

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: [Signature]  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

22"x6" THK. CONC.  
FOOTING UNDER  
EXTERIOR WALL (TYP.)

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

INSPECTOR: \_\_\_\_\_ DATE: **Sept. 29, 2022**

PERMIT NO.: **MODEL CERT.**

ALL CONSTRUCTION SHALL COMPLY WITH THE  
ADDITIONAL AND MODIFIED APPLICABLE  
ORDINANCES AND LOCAL ORDINANCES,  
STATUTORY REGULATIONS, THE REVIEWED DOCUMENTS  
MUST BE KEPT ON SITE AT ALL TIMES

INSPECTION REQUEST EMAIL: BUILDINGSINSPECTIONS@TOWNOFBOW.COM  
INSPECTION REQUEST TELEPHONE: (609) 778-2955 EXT. 1450

2"x8" @  
16" O.C. (H)

REFER TO DETAIL  
1/S1 FOR  
LATERAL SUPPORT  
@ STAIR OPENING

3-2"X6" ON  
30"X28"X12"  
FOOTING

BASEMENT INSULATION @ STAIR/  
SUNKEN AREA  
-2"(R10) CONTINUOUS INSULATION  
RIGID OR SPRAY FOAM)  
-2"x4"@16"O.C W/ R12 BATT  
INSULATION & 1/2" DRYWALL  
FINISH  
-EXTENDED EXTERIOR WALL FOOTING  
TO SUPPORT 2"x4" WALL WHERE  
LOAD BEARING.

CHECK FOUNDATION  
WALL FOR SUNKEN  
FLOOR ABOVE \_\_\_\_\_

FULL HEIGHT  
INSUL.

4" DIA. VENT SLEEVE  
W/ INSECT SCREEN

NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

**NOTE:** FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
FOR ALL TRUSS-JOIST  
INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP)

PROPERTY LINE

SJ BLOCKING  
@ 24" O.C.  
SPACING MAX.  
(TYP.)

L1 W/ MIN 3" BEARING

L1 W/ MIN 3" BEARING  
AT EACH END

STRUCTURE  
BASEMENT  
(TYPICAL)

UNFINISHED  
BASEMENT

9 1/2" ENG. JOISTS  
@ 12" O.C.

LOCATION  
MAY VARY

ACE	HWT
-----	-----

@ 12" O.C.

NOTE J1

CHECK  
FOUNDATION WALL  
FOR MAN DOOR

6'-10" 10"

—

UNEX  
(REMOVE

111

OR CURRENT  
ABOVE

MIN. 3  
CAPAC

---

4" DIA. VENT SLEEVE  
W/ INSECT SCREEN

BASEMENT PLAN 'A'

AREA CHART ON PAGE 7

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	signature	BCIN
5	.	.	.	name registration information	42658
4	.	.	.	VA3 Design Inc.	
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC		
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3		
no.	description	date	by		



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

# BAYVIEW WELLINGTON

**S38-20**

project name <b>GREEN VALLEY ESTATES</b>		municipality <b>BRADFORD EAST, ON.</b>		project no. <b>16023</b>
date <b>SEPT. 2021</b>		drawing <b>BASEMENT PLAN 'A'</b>		
drawn by <b>NC</b>	checked by <b>JWM</b>	scale <b>3/16" = 1'-0"</b>	file name <b>16023-S38-20</b>	
<p><b>RICHARD</b> - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:38 PM</p>				

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

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SEE DETAIL S4 FOR  
9'-0" BASEMENT COND

22"x6" THK. CONC.  
FOOTING UNDER  
EXTERIOR WALL (TYP.)



MAR 1, 2022

REFER TO DETAIL  
1/S1 FOR  
LATERAL SUPPORT  
@ STAIR OPENING

3-2"x6" ON  
30"x28"x12" FOOTING

BASEMENT INSULATION @ STAIR/  
SUNKEN AREA  
-2"(R10) CONTINUOUS INSULATION  
RIGID OR SPRAY FOAM)  
-2"x4"@16"O.C W/ R12 BATT  
INSULATION & 1/2" DRYWALL  
FINISH  
-EXTENDED EXTERIOR WALL FOOTING  
TO SUPPORT 2"x4" WALL WHERE  
LOAD BEARING.

CHECK FOUNDATION  
WALL FOR SUNKEN  
FLOOR ABOVE

FULL HEIGHT  
INSUL.

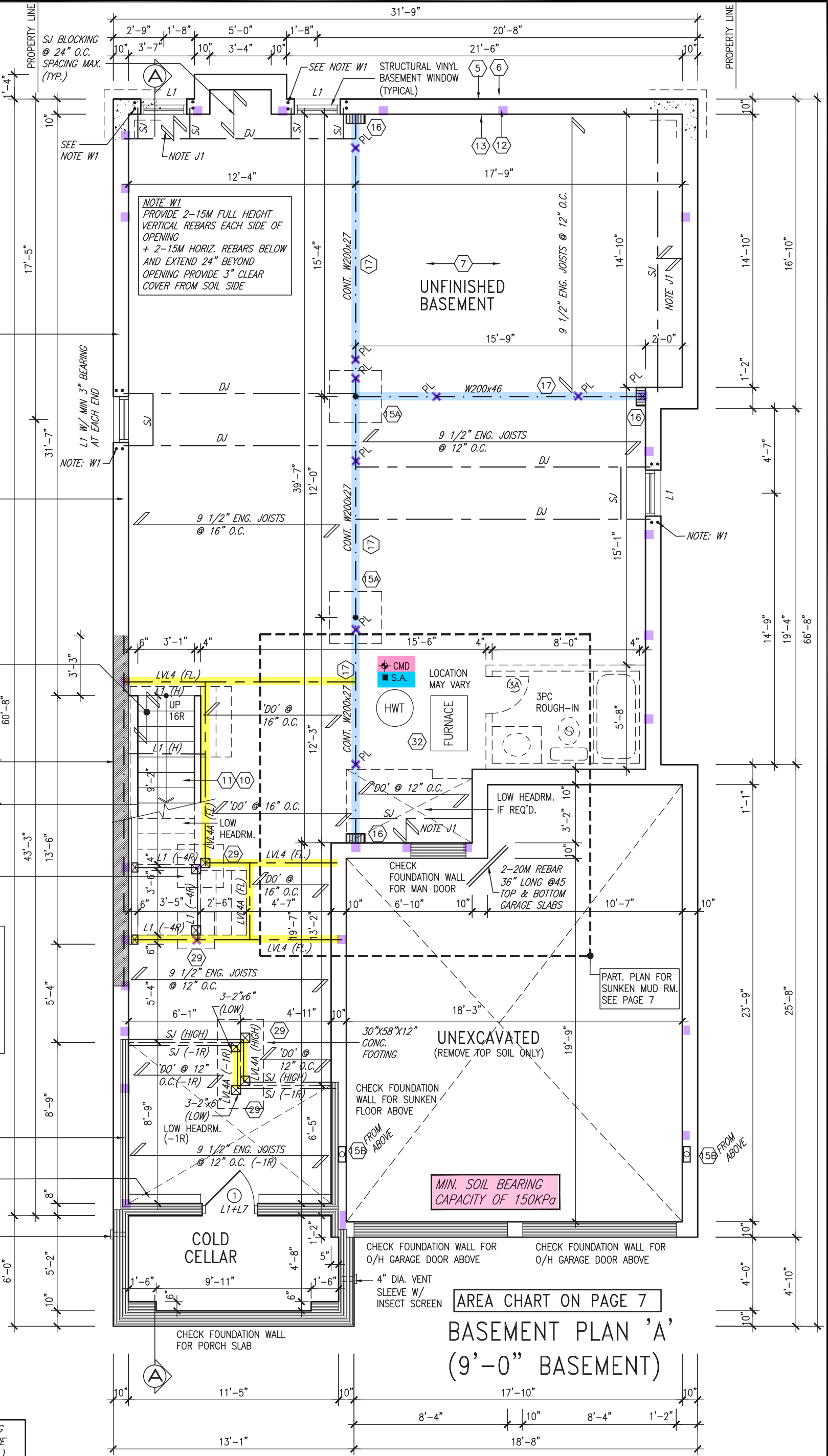
4" DIA. VENT SLEEVE  
W/ INSECT SCREEN

NOTE: SPACE ALL FLOOR  
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ALL CERAMIC TILE AREAS.

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FLOOR LOADS ARE TO BE  
SPECIFIED BY FLOOR TRUSS  
MANUFACTURER.

NOTE: FLOOR FRAMING INFO  
REFER TO SHOP DRAWINGS  
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INFORMATION AND DETAILS.  
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NOTE J1: PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)



AREA CHART ON PAGE 7  
BASEMENT PLAN 'A'  
(9'-0" BASEMENT)

9.	.	.	.
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5.	.	.	.
4.	.	.	.
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2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
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no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name registration information			
VA3 Design Inc.		42658	
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**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**BAYVIEW WELLINGTON S38-20**  
**REVIEWED**  
project name GREEN VALLEY ESTATES municipality BRADFORD EAST, ON. project no. 16023  
date SEPT. 2021  
drawn by NC checked by JWM scale 3/16" = 1'-0"  
BASEMENT PLAN 'A' file name 16023-S38-20 drawing no. 1A  
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:38 PM

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#### DOOR HEIGHTS

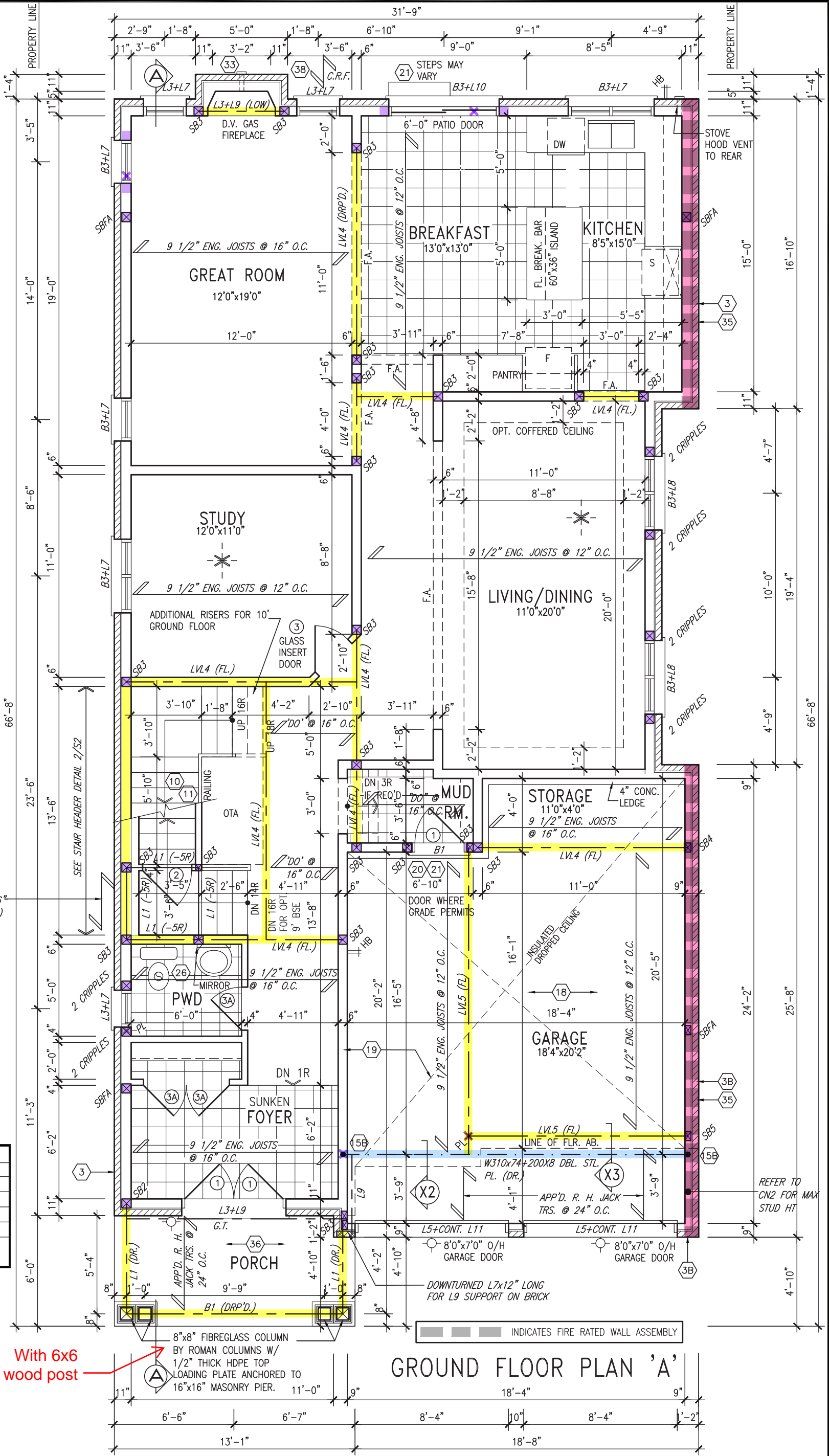
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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## GROUND FLOOR PLAN 'A'

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
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4	.	.	.
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3
no.	description	date	by

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qualification information  
Wellington Jno-Baptiste 25591  
name  
registration information  
VA3 Design Inc. 42658

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**BAYVIEW WELLINGTON**  
**GREEN VALLEY ESTATES**

**S38-20**  
BRADFORD EAST, ON.

project name  
date  
drawn by  
checked by  
scale  
file name  
project no.  
drawing no.

SEPT. 2021  
NC  
JWM  
3/16" = 1'-0"  
16023-S38-20  
2

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GRAB BAR NOTE:

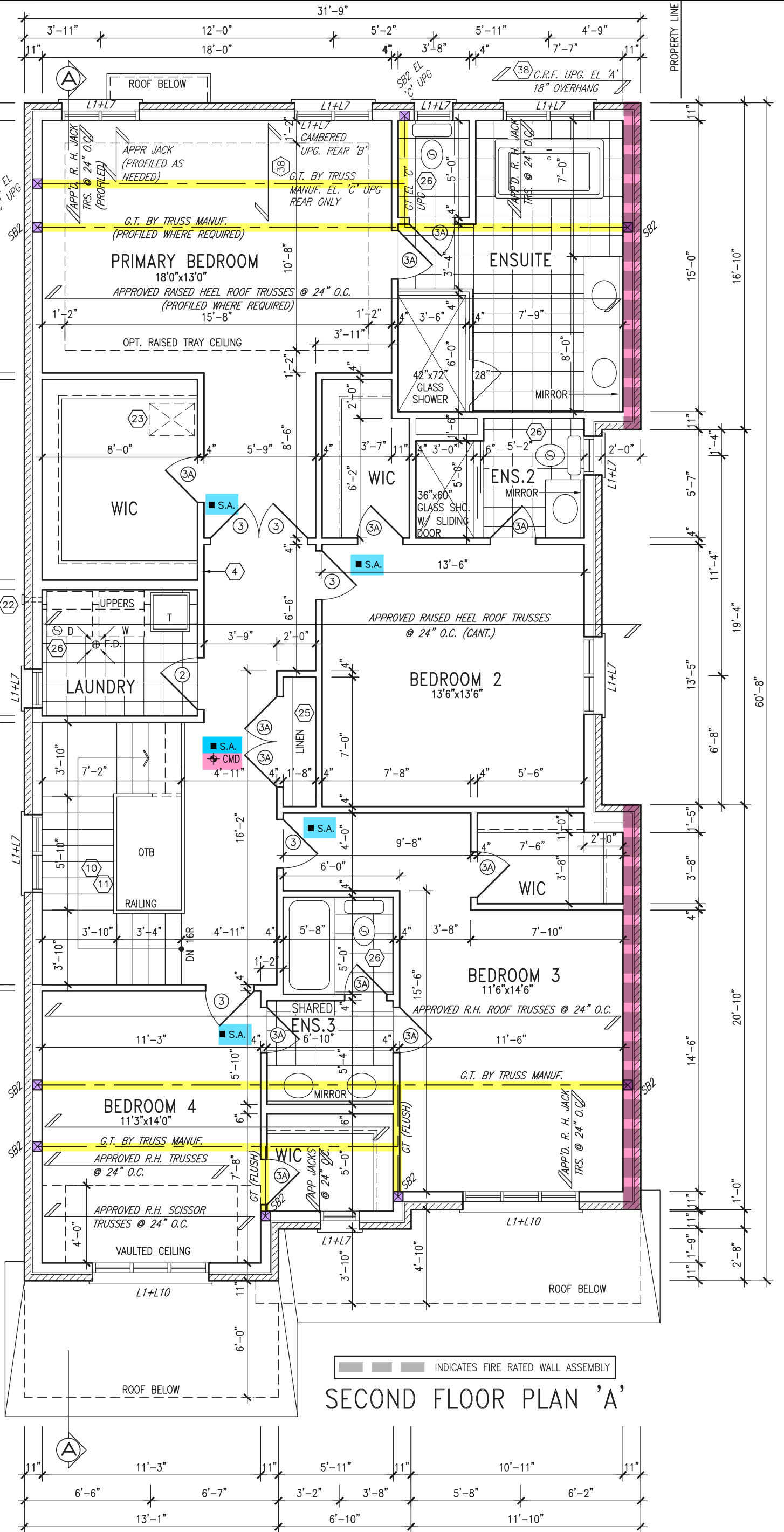
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

NOTE: ROOF FRAMING

ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



SECOND FLOOR PLAN 'A'

9.	.	.	.
8.	.	.	.
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4.	.	.	.
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Wellington Jno-Baptiste	signature	25591	BCIN
registration information		42658	
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VA3  
DESIGN

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BAYVIEW WELLINGTON

S38-20

project name	GREEN VALLEY ESTATES	municipality	BRADFORD EAST, ON.	project no.	16023
date	SEPT. 2021	checked by	JWM	scale	3/16" = 1'-0"
drawn by	NC	file name	16023-S38-20	drawing no.	3
SECOND FLOOR PLAN 'A'					
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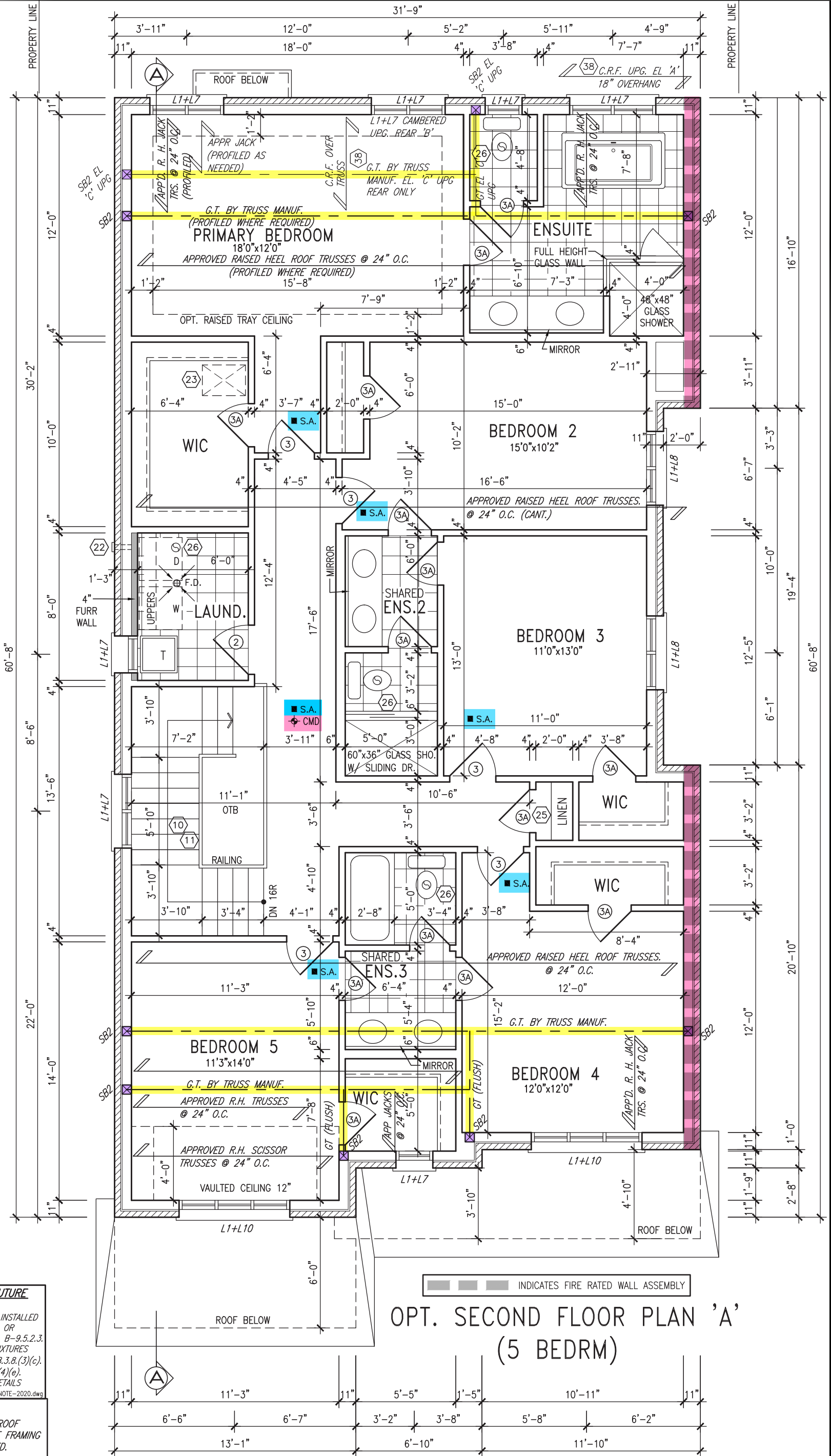
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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GB-NOTE-2020.dwg

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no.	description	date	by	

25591	BCIN
42658	

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

project name	BAYVIEW WELLINGTON	project no.	S38-20
GREEN VALLEY ESTATES	BRADFORD EAST, ON.	16023	
date	SEPT. 2021	file name	16023-S38-20
drawn by	NC	checked by	JWM
scale	3/16" = 1'-0"	drawing no.	4
OPT. SECOND FLR. PLAN 'A' (5 BR.)			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:38 PM			

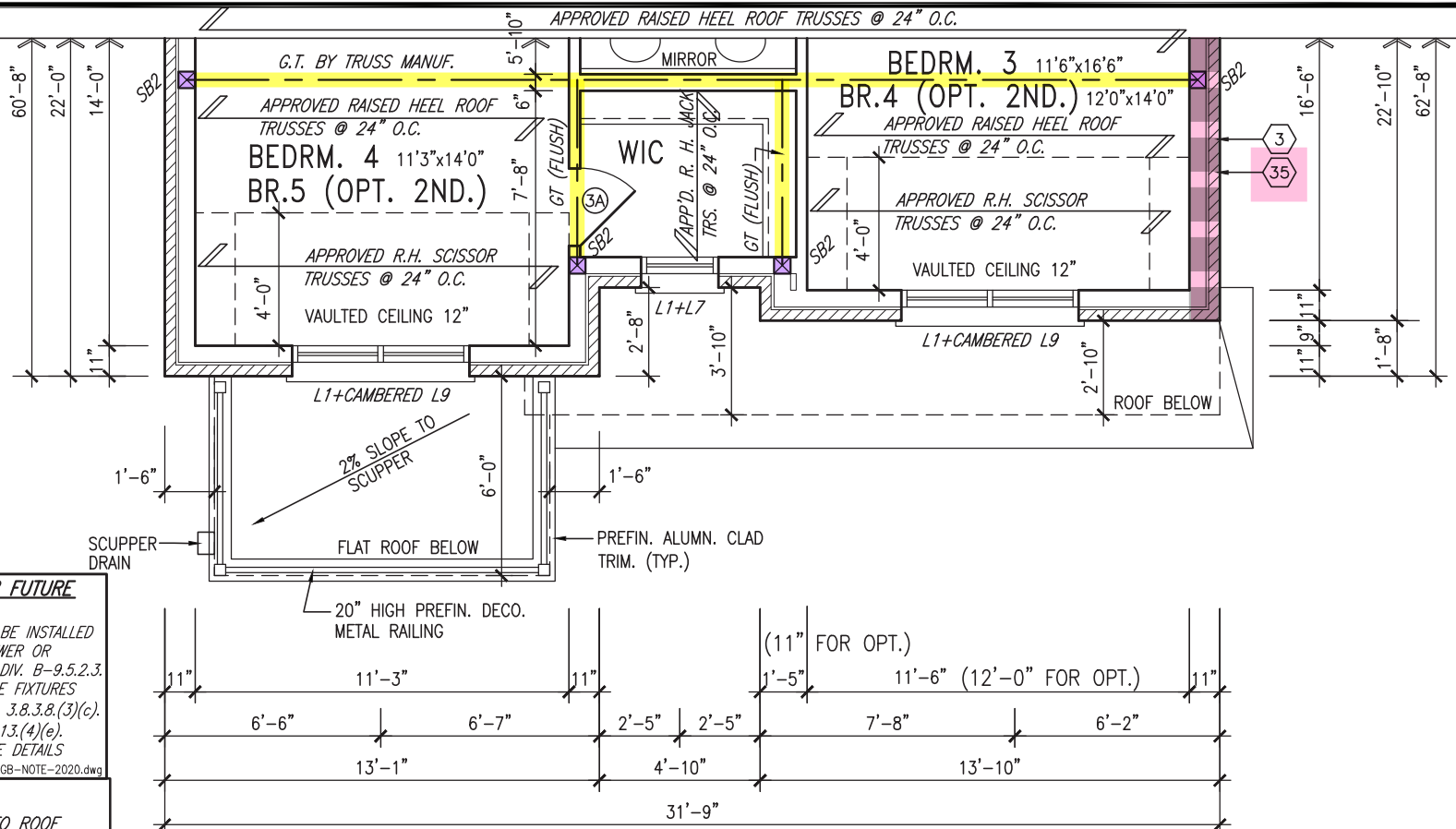
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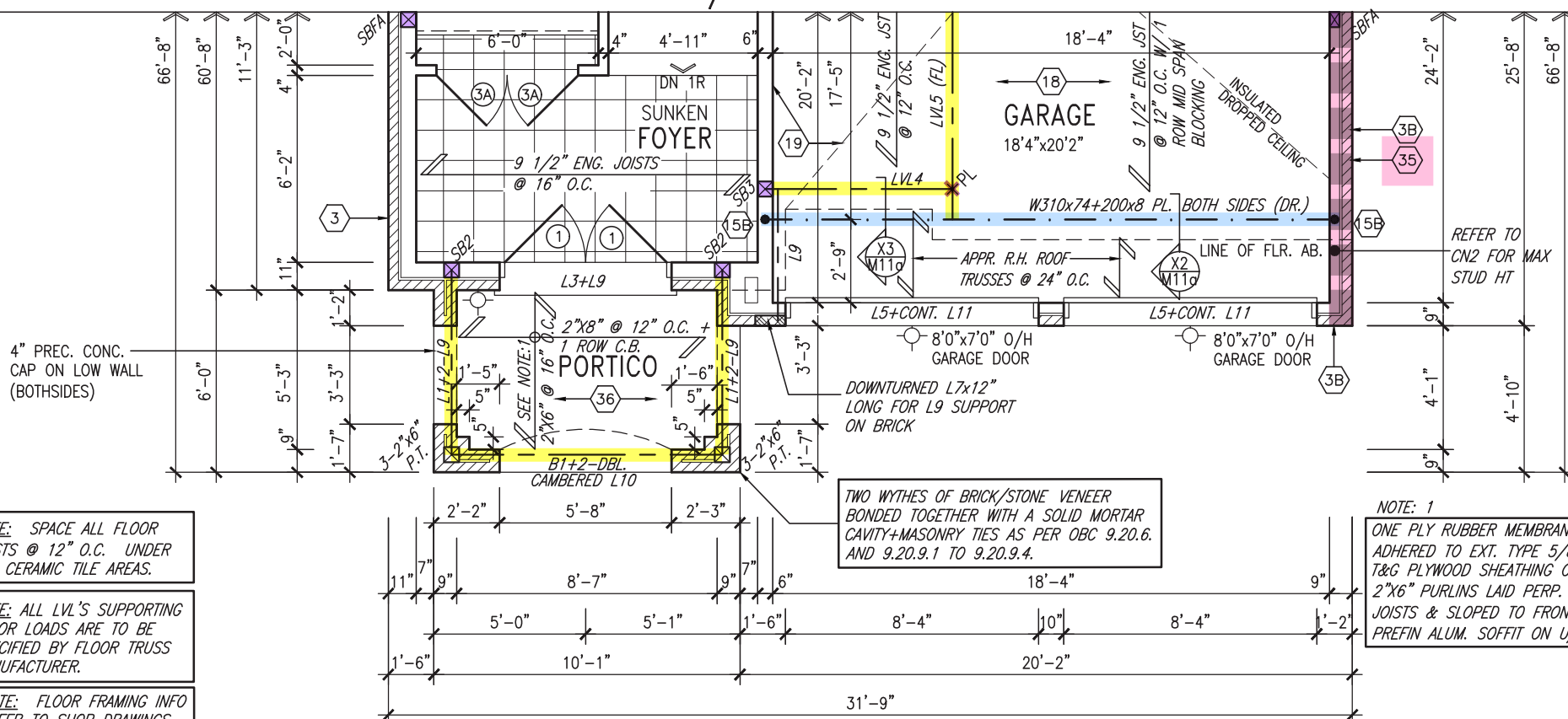
STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM

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BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.  
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES  
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).  
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).  
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS  
PROVIDED.

