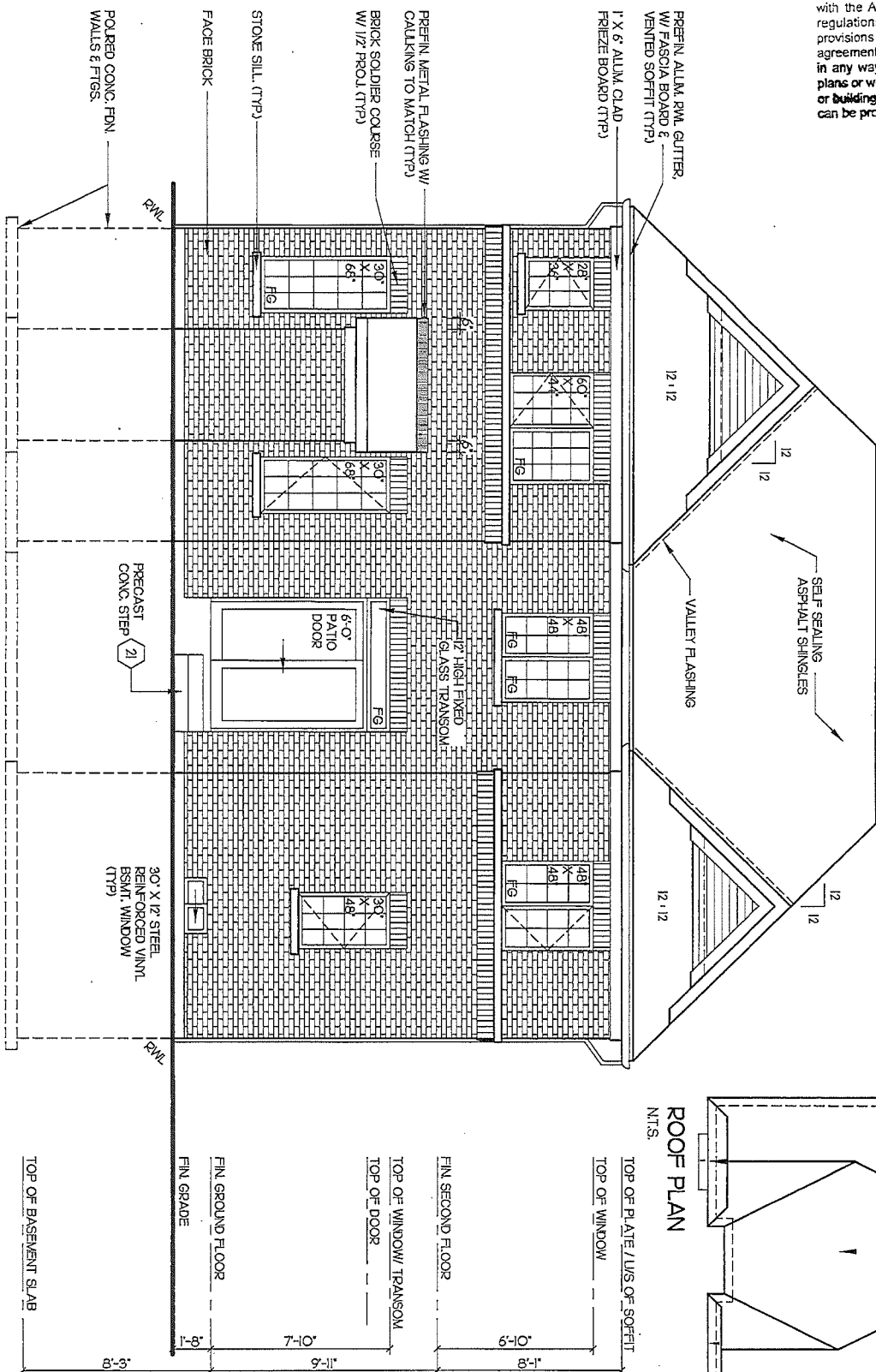
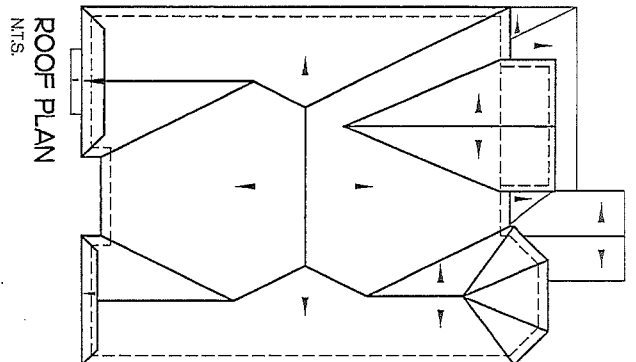
John G. Williams Licensed Architect



SPATIAL CALCULATIONS	
WALL AREA	891.06 SF
LIMITING DISTANCE	3'-11\"
ALLOWABLE OPENINGS	62.37 SF
OPENINGS PROVIDED	26.59 SF

Client DELPARK HOMES	Sheet Title RIGHT SIDE ELEVATION		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Project No. 2008-60
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 45-4 9'-0" CEILINGS	Scale 3/16" = 1'-0"	Drawn by TB	I <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design.			Drawing No. 8 OF 11
	Date NOV. 2017	Checked by TB	Signature <u></u> BCIN <u>23411</u> Date: <u>NOV. 10, 2017</u>			
ELEVATION 'B' - LOT 197 ONLY		"THE BUCKINGHAM"				

Signed: John G. Williams Ltd., Architect
NOV 17 2017
Date: _____



Client DELPARK HOMES	Sheet Title REAR ELEVATION & ROOF PLAN	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 50 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Project No. 2008-60
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 45-4 9'-0" CEILINGS	Scale 3/16" = 1'-0" Drawn by TB Date NOV. 2017 Checked by TB	I <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design. Signature  BCIN <u>23411</u> Date: <u>NOV. 10, 2017</u>		Drawing No. 9 OF 11
ELEVATION 'B' - LOT 197 ONLY	"THE BUCKINGHAM"			