



2023-0516
2023-0539
2023-0538
2023-0526
2023-0542
2023-0534

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Innisfil.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL DESIGN REVIEW AND APPROVAL
DATE: MAR 22, 2023
The stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

BUILDING AREA W/O PORCH	
5427.0 SF	504.2 SM

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6" x 4" x 3/8"L)
L13	180 x 100 x 10.0L (7" x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:**
- 1) **MINIMUM BEDROOM WINDOW** - OBC 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) **WINDOW GUARDS** - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- 3) **EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:**
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

no.	description	date	by
10			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 18-19 RC	
5	ISSUE FOR TRUSS COROL	MAR 21-19 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAR 15-18 RC	
3	REVISED BLOCK 1 AS PER REV GRADING	JAN 09-18 RC	
2	REVISED AS PER TOWN'S COMMENTS	NOV 04-17 SB	
1	ISSUED FOR SPA	JUL 10-17 SB	

Comments must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto ON M2J 1R4
t 416.630.2255
f 416.630.4782
vasdesign.com

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The contractor has reviewed and taken responsibility for the design and for the verification and construction requirements set out in the qualification information.

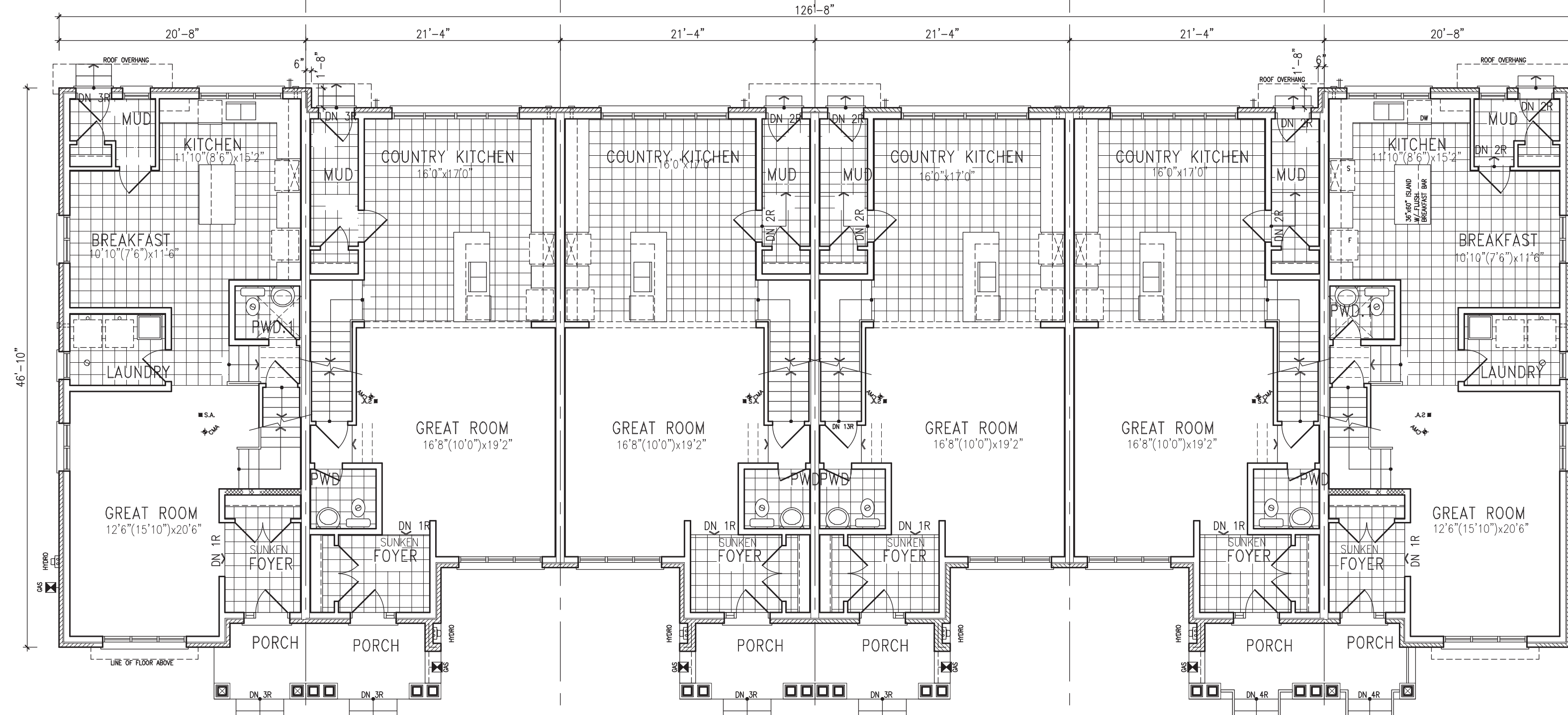
Wellington Jan-Bagshaw
Professional Engineer
42658

