

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVEWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST. 3.0m
KIT-EX-NOTE-2020.dwg

24"x8" THICK
CONC. FOOTING
UNDER PARTYWALL

SOIL TO HAVE MIN
ALLOWABLE
BEARING CAPACITY
OF 150KPa (TYP)

22"x6" THICK
CONC. FOOTING
UNDER EXTERIOR
WALL (TYP)

Finished
basements
require separate
permits.



BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

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AREA CALCULATIONS	
	ELEV. A
GROUND FLOOR AREA	1109 SF
SECOND FLOOR AREA	1325 SF
SUBTOTAL	2434 SF
DEDUCT ALL OPENINGS	0 SF
TOTAL NET AREA	2434 SF
	226.12 m2
FINISHED BSMT AREA	0 SF
COVERAGE W/OUT PORCH	1333 SF
	123.84 m2
COVERAGE W/ PORCH	1490 SF
	138.42 m2

BASEMENT PLAN 'A'

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ENGINEERED FLOOR SUBFLOORS
ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR FOR ENGINEERED JOIST ONLY.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	UPDATED TO 2023 OBC	MAR 21/23	NS	name
4	REVISED AS PER ENG'S COMMENTS	JUN 25-18	SB	registration information
3	REVISED AS PER FLOOR TRUSS COMMENTS.	MAY 22/18	WT	VA3 Design Inc. 42658
2	REVISED AS PER ROOF TRUSS COMMENTS.	MAY 18/18	WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	.	.	
no.	description	date	by	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

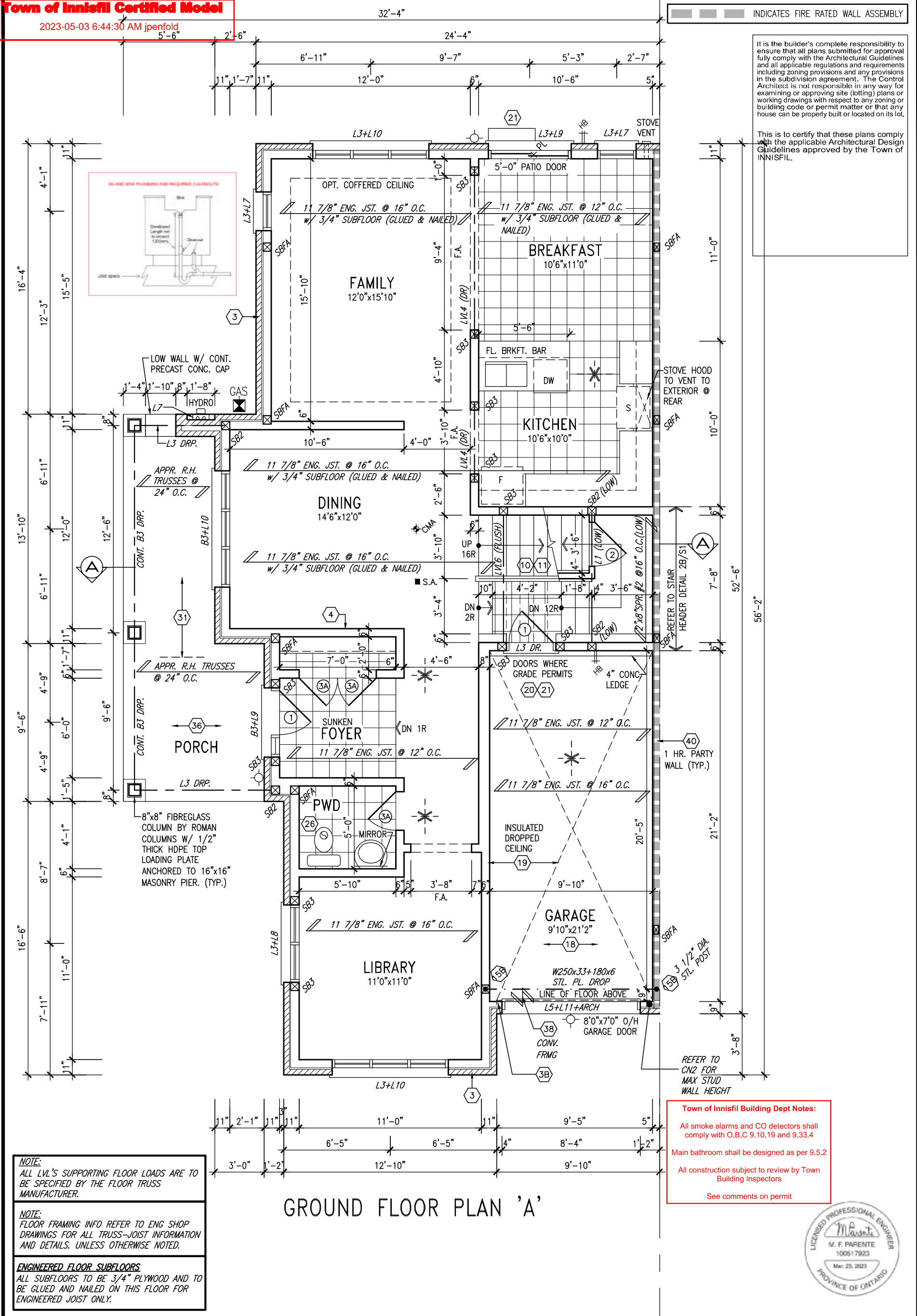
BAYVIEW WELLINGTON

**TH-8C
CRANE 8**

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	DECEMBER, 2017	checked by	scale	BASEMENT PLAN 'A'	drawing no.
drawn by	CL		3/16" = 1'-0"	file name	1A
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\TH-1-0BC 2023 CURRENT\13049-TH-8C.dwg - Thu - Mar 23 2023 - 12:57 PM					