NOTE: ROOF FRAMING

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PARTIAL STD./OPT. SECOND FLOOR PLAN 'B'



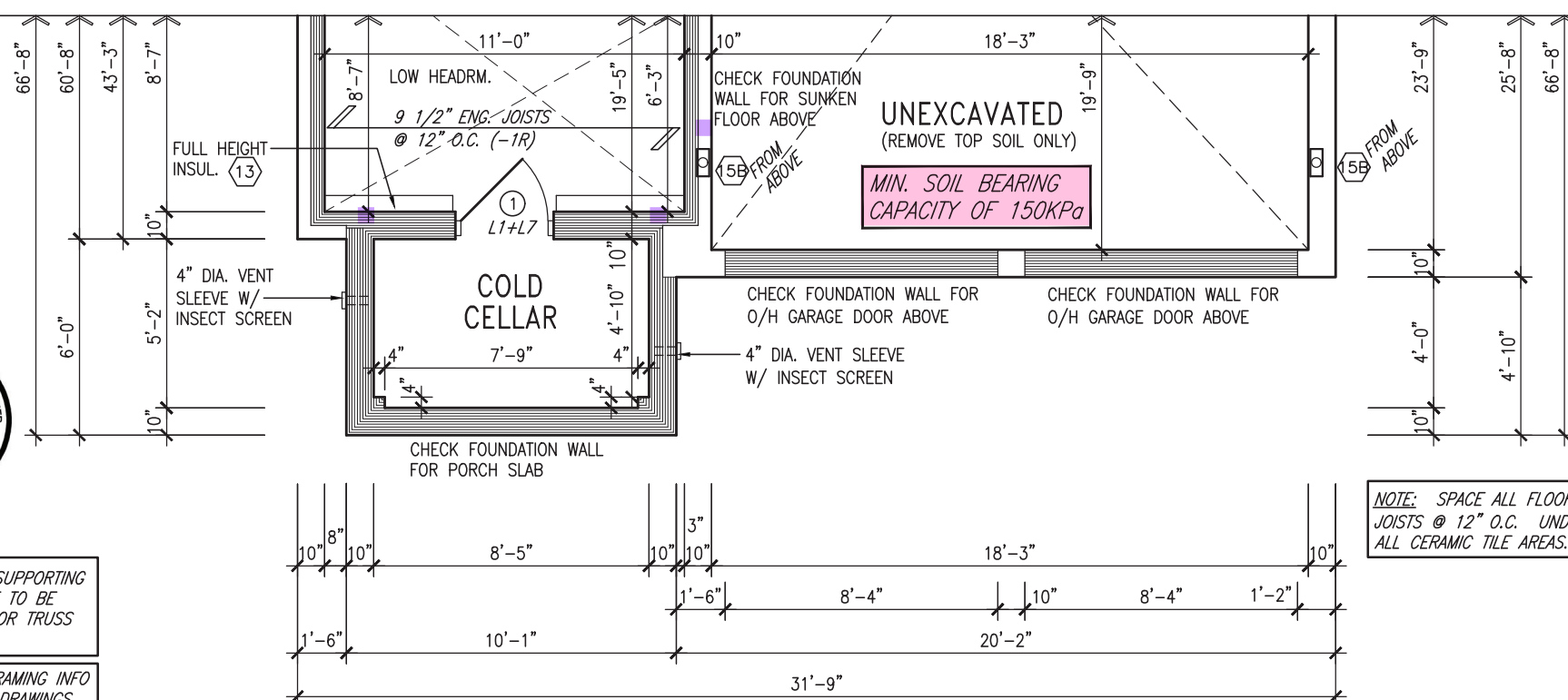
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NOTE: FLOOR FRAMING INFO  
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INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE: 1  
ONE PLY RUBBER MEMBRANE  
ADHERED TO EXT. TYPE 5/8"  
T&G PLYWOOD SHEATHING ON  
2"x6" PURLINS LAID PERP. TO  
JOISTS & SLOPED TO FRONT W/  
PREFIN ALUM. SOFFIT ON U/S

### PARTIAL GROUND FLOOR PLAN 'B'



NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

### PARTIAL BASEMENT PLAN 'B'

NOTE J1: PROVIDE SOLID BLOCKING  
@ 24" O.C. WHERE FLOOR JOISTS ARE  
PARALLEL TO FOUNDATION WALL (TYP.)

9	.	.	.
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name	signature	BCIN
registration information		
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# BAYVIEW WELLINGTON

**S38-20**

project name <b>GREEN VALLEY ESTATES</b>		participation <b>BRADFORD EAST, ON.</b>		project no. <b>16023</b>	
date <b>SEPT. 2021</b>		drawing no. <b>5</b>			
drawn by <b>NC</b>		checked by <b>JWM</b>		scale <b>3/16" = 1'-0"</b>	
				file name <b>16023-S38-20</b>	
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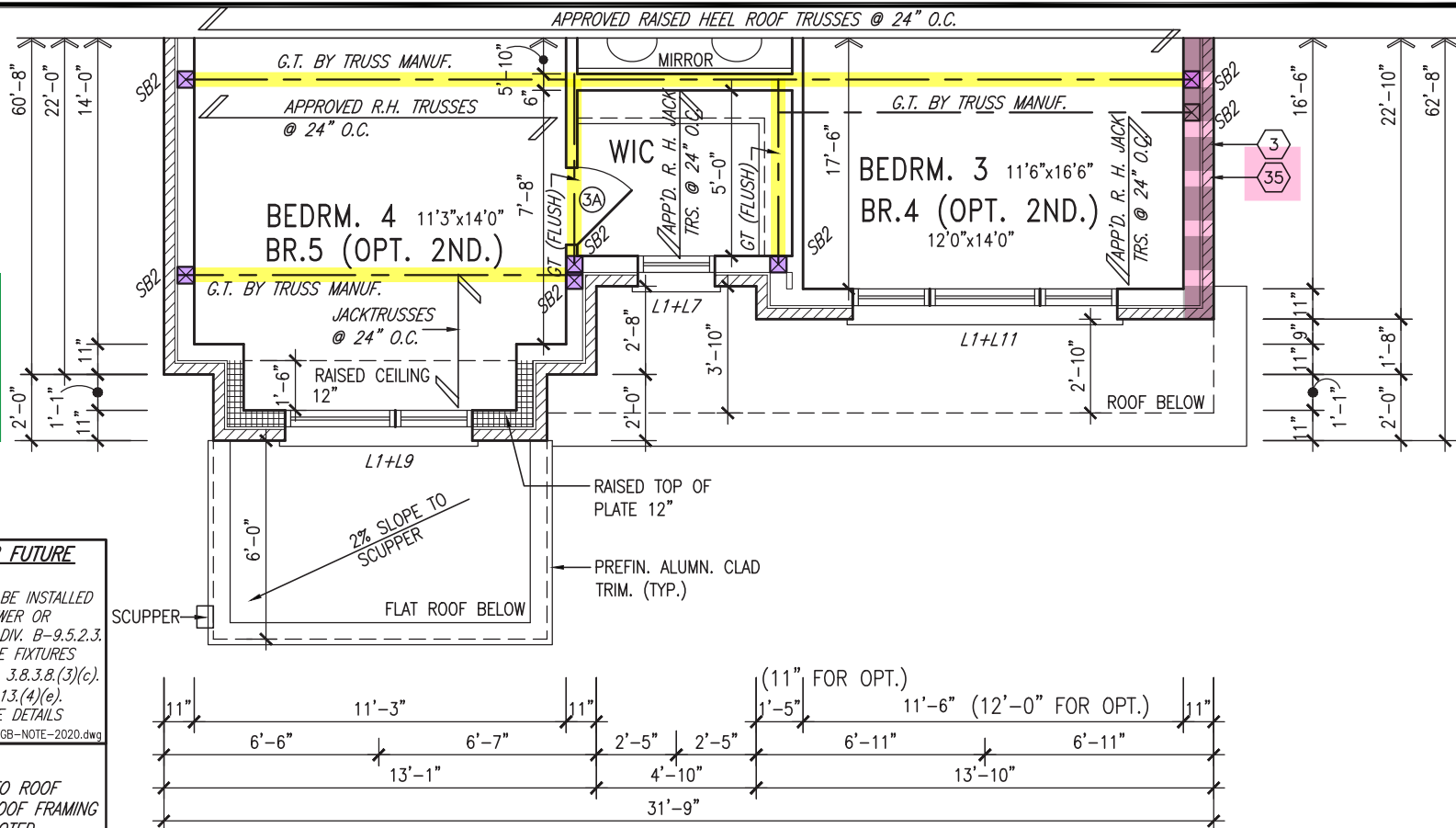
GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM

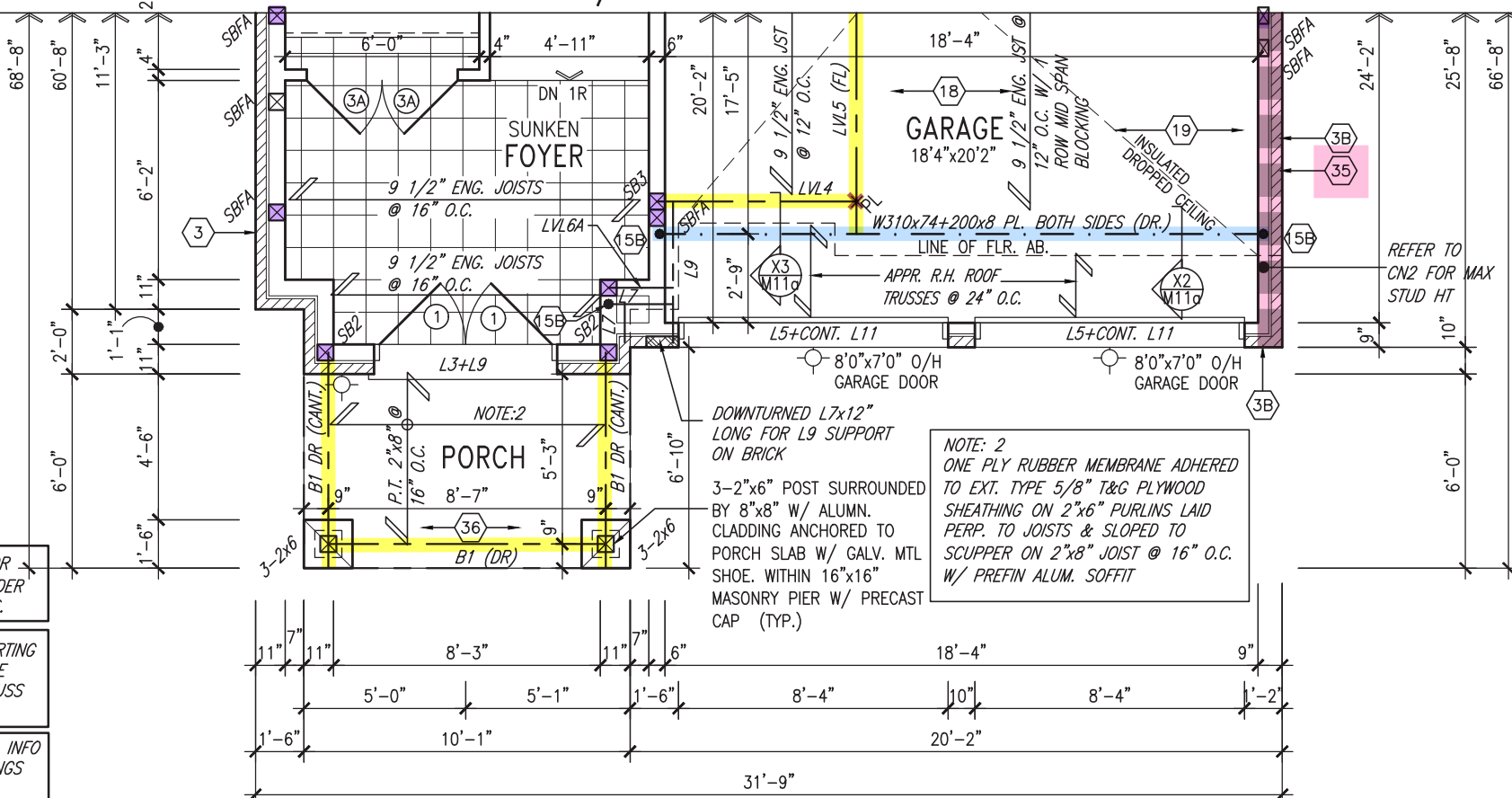
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PARTIAL STD./OPT. SECOND FLOOR PLAN 'C'



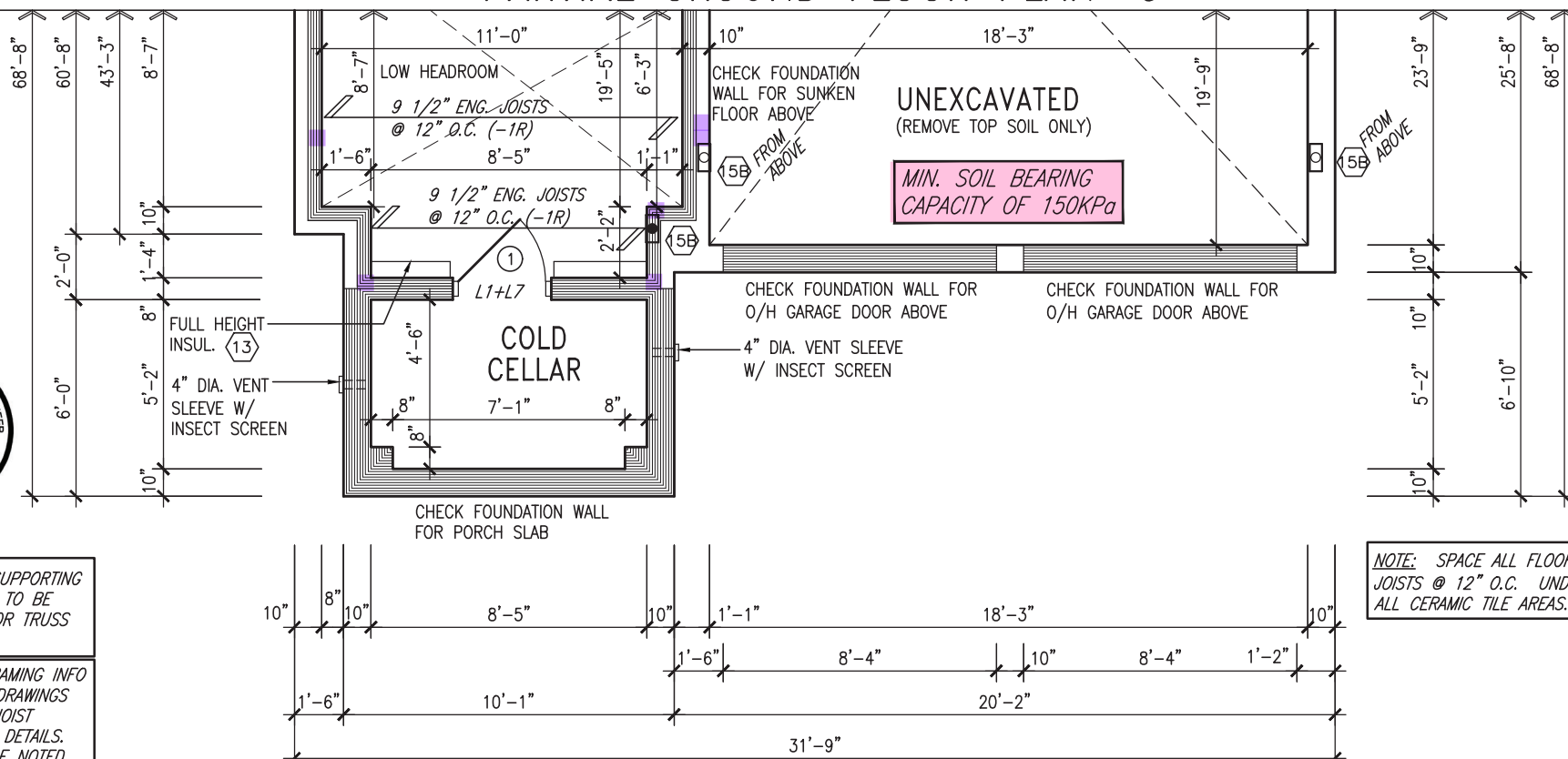
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INFORMATION AND DETAILS.  
UNLESS OTHERWISE NOTED.

NOTE: 2  
ONE PLY RUBBER MEMBRANE ADHERED  
TO EXT. TYPE 5/8" T&G PLYWOOD  
SHEATHING ON 2"x6" PURLINS LAID  
PERP. TO JOISTS & SLOPED TO  
SCUPPER ON 2"x8" JOIST @ 16" O.C.  
W/ PREFIN ALUM. SOFFIT

PARTIAL GROUND FLOOR PLAN 'C'



NOTE: SPACE ALL FLOOR  
JOISTS @ 12" O.C. UNDER  
ALL CERAMIC TILE AREAS.

PARTIAL BASEMENT PLAN 'C'

9	.	.	.
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4	.	.	.
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RO
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RO
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
name	signature
registration information	BCIN
VA3 Design Inc.	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

# BAYVIEW WELLINGTON

**S38-20**

project name <b>GREEN VALLEY ESTATES</b>		municipality <b>BRADFORD EAST, ON.</b>		project no. <b>16023</b>	
date <b>SEPT. 2021</b>		drawing no. <b>6</b>			
drawn by <b>NC</b>		checked by <b>JWM</b>		scale <b>3/16" = 1'-0"</b>	
file name <b>16023-S38-20</b>					
<b>RICHARD ~ H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg ~ Tue ~ Mar 1 2022 ~ 2:38 PM</b>					

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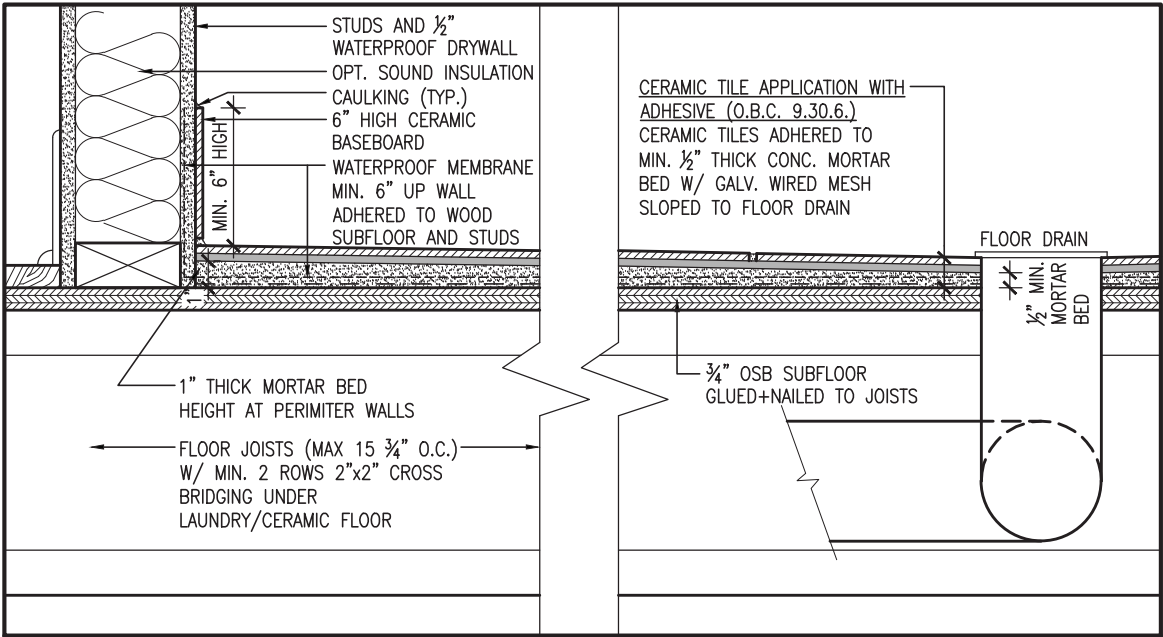
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

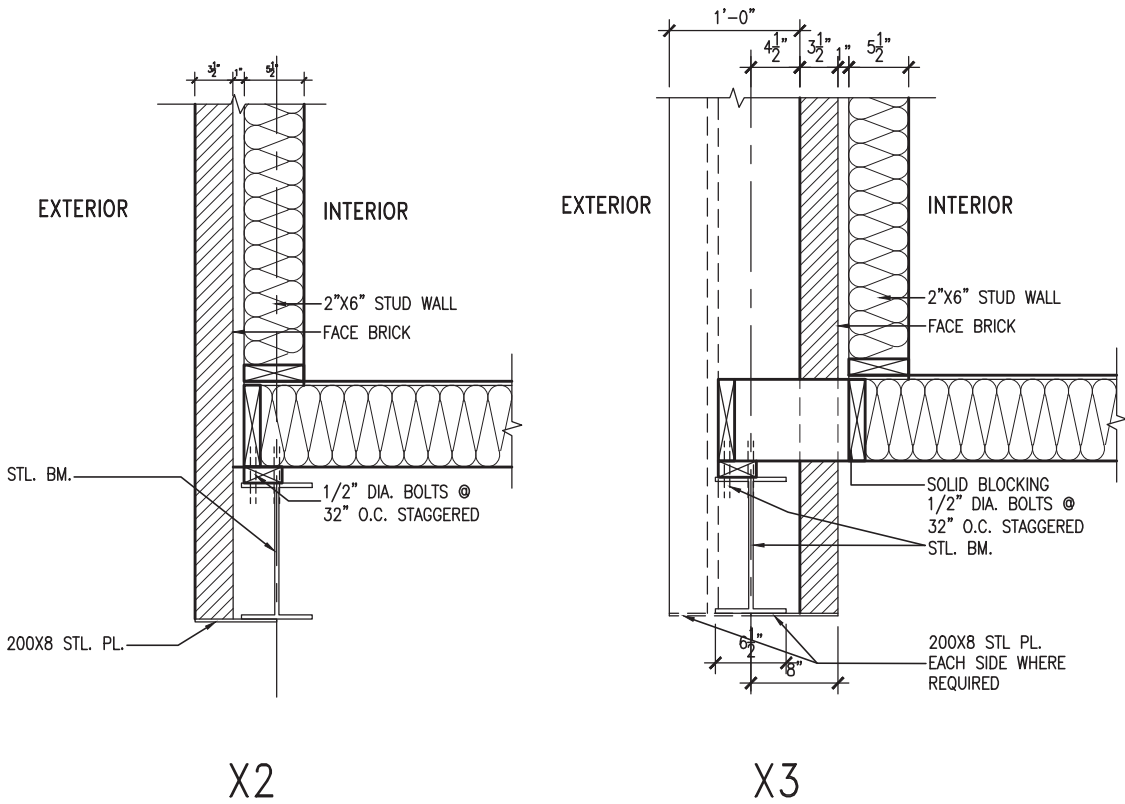


DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

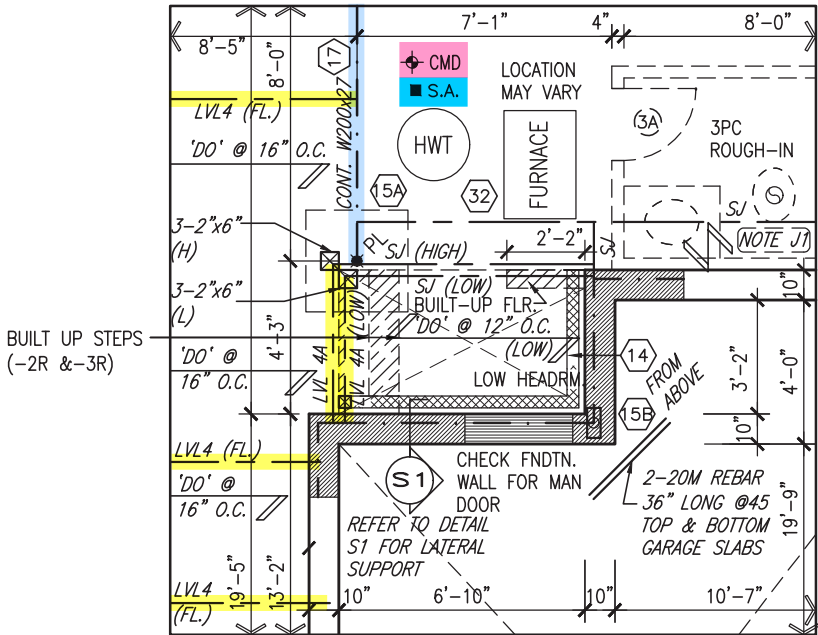


MAR 1, 2022

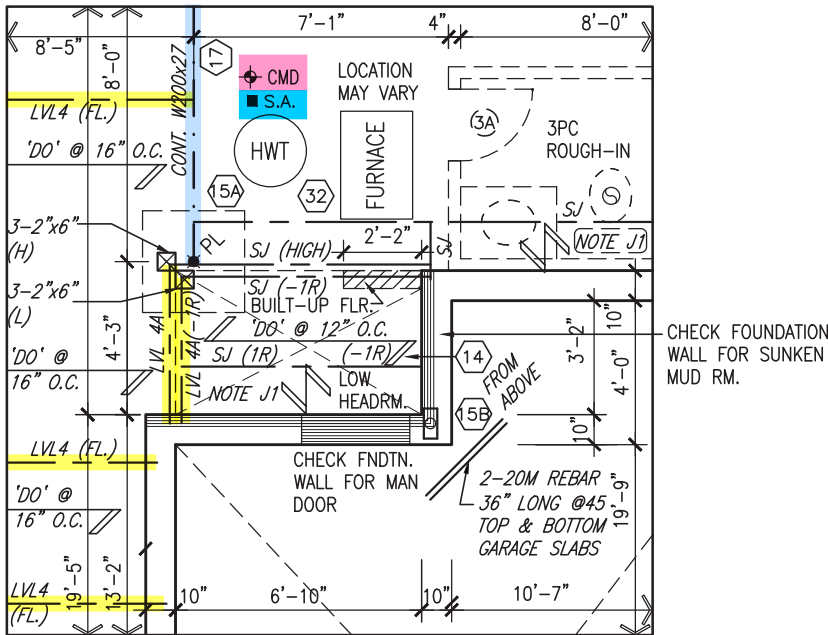
AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1462.1 SF	1462.1 SF	1483.5 SF
SECOND FLOOR AREA	1825.9 SF	1851.6 SF	1871.7 SF
SUBTOTAL	3288.0 SF	3313.7 SF	3355.3 SF
DEDUCT ALL OPENINGS	25.8 SF	25.8 SF	25.8 SF
TOTAL NET AREA	3262 SF	3288 SF	3329 SF
	303.1 m2	305.4 m2	309.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	3262 SF	3288 SF	3329 SF
W/ FIN BSMT	303.1 m2	305.4 m2	309.3 m2
COVERAGE W/O PORCH	1917.3 SF	1918.6 SF	1937.9 SF
	178.1 m2	178.2 m2	180.0 m2
COVERAGE W/PORCH	1994.4 SF	1978.2 SF	1998.4 SF
	185.3 m2	183.8 m2	185.7 m2



M11a 12" WALL JOG  
SCALE: N.T.S.