BAYVIEW WELLINGTON

PROJECT NO.
ALCONA
PROPOSED
INNISFIL, ON
and name

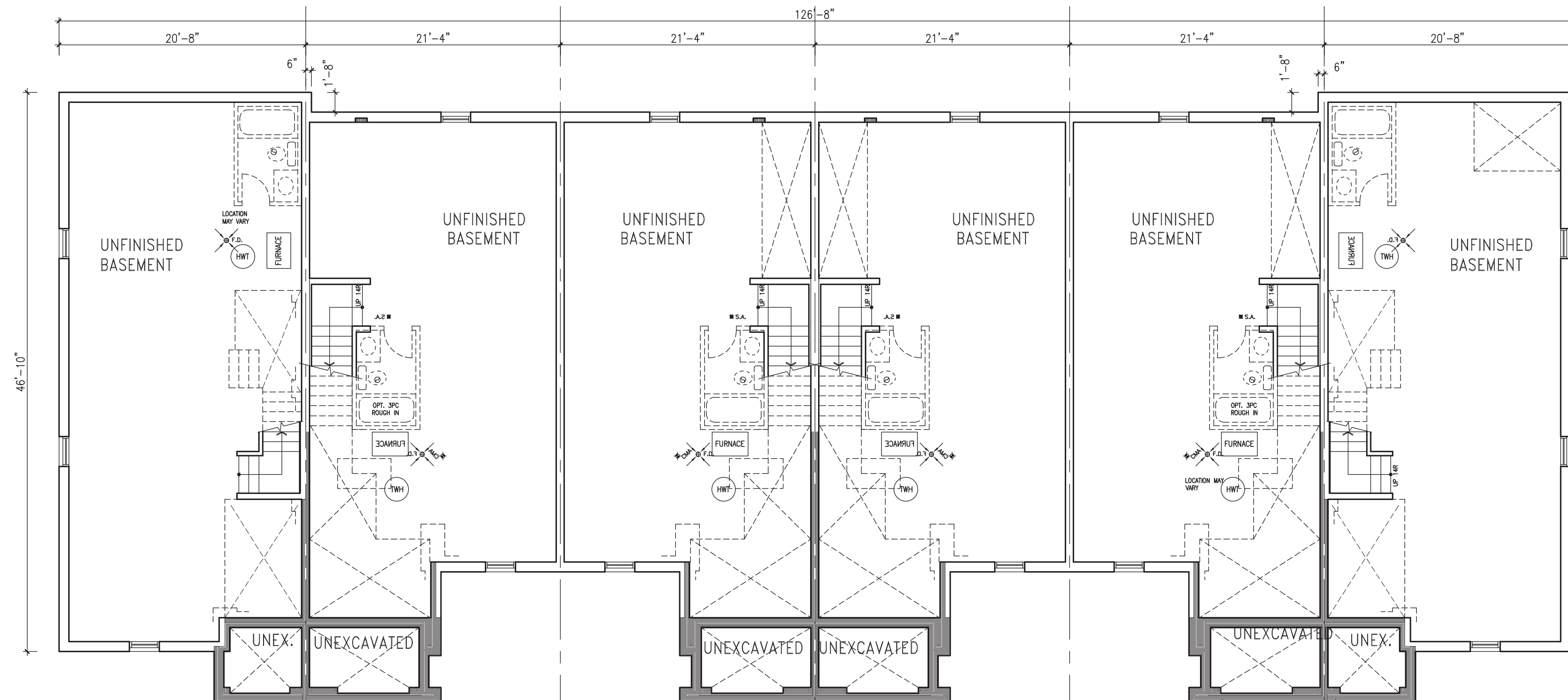
PROJECT NO.
13049
drawing no.
1

SP-2017-051
BLOCK 2 PLANS
JULY 2017
drawing no. 1
13049-BLOCKS RL-EXPLAINED



- 1 RL-6E ELEV. 'A'
- 2 RL-4 ELEV. 'A' (REV)
- 3 RL-4 ELEV. 'A2'
- 4 RL-4 ELEV. 'A2' (REV)
- 5 RL-4 ELEV. 'A'
- 6 RL-6E ELEV. 'A' (REV)

GROUND FLOOR PLAN 'A'



- 1 RL-6E ELEV. 'A'
- 2 RL-4 ELEV. 'A' (REV)
- 3 RL-4 ELEV. 'A2'
- 4 RL-4 ELEV. 'A2' (REV)
- 5 RL-4 ELEV. 'A'
- 6 RL-6E ELEV. 'A' (REV)

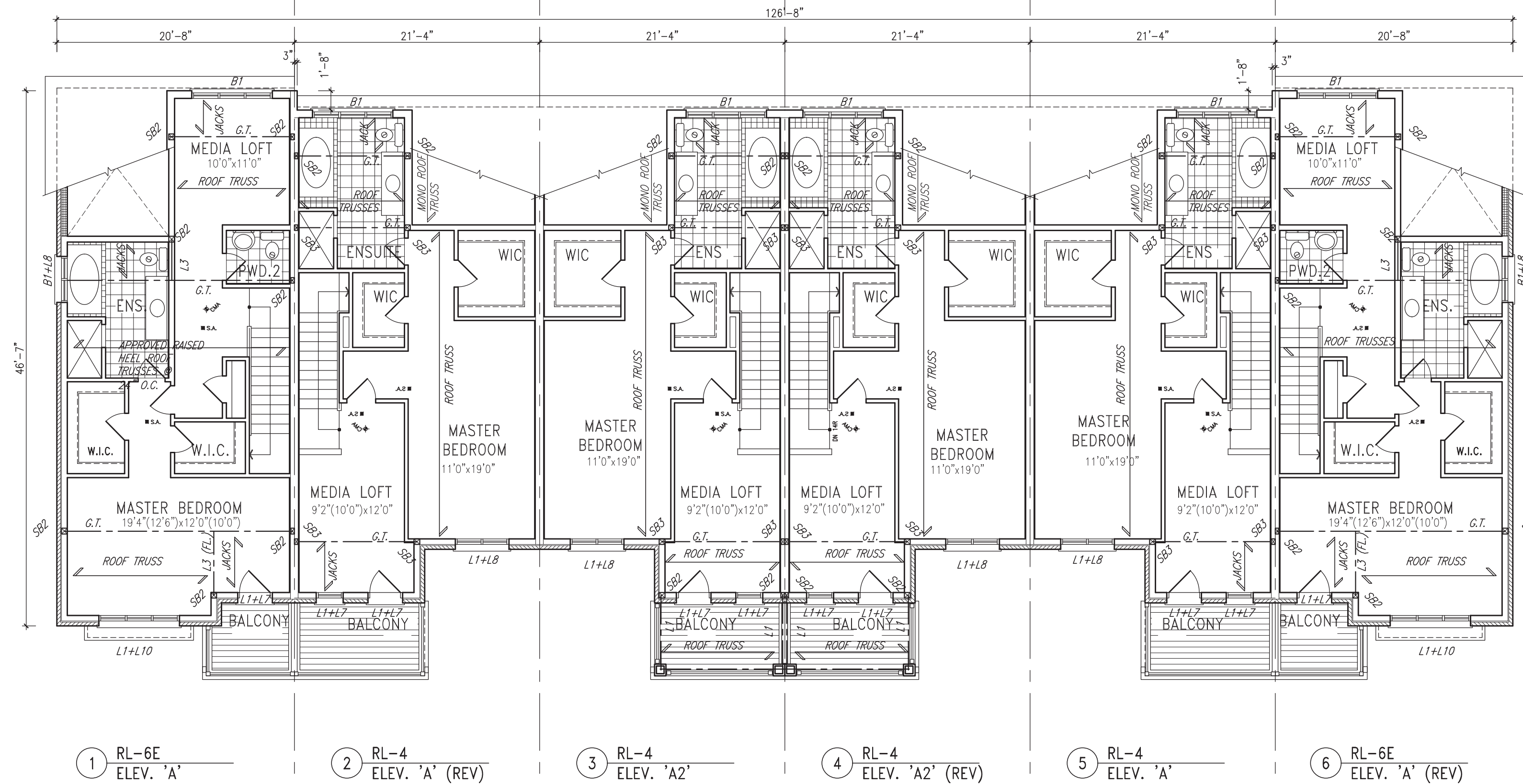
BASEMENT PLAN 'A'