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8	.	.	.	qualification information					
7	.	.	.	Wellington Jno-Baptiste 25591 signature					
6	.	.	.	name registration information VA3 Design Inc. 42658					
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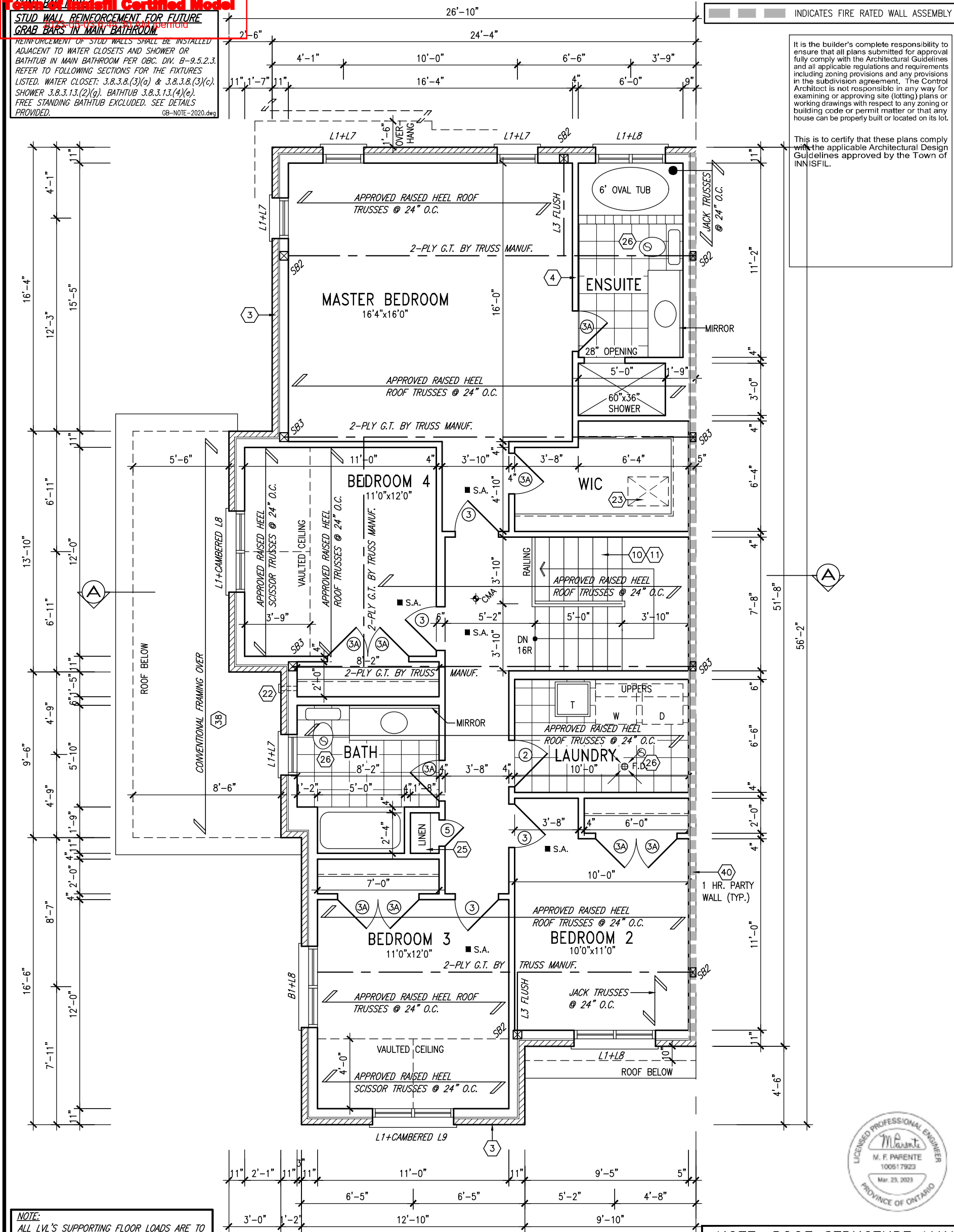
Town of Innisfil Certified Model

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.
GB-NOTE-2020.dwg

INDICATES FIRE RATED WALL ASSEMBLY

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NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

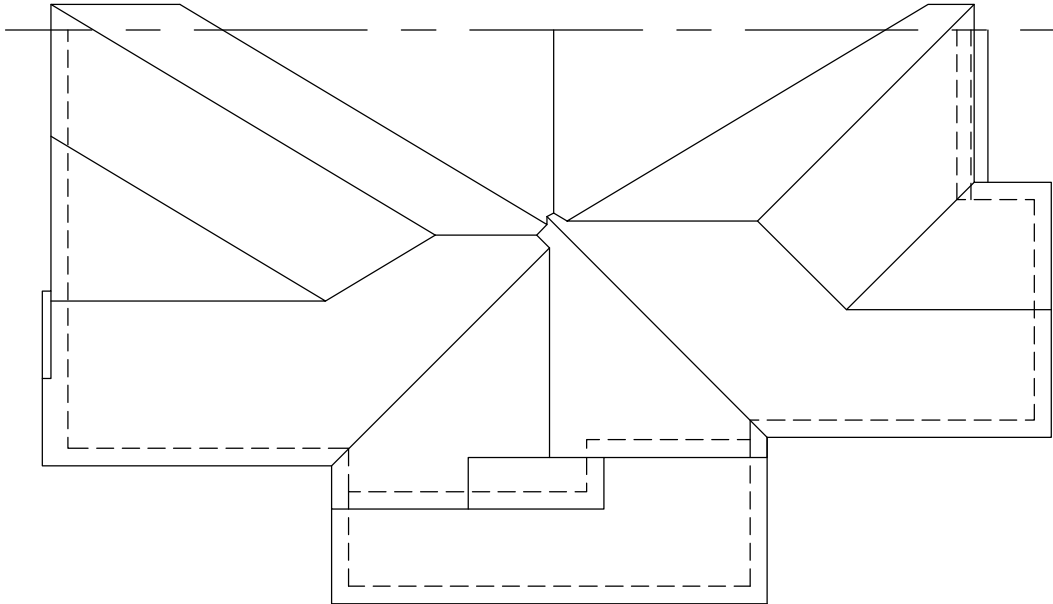
SECOND FLOOR PLAN 'A'

NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE

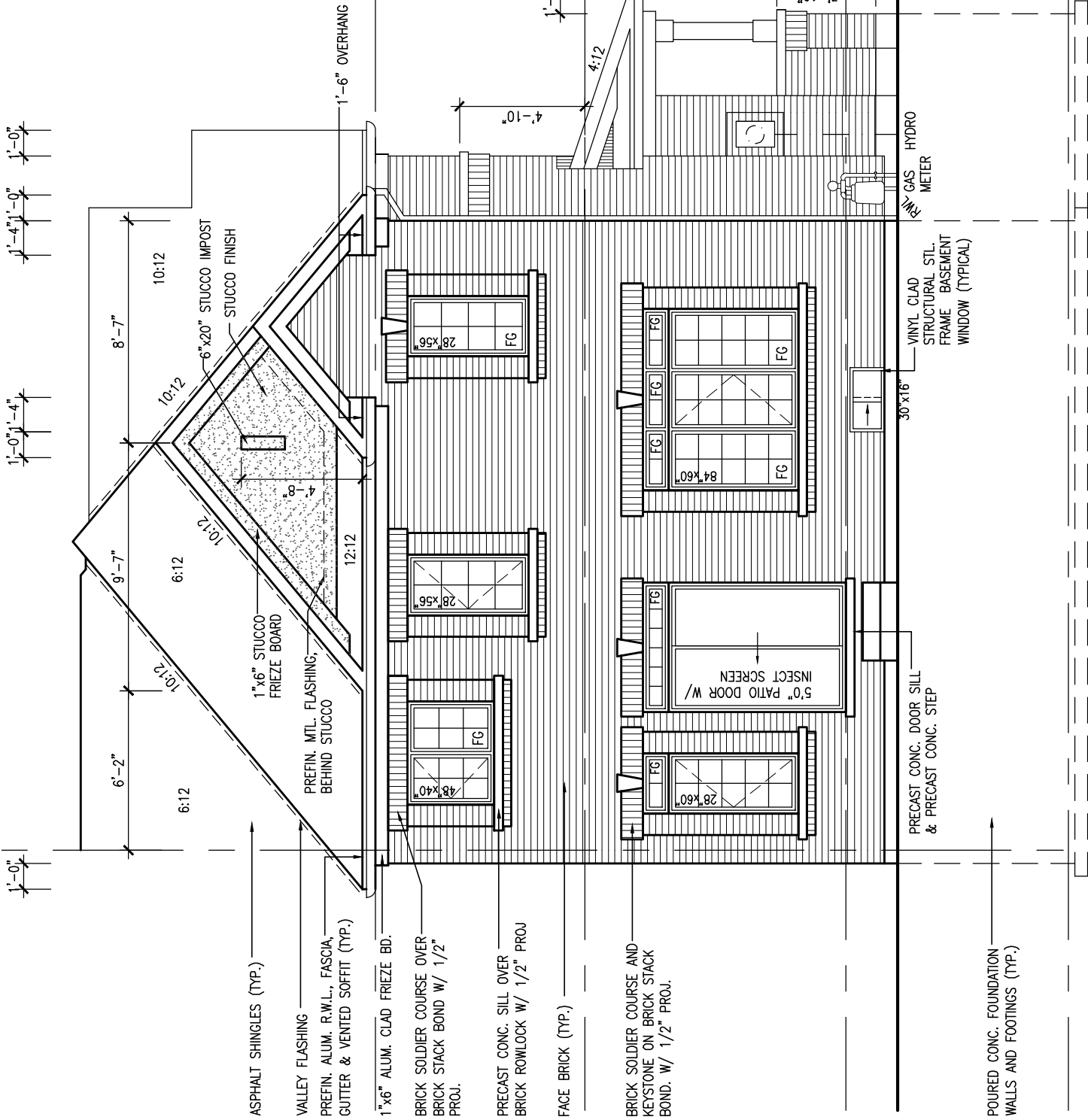
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no. description	date	by	

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qualification information
Wellington Jno-Baptiste 25591
signature
name
registration information
VA3 Design Inc. 42658
BCIN
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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M3H 1S



ROOF PLAN 'A'



REAR ELEVATION 'A'

ALL WINDOWS TO HAVE BRICK SOLDIER UNDER PRECAST CONC. SILL (IF POSSIBLE) FOR BLOCK 145 ONLY



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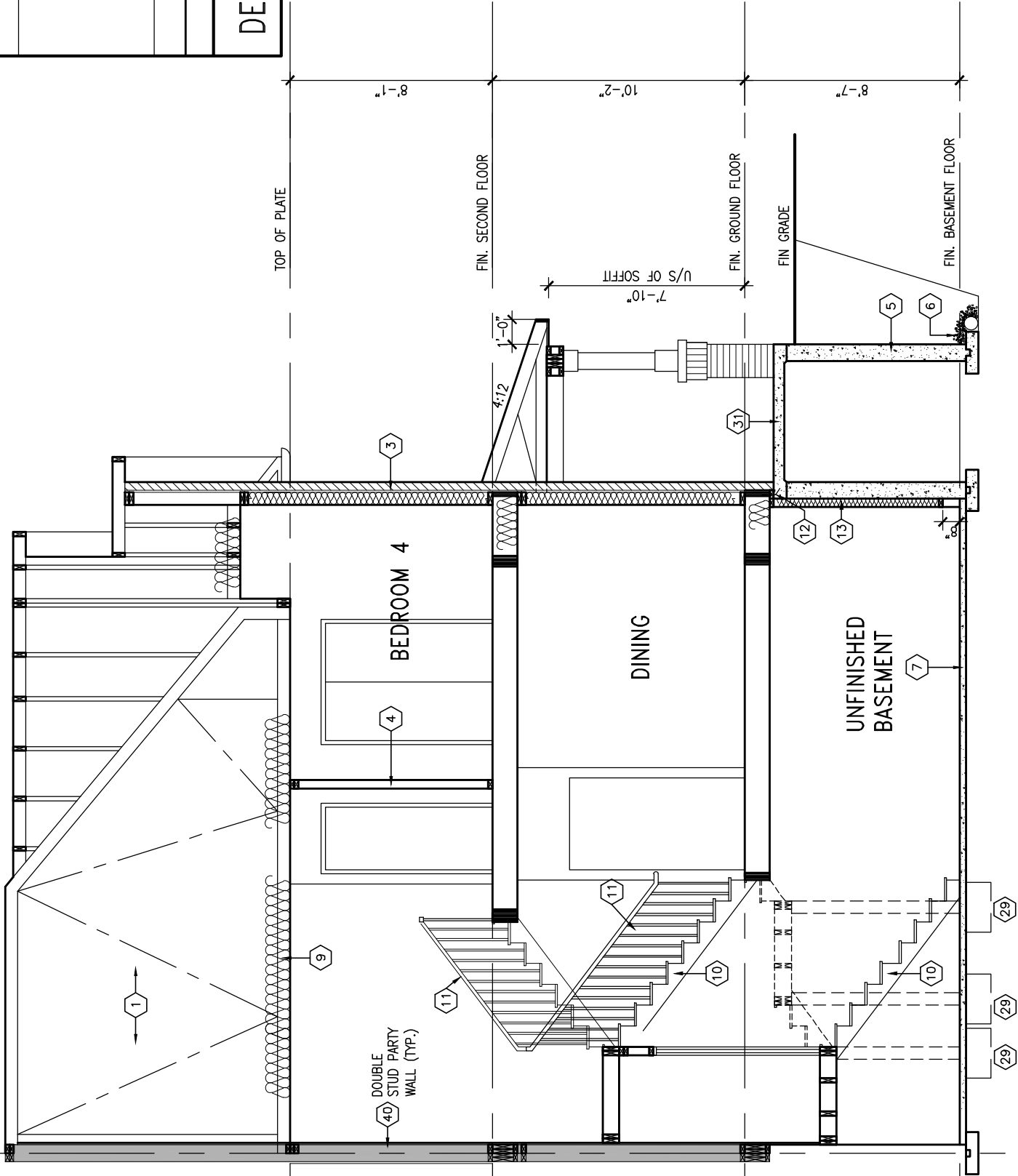
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Wellington Jno-Baptiste signature	25591	BCIN	42658
VA3 Design Inc. registration information			
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255 Consumers Rd Suite 120 Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 v3design.com	CL drawn by DECEMBER, 2017	checked by scale 3/16" = 1'-0"	file name 13049-TH-8C 13049-TH-8C 13049-TH-8C
project name ALCONA	project no. 13049	drawing no. 6A	