PART. SUNKEN MUD ROOM  
(2-3R)



PART. SUNKEN MUD ROOM (-1R)

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC	
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3	
no.	description	date	by	



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t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON

S38-20

project name	GREEN VALLEY ESTATES	municipality	BRADFORD EAST, ON.	project no.	16023
date	SEPT. 2021	checked by	JWM	scale	3/16" = 1'-0"
drawn by	NC	file name	16023-S38-20	drawing no.	7
PART. FLOOR PLAN 'C'					
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM					



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: MAR 03, 2022

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**VA3**  
**DESIGN**  
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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

no.	description	date	by
9	.	.	.
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3	REVISED AS PER ENG COMMENTS	MAR 01--22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24--22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 23--21	VA3





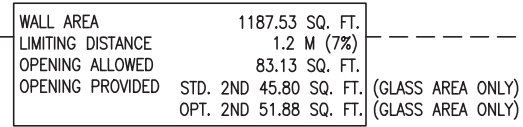
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL  
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: MAR 03, 2022

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



RIGHT SIDE ELEVATION 'A'

# REVIEWED

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)45 MINUTE FIRE RATING @ HEADER  
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

[illegible]

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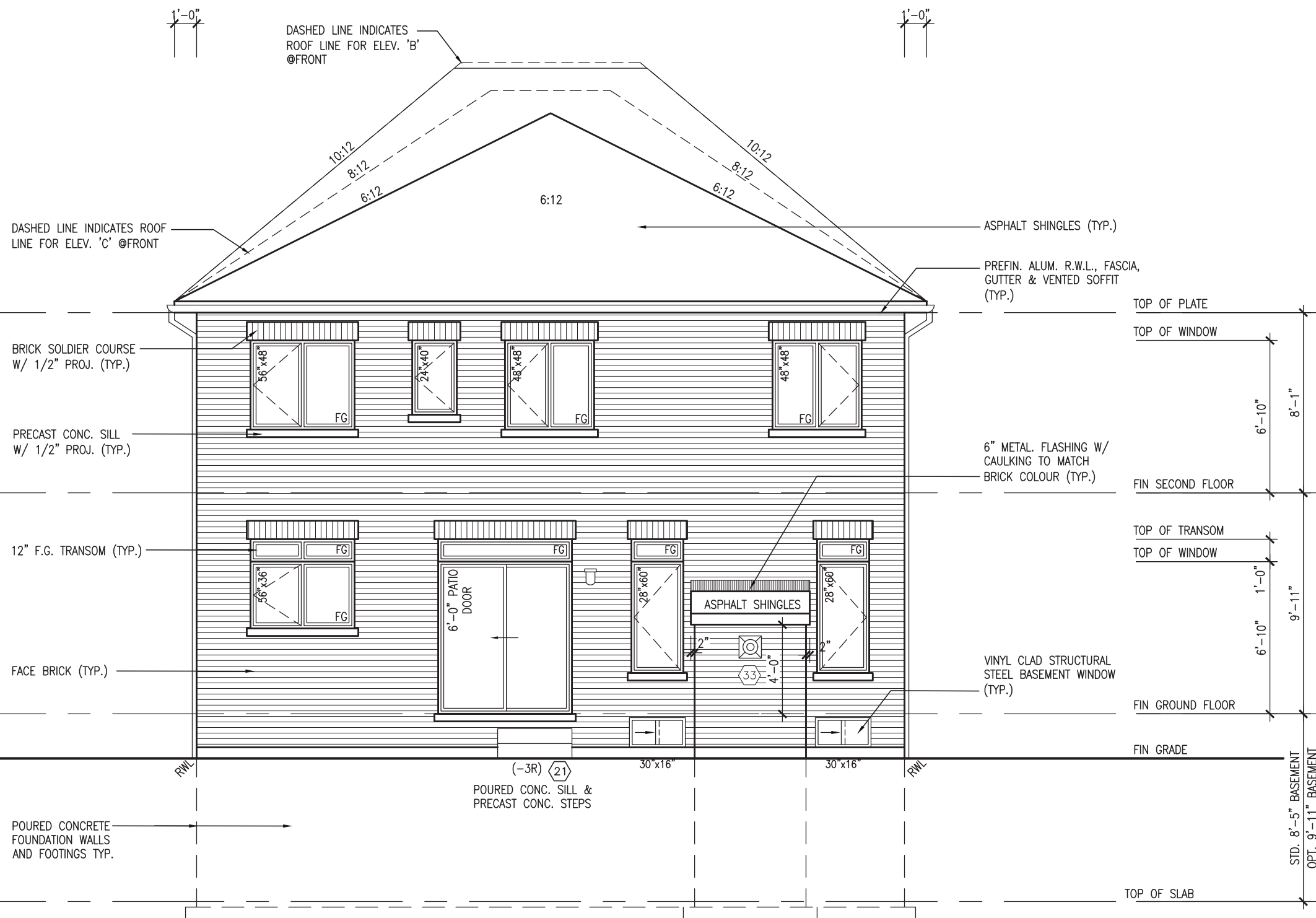
APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

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professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



MAR 1, 2022



REAR ELEVATION 'A'/'B'/'C'

# REVIEWED

**S38-20**

**BAYVIEW WELLINGTON**

VA

project name	project no.
GREEN VALLEY ESTATES	16023
BRADFORD EAST, ON.	
municipality	

late _____	DEAD ELEVATION 'A' / 'B' / 'C'	drawing no. _____
------------	--------------------------------	-------------------

NEAR ELEVATION A / B / C	file name
SEPT. 2021	drawn by checked by scale

NC	JWM	$3/16'' = 1'-0''$	16023-S38-20
FOUND	11.4	40007	MU 11.4 765 40007
			T - M - 4 0000
			0.73 RM

RICHARD - H: \ARCHIVE\WORKING\_2016\60235W\_units\_38 | 60235-S08-ZU.dwg - Tue - Mar | 2022 - 2:39 PM

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Wellington Inc-Bantist  
25591

name	signature	BCIN
------	-----------	------

42658  
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All draw

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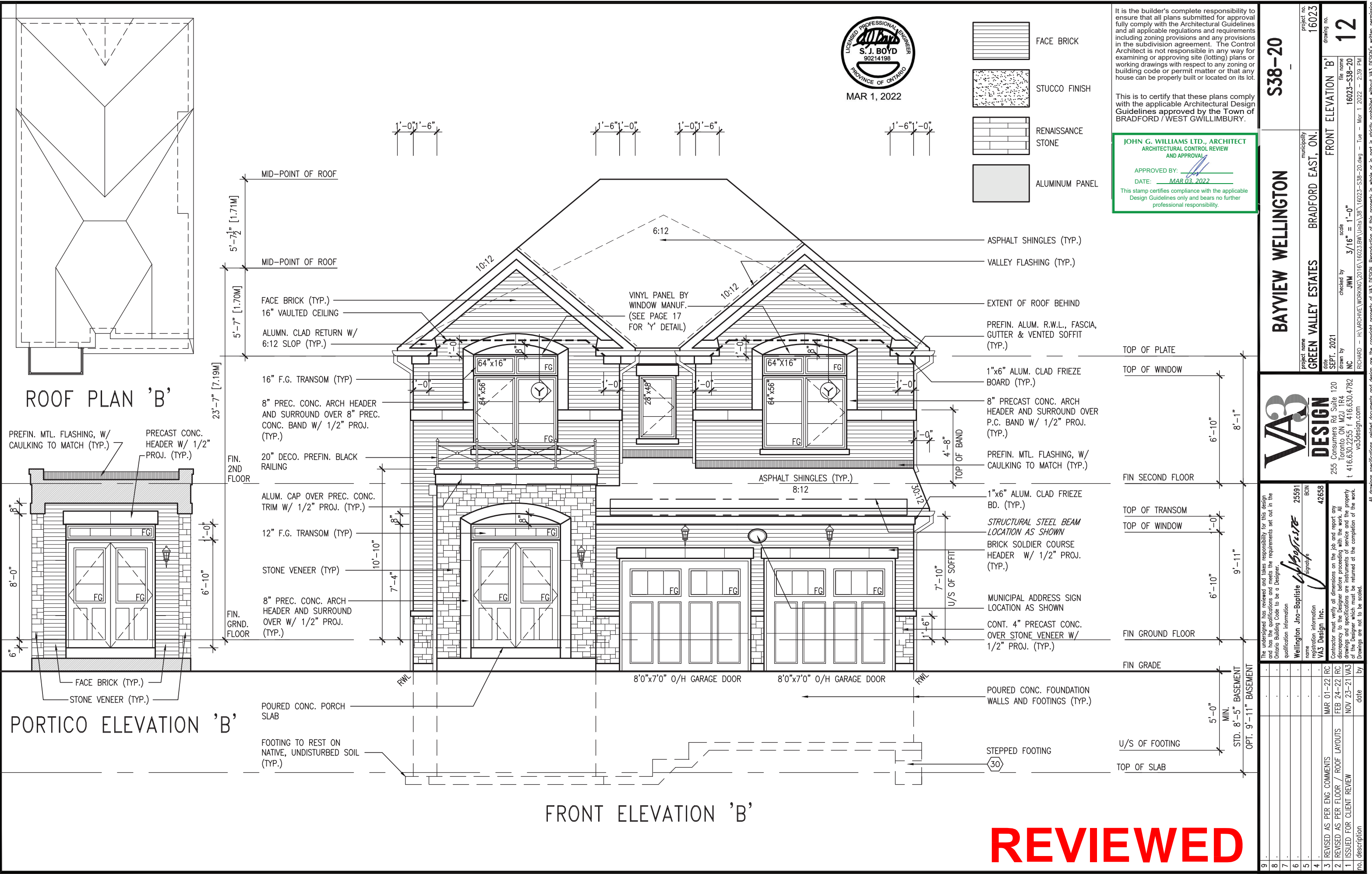
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3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC

1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3
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no.	description	date	by
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REVIEWED

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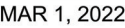
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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project no.		16023
drawing no.		12
project name		S38-20
municipality		BAYVIEW WELLINGTON
project name		GREEN VALLEY ESTATES
municipality		BRADFORD EAST, ON.
date		SEPT. 2021
checked by		JWM
scale		3/16" = 1'-0"
drawn by		NC
file name		16023-S38-20
drawn by		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM
no.		description
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3	REVISED AS PER ENG COMMENTS	MAR 01-22 RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC
1	ISSUED FOR CLIENT REVIEW	NOV 23-21 VA3



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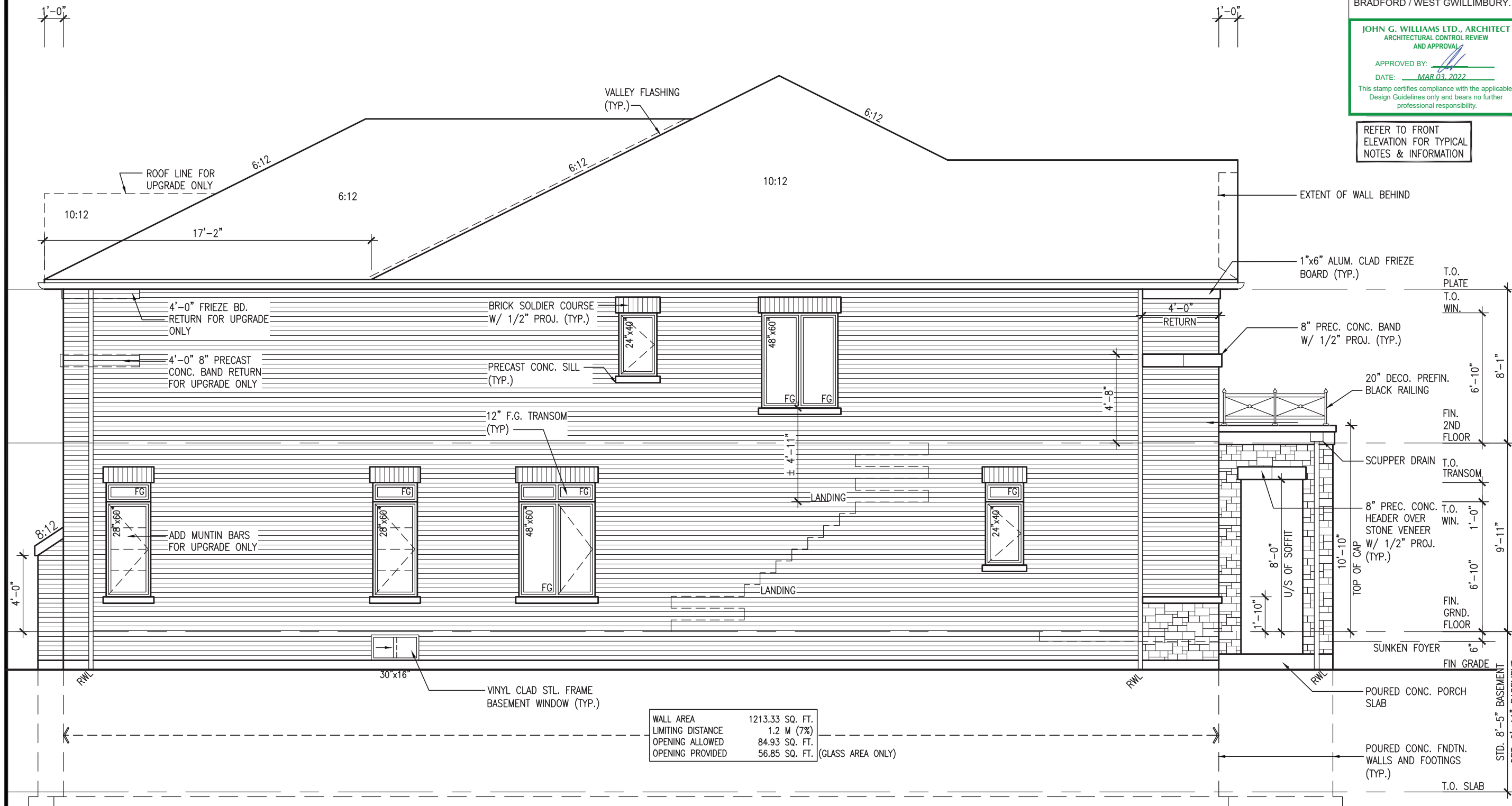
**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: \_\_\_\_\_

DATE: MAR 03, 2022

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



LEFT SIDE ELEVATION 'B'

# REVIEWED

[illegible]

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



MAR 1, 2022

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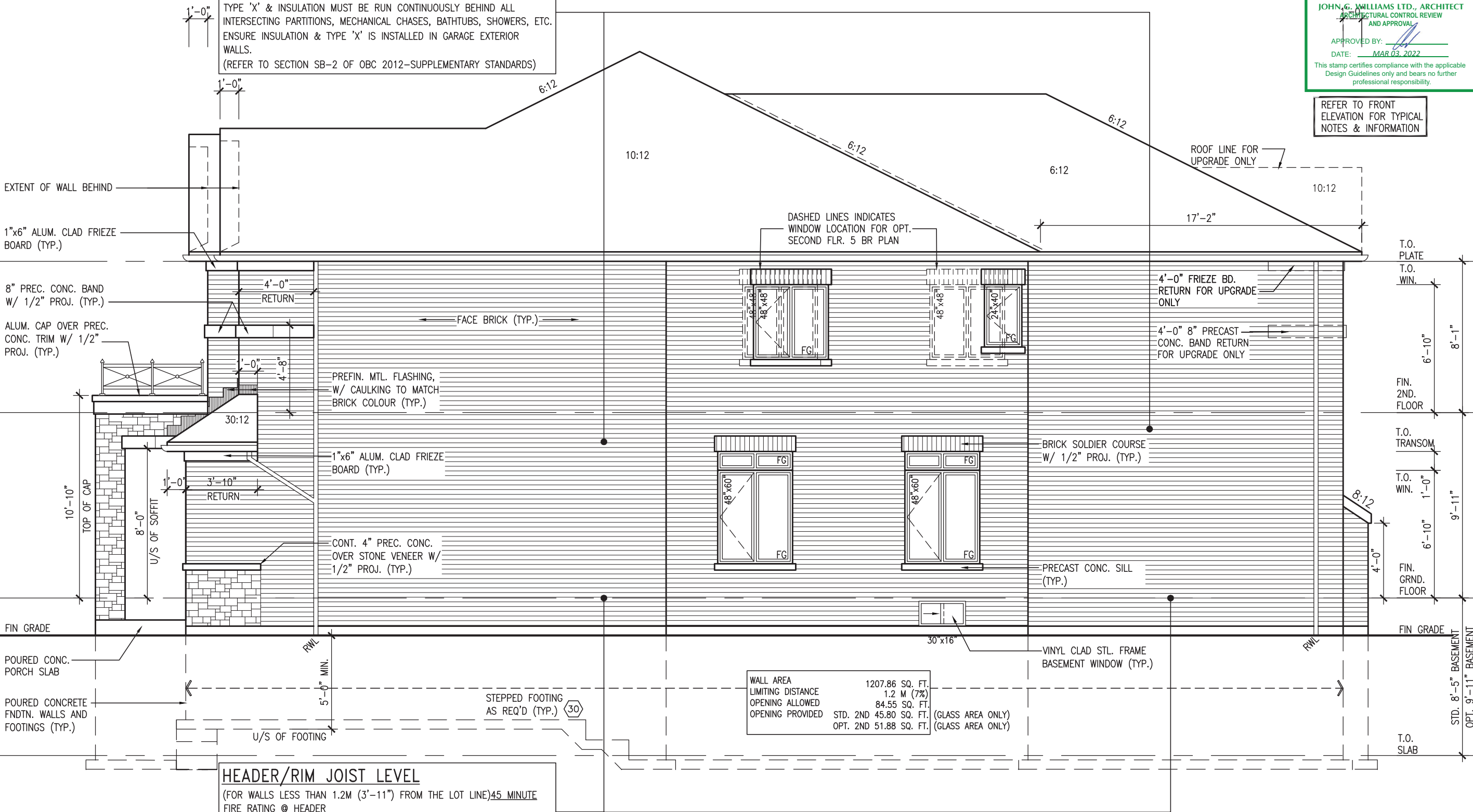
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: MAR 03, 2022

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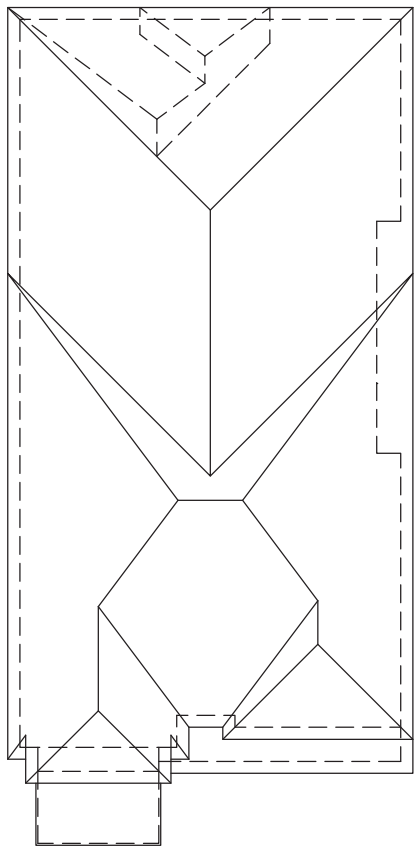
REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



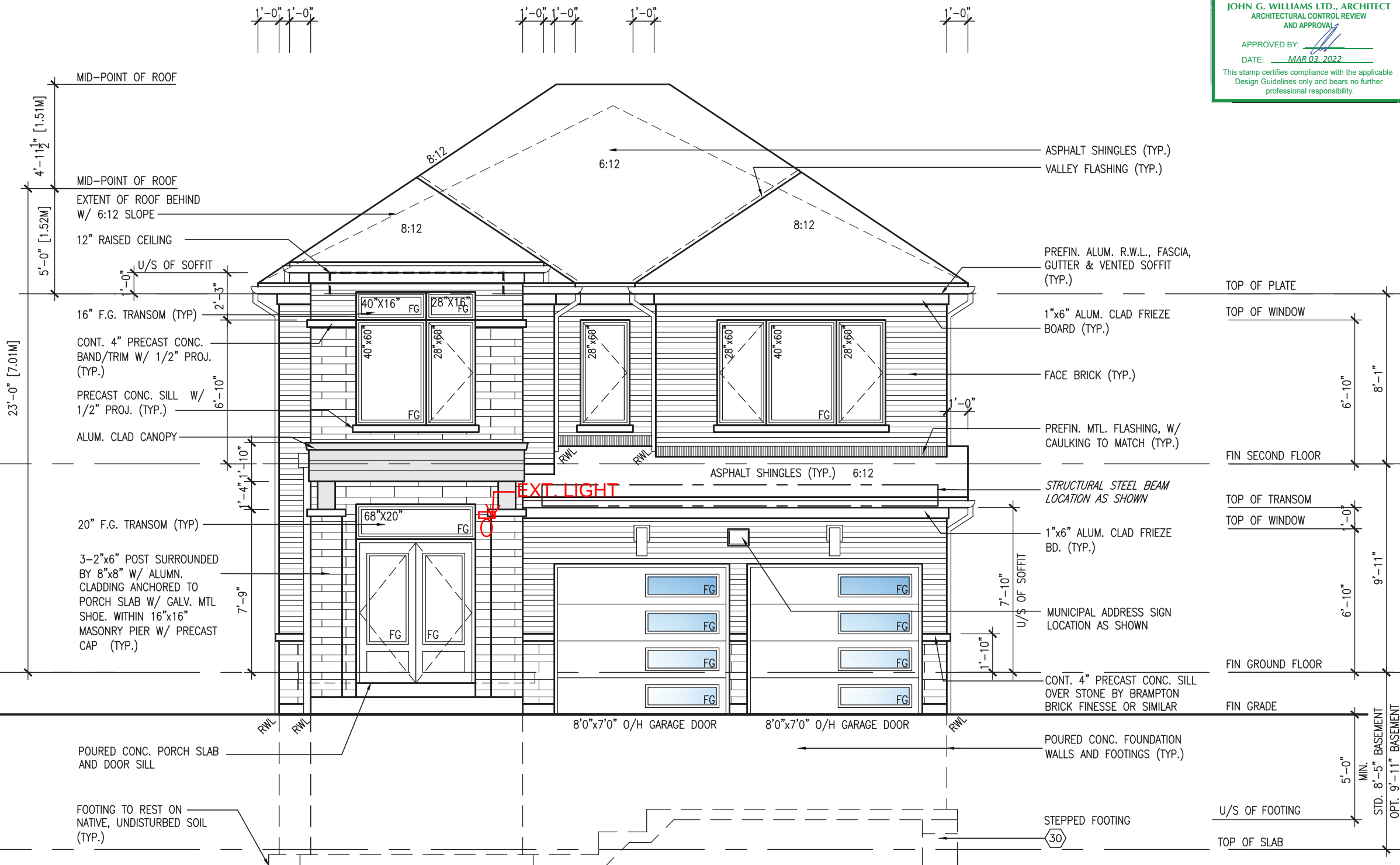
RIGHT SIDE ELEVATION 'B'

REVIEWED

project no.		16023	
drawing no.		14	
project name		GREEN VALLEY ESTATES	
municipality		BRADFORD EAST, ON.	
date		SEPT. 2021	
checked by		JWM	
drawn by		NC	
scale		3/16" = 1'-0"	
file name		16023-S38-20	
date		Mar 1 2022 - 2:39 PM	
no.		description	
9	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	Wellington Jno-Baptiste 25591 BCIN	
7	.	V3 Design Inc. 42658	
6	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
5	.	MAR 01-22 RC	
4	.	FEB 24-22 RC	
3	.	NOV 23-21 V3	
2	.	REVISED AS PER ENG COMMENTS	
1	.	ISSUED FOR CLIENT REVIEW	



ROOF PLAN 'C'



FRONT ELEVATION 'C'



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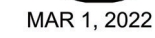
**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: MAR 03, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

project no.		16023	
drawing no.		15	
project name		BAYVIEW WELLINGTON	
municipality		BRADFORD EAST, ON.	
project name		GREEN VALLEY ESTATES	
date		SEPT. 2021	
drawn by		JWM	
checked by		JWM	
scale		3/16" = 1'-0"	
front elevation 'C'		FRONT ELEVATION 'C'	
file name		16023-S38-20	
drawn by		MAR 1 2022 - 2:39 PM	
checked by		MAR 1 2022 - 2:39 PM	
date		MAR 1 2022 - 2:39 PM	
description		16023-S38-20.dwg	
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description		ISSUED FOR CLIENT REVIEW	
no.		2	
description		REVISED AS PER ENG COMMENTS	
no.		3	
description		REVISED AS PER FLOOR / ROOF LAYOUTS	
no.		4	
description		ISSUED FOR CLIENT REVIEW	
no.		5	
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description		ISSUED FOR CLIENT REVIEW	

REVIEWED

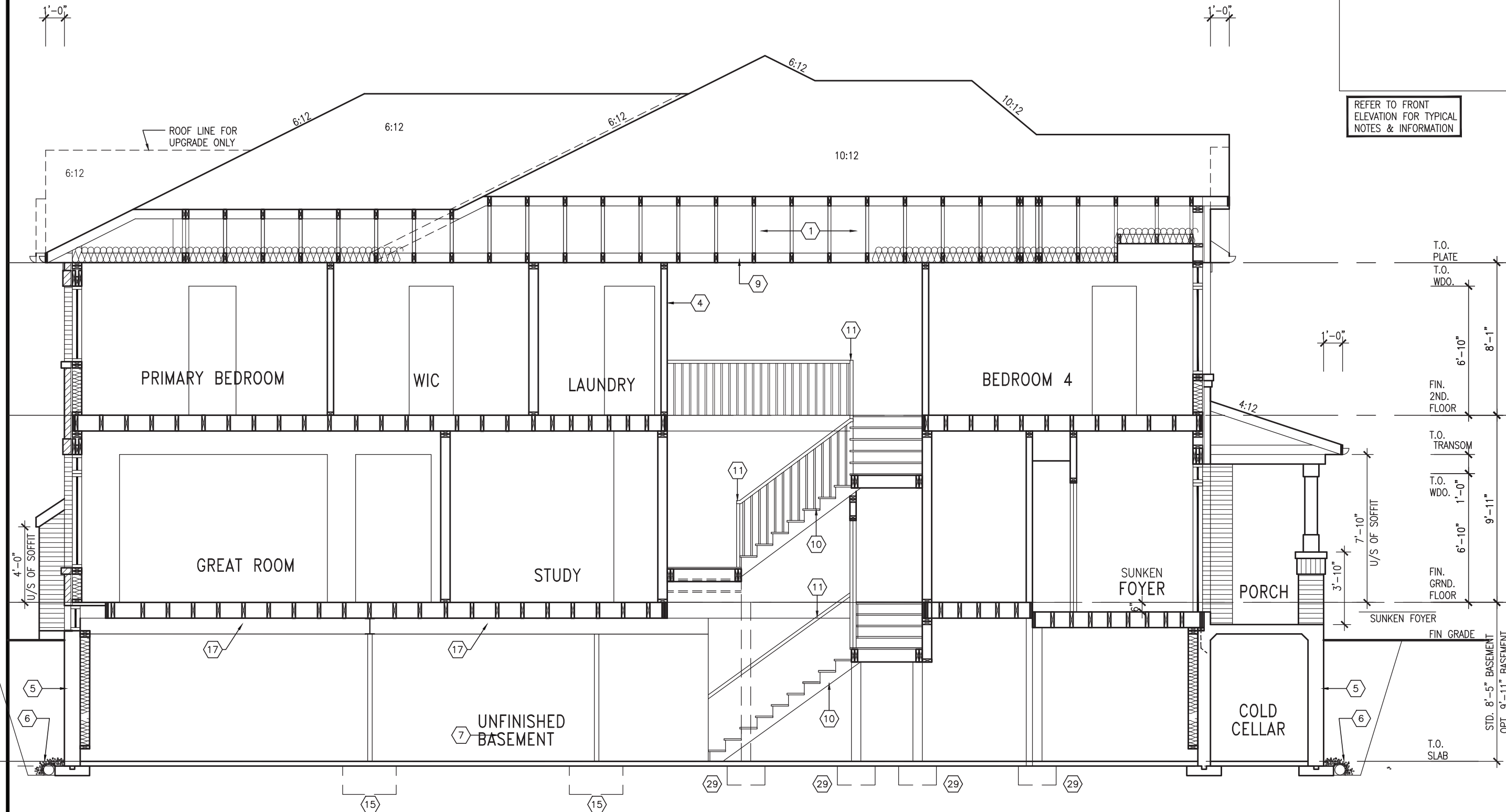






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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



LONGITUDINAL SECTION A-A

# REVIEWED

**S38-20**

**BAYVIEW WELLINGTON**

**BAYVIEW**

project name  
**GREEN VALLEY ESTATES**

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>provide information</p> <p><b>Wellington Jno-Baptiste</b></p> <p>name</p> <p>registration information</p> <p><b>VVA3 Design Inc.</b></p>	<p>signature</p> <p><i>[Signature]</i></p> <p><b>BCIN</b></p> <p><b>42658</b></p>
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2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC	
1	ISSUED FOR CLIENT REVIEW	NOV 23-21 VA3	
no.	description	date	by

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



MAR 1, 2022

Architectural elevation drawing of a two-story house with a gabled roof. The drawing includes the following details and annotations:

- Roof:** Gabled roof with a main pitch of 6:12 and side pitches of 10:12. Dashed lines indicate roof lines for elevations 'B' and 'C' at the front. Asphalt shingles (typ.) are specified for the roof.
- Exterior Walls:** Face brick (typ.) with a brick soldier course w/ 1/2" proj. (typ.) at the top. Precast concrete sills w/ 1/2" proj. (typ.) are shown below the windows.
- Windows:**
  - Second floor: Four windows, each 48" x 48" (FG).
  - First floor: Two windows, each 36" x 36" (FG), and two windows, each 28" x 60" (FG).
  - Basement: Two windows, each 36" x 40" (FG), and two windows, each 28" x 40" (FG).
- Doors:** A 6'-0" patio door is located on the first floor.
- Deck and Stairs:** A finished deck (FIN. DECK) is shown with a 3'-6" railing. A set of stairs leads down to the basement, supported by 2"x6" P.T. cross bracing.
- Foundation:** Poured concrete foundation walls and footings (typ.) are shown. A 6"x6" P.T. wood post c/w galv. metal cap and metal shoe set into 12" diam. sono tubes to extend 6" above grade and 5'-0" below grade.
- Other Details:**
  - 6" metal flashing w/ caulking to match brick colour (typ.) is specified for the roofline.
  - Asphalt shingles are also specified for the porch roof.
  - Base of the drawing shows a 5'-0" MIN. clearance.