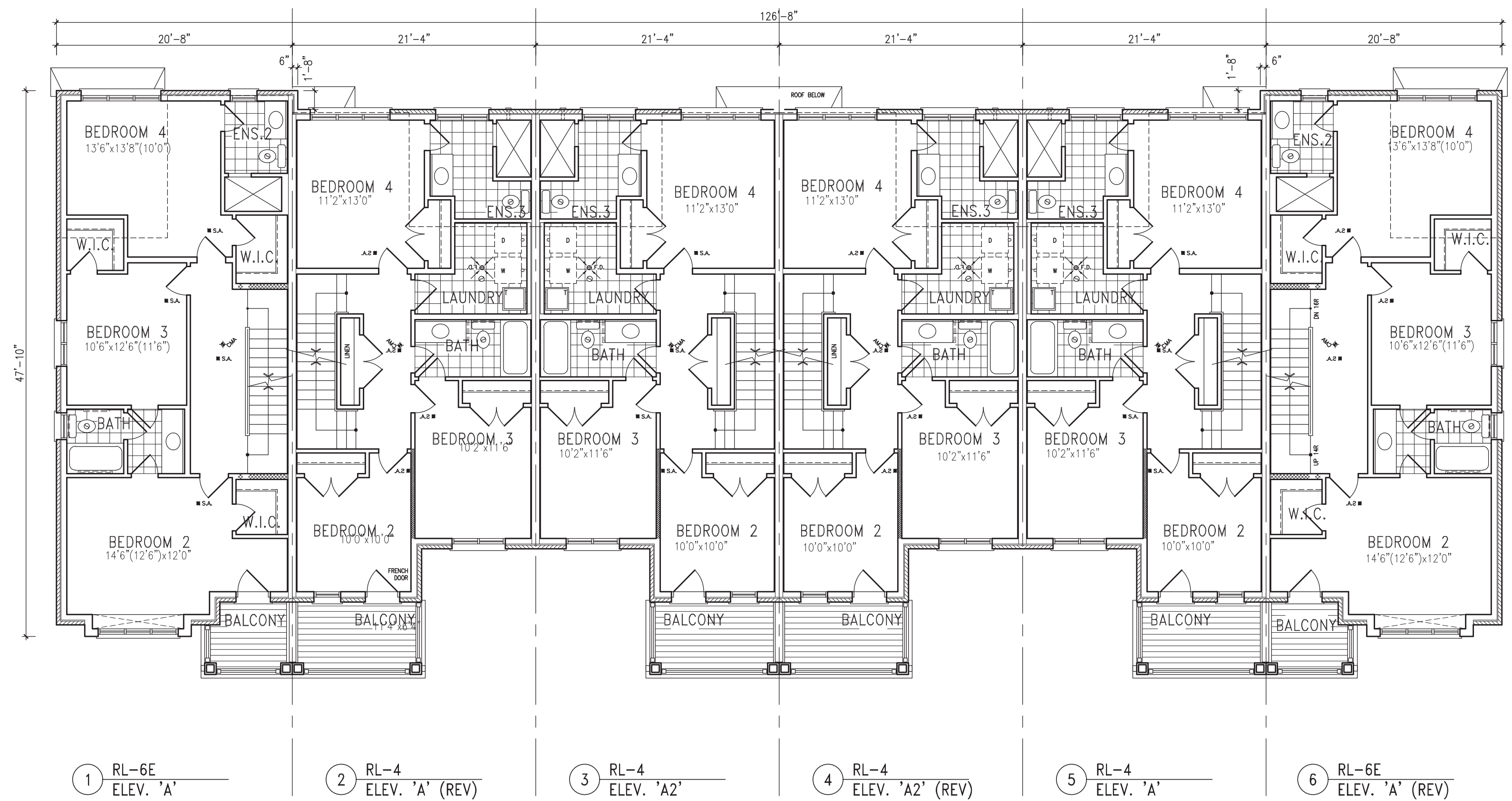
BLOCK 2



2023-0516
2023-0539
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THIRD FLOOR PLAN 'A'



SECOND FLOOR PLAN 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: 2023-05-16
The owner certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6" x 4" x 3/8"L)
L13	180 x 100 x 10.0L (7" x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
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LVL3	4-1 3/4"x7 1/4" (4-45x184)

LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
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- WINDOWS:**
- 1) **MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
- 2) **WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.**
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SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
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 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

no.	description	date	by
10			
9			
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5	ISSUE FOR TRUSS CORO.	MAY 21-18 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAY 15-18 RC	
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1	ISSUED FOR SPA	JUL 10-17 SB	

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The contractor has reviewed and taken responsibility for the design and for the verification and construction requirements set out in the drawings. Drawing title is to be a true qualification statement.

Wellspring Inc-Bayview
name: [Signature]
registration information: 25591
VAS Design Inc. 42358

BAYVIEW WELLINGTON

PROJECT: ALCONA
LOCATION: INNISFIL, ON
and name: [Signature]

project no: 13049
unit no: 2

SP-2017-051 BLOCK 2 PLANS

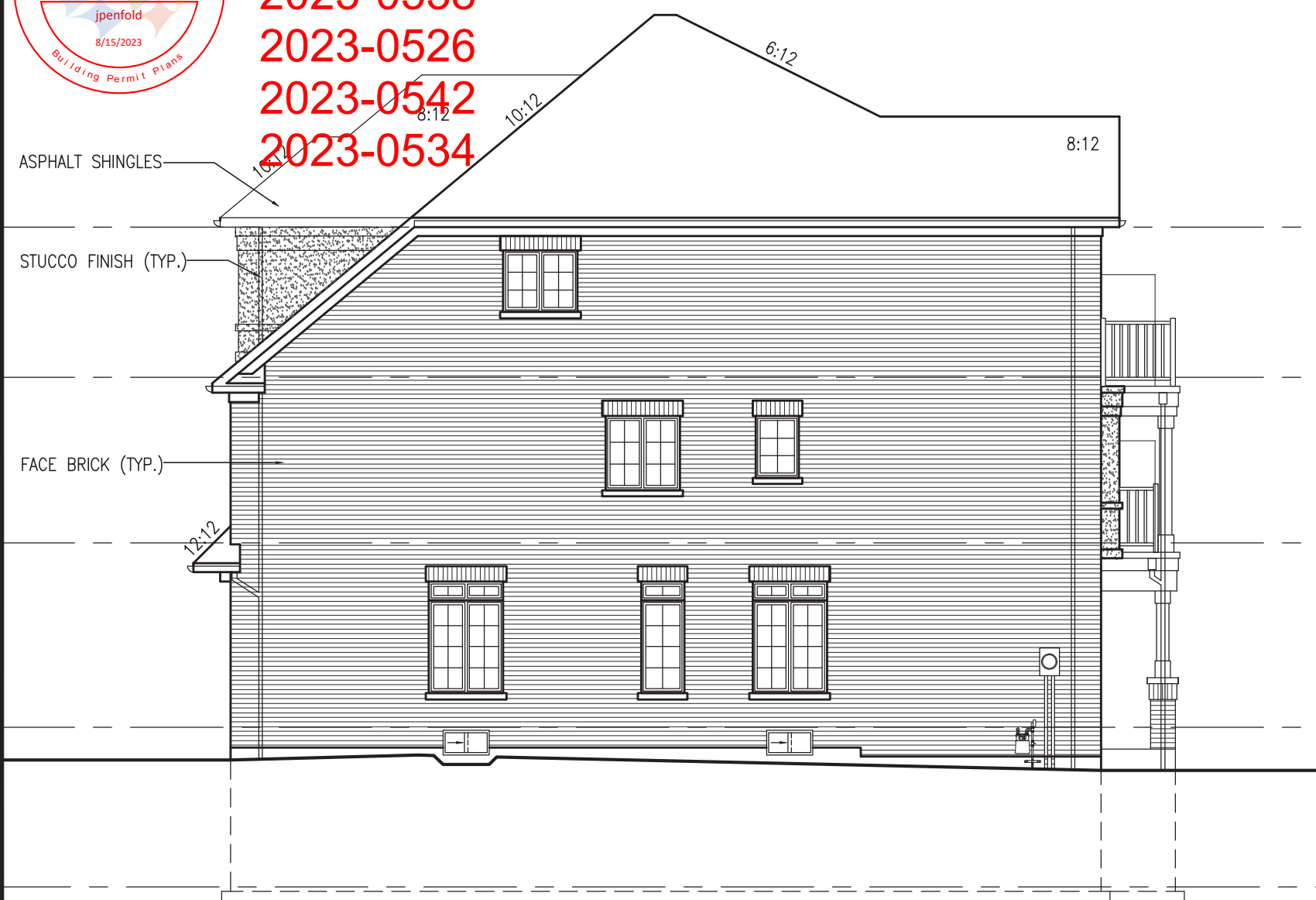
date: JULY 2017
drawn by: [Signature]
checked by: [Signature]
scale: 1/8" = 1'-0"