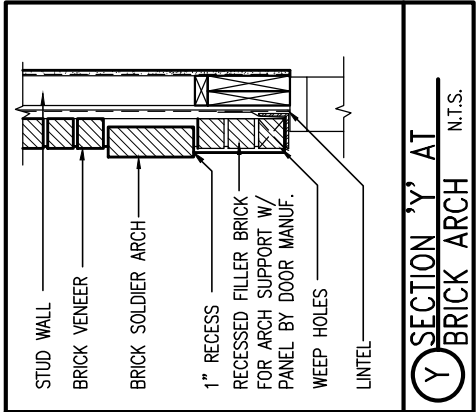
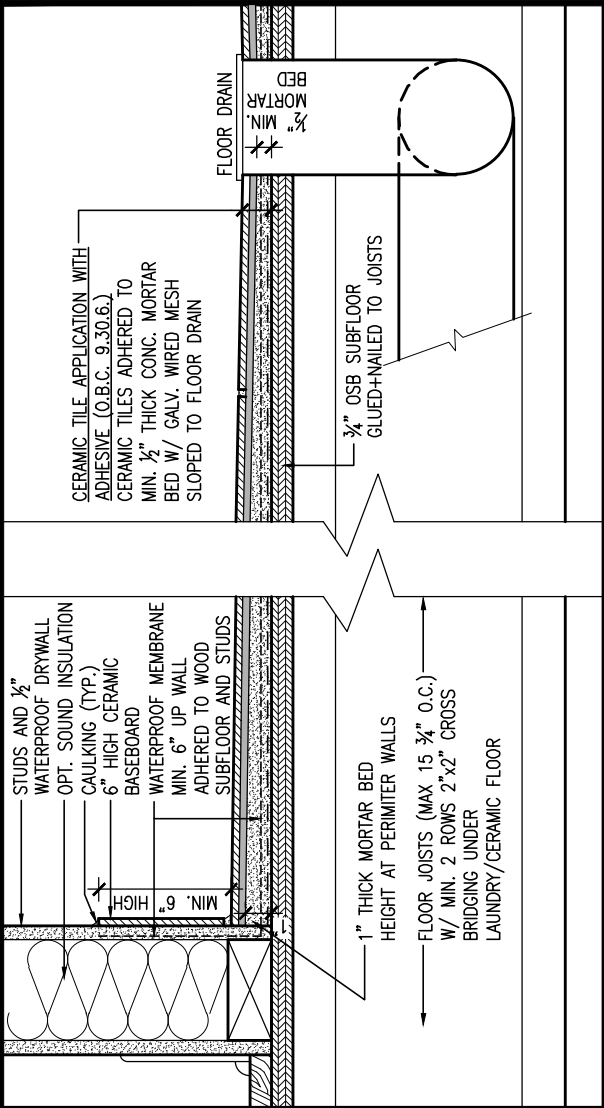
project name BAYVIEW WELLINGTON	municipality INNISFIL, ON	project no. 13049	drawing no. TH-8C CRANE 8
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1'-0"