**BASEMENT WINDOW SIZES**  
4R-8R USE 30"x24" VINYL

BASEMENT WINDOW SIZES  
4R-8R USE 30"x24" VINYL  
CLAD STRUCTURAL STEEL  
FRAME BASEMENT WINDOWS

REAR ELEVATION 'A'/'B'/'C'  
-W.O.D. CONDITION

# REVIEWED

**S38-20**

## BAYVIEW WELLINGTON

project name	location	year	area (sq. ft.)	owner
GREEN VALLEY ESTATES	Green Valley, N.C.	2000	1,000,000	Green Valley Estates, Inc.

municipality

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD EAST, ON.	16073

20  
drawing no.

DATE	TIME	LOCATION	REMARKS
2021	10:30	1000	REAR FIFV. 'A'/'B'/'C' - W.O.D. - COND.

drawn by	checked by	scale	file name
IC	JWM	3/16" = 1'-0"	16023-S38-20

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\1

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# DESIGN

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255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

va3design.com

he undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	signature	BCIN	42658
	name		
	registration information		
	VA3 Design Inc.		

contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VAS

o. description	date	by
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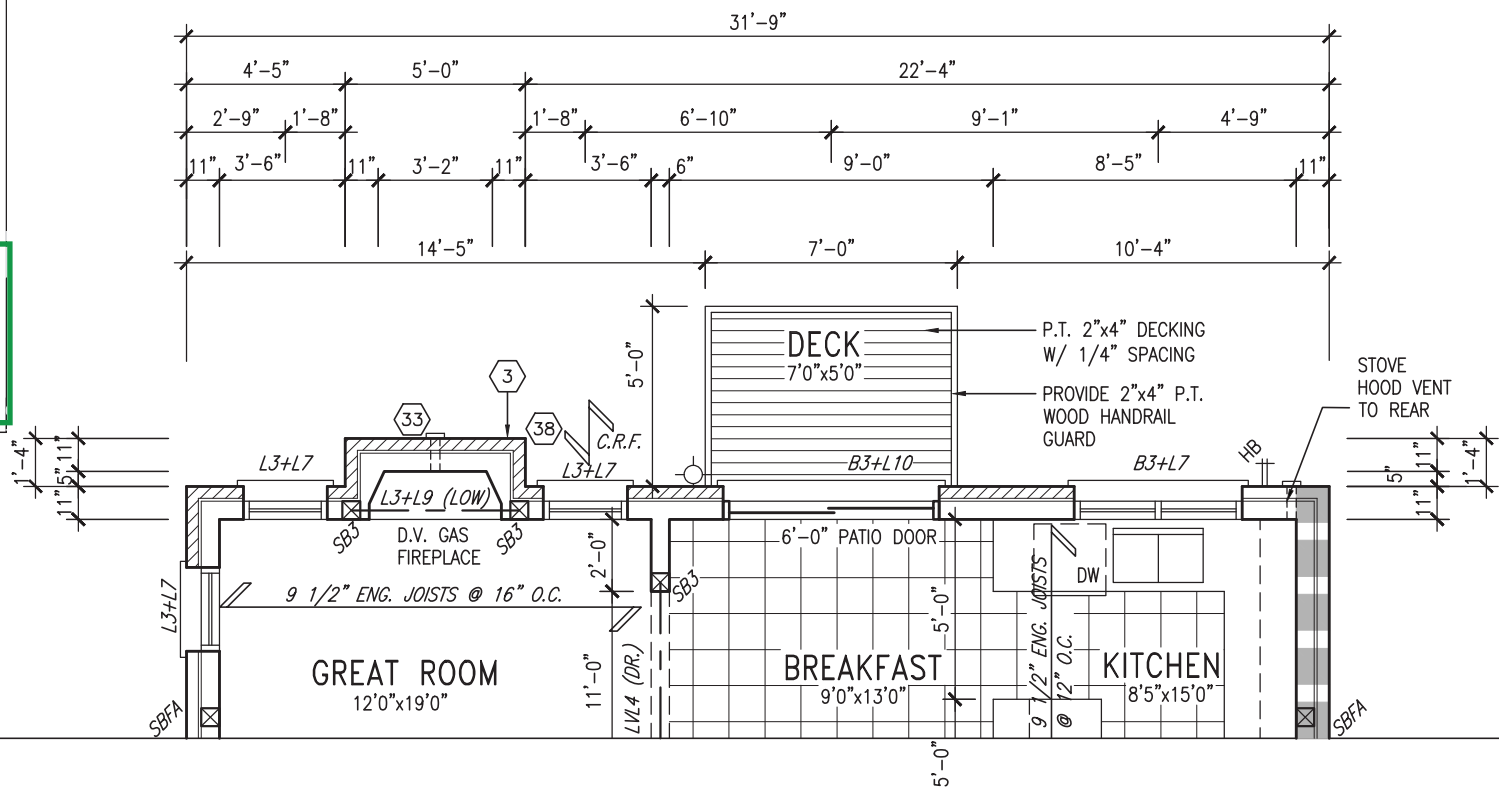
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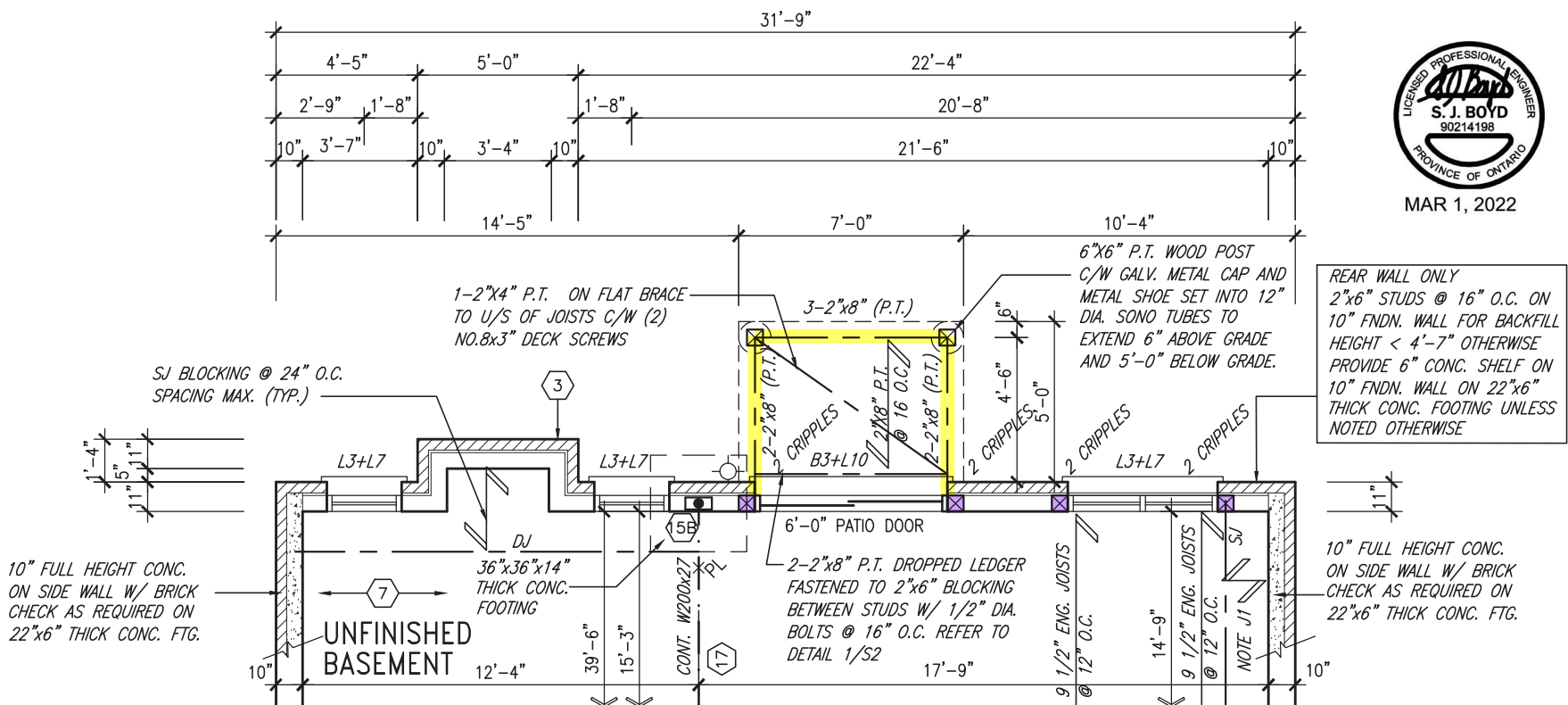
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PART. GROUND FLOOR PLAN 'A','B'&'C'  
-W.O.B. COND.



PART. BASEMENT PLAN 'A','B'&'C'  
-W.O.B. COND.

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3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

**VA3**  
**DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**BAYVIEW WELLINGTON**  
**REVIEWED**

**S38-20**

project name	GREEN VALLEY ESTATES	municipality	BRADFORD EAST, ON.	project no.	16023
date	SEPT. 2021	checked by	JWM	scale	3/16" = 1'-0"
drawn by	NC	file name	16023-S38-20	drawing no.	21

PART. FLOOR PLAN -W.O.B. COND.

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

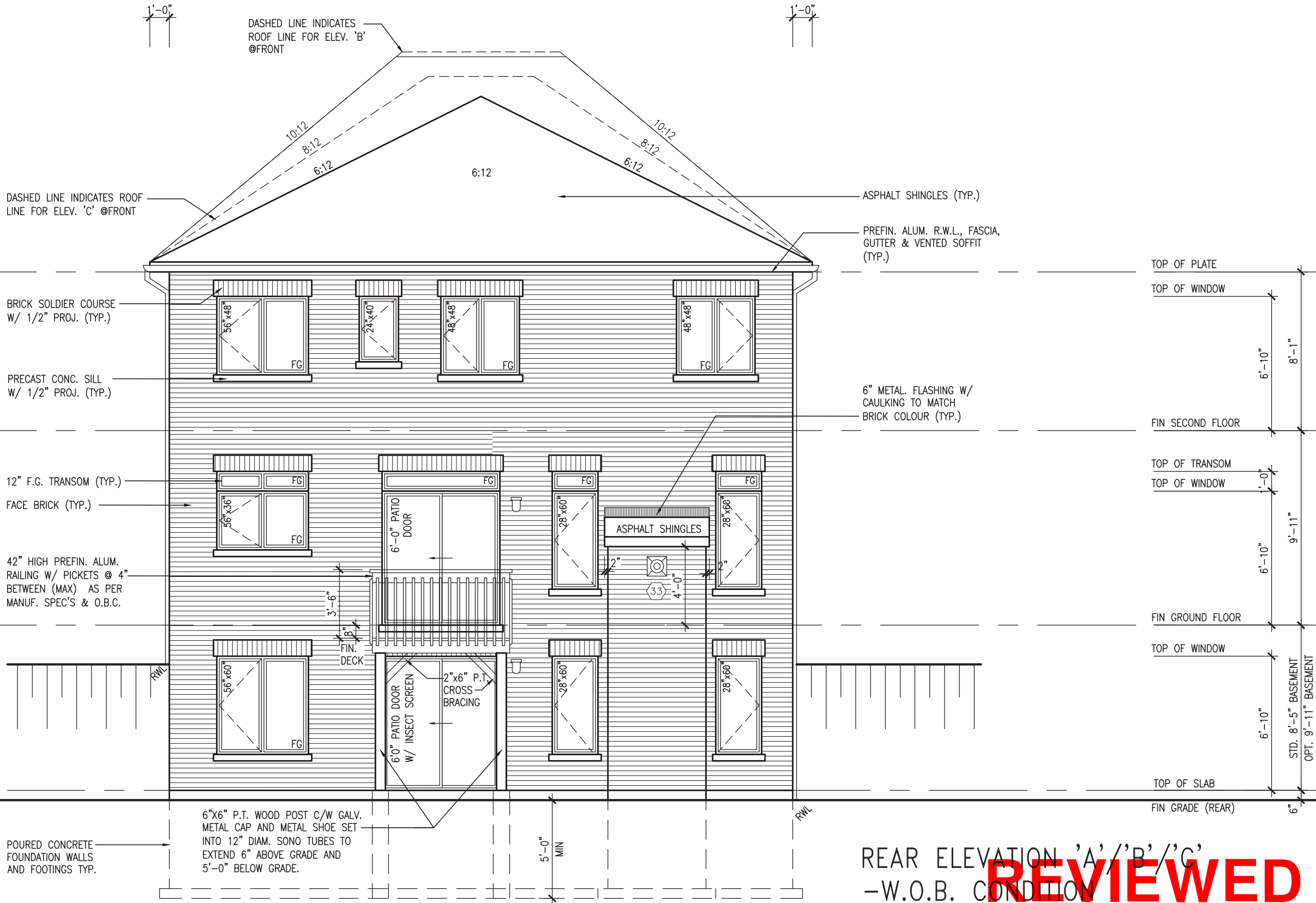
APPROVED BY:   
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



MAR 1, 2022



REAR ELEVATION 'A'/'B'/'C'  
-W.O.B. CONDITION

**REVIEWED**

BAYVIEW WELLINGTON

S38-20

GREEN VALLEY ESTATES

BRADFORD EAST, ON.

project no. 16023

project name REAR ELEV. 'A'/'B'/'C' -W.O.B. COND.

date SEPT. 2021

checked by JWM

drawn by NC

scale 3/16" = 1'-0"

drawing no. 22

VA3 DESIGN

255 Consumers Rd. Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste

signature

25591 BCIN

name Jno-Baptiste

registration information VAS Design Inc.

42658 BCIN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

3 REVISED AS PER ENG COMMENTS

4 MAR 01-22 RC

2 REVISED AS PER FLOOR / ROOF LAYOUTS

5 FEB 24-22 RC

1 ISSUED FOR CLIENT REVIEW

6 NOV 23-21 VAS

no. description

date

by

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

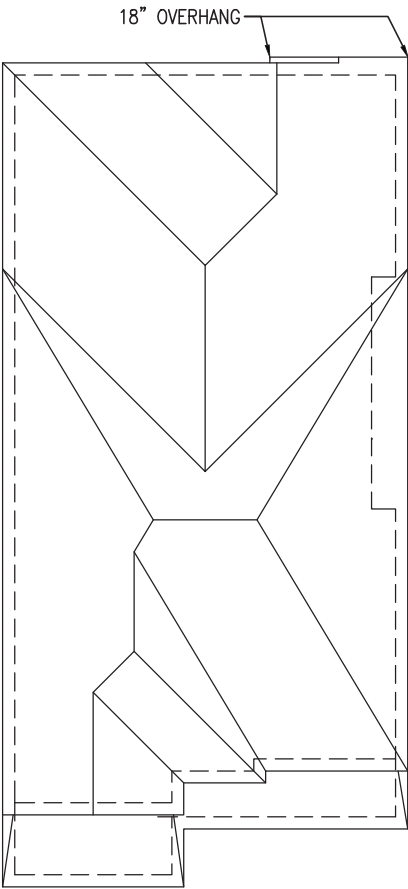
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

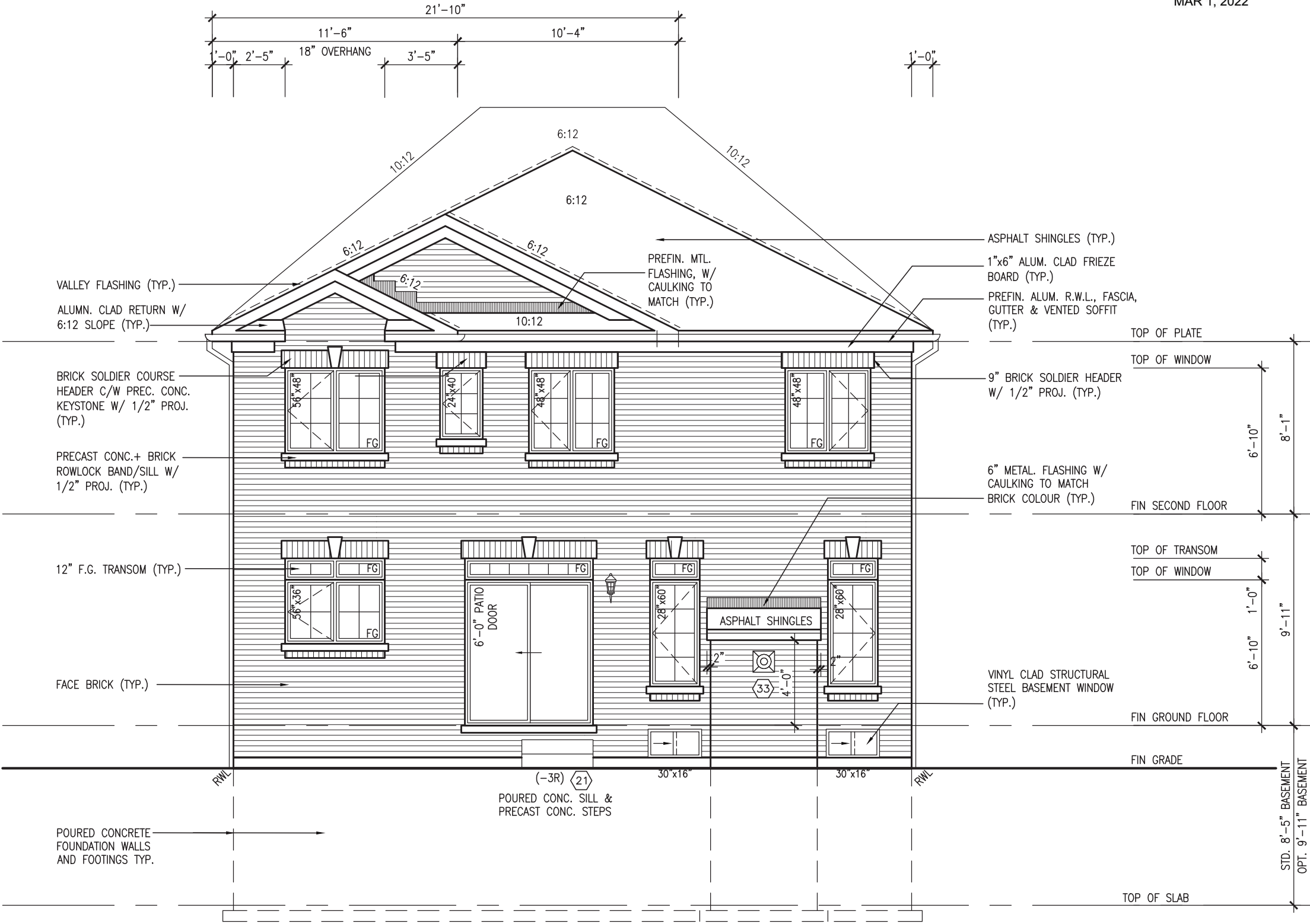
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



UPGRADED ROOF PLAN 'A'



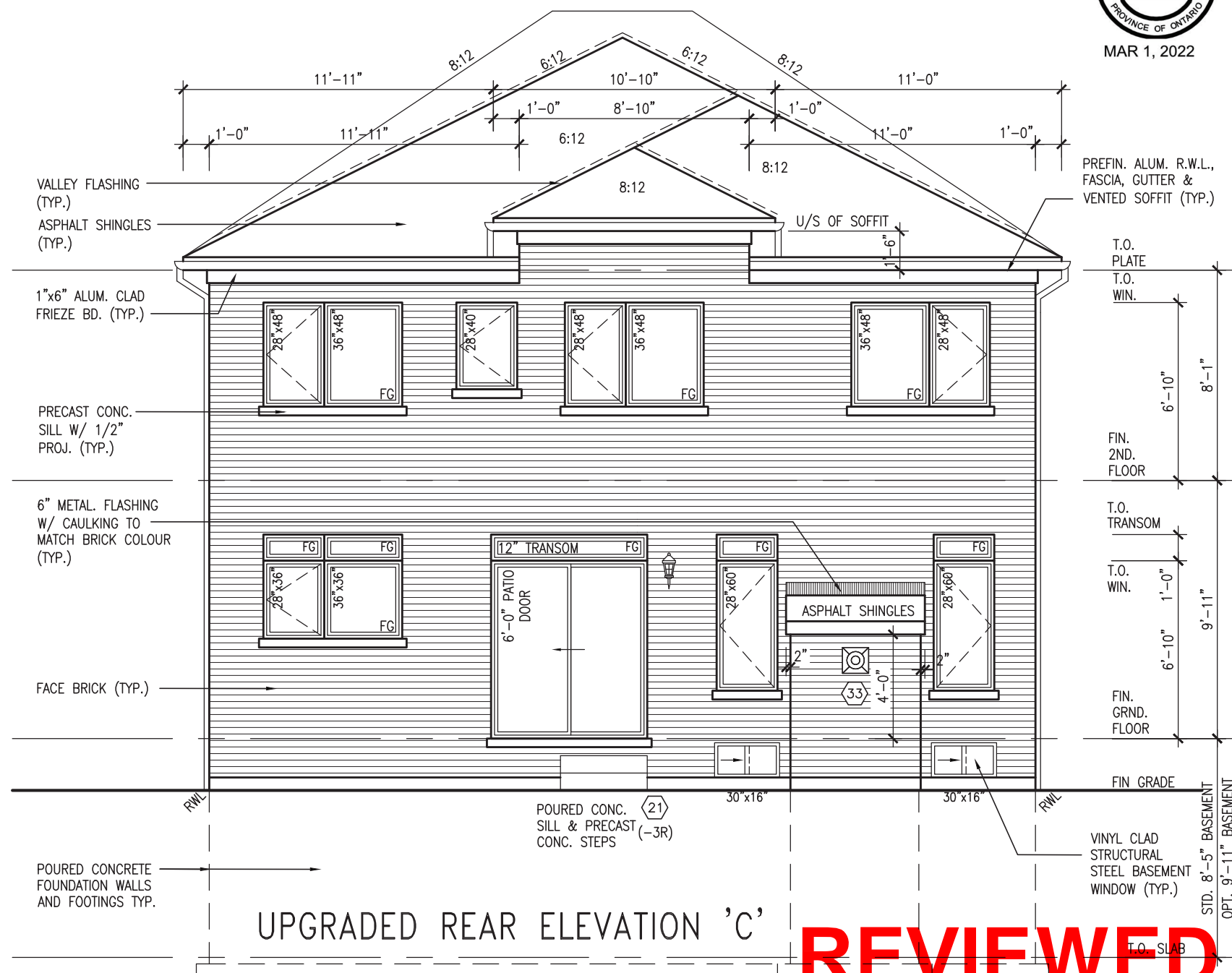
MAR 1, 2022

S38-20		BAYVIEW WELLINGTON		GREEN VALLEY ESTATES		BRADFORD EAST, ON.		UPGRADED REAR ELEVATION 'A'		project no. 16023	drawing no. 23
municipality		project name		date		drawn by		checked by		file name	
BRADFORD EAST, ON.		16023-S38-20		SEPT. 2021		JWM		JWM		16023-S38-20	
scale		3/16" = 1'-0"		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg		Tue - Mar 1 2022 - 2:39 PM		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.			
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3		REVISED AS PER ENG COMMENTS		MAR 01-22		RC					
2		REVISED AS PER FLOOR / ROOF LAYOUTS		FEB 24-22		RC					
1		ISSUED FOR CLIENT REVIEW		NOV 23-21		VAS					





REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



# REVIEWED

9	.	.	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste</p> <p>signature</p> <p>VA3 Design Inc.</p> <p>signature</p>	25591	 <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<b>BAYVIEW WELLINGTON</b>	<b>GREEN VALLEY ESTATES</b>	municipality <b>BRADFORD EAST, ON.</b>	project no. <b>16023</b>	
8	.	.		BCIN						
7	.	.		signature						
6	.	.		name						
5	.	.		registration information						
4	.	.	RC	MAR 01-22	RC	date	SEPT. 2021	checked by <b>JWM</b>	scale <b>3/16" = 1'-0"</b>	drawing no. <b>25</b>
3	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS	REMOVED AS PER ENG COMMENTS
2	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS	REMOVED AS PER FLOOR / ROOF LAYOUTS
1	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW	ISSUED FOR CLIENT REVIEW
no.	description	date	by	date	by	date	by	date	by	date

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



MAR 1, 2022

[illegible]

UPGRADED REAR ELEVATION 'A'  
-W.O.D. 9R OR MORE COND.