drawing no: 2
13049-BLOCKS BL-EXPLODED

BLOCK 2

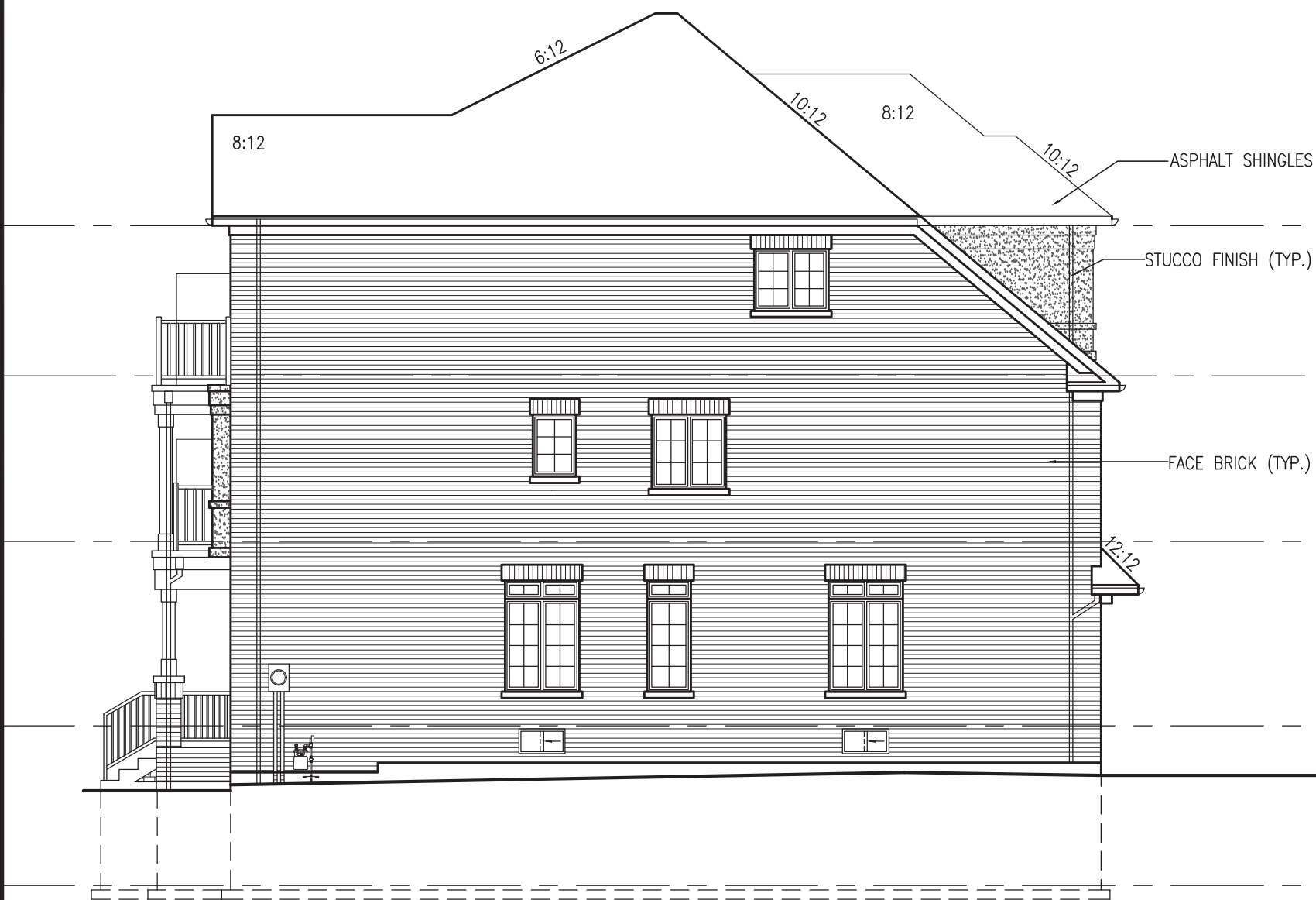


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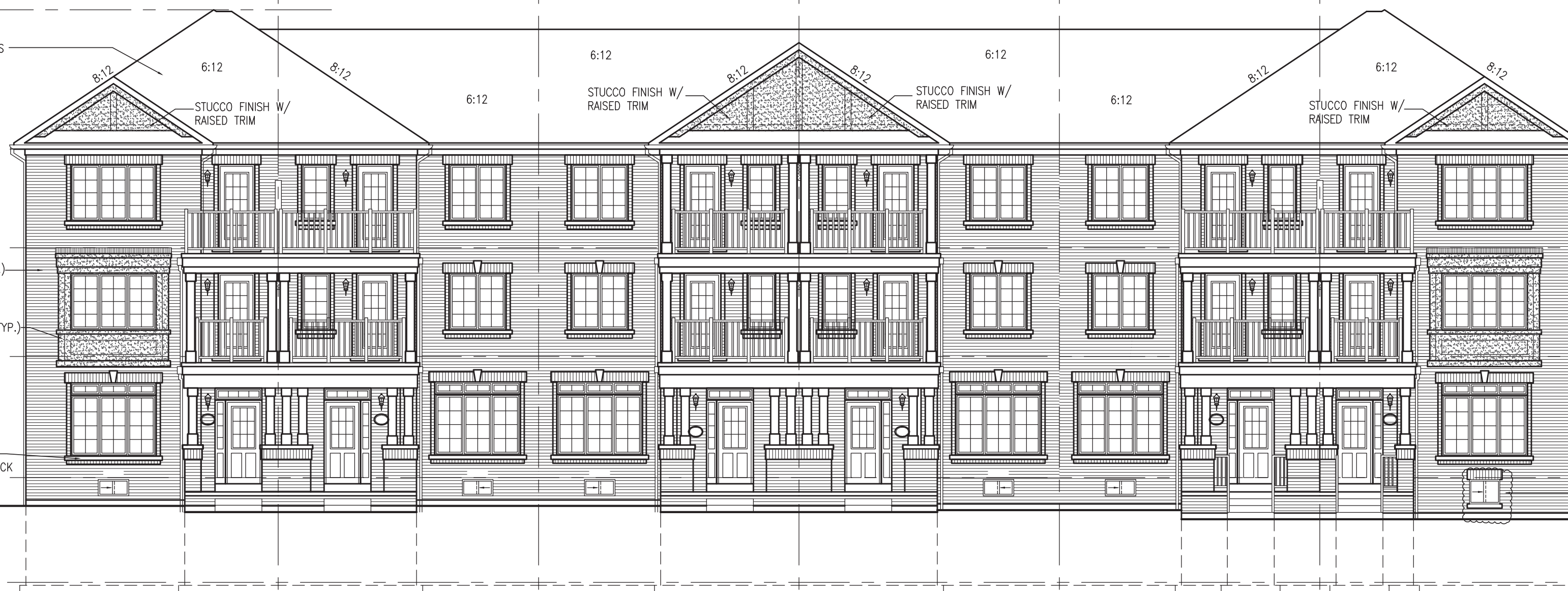
1 RL-6E
ELEV. 'A'
LEFT SIDE ELEVATION 'A'

"The downspouts shall be located such that the discharged water is directed to the side yard swales in order to minimize the possible development of standing water within areas of "sheet drainage", and to minimize any negative impact on adjoining properties"