CROSS SECTION A-A

DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



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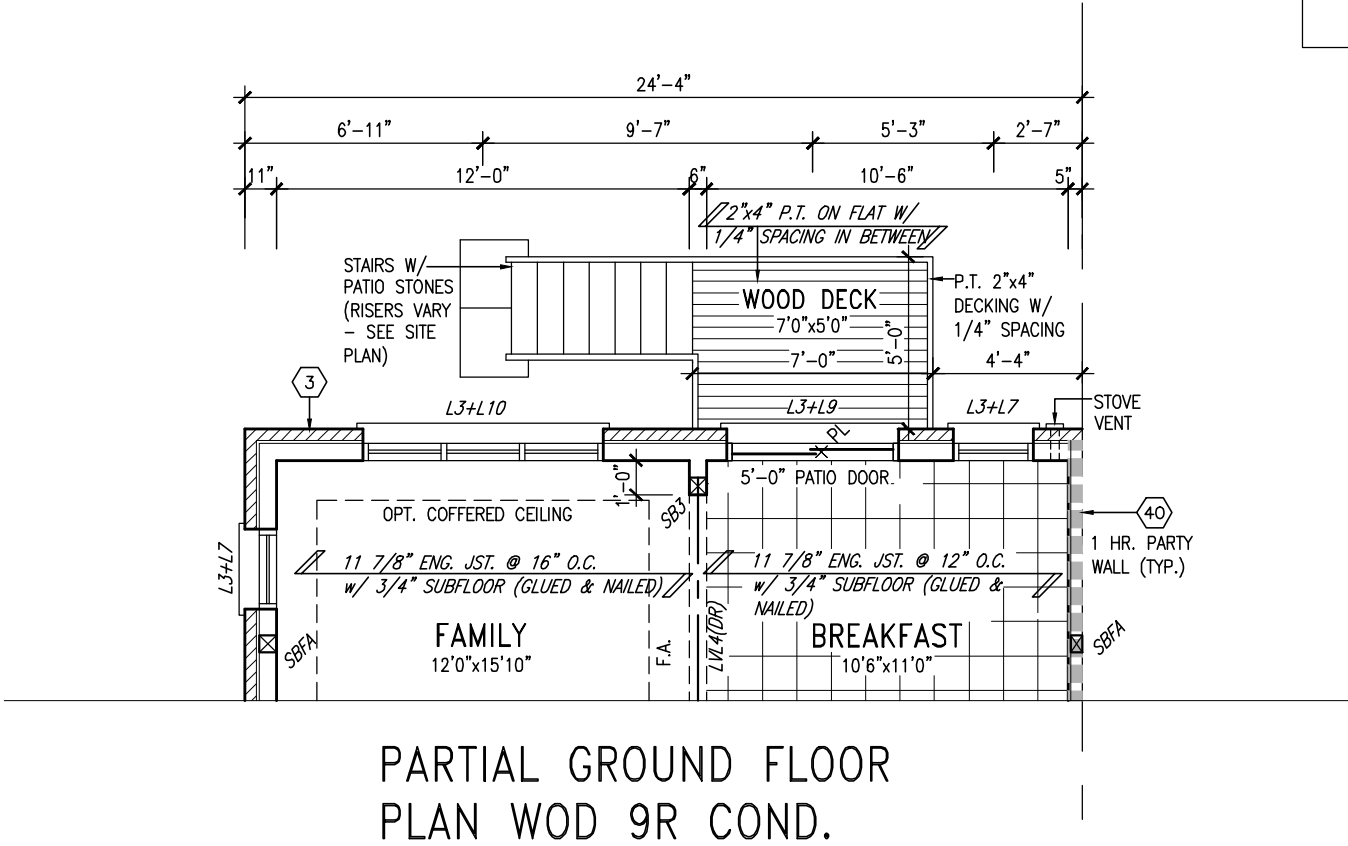
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qualification information		name	Wellington Jno-Baptiste
		signature	
		BCIN	25591
		registration information	VA3 Design Inc.
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
TH-8C ELEVATION A W.O.D	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	551 S.F.	95 S.F.	17.24 %
LEFT SIDE	1145 S.F.	161 S.F.	14.06 %
RIGHT SIDE	1133 S.F.	0 S.F.	0.00 %
REAR	600 S.F.	154 S.F.	25.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3429.00 S.F.	410.00 S.F.	11.96 %
TOTAL SQ. M.	318.56 S.M.	38.09 S.M.	11.96 %

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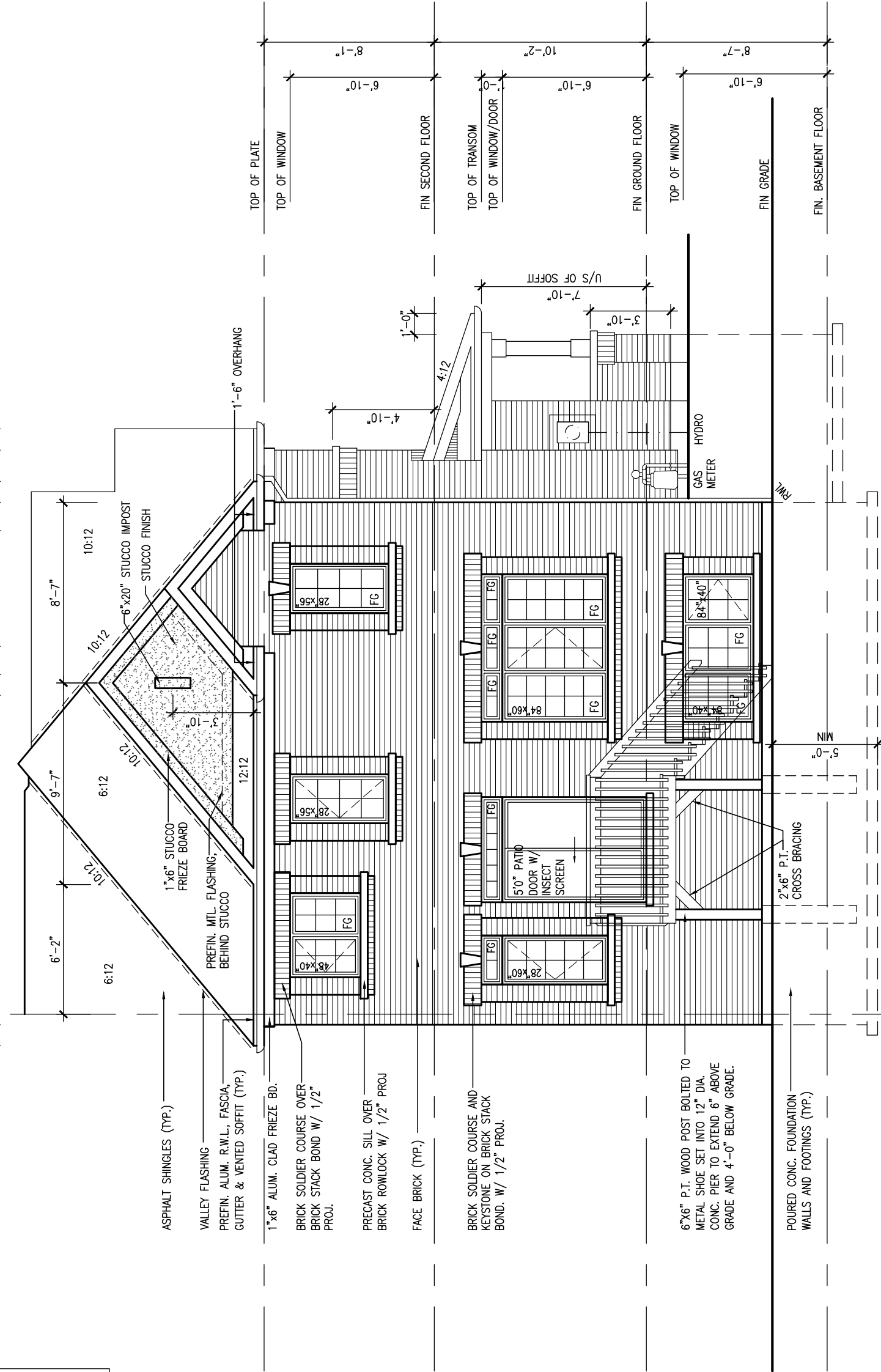
REAR WALL ONLY
10" FOUNDATION WALL ON
22"x6" THICK CONC

is the only way to ensure that the design complies with the applicable Architectural Guidelines and the Town of Innisfil Certified Model. The design must be submitted to the Town of Innisfil for review and approval. The design must be submitted to the Town of Innisfil for review and approval. The design must be submitted to the Town of Innisfil for review and approval.

fully comply with the Architectural Guidelines and the Town of Innisfil Certified Model. The design must be submitted to the Town of Innisfil for review and approval. The design must be submitted to the Town of Innisfil for review and approval. The design must be submitted to the Town of Innisfil for review and approval.