BASEMENT WINDOW SIZES  
4R-8R USE 30"x24" VINYL  
CLAD STRUCTURAL STEEL  
FRAME BASEMENT WINDOWS

# REVIEWED

BAYVIEW WELLINGTON	S38-20
--------------------	--------

VA

DESIGN

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer

Qualification information

Signature \_\_\_\_\_

Wellington Jno-Baptiste 2/15/2017 2559

name  
registration information  
A3 Design Inc.  
signature  
4265  
BCfile

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All direct



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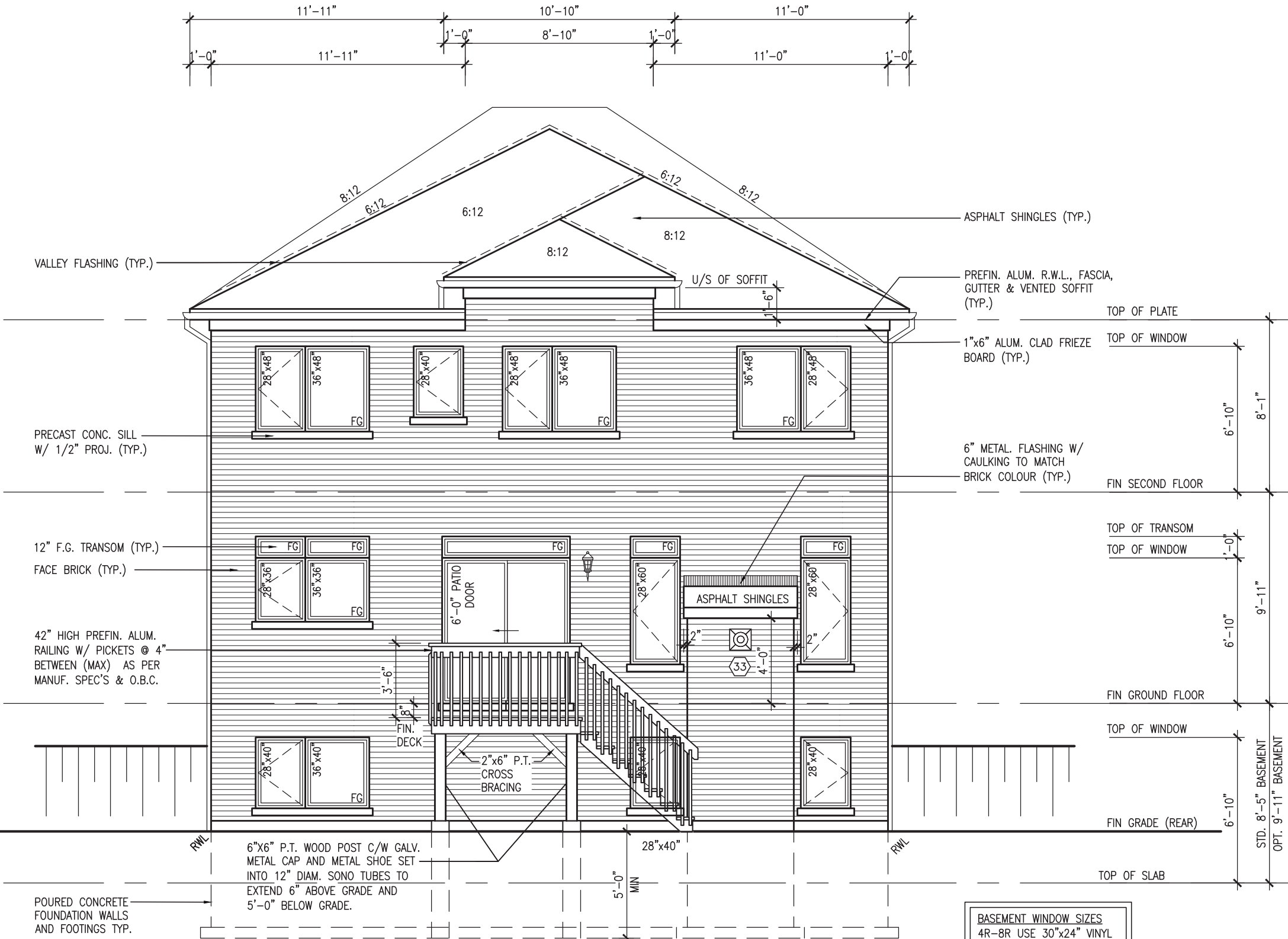
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



UPGRADED REAR ELEVATION 'C'  
-W.O.D. 9R OR MORE COND.

REVIEWED

BAYVIEW WELLINGTON

S38-20

GREEN VALLEY ESTATES

BRADFORD EAST, ON.

project no.

16023

drawing no.

28

project name

UPGRADED REAR ELEV. 'C' -W.O.D. COND.

date

SEPT. 2021

drawn by

NC

checked by

JWM

scale

3/16" = 1'-0"

file name

16023-S38-20

drawn by

RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

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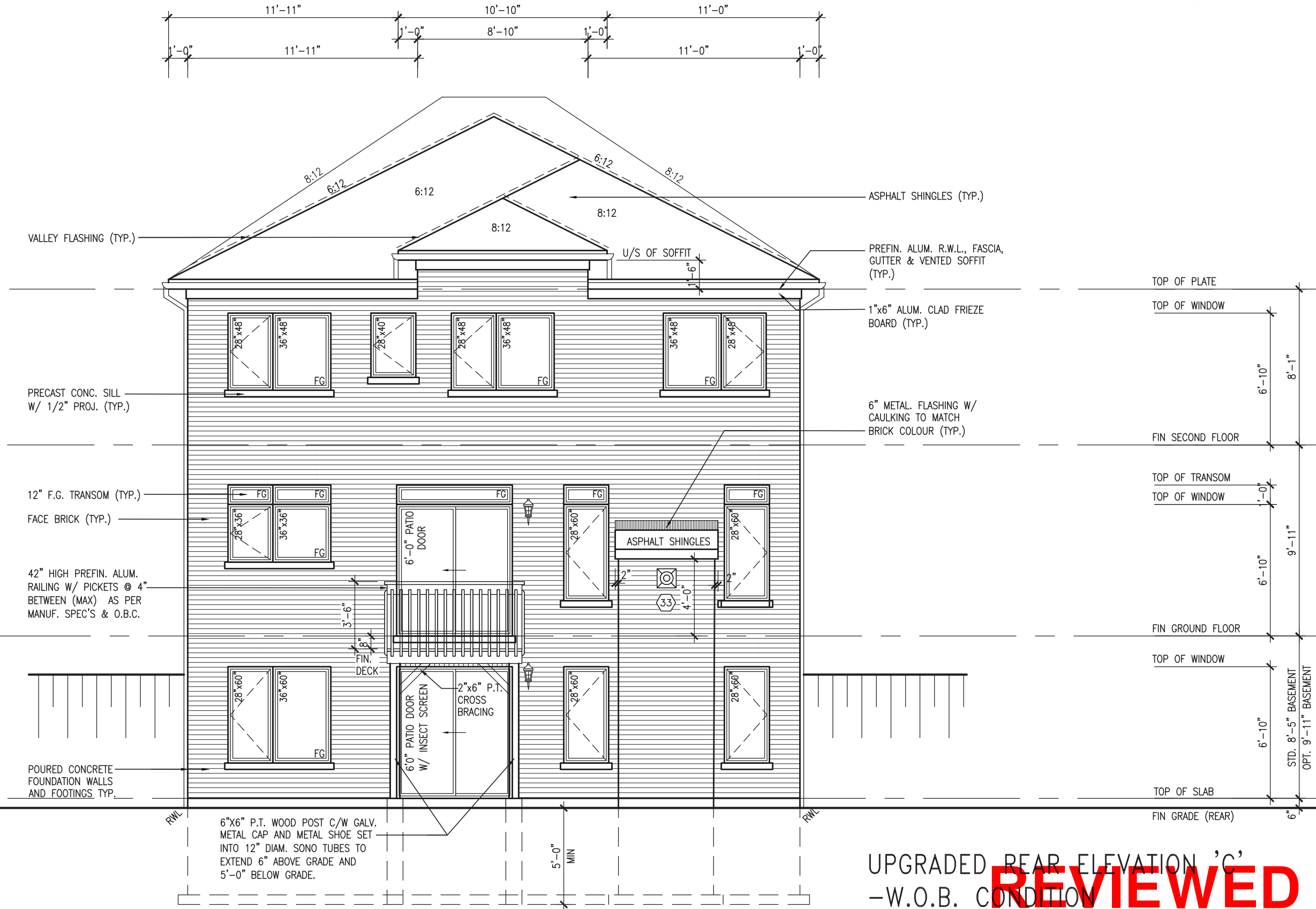
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



S38-20		BAYVIEW WELLINGTON		GREEN VALLEY ESTATES		BRADFORD EAST, ON.		project no. 16023	
municipality		project name		date		checked by		drawing no.	
16023-S38-20		UPGRADED REAR ELEV. 'C' - W.O.B. COND.		SEPT. 2021		JWM		31	
file name		scale		drawn by		drawn by		drawn by	
16023-S38-20		3/16" = 1'-0"		JWM		JWM		JWM	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		BCIN		42658	
name		registration information		V3 Design Inc.		V3 Design Inc.		V3 Design Inc.	
MAR 01-22 RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		NOV 23-21 V3		NOV 23-21 V3		NOV 23-21 V3	
REVISED AS PER ENG COMMENTS		date		date		date		date	
REVISED AS PER FLOOR / ROOF LAYOUTS		no. description		no. description		no. description		no. description	
ISSUED FOR CLIENT REVIEW		1		1		1		1	
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
STANDARD & REAR UPGRADE STD SEC. FL.	S38-20 ELEVATION A WOB		ENERGY EFFICIENCY – OBC SB12			STANDARD & REAR UPGRADE STD SEC. FL.	S38-20 ELEVATION B WOB		ENERGY EFFICIENCY – OBC SB12			STANDARD REAR & STD SEC. FL.	S38-20 ELEVATION C WOB		ENERGY EFFICIENCY – OBC SB12		
	ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		645 S.F.	136.22 S.F.	21.12 %		FRONT		656 S.F.	138.22 S.F.	21.07 %		FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1213 S.F.	90.67 S.F.	7.47 %		LEFT SIDE		1213 S.F.	90.67 S.F.	7.47 %		LEFT SIDE		1252 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1200 S.F.	74.00 S.F.	6.17 %		RIGHT SIDE		1200 S.F.	74.00 S.F.	6.17 %		RIGHT SIDE		1218 S.F.	74.00 S.F.	6.08 %
	REAR		855 S.F.	238.67 S.F.	27.91 %		REAR		855 S.F.	238.67 S.F.	27.91 %		REAR		855 S.F.	238.67 S.F.	27.91 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		3913.00 S.F.	539.56 S.F.	13.79 %		TOTAL SQ. FT.		3924.00 S.F.	541.56 S.F.	13.80 %		TOTAL SQ. FT.		3968.00 S.F.	559.56 S.F.	14.10 %
TOTAL SQ. M.		363.53 S.M.	50.13 S.M.	13.79 %	TOTAL SQ. M.		364.55 S.M.	50.31 S.M.	13.80 %	TOTAL SQ. M.		368.64 S.M.	51.98 S.M.	14.10 %			
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
STANDARD & REAR UPGRADE OPT. SEC. FL.	S38-20 ELEVATION A WOB		ENERGY EFFICIENCY – OBC SB12			STANDARD & REAR UPGRADE OPT. SEC. FL.	S38-20 ELEVATION B WOB		ENERGY EFFICIENCY – OBC SB12			STANDARD REAR & OPT. SEC. FL.	S38-20 ELEVATION C WOB		ENERGY EFFICIENCY – OBC SB12		
	ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		645 S.F.	136.22 S.F.	21.12 %		FRONT		656 S.F.	138.22 S.F.	21.07 %		FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1213 S.F.	90.67 S.F.	7.47 %		LEFT SIDE		1213 S.F.	90.67 S.F.	7.47 %		LEFT SIDE		1253 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1200 S.F.	83.33 S.F.	6.94 %		RIGHT SIDE		1200 S.F.	83.33 S.F.	6.94 %		RIGHT SIDE		1218 S.F.	83.33 S.F.	6.84 %
	REAR		855 S.F.	238.67 S.F.	27.91 %		REAR		855 S.F.	238.67 S.F.	27.91 %		REAR		855 S.F.	268.67 S.F.	31.42 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		3913.00 S.F.	548.89 S.F.	14.03 %		TOTAL SQ. FT.		3924.00 S.F.	550.89 S.F.	14.04 %		TOTAL SQ. FT.		3969.00 S.F.	598.89 S.F.	15.09 %
TOTAL SQ. M.		363.53 S.M.	50.99 S.M.	14.03 %	TOTAL SQ. M.		364.55 S.M.	51.18 S.M.	14.04 %	TOTAL SQ. M.		368.73 S.M.	55.64 S.M.	15.09 %			

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
UPGRADE REAR & STD SEC. FL.	S38-20 ELEVATION C		ENERGY EFFICIENCY – OBC SB12			UPGRADE REAR & STD SEC. FL.	S38-20 ELEVATION C WOD		ENERGY EFFICIENCY – OBC SB12			UPGRADE REAR & STD SEC. FL.	S38-20 ELEVATION C WOB		ENERGY EFFICIENCY – OBC SB12		
	ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		643 S.F.	156.22 S.F.	24.30 %		FRONT		643 S.F.	156.22 S.F.	24.30 %		FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1252 S.F.	90.67 S.F.	7.24 %		LEFT SIDE		1252 S.F.	90.67 S.F.	7.24 %		LEFT SIDE		1252 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1218 S.F.	74.00 S.F.	6.08 %		RIGHT SIDE		1218 S.F.	74.00 S.F.	6.08 %		RIGHT SIDE		1218 S.F.	74.00 S.F.	6.08 %
	REAR		635 S.F.	174.78 S.F.	27.52 %		REAR		762 S.F.	201.44 S.F.	26.44 %		REAR		855 S.F.	259.11 S.F.	30.31 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		3748.00 S.F.	495.67 S.F.	13.22 %		TOTAL SQ. FT.		3875.00 S.F.	522.33 S.F.	13.48 %		TOTAL SQ. FT.		3968.00 S.F.	580.00 S.F.	14.62 %
TOTAL SQ. M.		348.20 S.M.	46.05 S.M.	13.22 %	TOTAL SQ. M.		360.00 S.M.	48.53 S.M.	13.48 %	TOTAL SQ. M.		368.64 S.M.	53.88 S.M.	14.62 %			
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))							
UPGRADE REAR & OPT. SEC. FL.	S38-20 ELEVATION C		ENERGY EFFICIENCY – OBC SB12			UPGRADE REAR & OPT. SEC. FL.	S38-20 ELEVATION C WOD		ENERGY EFFICIENCY – OBC SB12			UPGRADE REAR & OPT. SEC. FL.	S38-20 ELEVATION C WOB		ENERGY EFFICIENCY – OBC SB12		
	ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		643 S.F.	156.22 S.F.	24.30 %		FRONT		643 S.F.	156.22 S.F.	24.30 %		FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1253 S.F.	90.67 S.F.	7.24 %		LEFT SIDE		1253 S.F.	90.67 S.F.	7.24 %		LEFT SIDE		1253 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1218 S.F.	83.33 S.F.	6.84 %		RIGHT SIDE		1218 S.F.	83.33 S.F.	6.84 %		RIGHT SIDE		1218 S.F.	83.33 S.F.	6.84 %
	REAR		635 S.F.	174.78 S.F.	27.52 %		REAR		762 S.F.	201.44 S.F.	26.44 %		REAR		855 S.F.	259.11 S.F.	30.31 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		3749.00 S.F.	505.00 S.F.	13.47 %		TOTAL SQ. FT.		3876.00 S.F.	531.66 S.F.	13.72 %		TOTAL SQ. FT.		3969.00 S.F.	589.33 S.F.	14.85 %
TOTAL SQ. M.		348.29 S.M.	46.92 S.M.	13.47 %	TOTAL SQ. M.		360.09 S.M.	49.39 S.M.	13.72 %	TOTAL SQ. M.		368.73 S.M.	54.75 S.M.	14.85 %			

REVIEWED

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REVISED AS PER ENG COMMENTS

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REVISED AS PER FLOOR / ROOF LAYOUTS

1

ISSUED FOR CLIENT REVIEW

no. description

date

by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information

Wellington Jno-Baptiste

signature

25591

BCIN

registration information

VAS Design Inc.

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.  
Drawings are not to be scaled.

BAYVIEW WELLINGTON

S38-20

GREEN VALLEY ESTATES

BRADFORD EAST, ON.

project name

project no.

16023

16023-S38-20

DATE

SEPT. 2021

drawn by

NC

checked by

JWM

scale

3/16" = 1'-0"

UPGRADED REAR ELEV. 'C' – W.O.B. COND.

drawing no.

33

16023

RICHARD - H:\ARCHIVE\WORKING\2016\16023\BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
UPGRADE REAR & STD SEC. FL., OPT. 9'-0" BASEMENT	S38-20 ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL	AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1252 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1218 S.F.	74.00 S.F.	6.08 %
	REAR		886 S.F.	259.11 S.F.	29.24 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		3999.00 S.F.	580.00 S.F.	14.50 %
	TOTAL SQ. M.		371.52 S.M.	53.88 S.M.	14.50 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					
UPGRADE REAR & OPT. SEC. FL., OPT. 9'-0" BASEMENT	S38-20 ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12			
	ELEVATION	WALL	AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT		643 S.F.	156.22 S.F.	24.30 %
	LEFT SIDE		1253 S.F.	90.67 S.F.	7.24 %
	RIGHT SIDE		1218 S.F.	83.33 S.F.	6.84 %
	REAR		886 S.F.	259.11 S.F.	29.24 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
	TOTAL SQ. FT.		4000.00 S.F.	589.33 S.F.	14.73 %
	TOTAL SQ. M.		371.61 S.M.	54.75 S.M.	14.73 %

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

# 10<sup>9</sup> GROUND



MAR 1, 2022

**S38-20**

**BAYVIEW WELLINGTON**

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD EAST, ON.	16073

ing no.	07001
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ION, 'A'

FRONT FIFTEEN.

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## STUDIES

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Date \_\_\_\_\_

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## Design I

VA3 |

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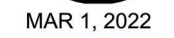
no.	description	date	by	drawings are not to be shown.

ROOF PLAN 'A'

With 6x6  
wood post

FRONT ELEVATION 'A'

# REVIEWED

10<sup>9</sup> GROUND

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
**ARCHITECTURAL CONTROL REVIEW**  
**AND APPROVAL**

APPROVED BY: 

DATE: MAR 03, 2022

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

**S38-20**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY ESTATES	16023
municipality	
BRADFORD EAST, ON.	
date	drawing no.
	LEFT SIDE ELEVATION 3/1

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	BCIN	25591
registration information			
WA3 Design Inc.			42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

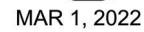
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LEFT SIDE ELEVATION 'A'

# REVIEWED

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL  
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



# 10<sup>9</sup> GROUND

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

**S38-20**

**BAYVIEW WELLINGTON**

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD EAST, ON.	16023



255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

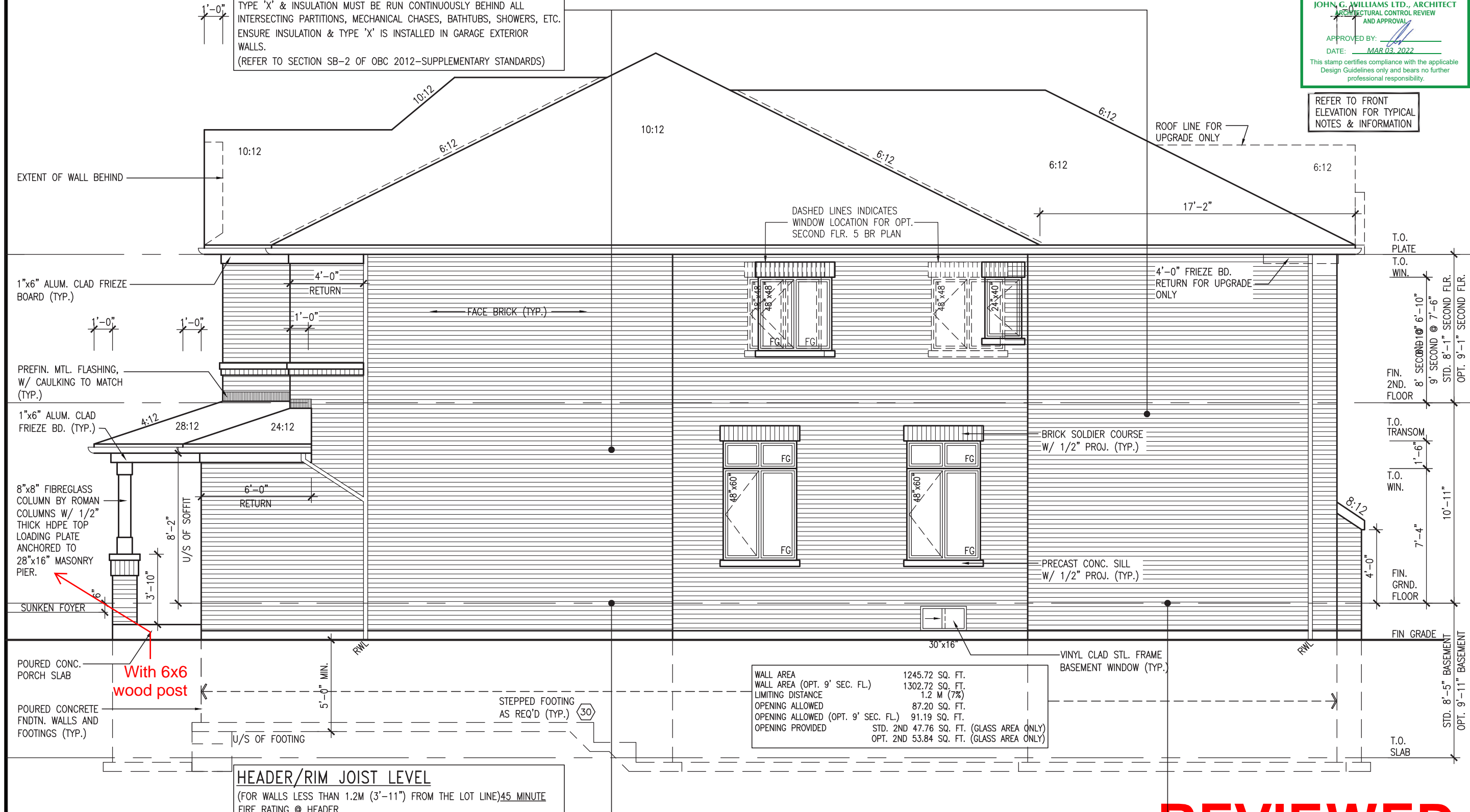
\_\_\_\_\_  
qualification information

Wellington Jno-Baptiste *W. J. Baptiste* 25591  
name signature BCIN  
registration information  
VAA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
no.	description	date	by



RIGHT SIDE ELEVATION 'A'

# REVIEWED







MAR 1, 2022

10' GROUND

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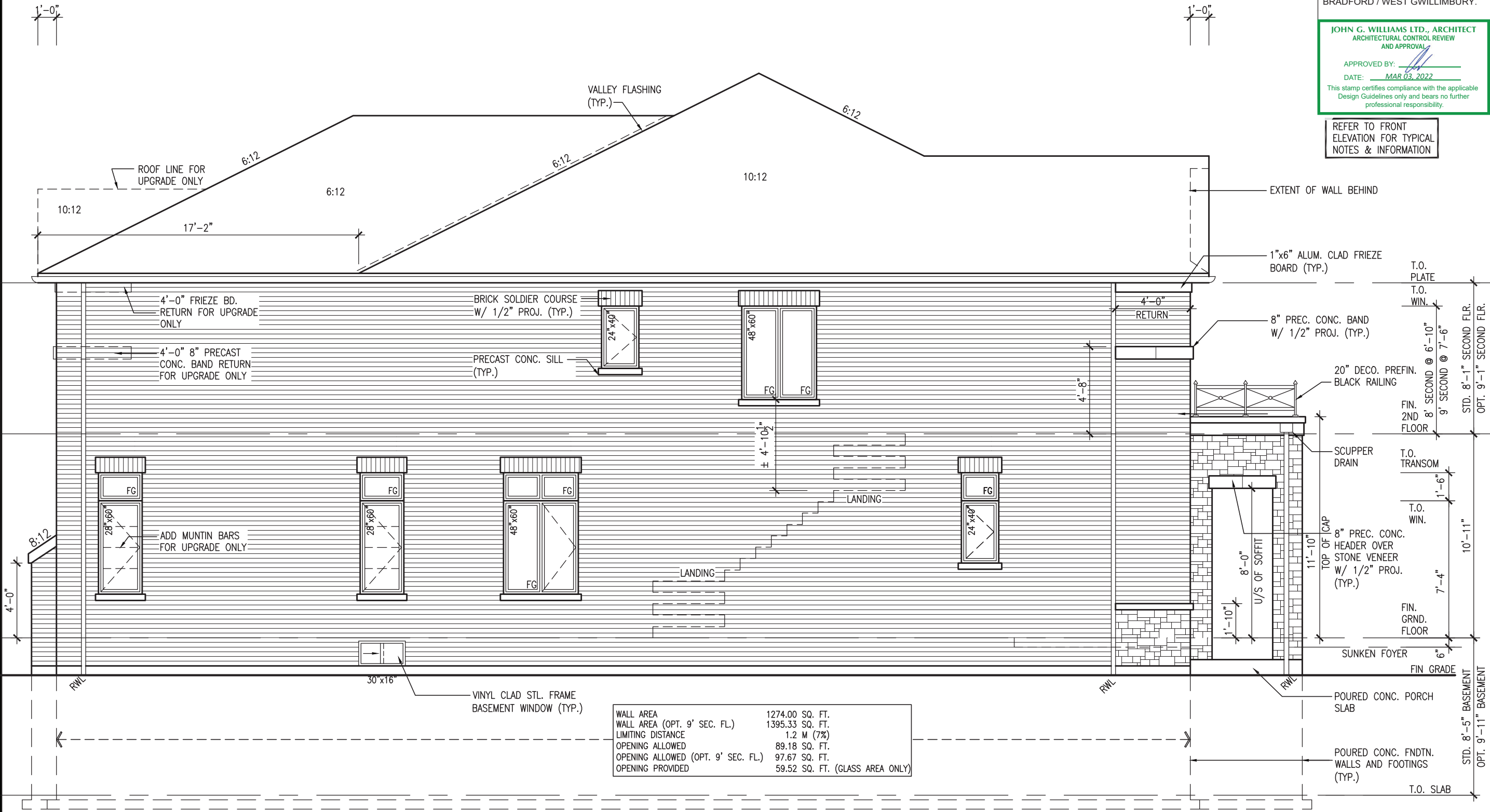
**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



WALL AREA	1274.00 SQ. FT.
WALL AREA (OPT. 9' SEC. FL.)	1395.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	89.18 SQ. FT.
OPENING ALLOWED (OPT. 9' SEC. FL.)	97.67 SQ. FT.
OPENING PROVIDED	59.52 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

REVIEWED

project name		project no.	
BAYVIEW WELLINGTON		S38-20	
GREEN VALLEY ESTATES		BRADFORD EAST, ON.	
date		drawing no.	
SEPT. 2021		16023	
checked by		LEFT SIDE ELEVATION 'B'	
JWM		16023-S38-20	
scale		file name	
3/16" = 1'-0"		16023-S38-20	
drawn by		date	
NC		MAR 1 2022 - 2:39 PM	
checked by		no. description	
JWM		1	
date		description	
MAR 01-22 RC		REVISED AS PER ENG COMMENTS	
FEB 24-22 RC		REVISED AS PER FLOOR / ROOF LAYOUTS	
NOV 26-21 VA3		ISSUED FOR CLIENT REVIEW	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCIN 42658

name registration information VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: [Signature]  
DATE: MAR 03, 2022

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professional responsibility.