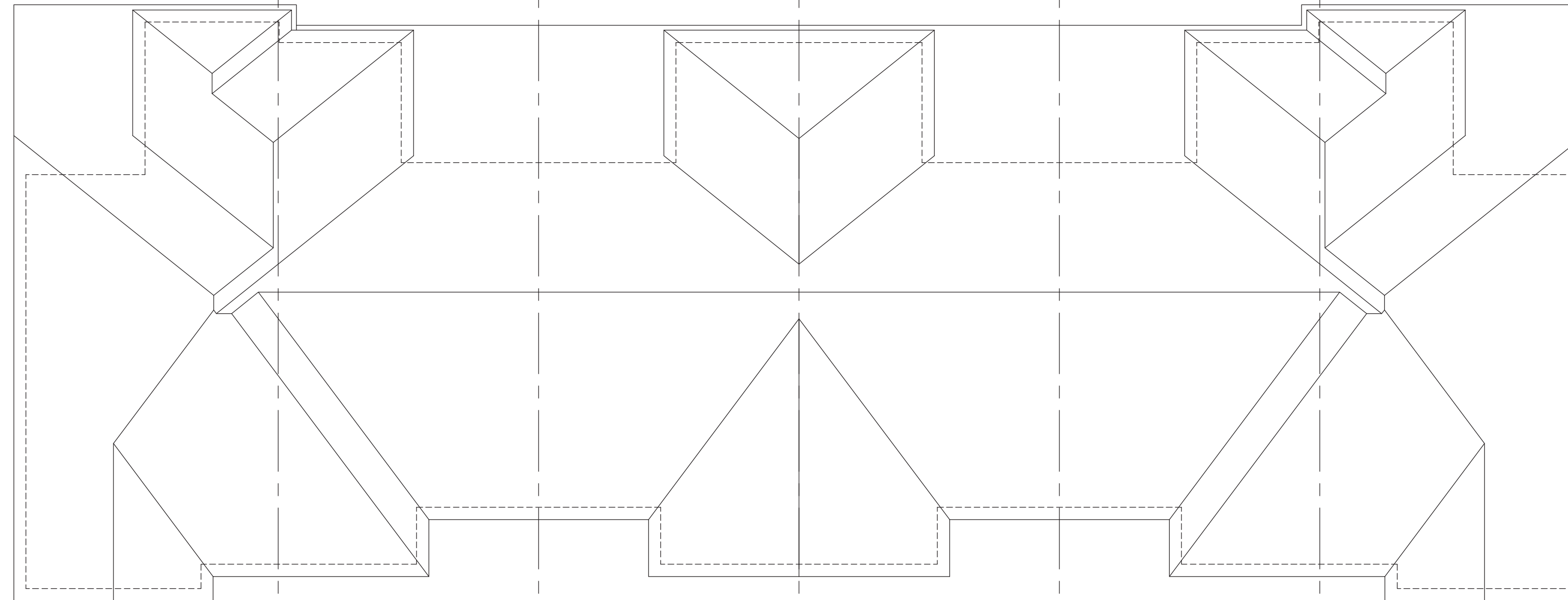


1 RL-6E
ELEV. 'A' (REV)
RIGHT SIDE ELEVATION 'A'

HIGHEST POINT
MEAN OF ROOF
ASPHALT SHINGLES
STUCCO FINISH W/
RAISED TRIM
FACE BRICK (TYP.)
STUCCO FINISH (TYP.)
PRE. CONC. SILL
ON BRICK ROWLOCK
ESTABLISHED GRADE

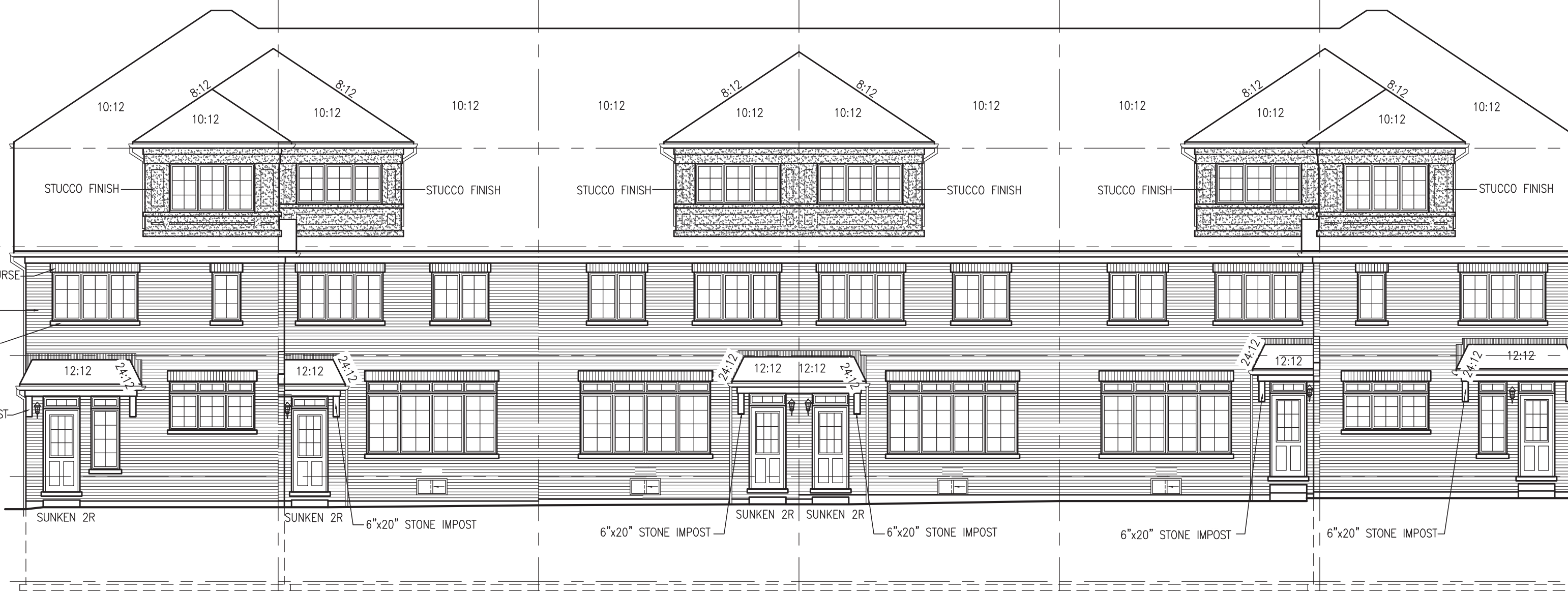


1 RL-6E
ELEV. 'A'
2 RL-4
ELEV. 'A' (REV)
3 RL-4
ELEV. 'A2'
4 RL-4
ELEV. 'A2' (REV)
5 RL-4
ELEV. 'A'
6 RL-6E
ELEV. 'A' (REV)
FRONT ELEVATION 'A'



1 RL-6E
ELEV. 'A'
2 RL-4
ELEV. 'A' (REV)
3 RL-4
ELEV. 'A2'
4 RL-4
ELEV. 'A2' (REV)
5 RL-4
ELEV. 'A'
6 RL-6E
ELEV. 'A' (REV)

ROOF PLAN ELEVATION 'A'



6 RL-6E
ELEV. 'A' (REV)
5 RL-4
ELEV. 'A'
4 RL-4
ELEV. 'A2' (REV)
3 RL-4
ELEV. 'A2'
2 RL-4
ELEV. 'A' (REV)
1 RL-6E
ELEV. 'A'
REAR ELEVATION 'A'



TOP OF PLATE
TOP OF WINDOW
FIN THIRD FLOOR
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
TOP OF SLAB

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NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR SPA	JUL 10-17	SB
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3	REVISION: AS PER TOWN'S COMMENTS	JAN 09-18	RC
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAY 15-18	RC
5	ISSUE FOR TISS. CODE	MAY 21-19	VLS
6	REVISION: AS PER ENG'S COMMENTS	JUL 18-19	RC
7	ISSUE FOR TISS. CODE	MAY 21-19	VLS
8	REVISION: AS PER ENG'S COMMENTS	JUL 18-19	RC