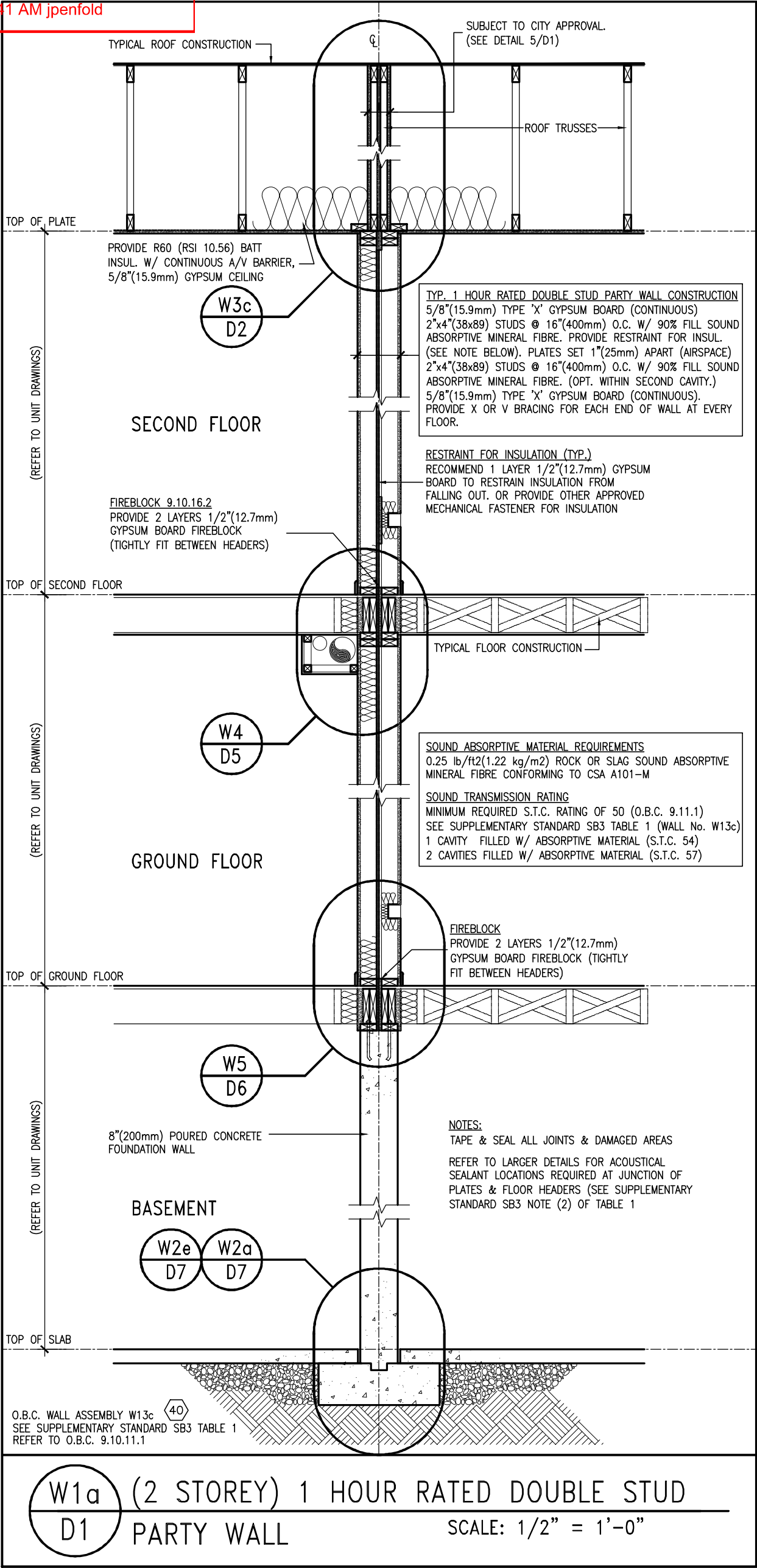
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7						1	ISSUE FOR CLIENT REVIEW
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1						7	
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						9	