# 10<sup>9</sup> GROUND



MAR 1. 2022

**S38-20**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY ESTATES	16023
BRADFORD EAST, ON.	

[illegible]

**DESIGN**  
255 Consumers Rd Suite 1  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4  
va3design.com

Wellington Jno-Baptiste	<i>W. Baptiste</i>	25591
name	signature	BCIN

signature  
name  
registration information  
#A3 Design Inc.  
42658  
BCIN

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[illegible]

ROOF PLAN 'C'

FRONT ELEVATION 'C'

# REVIEWED



MAR 1, 2022

10' GROUND

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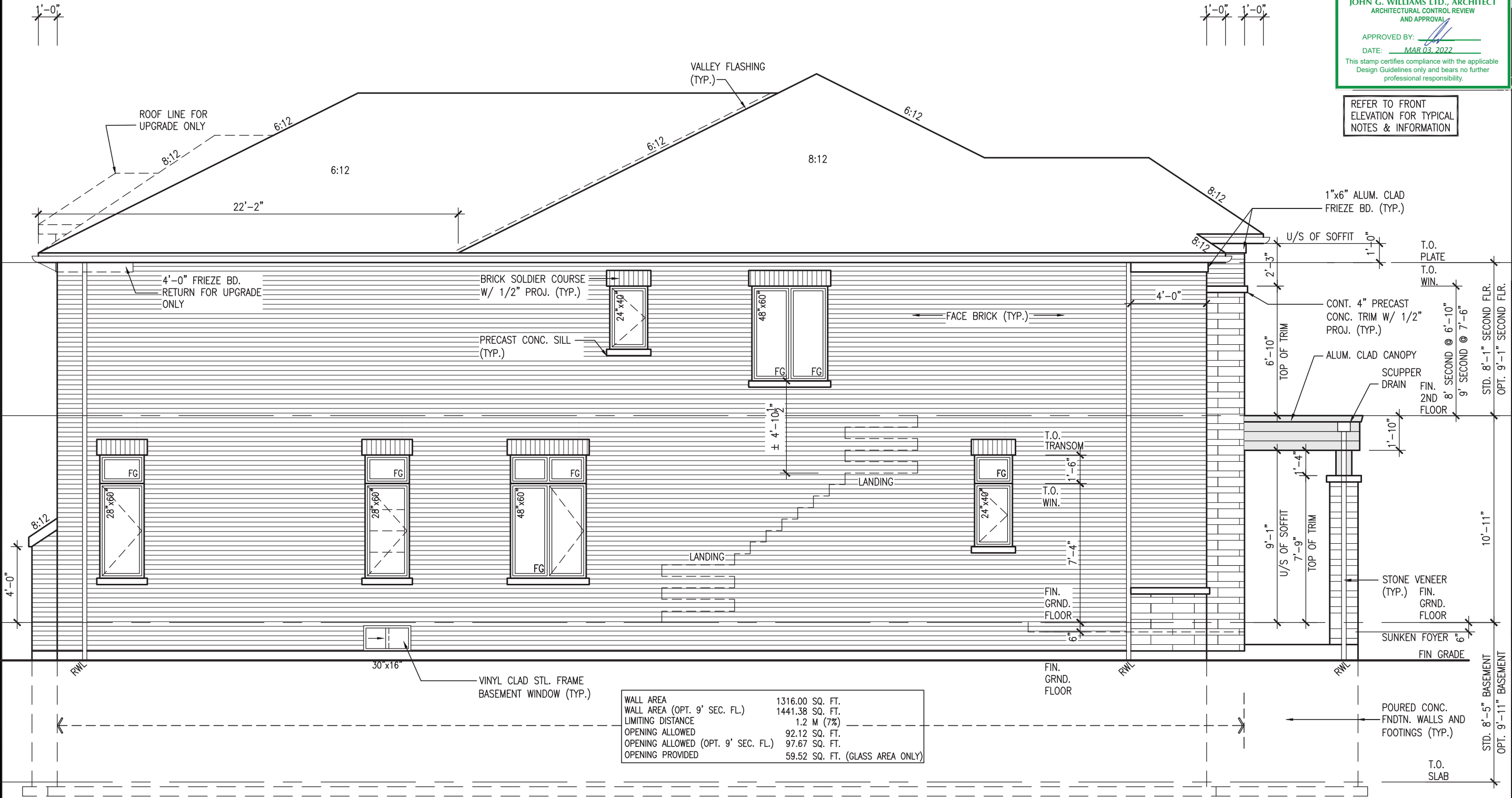
**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



LEFT SIDE ELEVATION 'C'

REVIEWED

project name		project no.	
BAYVIEW WELLINGTON		16023	
municipality		drawing no.	
GREEN VALLEY ESTATES		43	
project name		file name	
BRADFORD EAST, ON.		16023-S38-20	
date		LEFT SIDE ELEVATION 'C'	
SEPT. 2021		16023-S38-20	
checked by		scale	
JWM		3/16" = 1'-0"	
drawn by		date	
NC		MAR 1 2022 - 2:39 PM	
no.		description	
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
4			
5			
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCIN

name

VA3 Design Inc.

42658

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APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

# 10<sup>9</sup> GROUND



MAR 1, 2022

[illegible]

BASEMENT WINDOW SIZES  
4R-8R USE 30"x24" VINYL  
CLAD STRUCTURAL STEEL  
FRAME BASEMENT WINDOWS

REAR ELEVATION 'A'/'B'/'C'  
-W.O.D. CONDITION

# REVIEWED

**S38-20**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY ESTATES	16023
BRADFORD EAST, ON.	

date	DEAD FIVE 'A' / 'B' / 'C'	W O B COND	drawing no.
------	---------------------------	------------	-------------

SEPT. 2021 REAR ELEV. A / B / C - W.U.D. - COND. 45

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

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DESIGN

**DELOIN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

va3design.com

specifications, related documents and data

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

**10**

Wellington John-Baptiste *W. John-Baptiste* 16357

name \_\_\_\_\_  
 registration information \_\_\_\_\_  
 signature \_\_\_\_\_  
 BCIN \_\_\_\_\_

/A3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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2	REVISED AS PER E100B / BOOE LAYOUTS	REVISED

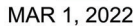
2	REVISED AS PER FLOOR / ROOM DISCOUNTS	1 FEB 21 22
1	ISSUED FOR CLIENT REVIEW	NOV 26-21 VA3

no.	description	date	by
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Downloaded from <http://ajph.org/> on November 10, 2014



10<sup>9</sup> GROUND



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APPROVED BY:

DATE: MAR 03, 2022

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REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

VALLEY FLASHING (TYP.) -

BRICK SOLDIER COURSE —  
HEADER C/W PREC. CONC  
KEYSTONE W/ 1/2" PROJ.  
(TYP.)

PRECAST CONC.+ BRICK  
ROWLOCK BAND/SILL W/  
1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

POURED CONCRETE-  
FOUNDATION WALLS  
AND FOOTINGS TYP.

POURED CONC. SILL &  
PRECAST CONC. STEPS

UPGRADED REAR ELEVATION 'A'

- ASPHALT SHINGLES (TYP.)

1"x6" ALUM. CLAD FRIEZ  
BOARD (TYP.)

- PREFIN. ALUM. R.W.L., FASCIA  
GUTTER & VENTED SOFFIT  
(TYP.)

— 9" BRICK SOLDIER HEADER  
W/ 1/2" PROJ. (TYP.)

PREFIN METAL FLASHING  
W/ CAULKING TO MATCH  
- BRICK COLOUR (TYP.)

VINYL CLAD STRUCTURAL  
STEEL BASEMENT WINDOW  
(TYP.)

TOP OF PLATE

TOP OF WINDOW

$$\frac{-10''}{6''}$$
D @ 6  
D @ 6

o, SECC

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

0

7-

FIN GROUND FLOOR

FIN GRADE

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# WVL

**S38-20**

**BAYVIEW WELLINGTON**



<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Jean-Baptiste Lapointe</p> <p>25591</p>	<p>name</p> <p>signature</p> <p>BCIN</p> <p>42658</p>
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3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC

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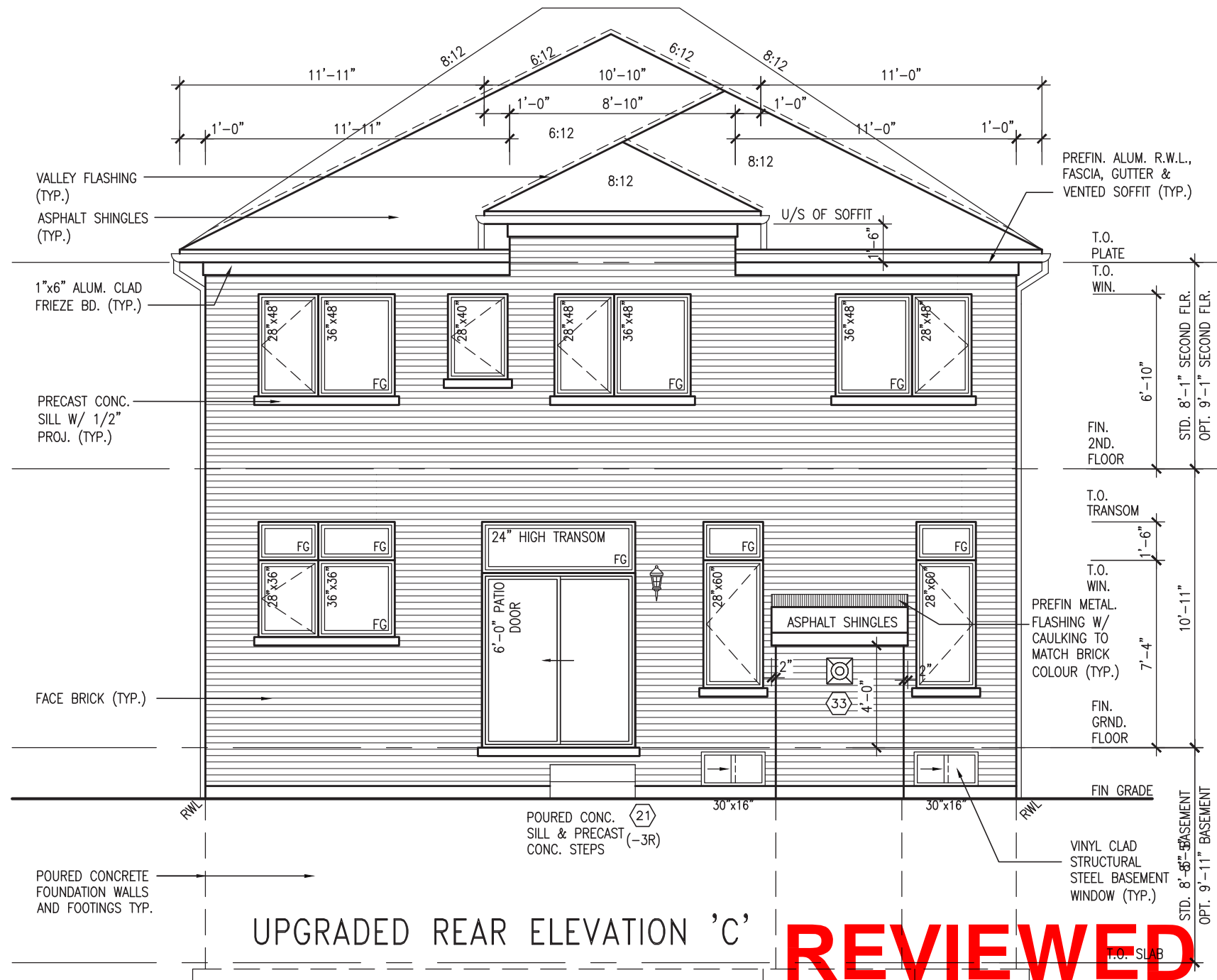
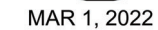
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

# 10<sup>9</sup> GROUND



**REVIEWED**

**BAYVIEW WELLINGTON**



25591	BCIN
-------	------

221

\_\_\_\_\_e

signature

aptiste

Jno-B

Wellington

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W	.
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25591	BCIN
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signature

aptiste

Jno-B

Wellington

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

10' 9" GROUND



UPGRADED REAR ELEVATION 'A'  
-W.O.D. 9R OR MORE COND.

REVIEWED

S38-20

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD EAST, ON.

project no. 16023

drawing no. 50

project name

date

checked by

drawn by

scale

file name

16023-S38-20

UPGRADED REAR ELEV. 'A' -W.O.D. COND.

JWM

3/16" = 1'-0"

NC

16023-S38-20.dwg

project no. 25591

BCIN

42658

name

registration information

signature

Wellington Jno-Baptiste

VAS Design Inc.



3

REVISED AS PER ENG COMMENTS

MAR 01-22 RC

2

REVISED AS PER FLOOR / ROOF LAYOUTS

FEB 24-22 RC

1

ISSUED FOR CLIENT REVIEW

NOV 26-21 VAS

no.

description

date

by

9

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3

2

1

VAS DESIGN

255 Consumers Rd Suite 120

Toronto, ON M2J 1P4

t 416.630.2255 f 416.630.4782

vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

name

registration information

VAS Design Inc.

signature

25591

BCIN

42658

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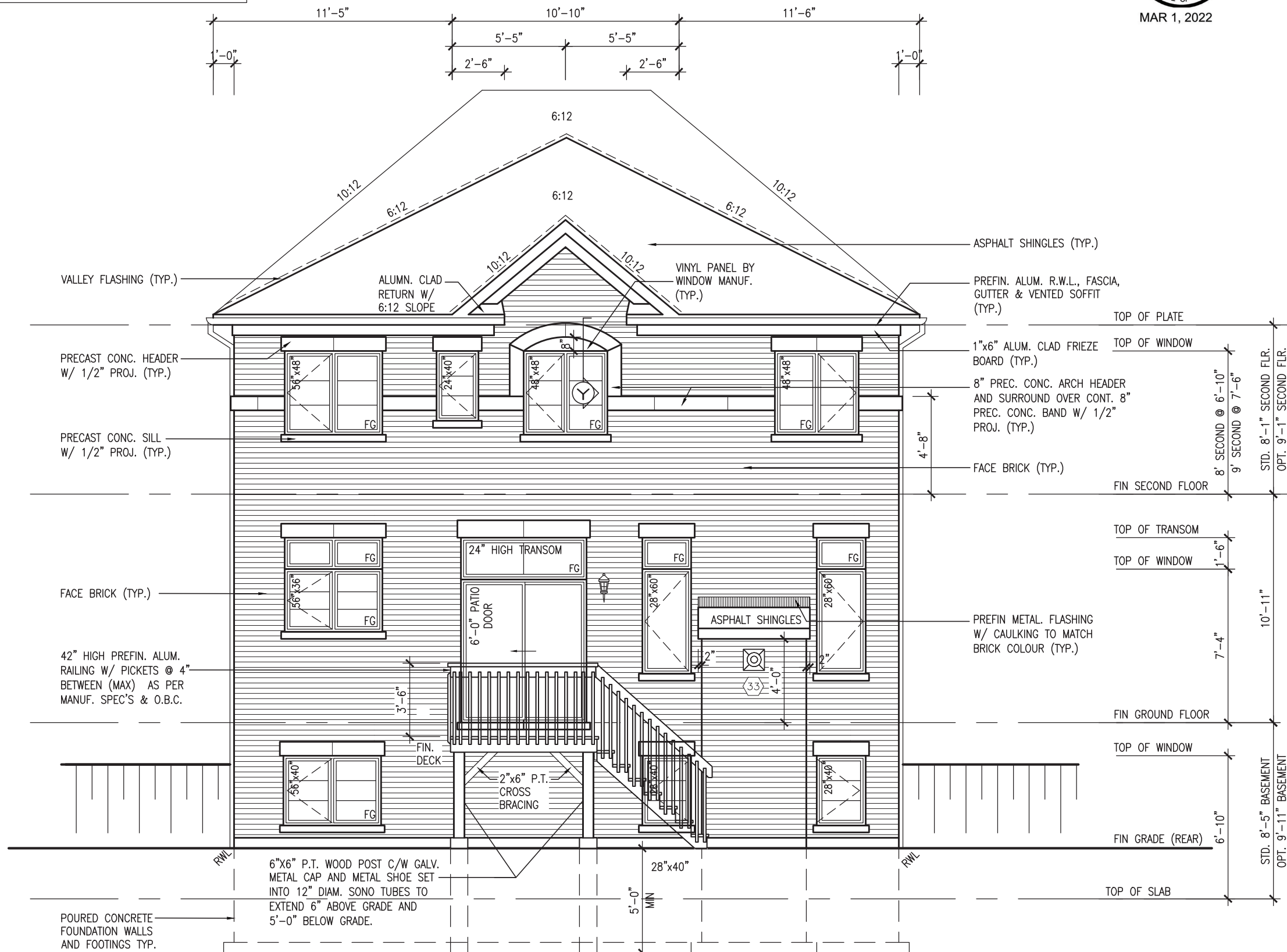
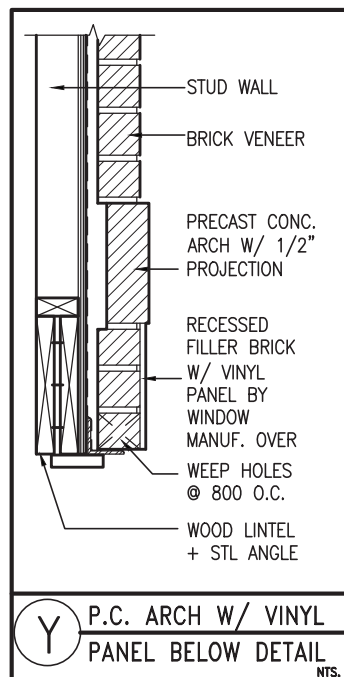
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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



UPGRADED REAR ELEVATION 'B'  
-W.O.D. 9R OR MORE COND.

# REVIEWED

**S38-20**

**BAYVIEW WELLINGTON**

project name	project no.
GREEN VALLEY ESTATES	16023
BRADFORD EAST, ON.	

date	LIBRARY REAR ELEVATION 'B'	W A B COND	drawing no.
------	----------------------------	------------	-------------

drawn by	checked by	scale	file name
UPGRADED REAR ELEVATION B -W.U.D. COND.			

NC	JWM	$3/16" = 1'-0"$	16023-S38-20
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RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

A

**WOLFE**

# DESIGN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4

416.630.2255 f 416.630.4782  
vazdecian.com

vuedesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

Wellington John-Baptiste	signature	BCIN
		16337

Registration information  
/A3 Design Inc  
42658

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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are to be used only for the project and for the

if the Designer which must be returned at the completion of the work.

drawings are not to be secured.



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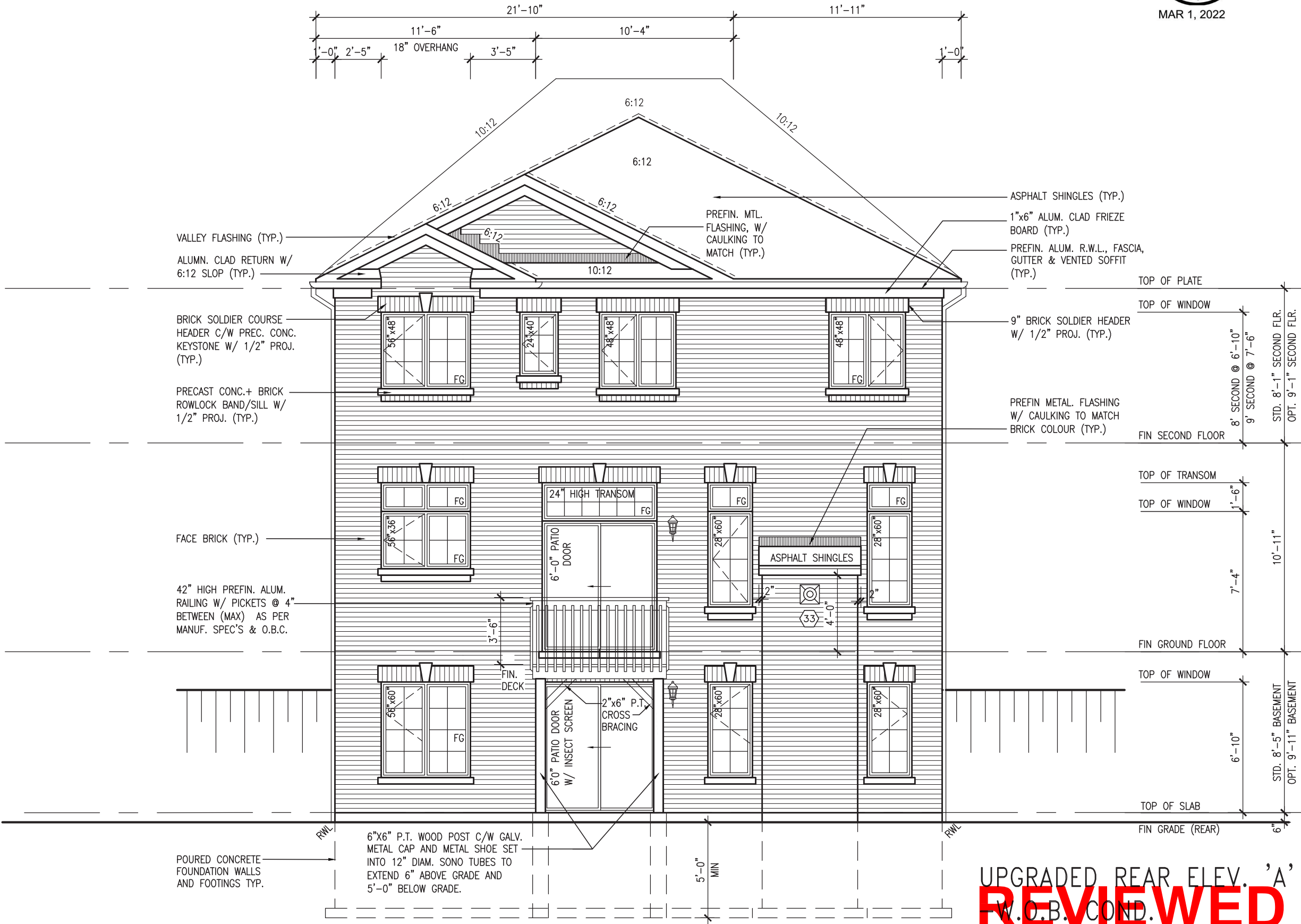
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:   
DATE: MAR 03, 2022

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Design Guidelines only and bears no further  
professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION

10' GROUND



BAYVIEW WELLINGTON		S38-20	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD EAST, ON.
project no.	16023	date	SEPT. 2021
drawing no.	53	checked by	JWM
file name	16023-S38-20	drawn by	NC
scale	3/16" = 1'-0"	drawn by	NC
description	UPGRADED REAR ELEV. 'A' - W.O.B. COND.		
no.	description	date	by
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG COMMENTS	MAR 01-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3

VA3 DESIGN

255 Consumers Rd Suite 120  
Toronto, ON M2J 1P4  
t 416.630.2255 f 416.630.4782  
vo3design.com

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Wellington Jno-Baptiste 25591 BCIN

VA3 Design Inc. 42658

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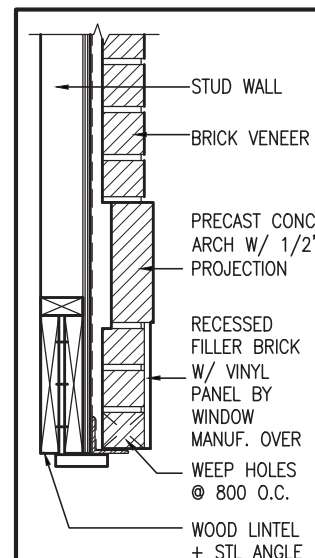
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APPROVED BY: \_\_\_\_\_  
DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO FRONT  
ELEVATION FOR TYPICAL  
NOTES & INFORMATION



Y P.C. ARCH W/ VINYL  
PANEL BELOW DETAIL

# 10<sup>9</sup> GROUND



MAR 1. 2022

Architectural drawing of the rear elevation of a house, labeled "UPGRADED REAR ELEV. 'B'". The drawing shows a two-story structure with a gabled roof, multiple windows, a central patio door, and a finished deck. Dimensions are provided for various elements, including window sizes (e.g., 56" x 48", 28" x 60"), door sizes (6'-0" x 6'-0"), and overall building dimensions (11'-5" wide, 10'-10" high). The drawing also indicates materials like asphalt shingles, vinyl panels, and precast concrete. A large red "REVIEWED" stamp is overlaid on the bottom right corner.

UPGRADED REAR ELEV. 'B'  
-W.O.B. COND.

**S38-20**

**BAYVIEW WELLINGTON**

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD EAST, ON.	16023

date SEPT. 2021	UPGRADED REAR ELEV. 'B' -W.O.B. COND.		
drawn by JC	checked by JWM	scale 3/16" = 1'-0"	file name 16023-S38-20

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM

VA3

DESIGN

**255 Consumers Rd Suite 120**  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782

va3design.com

the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591

Signature \_\_\_\_\_  
 Name \_\_\_\_\_  
 Registration information  
 #A3 Design Inc.  
 BCIN 42658

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JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

10' GROUND



MAR 1, 2022



UPGRADED REAR ELEV. 'C'  
-W.O.B. COND.  
**REVIEWED**

BAYVIEW WELLINGTON		S38-20	
GREEN VALLEY ESTATES		BRADFORD EAST, ON.	
project name		project no.	
16023		16023	
date		drawing no.	
SEPT. 2021		55	
checked by		file name	
JWM		16023-S38-20	
drawn by		scale	
NC		3/16" = 1'-0"	
municipality		UPGRADED REAR ELEV. 'C' - W.O.B. COND.	
BRADFORD EAST, ON.		RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM	
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Wellington Jno-Baptiste		25591	
name		BCIN	
VAS Design Inc.		42658	
registration information		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
MAR 01-22 RC		3 REVISED AS PER ENG COMMENTS	
FEB 24-22 RC		2 REVISED AS PER FLOOR / ROOF LAYOUTS	
NOV 26-21 VAS		1 ISSUED FOR CLIENT REVIEW	
date		no. description	





UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STANDARD & REAR UPGRADE STD SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION A WOB	ENERGY EFFICIENCY – OBC SB12		STANDARD & REAR UPGRADE STD SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION B WOB	ENERGY EFFICIENCY – OBC SB12		STANDARD REAR & STD SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	677 S.F.	150.28 S.F.	22.20 %		FRONT	688 S.F.	152.28 S.F.	22.13 %		FRONT	675 S.F.	166.50 S.F.	24.67 %
	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %		RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %		RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
	REAR	918 S.F.	249.33 S.F.	27.16 %		REAR	918 S.F.	249.33 S.F.	27.16 %		REAR	918 S.F.	249.33 S.F.	27.16 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4129.00 S.F.	573.61 S.F.	13.89 %		TOTAL SQ. FT.	4140.00 S.F.	575.61 S.F.	13.90 %		TOTAL SQ. FT.	4187.00 S.F.	589.83 S.F.	14.09 %
	TOTAL SQ. M.	383.59 S.M.	53.29 S.M.	13.89 %		TOTAL SQ. M.	384.62 S.M.	53.48 S.M.	13.90 %		TOTAL SQ. M.	388.98 S.M.	54.80 S.M.	14.09 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))					UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STANDARD & REAR UPGRADE OPT. SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION A WOB	ENERGY EFFICIENCY – OBC SB12		STANDARD & REAR UPGRADE OPT. SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION B WOB	ENERGY EFFICIENCY – OBC SB12		STANDARD REAR & OPT. SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE		ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	677 S.F.	150.28 S.F.	22.20 %		FRONT	688 S.F.	152.28 S.F.	22.13 %		FRONT	675 S.F.	166.50 S.F.	24.67 %
	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %		RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %		RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
	REAR	918 S.F.	249.33 S.F.	27.16 %		REAR	918 S.F.	249.33 S.F.	27.16 %		REAR	918 S.F.	249.33 S.F.	27.16 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.			* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4129.00 S.F.	582.94 S.F.	14.12 %		TOTAL SQ. FT.	4140.00 S.F.	584.94 S.F.	14.13 %		TOTAL SQ. FT.	4187.00 S.F.	599.16 S.F.	14.31 %
	TOTAL SQ. M.	383.59 S.M.	54.16 S.M.	14.12 %		TOTAL SQ. M.	384.62 S.M.	54.34 S.M.	14.13 %		TOTAL SQ. M.	388.98 S.M.	55.66 S.M.	14.31 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
UPGRADED REAR & STD SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	675 S.F.	166.50 S.F.	24.67 %
	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
	REAR	918 S.F.	270.11 S.F.	29.42 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4187.00 S.F.	610.61 S.F.	14.58 %
	TOTAL SQ. M.	388.98 S.M.	56.73 S.M.	14.58 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
UPGRADED REAR & OPT. SEC. FL. 9'-0" BASEMENT	S38-20	ELEVATION C WOB	ENERGY EFFICIENCY – OBC SB12	
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	675 S.F.	166.50 S.F.	24.67 %
	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
	REAR	918 S.F.	270.11 S.F.	29.42 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4187.00 S.F.	619.94 S.F.	14.81 %
	TOTAL SQ. M.	388.98 S.M.	57.59 S.M.	14.81 %

REVIEWED

9 .		BAYVIEW WELLINGTON		S38-20	
8 .		GREEN VALLEY ESTATES		BRADFORD EAST, ON.	
7 .		project name		project no.	
6 .		municipality		16023	
5 .		date		drawing no.	
4 .		SEPT. 2021		58	
3 .		checked by		SB12 CHARTS	
2 .		JWM		file name	
1 .		3/16" = 1'-0"		16023-S38-20	
no. description		drawn by		date	
1		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-20.dwg		TUE - MAR 1 2022 - 2:40 PM	
2		FEB 24-22 RC		FEB 24-22 RC	
3		MAR 01-22 RC		MAR 01-22 RC	
4		NOV 26-21 VA3		NOV 26-21 VA3	
5		NOV 26-21 VA3		NOV 26-21 VA3	
6		NOV 26-21 VA3		NOV 26-21 VA3	
7		NOV 26-21 VA3		NOV 26-21 VA3	
8		NOV 26-21 VA3		NOV 26-21 VA3	
9		NOV 26-21 VA3		NOV 26-21 VA3	

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qualification information

Wellington Jno-Baptiste 25591 BCIN

signature

42658

name

registration information

VA3 Design Inc.