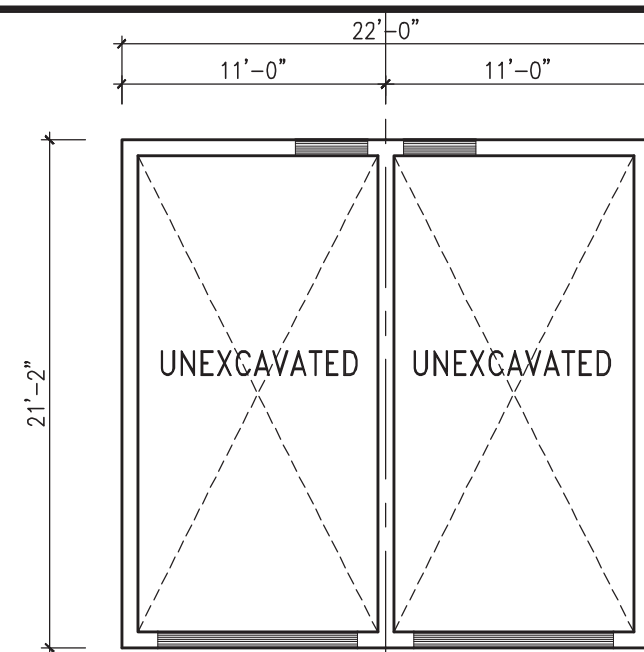
V3 DESIGN
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Toronto ON M2J 1R4
t 416.630.2255
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v3design.com

BAYVIEW WELLINGTON

ALCONA
Innisfil, ON
13049-800KS RL-EXPLODED
BLOCK 2 ELEVATION
1/8" = 1'-0"
JULY 2017
drawn by
checked by
3

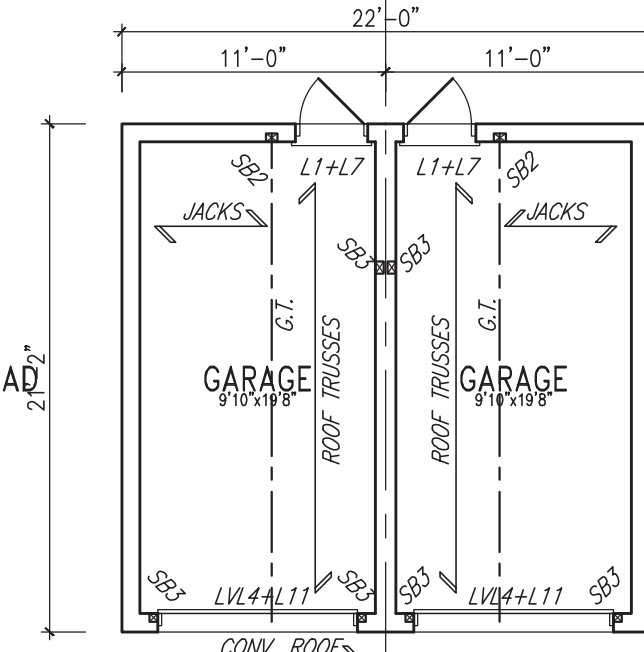


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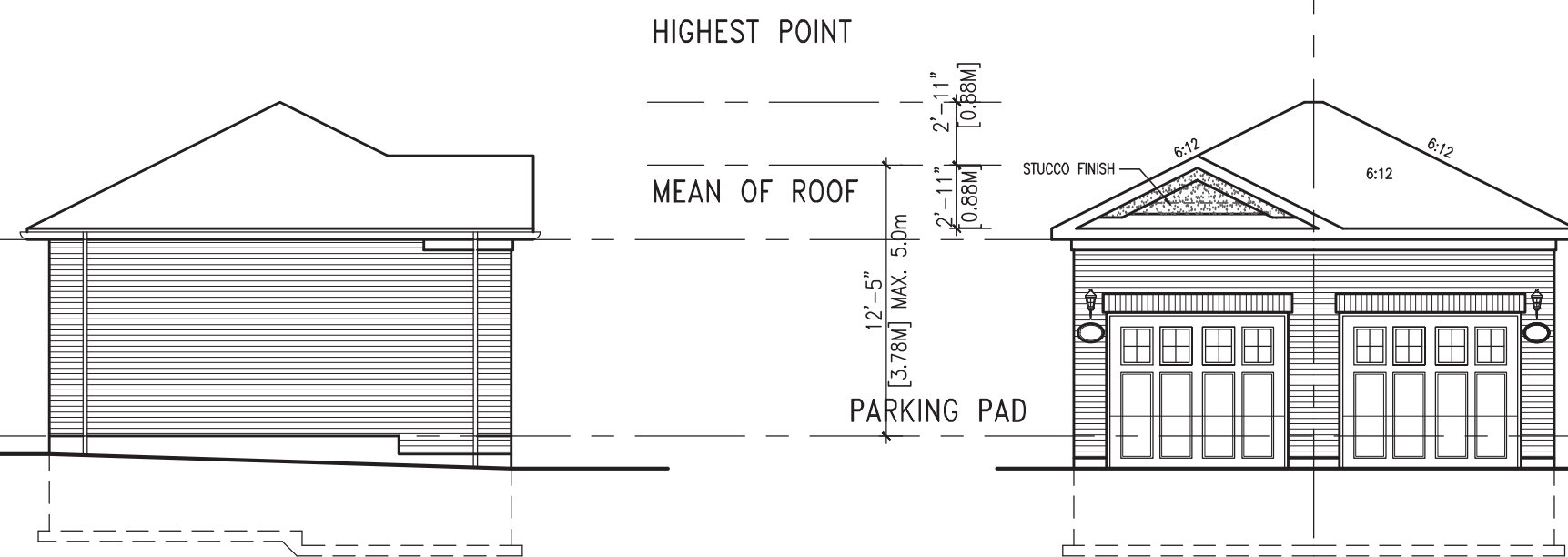
⑥ DG-1 ELEV. 'A2' (REV) ⑤ DG-1 ELEV. 'A'

FOUNDATION PLANS 'A'



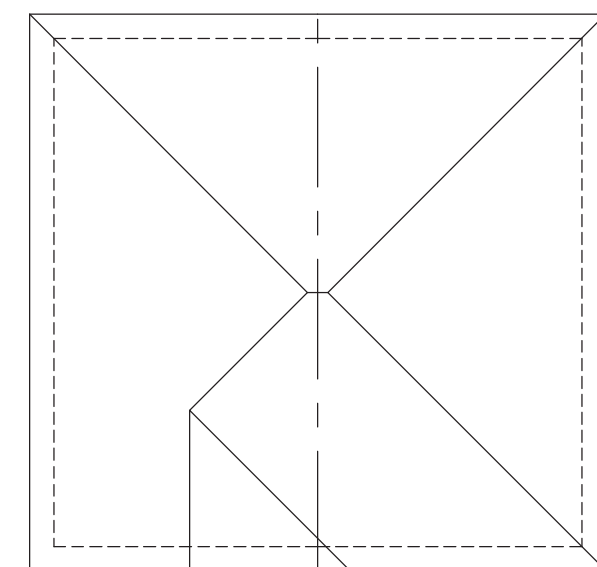
⑥ DG-1 ELEV. 'A2' (REV) ⑤ DG-1 ELEV. 'A'

FLOOR PLANS 'A'