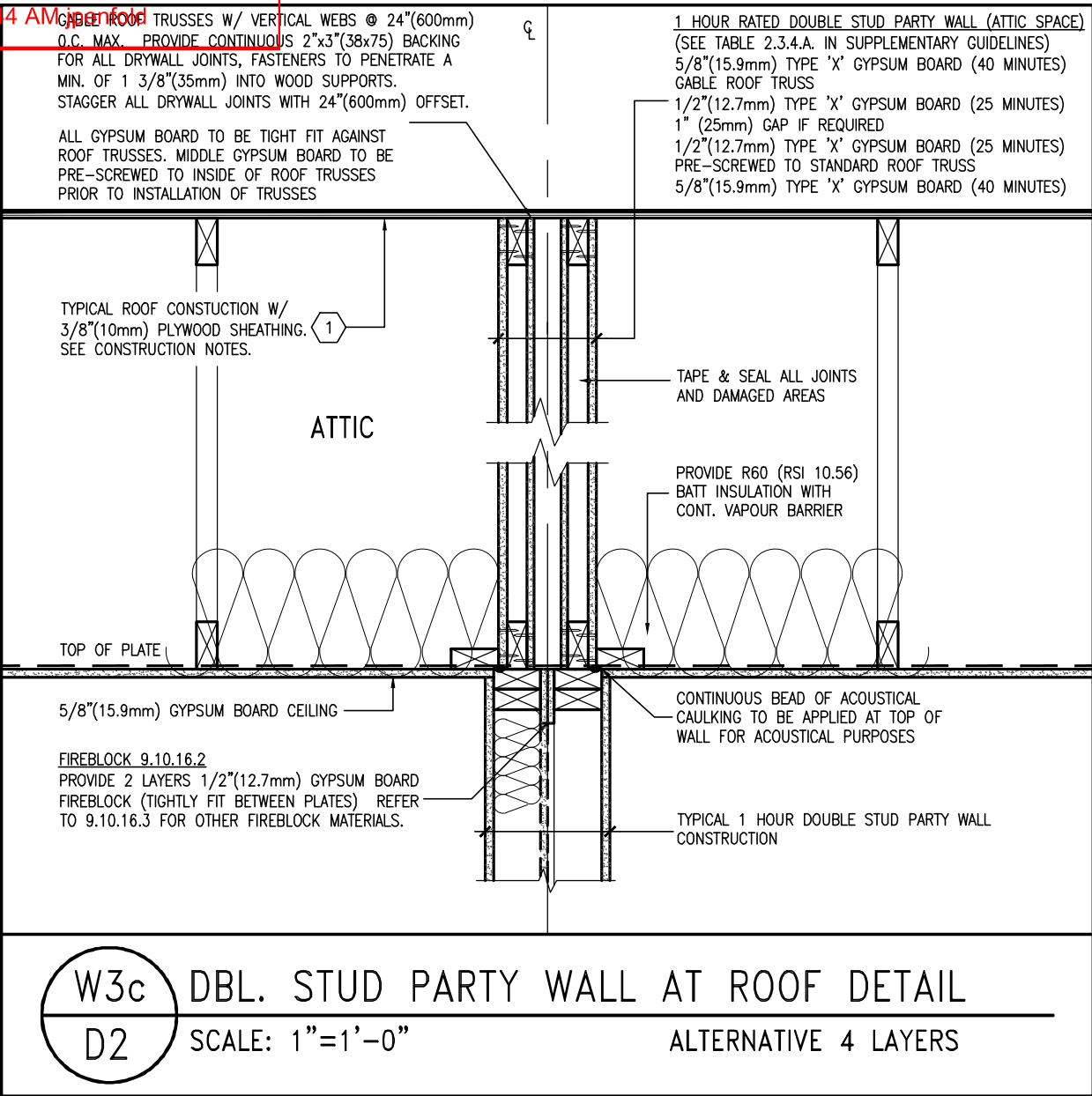
ALL WINDOWS TO HAVE BRICK SOLDIER UNDER PRECAST CONC. SILL (IF POSSIBLE) FOR BLOCK 145 ONLY