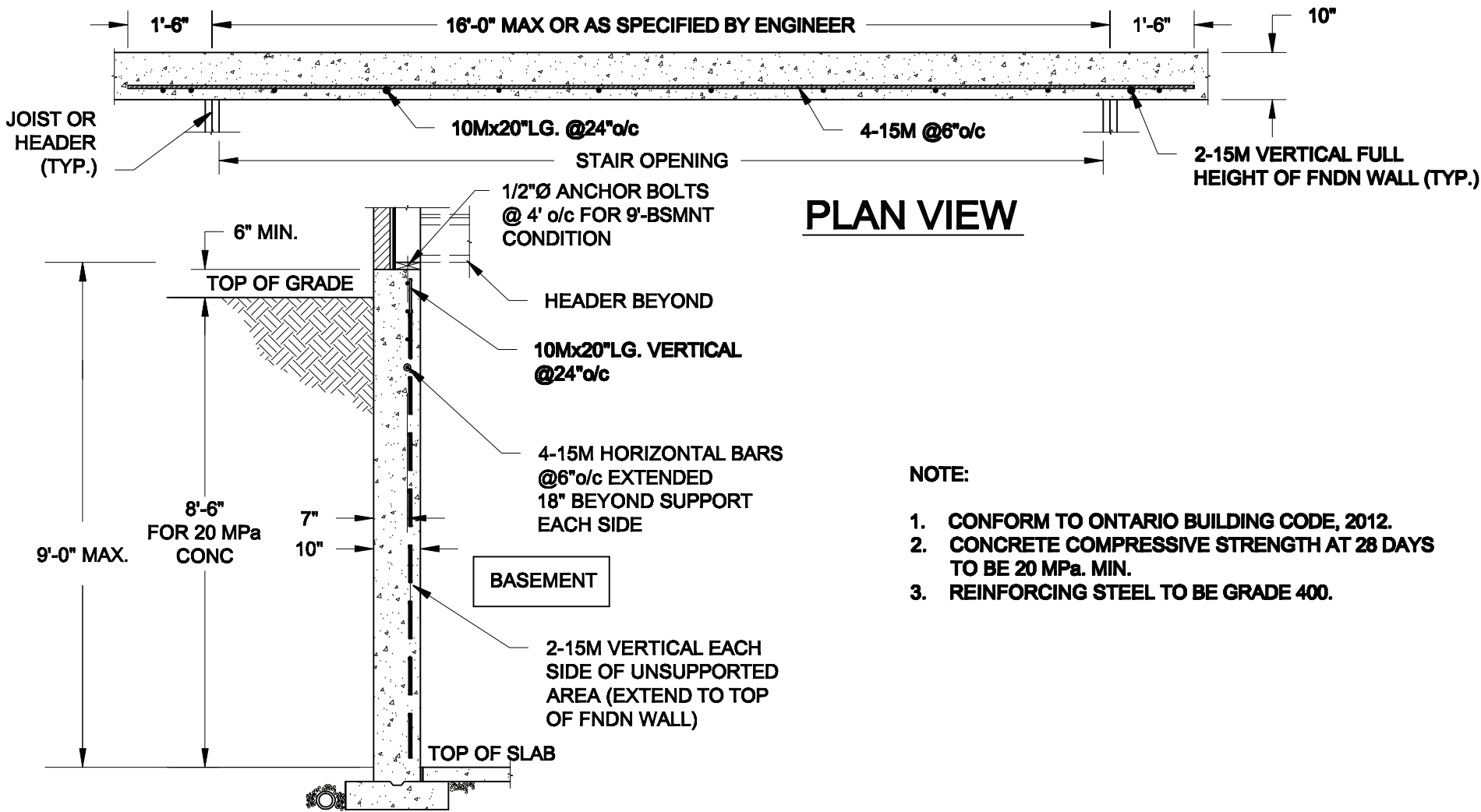
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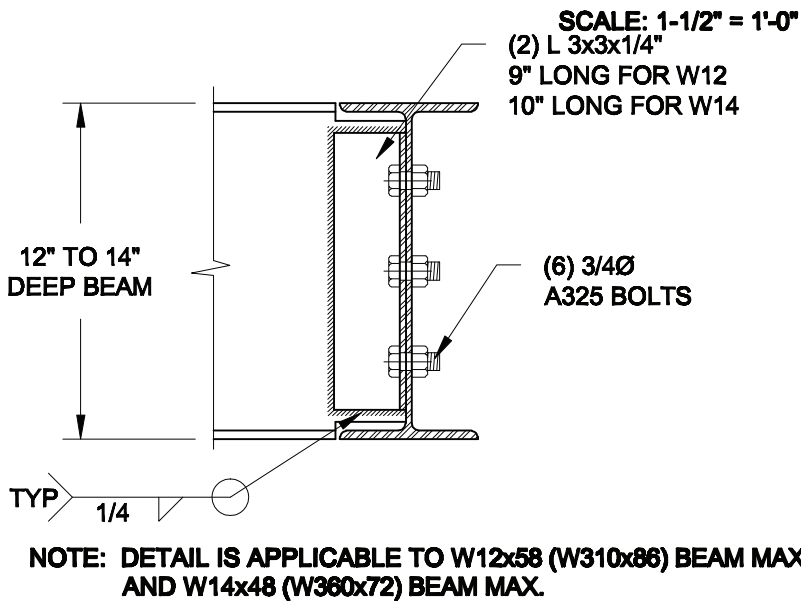
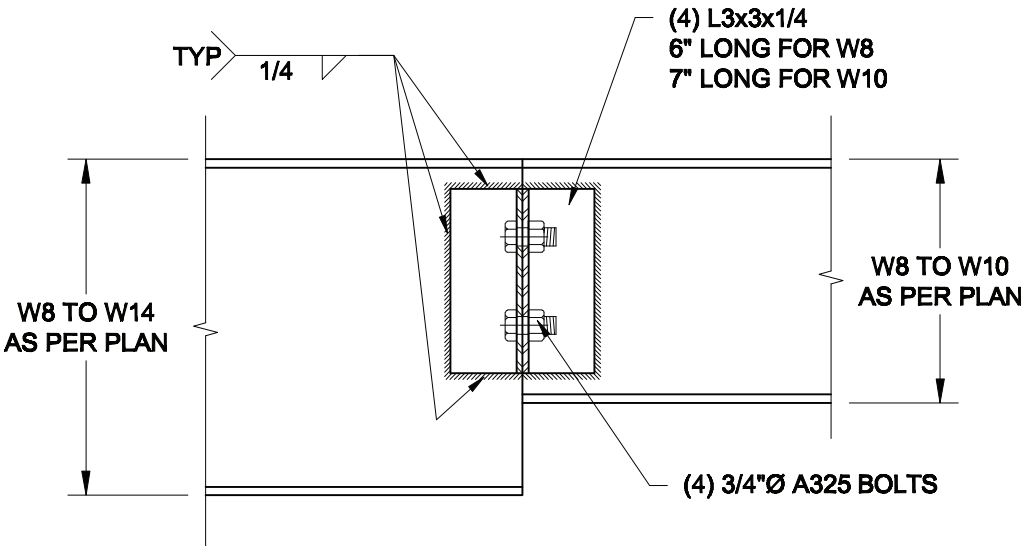
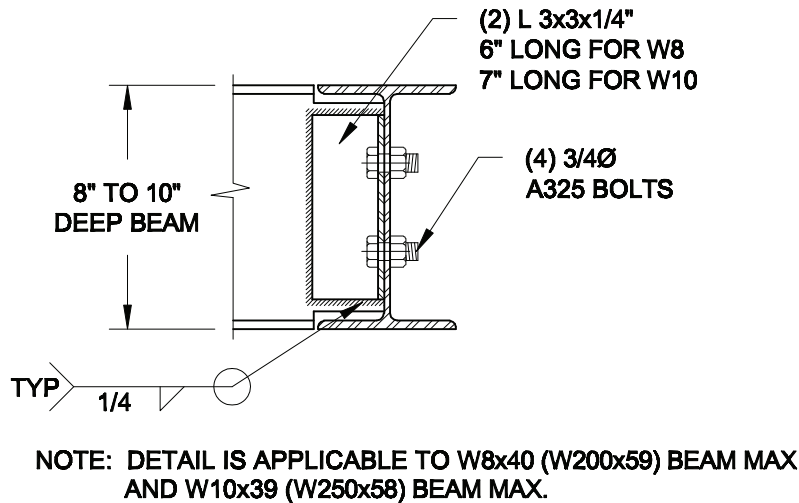


## PLAN VIEW

- NOTE:
- CONFORM TO ONTARIO BUILDING CODE, 2012.
  - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
  - REINFORCING STEEL TO BE GRADE 400.

## 1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



## 2 STEEL BEAM CONNECTION DETAILS

REVIEWED

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.

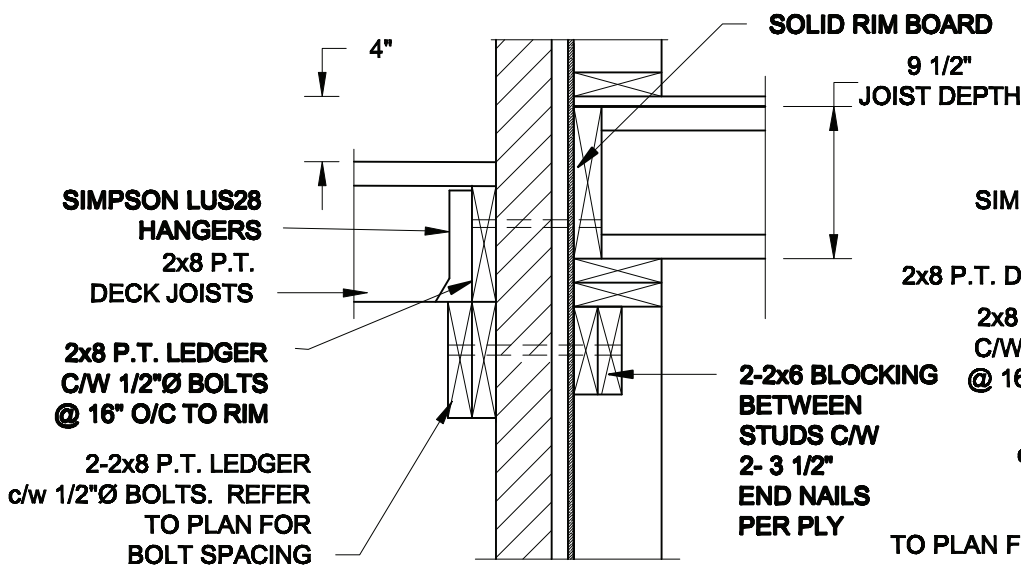


38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaile.eng@rogers.com

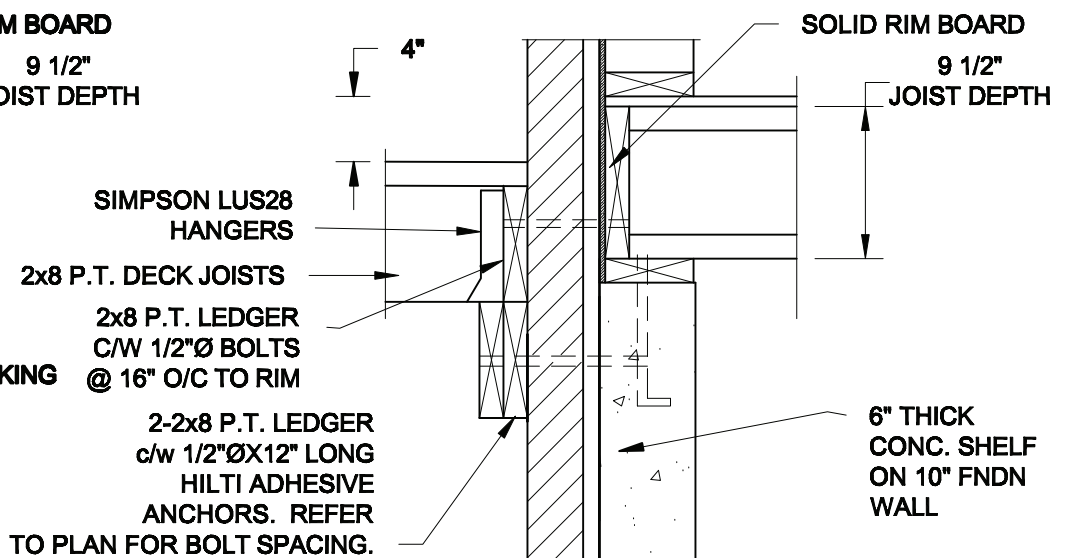


Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
TYPICAL STRUCTURAL DETAILS	
Project No.: 21-038	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

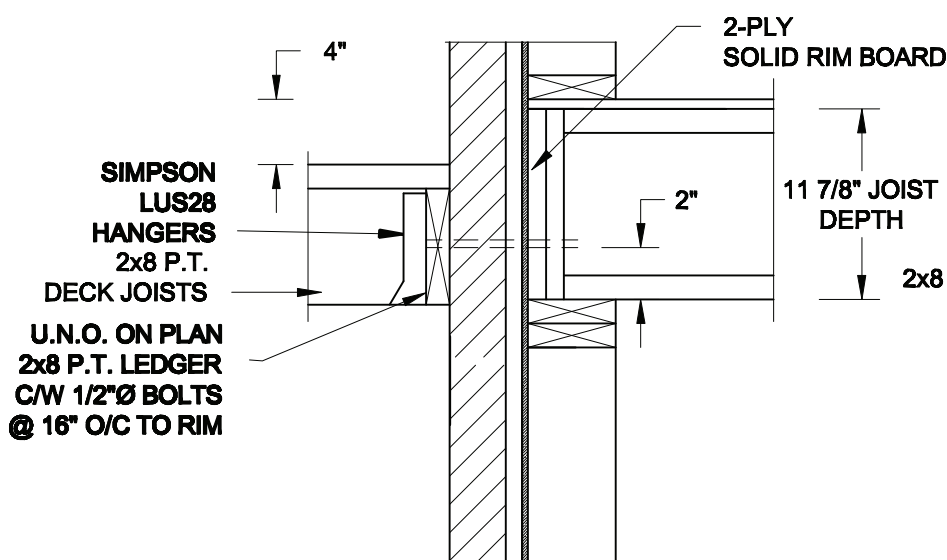


**1A**  
**S2** **DECK FASTENING DETAIL**  
SCALE: 1" = 1'-0"

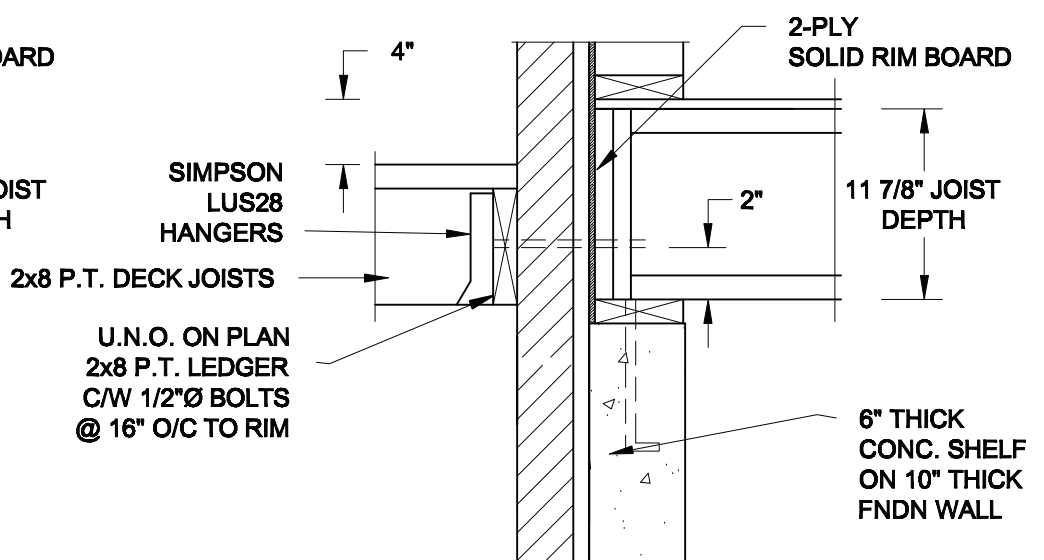


**1B**  
**S2** **DECK FASTENING DETAIL**  
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



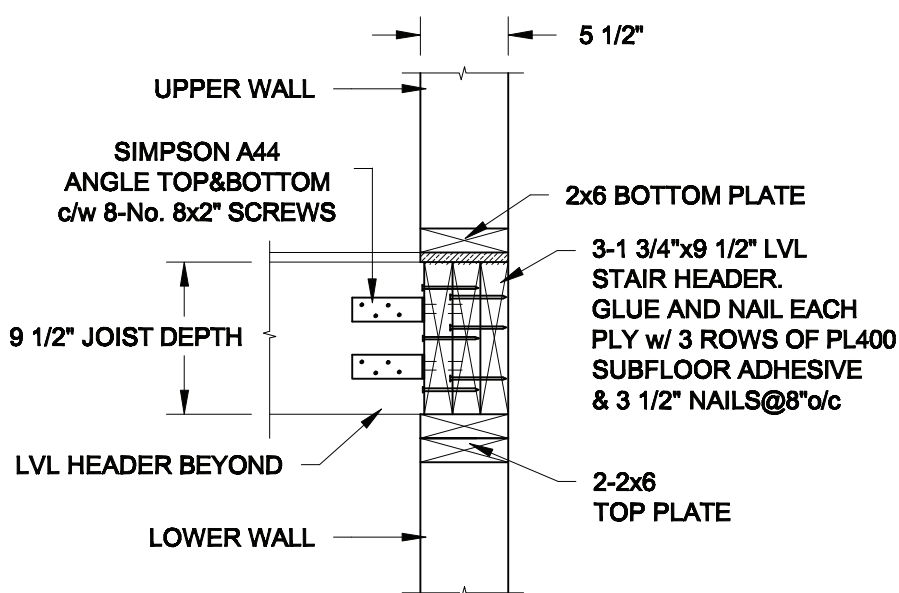
**1C**  
**S2** **DECK FASTENING DETAIL**  
SCALE: 1" = 1'-0"



**1D**  
**S2** **DECK FASTENING DETAIL**  
SCALE: 1" = 1'-0"

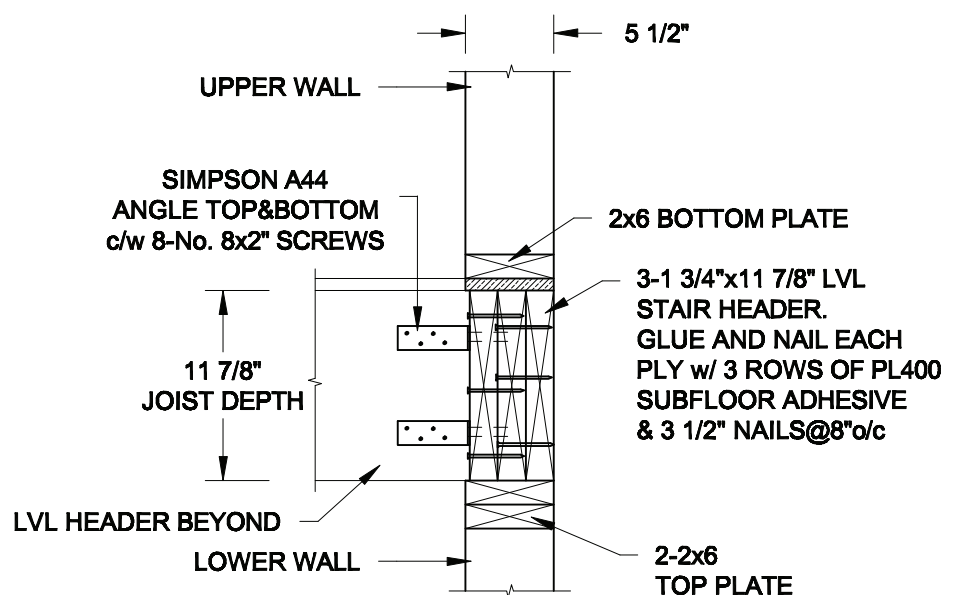
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



**2A**  
**S2** **STAIR HEADER**  
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



**2B**  
**S2** **STAIR HEADER**  
SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: MAR-15-2021	
Drawn: SC	Checked: SJB

**QUAILE ENGINEERING LTD.**



38 Parkside Drive, UNIT 7  
Newmarket, ON  
L3Y 8J9  
T: 905-853-8547  
E: quaille.eng@rogers.com

Engineer's Seal



MAR 30, 2021

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES**  
**BRADFORD, ONTARIO**

**TYPICAL STRUCTURAL DETAILS**

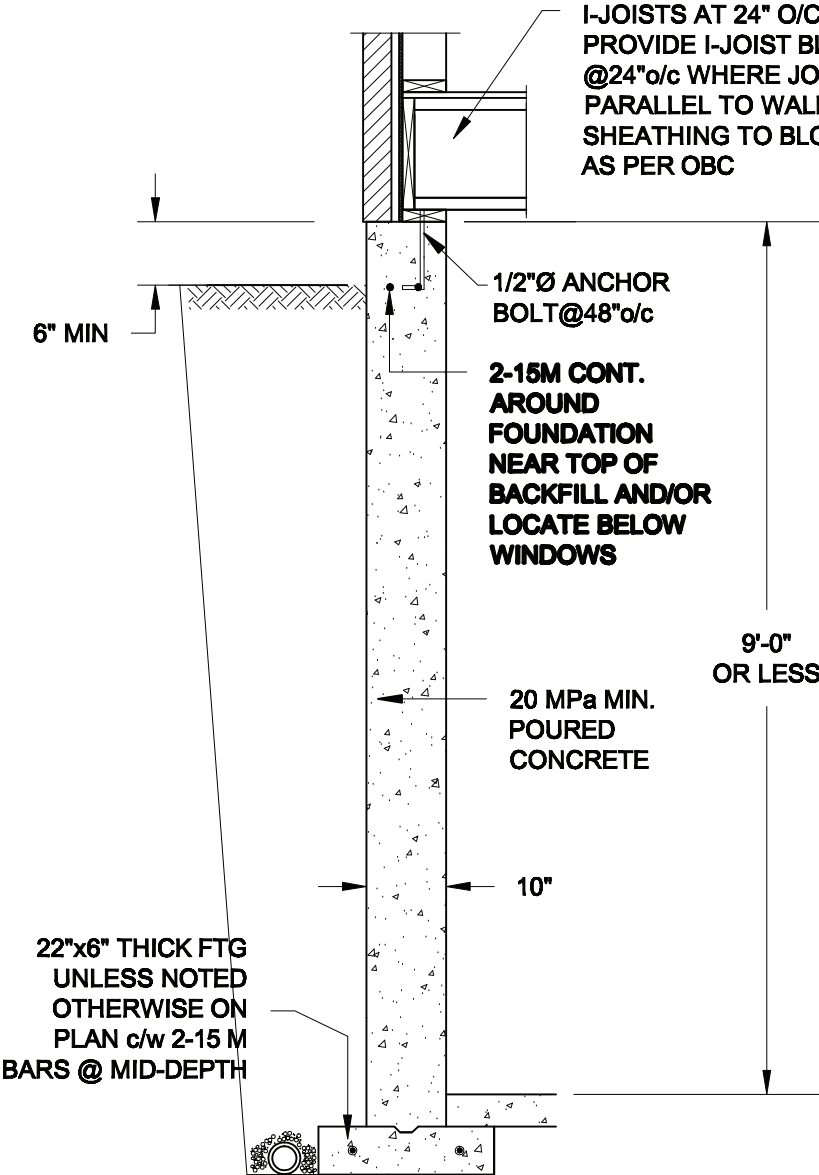
Project No.:

**21-038**

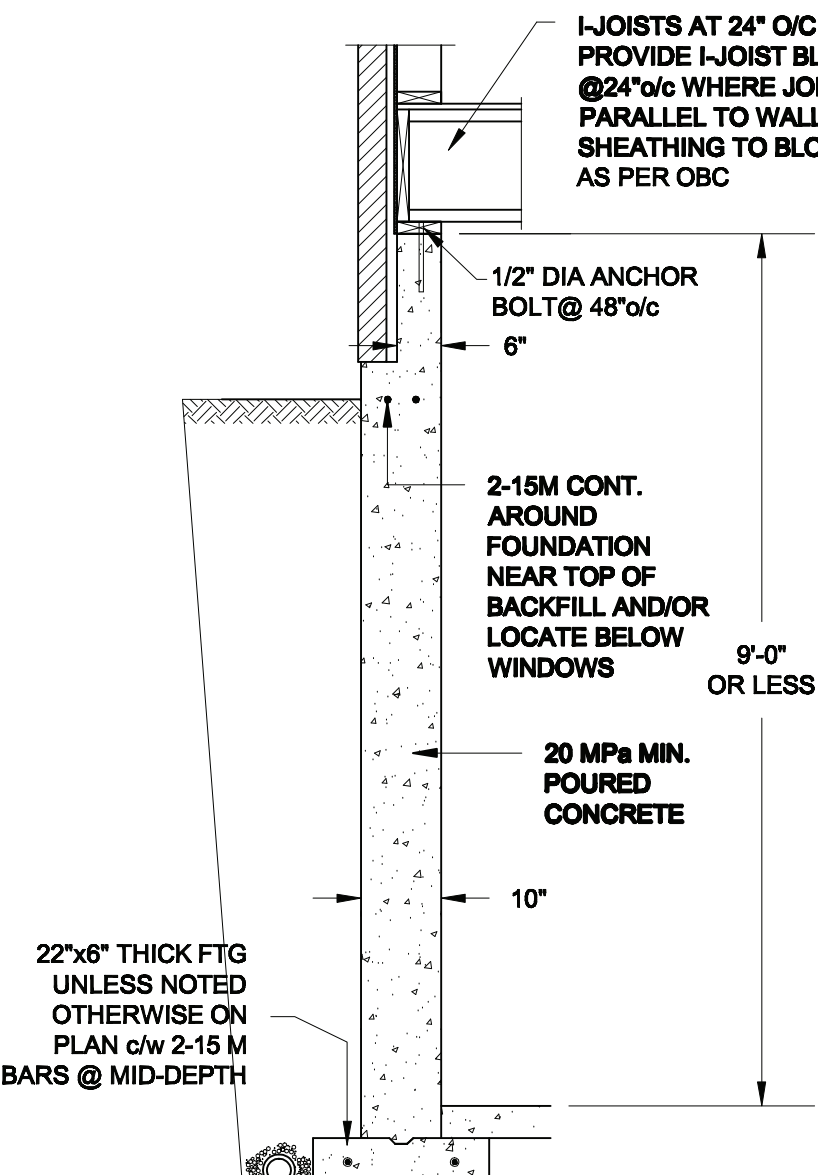
Drawing No.:

**S2**

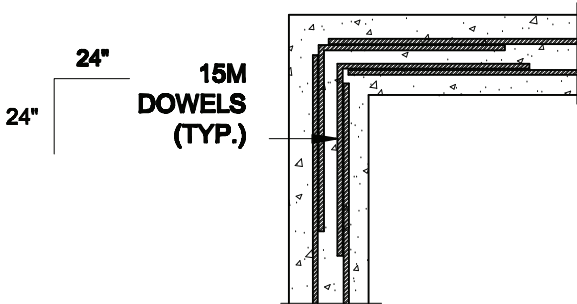




**1A**  
**S4** **FOUNDATION WALL**  
SCALE: 1/2" = 1'-0"



**1B**  
**S4** **DROPPED VENEER**  
SCALE: 1/2" = 1'-0"





**1C**  
**S4** **TYP. PLAN VIEW AT CORNER**  
SCALE: 1/2" = 1'-0"

**NOTE:**  
AT ALL WINDOW OPENINGS,  
PROVIDE 2-15M VERTICALLY  
AT EACH SIDE + 2-15M  
HORIZONTALLY 2" BELOW &  
EXTEND 24" BEYOND OPENING