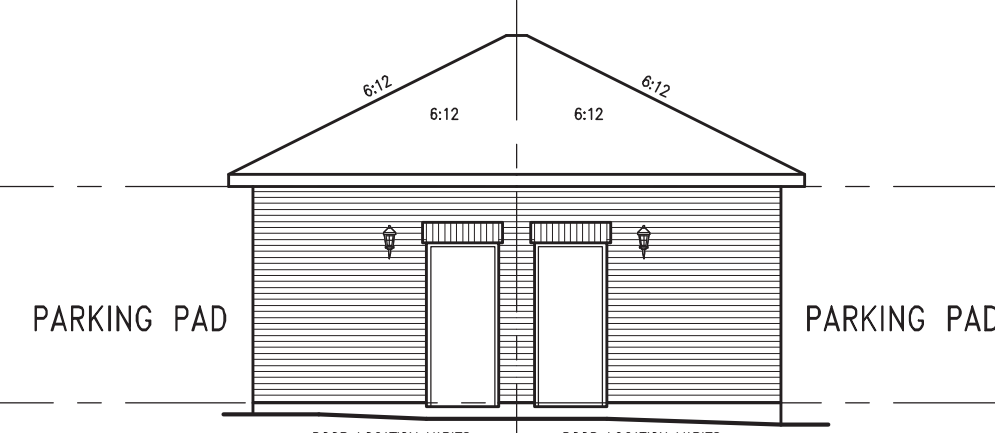
⑥ DG-1 ELEV. 'A2' (REV) ⑤ DG-1 ELEV. 'A'

GARAGE FRONT ELEVATION 'A' BLOCK 2

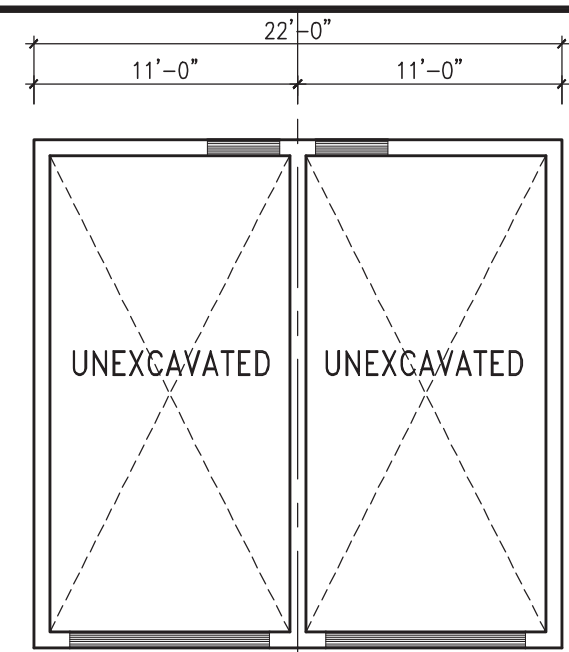


⑥ DG-1 ELEV. 'A2' (REV) ⑤ DG-1 ELEV. 'A'

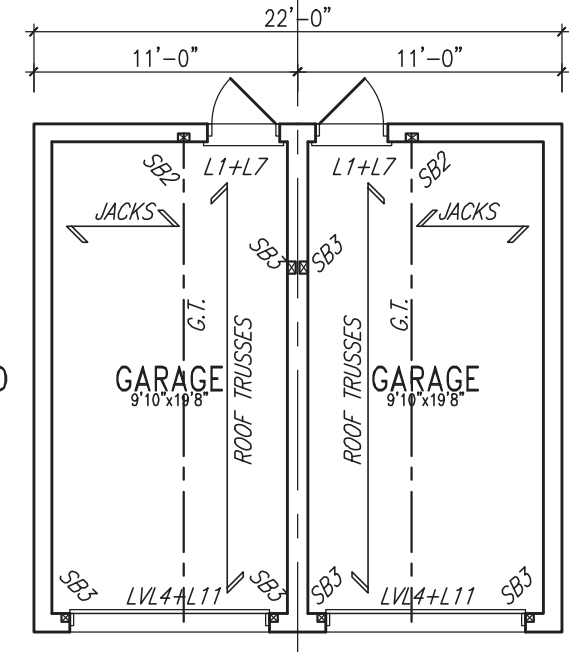
ROOF PLANS ELEVATION 'A' BLOCK 2



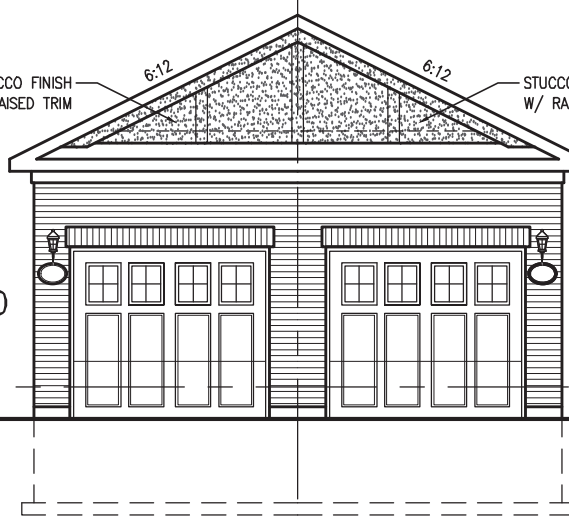
① DG-1 ELEV. 'A2' ② DG-1 ELEV. 'A' (REV)



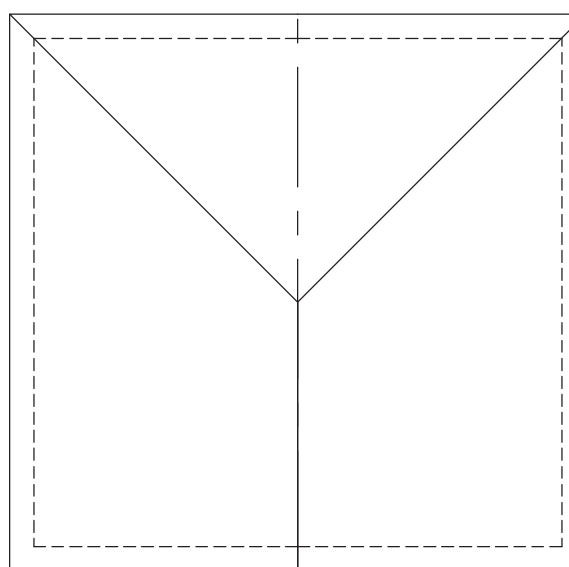
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'



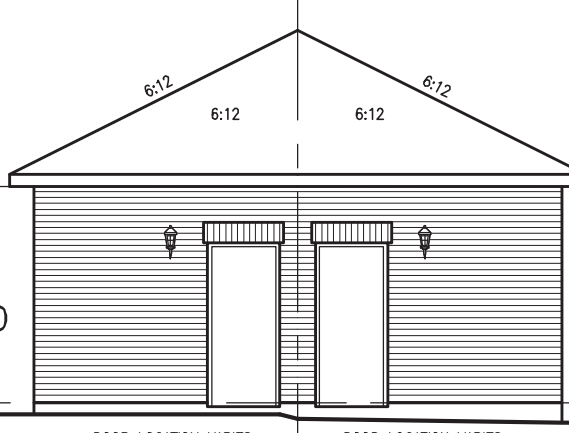
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'