REAR ELEVATION 'A'
WOD 9R COND. OR MORE
FOR 4-8 RISER WALK OUT DECK CONDITION WINDOW SIZE 30\"/>

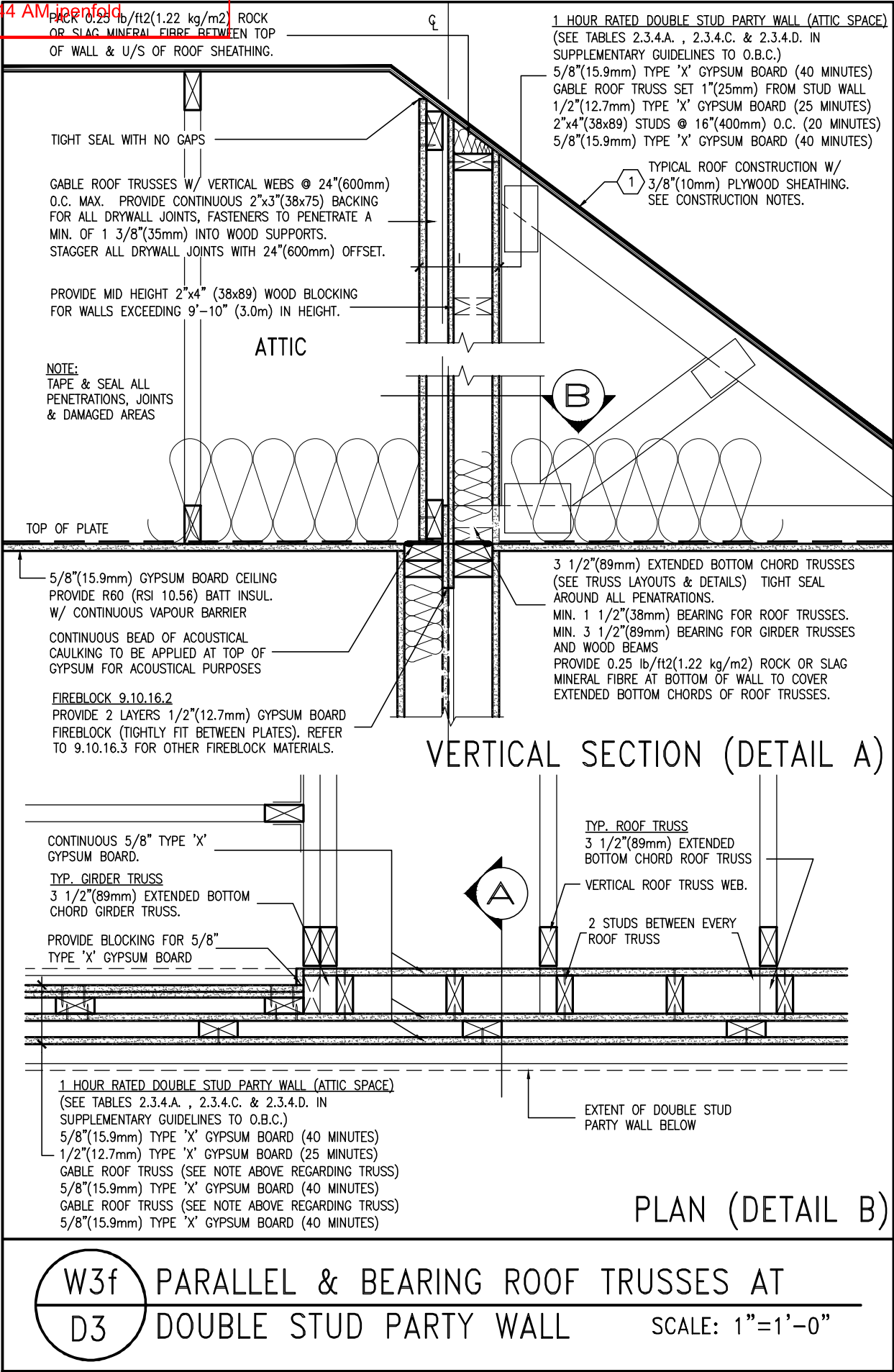


9 8 7 6 5 4 3 2 1 ISSUE FOR CLIENT REVIEW	APR 10-18 VA3		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste signature 25591 BCIN registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 † 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name ALCONA drawn by VA3 checked by - scale 3/16" = 1'-0" date APRIL 2018 project no. 13049 municipality INNISFIL, ON DETAILS file name 13049-DETAIL drawing no. D1
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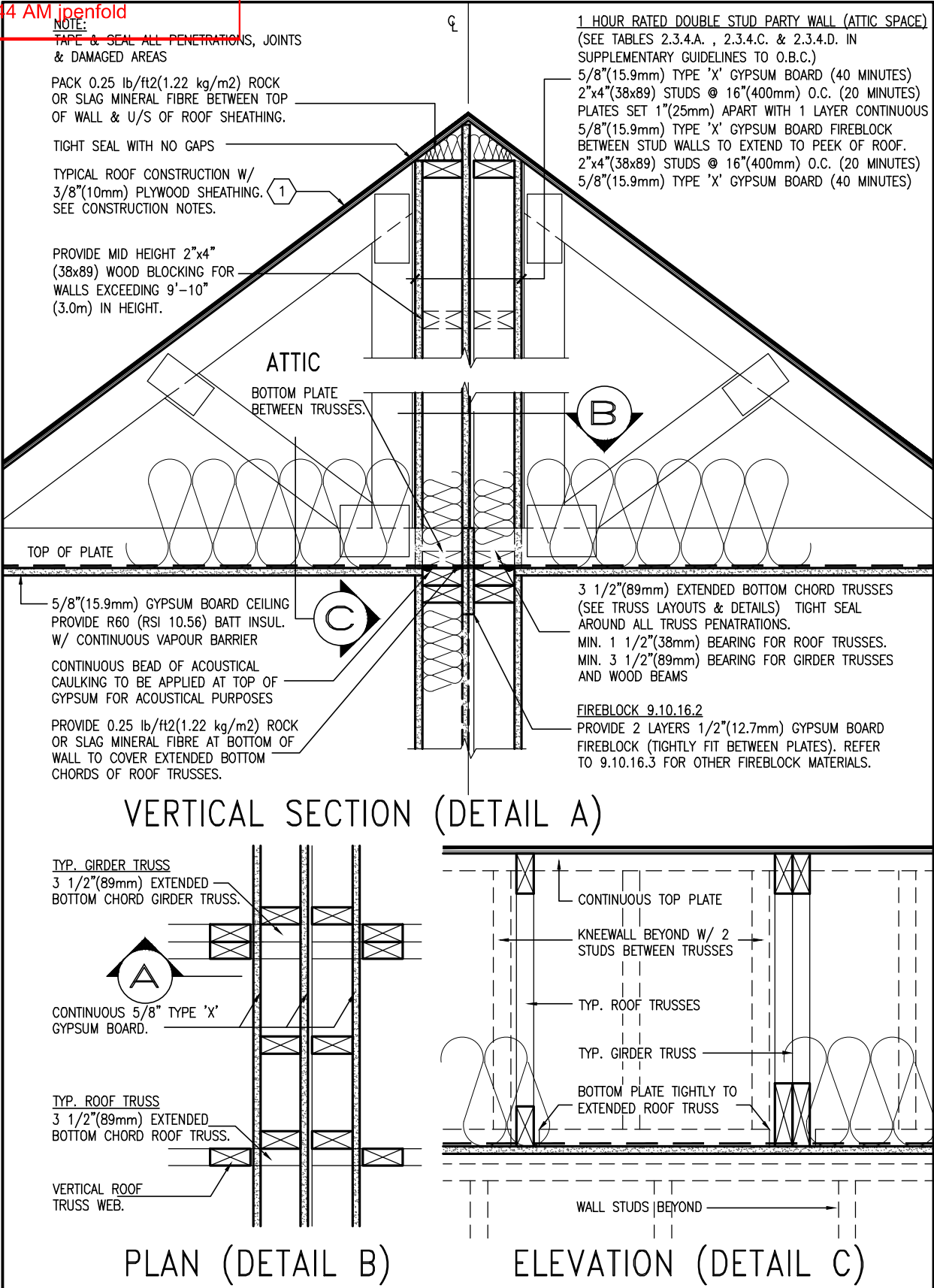


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7	.	.	.	Wellington Jno-Baptiste		ALCONA	INNISFIL, ON	13049	
6	.	.	.	name		date			
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4	.	.	.	VA3 Design Inc.	drawn by				
3	.	.	.	42658	checked by				
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no.	description	date	by		file name				
					13049-DETAIL				
					D2				
					RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\detaila\1-OBC 2023 CURRENT\13049-detail.dwg - Thu - Mar 23 2023 - 1:13 PM				



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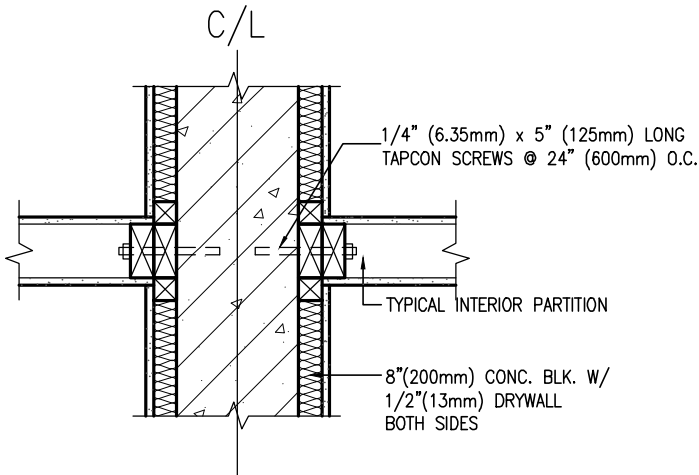
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qualification information		
Wellington Jno-Baptiste	signature	



W3g ROOF & GIRDER TRUSSES BEARING ONTO
D4 DOUBLE STUD PARTY WALL SCALE: 1"=1'-0"



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PLAN DETAIL

B19
D19

INTERIOR PARTITION @ PARTYWALL/ FIREWALL
SCALE: 1"=1'-0"



Town of