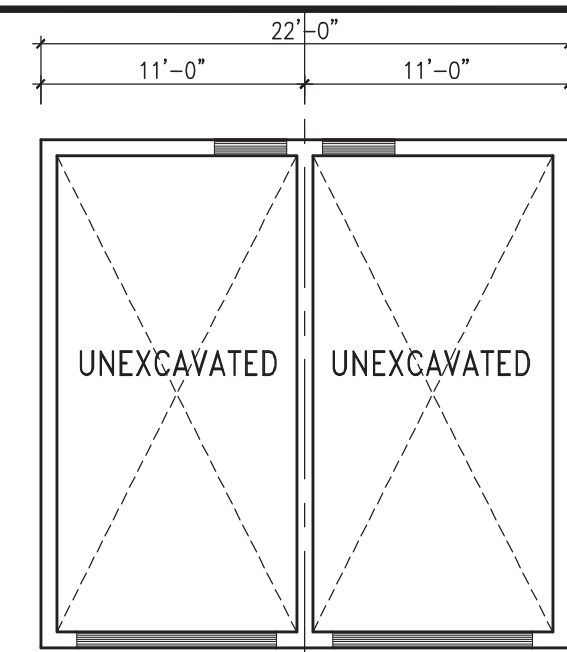
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'



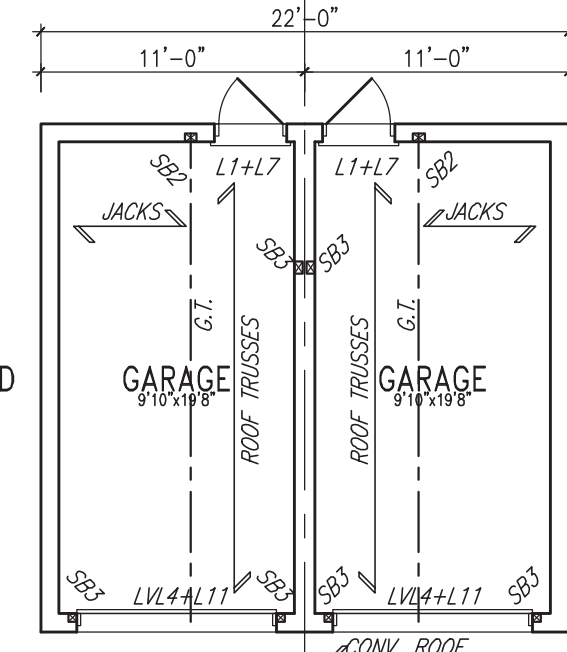
④ DG-1 ELEV. 'A3' (REV) ③ DG-1 ELEV. 'A3'



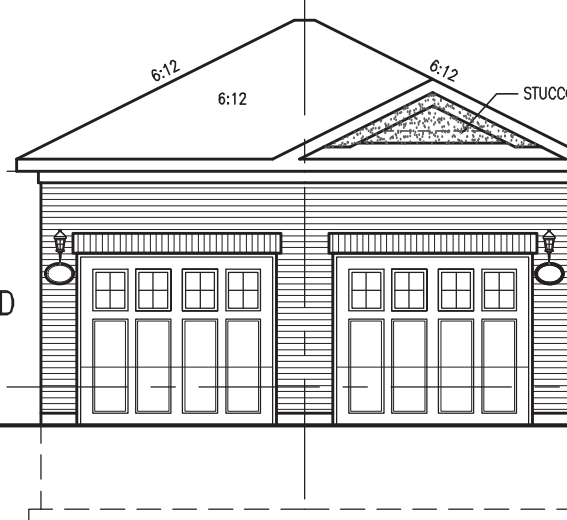
③ DG-1 ELEV. 'A3' ④ DG-1 ELEV. 'A3' (REV)



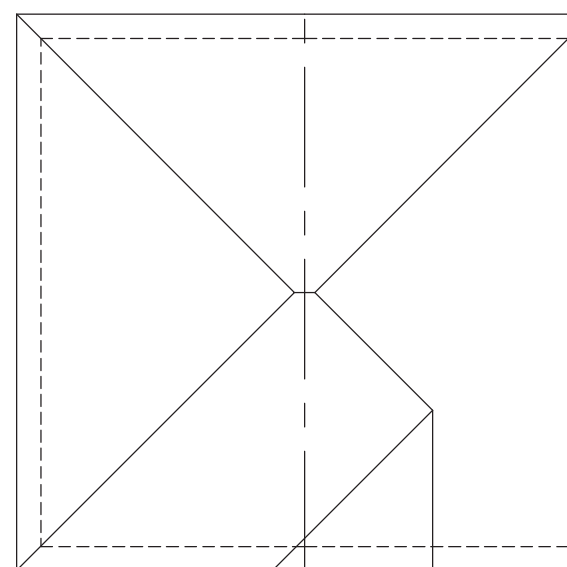
② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'



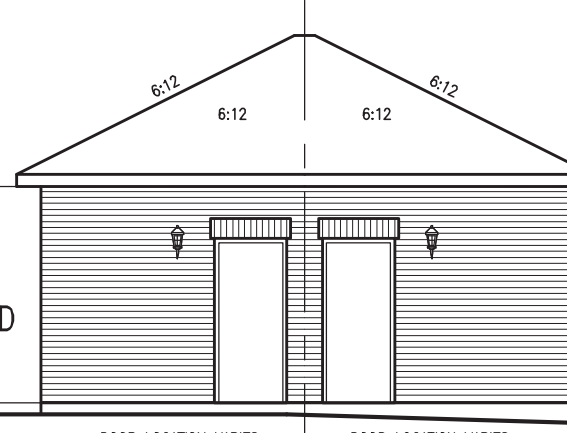
② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'



② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'



② DG-1 ELEV. 'A' (REV) ① DG-1 ELEV. 'A2'



⑤ DG-1 ELEV. 'A' ⑥ DG-1 ELEV. 'A2' (REV)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter for that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: 2023.05.16

The stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4"L)
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16"L)
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16"L)
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16"L)
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8"L)
L12	150 x 100 x 10.0L (6" x 4" x 3/8"L)
L13	180 x 100 x 10.0L (7" x 4" x 3/8"L)

LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

- WINDOWS:**
- 1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3.-**
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").
 - 2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.**
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
 - 3) EXTERIOR WINDOWS**
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

- REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING**
- GROUND FLOOR ROOF STRUCTURE
 - BASEMENT AND GROUND FLOOR LINTELS
 - GROUND FLOOR AND SECOND FLOOR STRUCTURE
 - DOUBLE VOLUME WALL LOCATION AND DETAILS
 - CONCRETE SLABS

NOTE:
ROOF TRUSSES AND SECOND FLOOR LINTELS SHOWN ON BLOCK

no.	description	date	by
10			
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 18-19 BC	
5	ISSUE FOR TRUSS CODE	MAR 21-19 VAS	
4	ADD ADDRESS PLaque TO GARAGE ELEVATION	MAR 15-18 BC	
3	REVISED BLOCK 1 AS PER REV GRADING	JAN 09-18 BC	
2	REVISED AS PER TOWN'S COMMENTS	NOV 06-17 SB	
1	ISSUED FOR SPA	JUL 10-17 SB	

Customer must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
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f 416.630.4782
vasdesign.com

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The architect has reviewed and taken responsibility for the design and for the specification and construction requirements set out in the drawings. Having done so, he is a licensed professional architect.

Wellington, Jan-Bagplate
425591
425588

BAYVIEW WELLINGTON

PROJECT NO.
ALCONA
13049-051
INNSIFIL, ON
drawing no.
13049

DATE
JULY 2017
drawing no.
13049-051

BY
JULY 2017
drawing no.
13049-051

BY
JULY 2017
drawing no.
13049-051

BY
JULY 2017
drawing no.
13049-051

BY
JULY 2017
drawing no.
13049-051

GARAGE REAR ELEVATION 'A' BLOCK 2

BLOCK 2