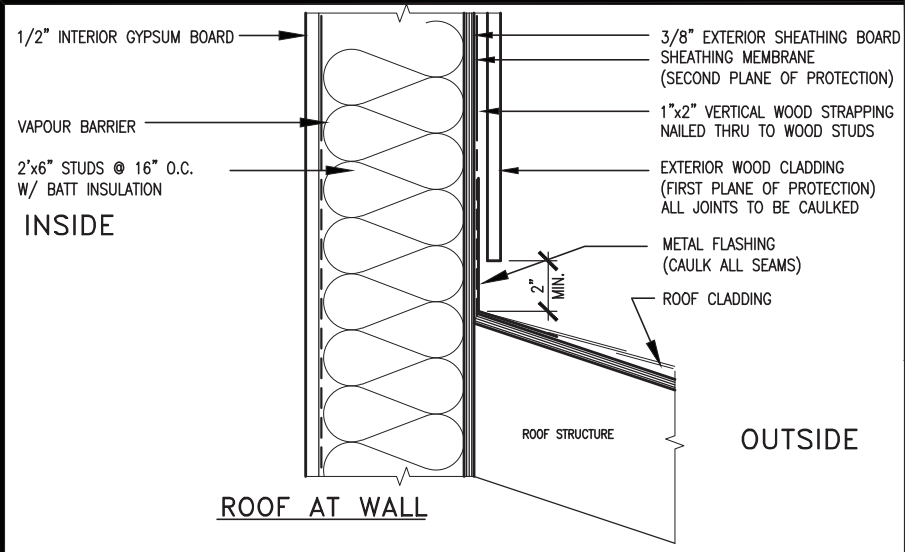
**NOTES:**

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

**REVIEWED**

<b>Scale:</b> AS NOTED		<b>QUAILE ENGINEERING LTD.</b>  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	<b>Engineer's Seal:</b>  MAR 30, 2021	<b>Project:</b> BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
<b>Date:</b> MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
<b>Drawn:</b> SC	<b>Checked:</b> SJB			<b>Project No.:</b> 21-038	<b>Drawing No.:</b> S4





MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:  
2"x4" @ 16" O.C. - 9'-10"  
2-2"x4" @ 12" O.C. - 10'-9"  
3-2"x4" @ 16" O.C. - 11'-2"  
3-2"x4" @ 12" O.C. - 12'-4"

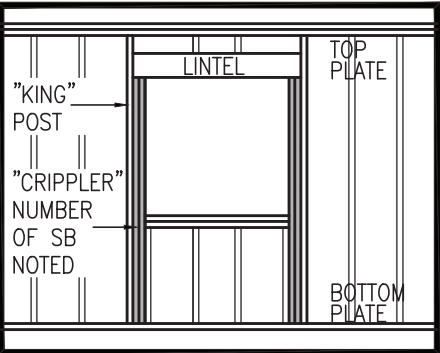
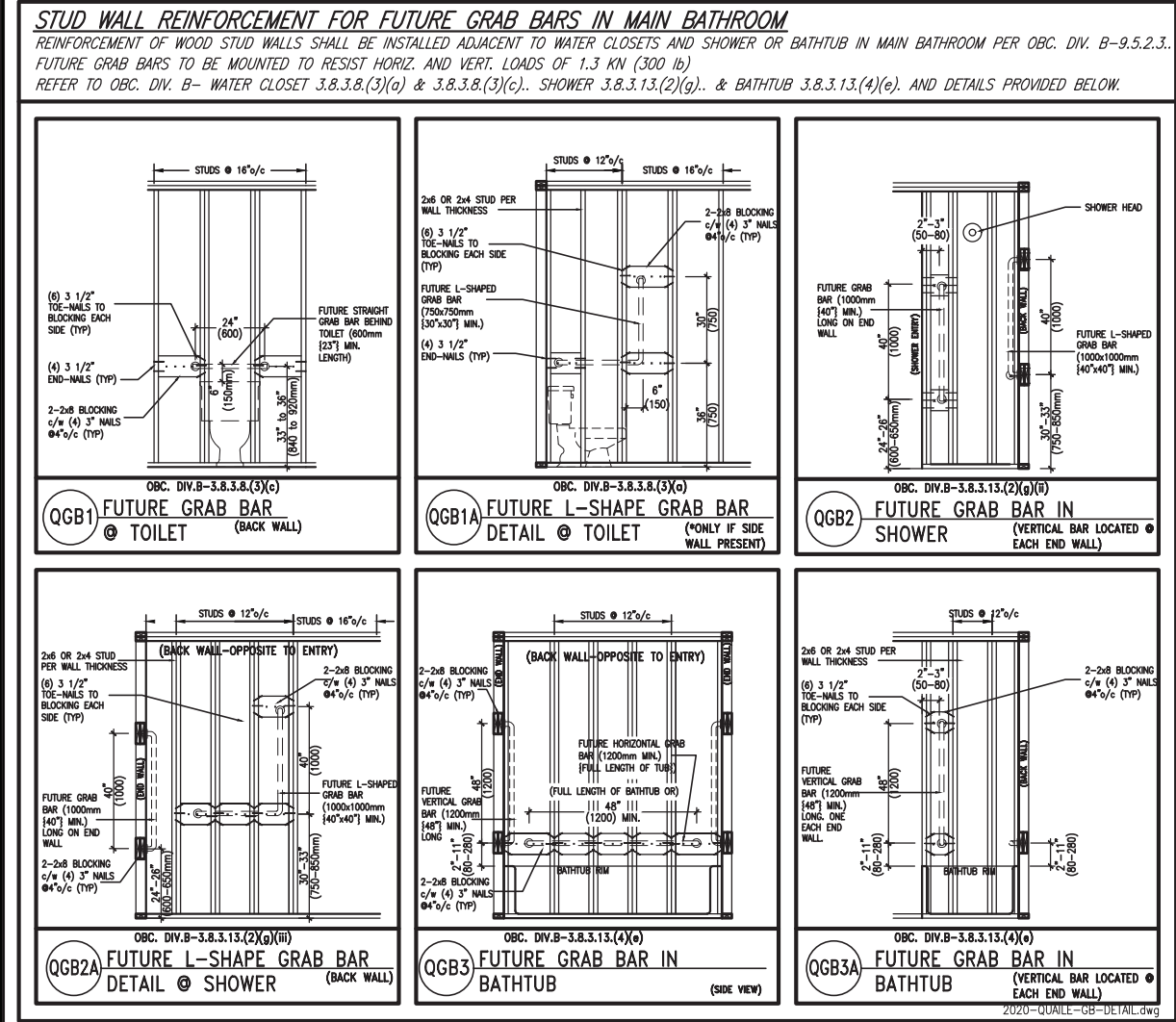
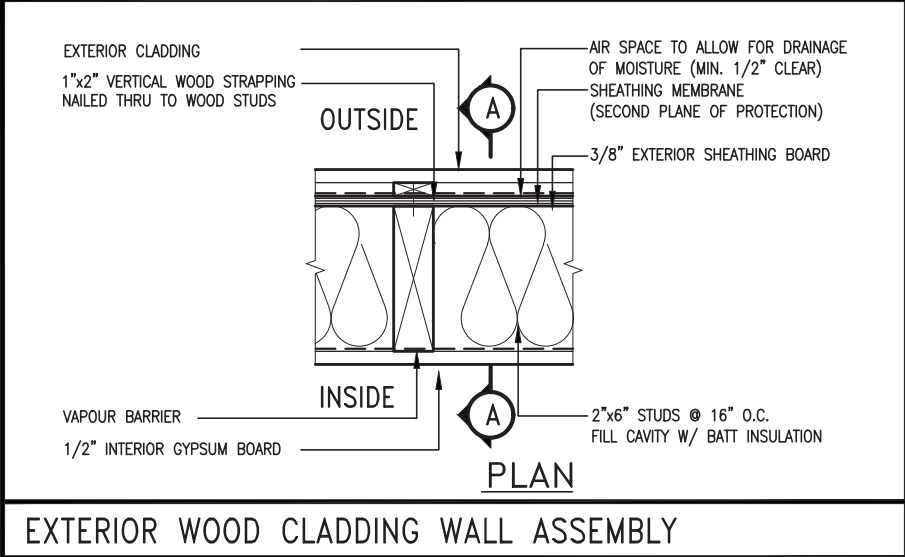
NOTES:  
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.  
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")  
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.  
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.  
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.  
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:  
2"x6" @ 16" O.C. - 12'-6"  
2"x6" @ 12" O.C. - 13'-10"  
2-2"x6" @ 16" O.C. - 15'-0"  
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:  
2"x8" @ 16" O.C. - 16'-0"  
2"x8" @ 12" O.C. - 17'-9"  
2-2"x8" @ 16" O.C. - 20'-4"  
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:  
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa  
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.  
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")  
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.  
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)  
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa  
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.  
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* STUD INFORMATION TAKEN FROM OBC TABLE A-30



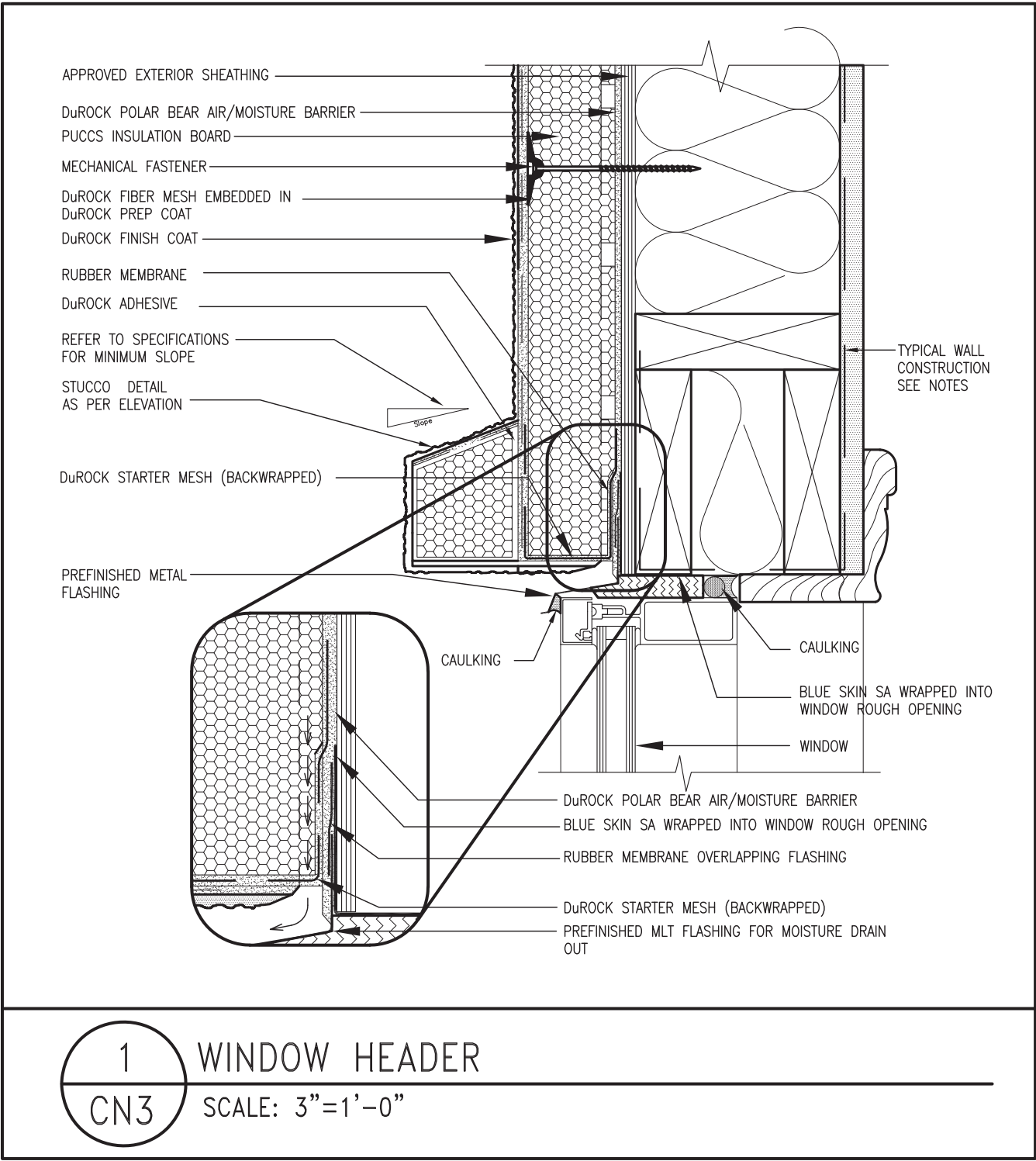
"CRIPPLE" DETAIL

PROFESSIONAL ENGINEER  
S. J. BOYD  
PROVINCE OF ONTARIO  
JAN 26, 2022

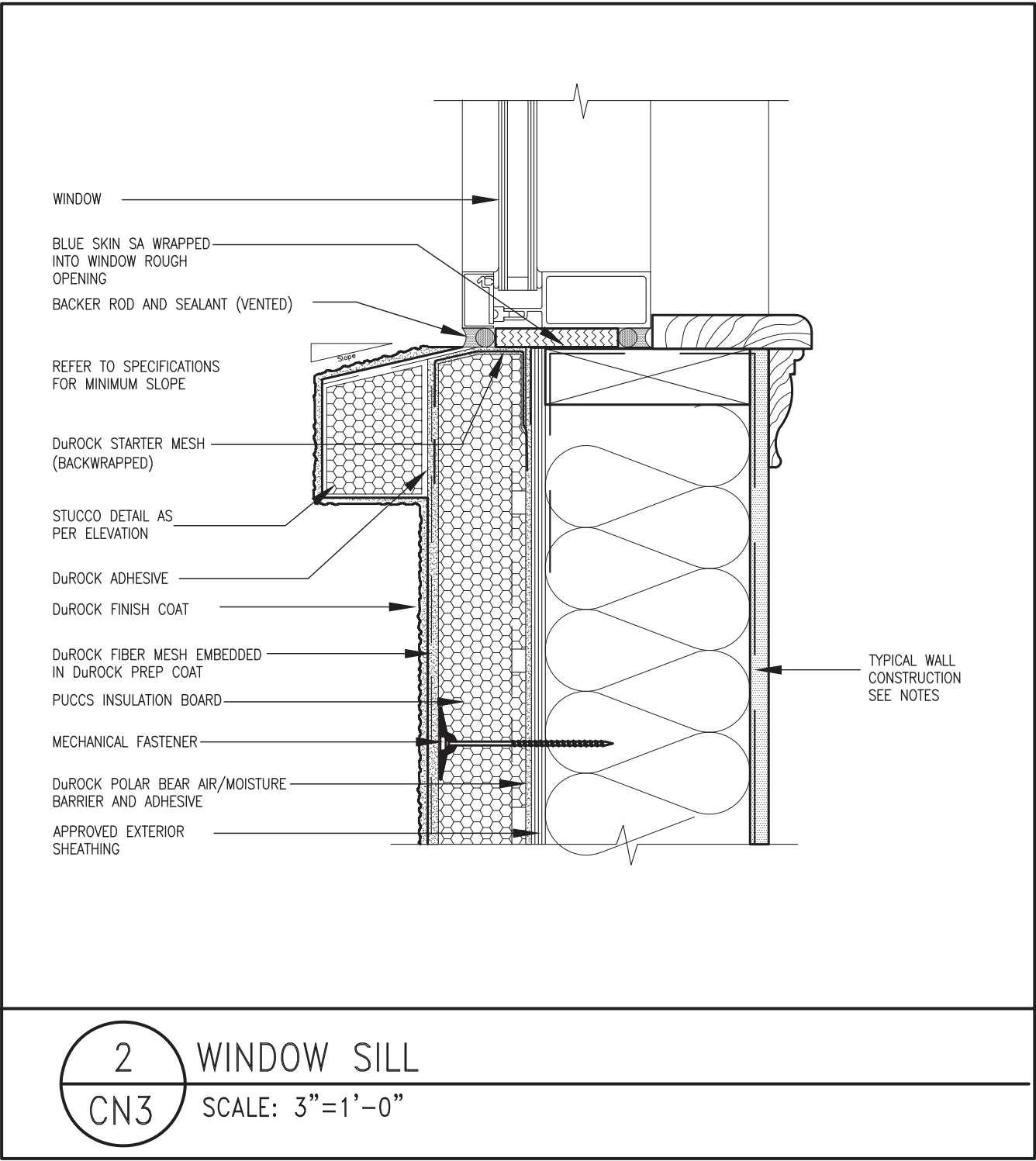
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name BCIN
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
REVIEWED			
project name GREEN VALLEY EAST		municipality BRADFORD	
date MAY 2016		project no. 16023	
drawn by RC		checked by scale 3/16" = 1'-0"	
CONSTRUCTION NOTES		drawing no. CN2	
file name 16023-CN-2022-A1		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM	



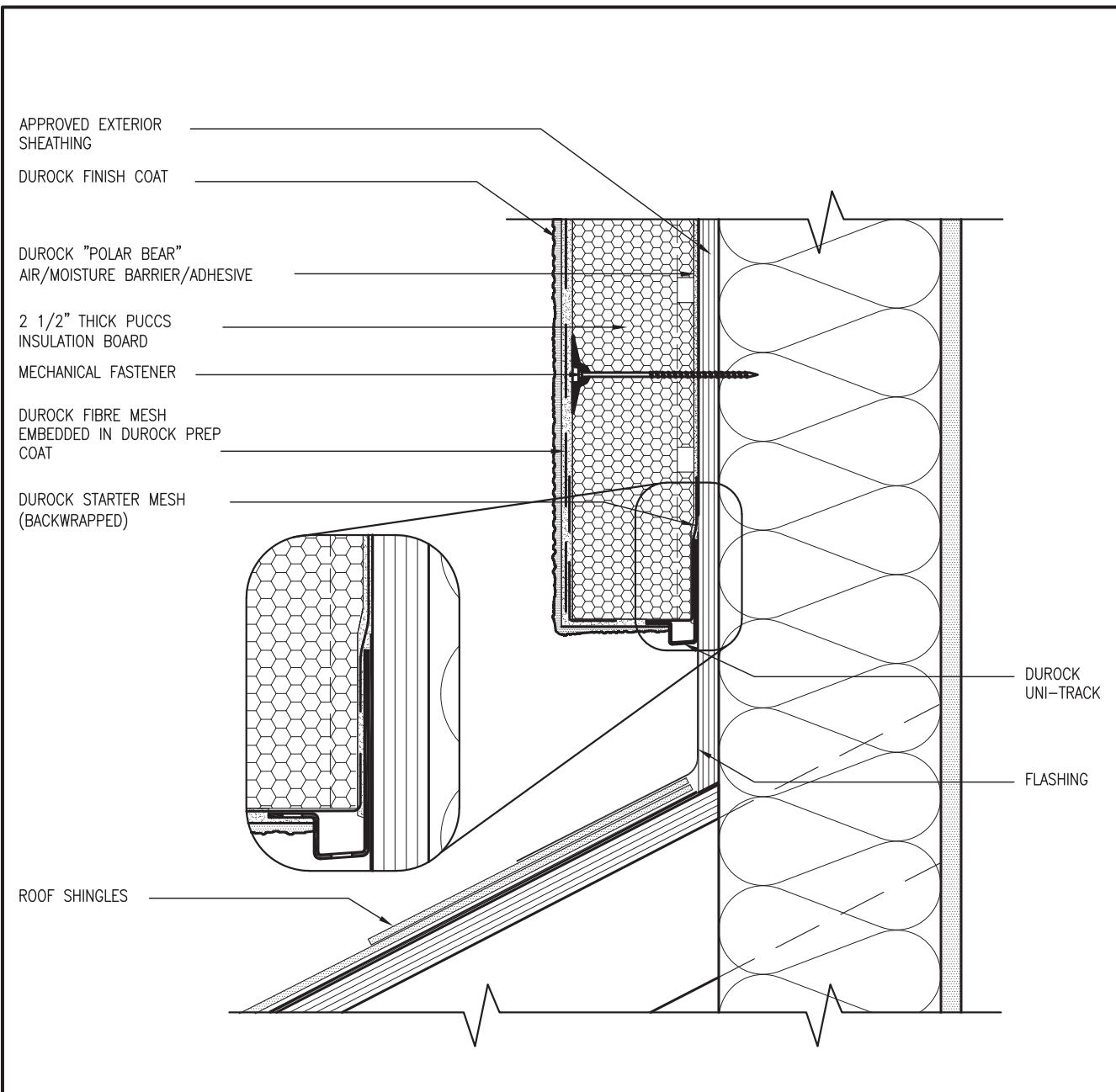
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



REVIEWED

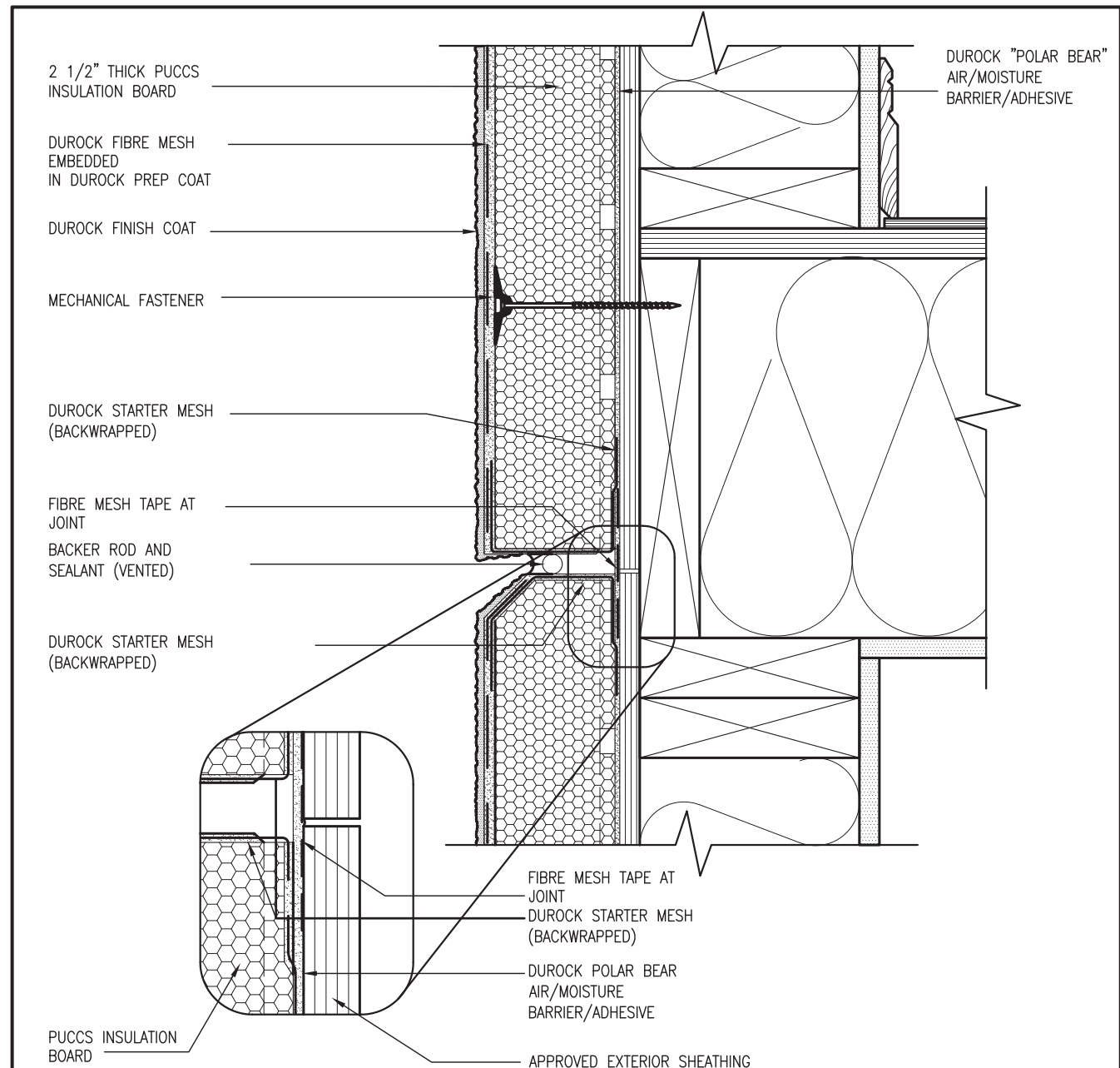
											
				255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2265 f 416.630.4782 vo3design.com							
				CONSTRUCTION NOTES				drawing no.			
				date				project no.			
				MAY 2016				16023			
				drawn by				project name			
				RC				GREEN VALLEY EAST			
				checked by				municipality			
				--				BRADFORD			
				scale							
				3/16" = 1'-0"							
				16023-CN-2022-A1				CONST NOTE			
				RICHARD - H:\ARCHIVE\WORKING\2016\16023\BAYVIEW\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:07 PM							

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3 STUCCO TERMINATION @ ROOF  
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT  
CN4 SCALE: 3"=1'-0"

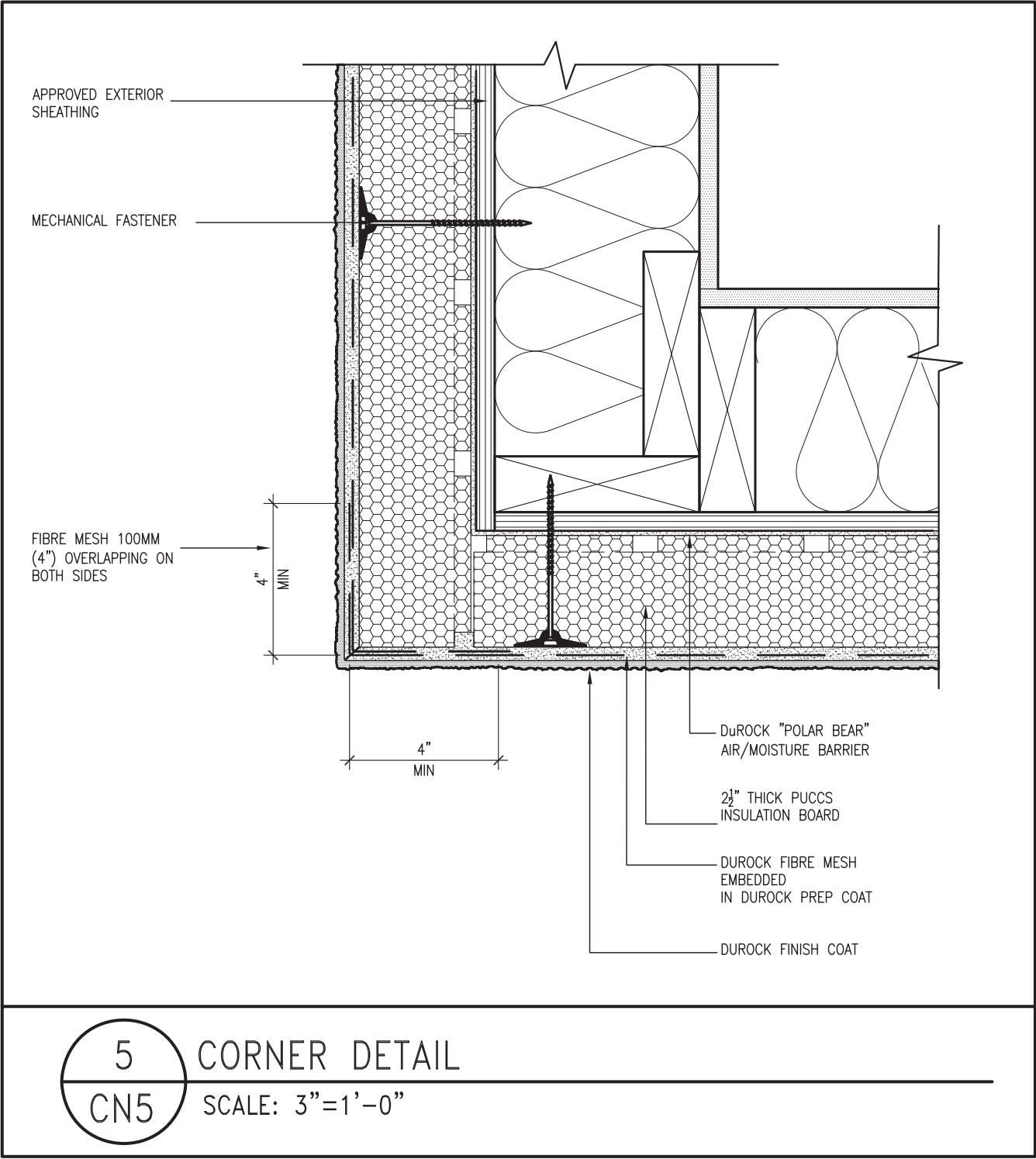
# REVIEWED

9	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and construction and certifies that the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	.	qualification information
7	.	.	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	.	.	name
5	.	.	.	.	.	information
4	UPDATE	TO 2022	JAN 11--22	RC	42658	signature
3	UPDATE	TO 2020	FEB 24--20	RC		VA3 Design Inc.
2	UPDATE	TO 2018	JAN 11--18	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
1	ISSUE FOR CLIENT REVIEW		AUG 04--17	RC		Drawings are not to be scaled.
mol.	description	date	by			

VA3 DESIGN

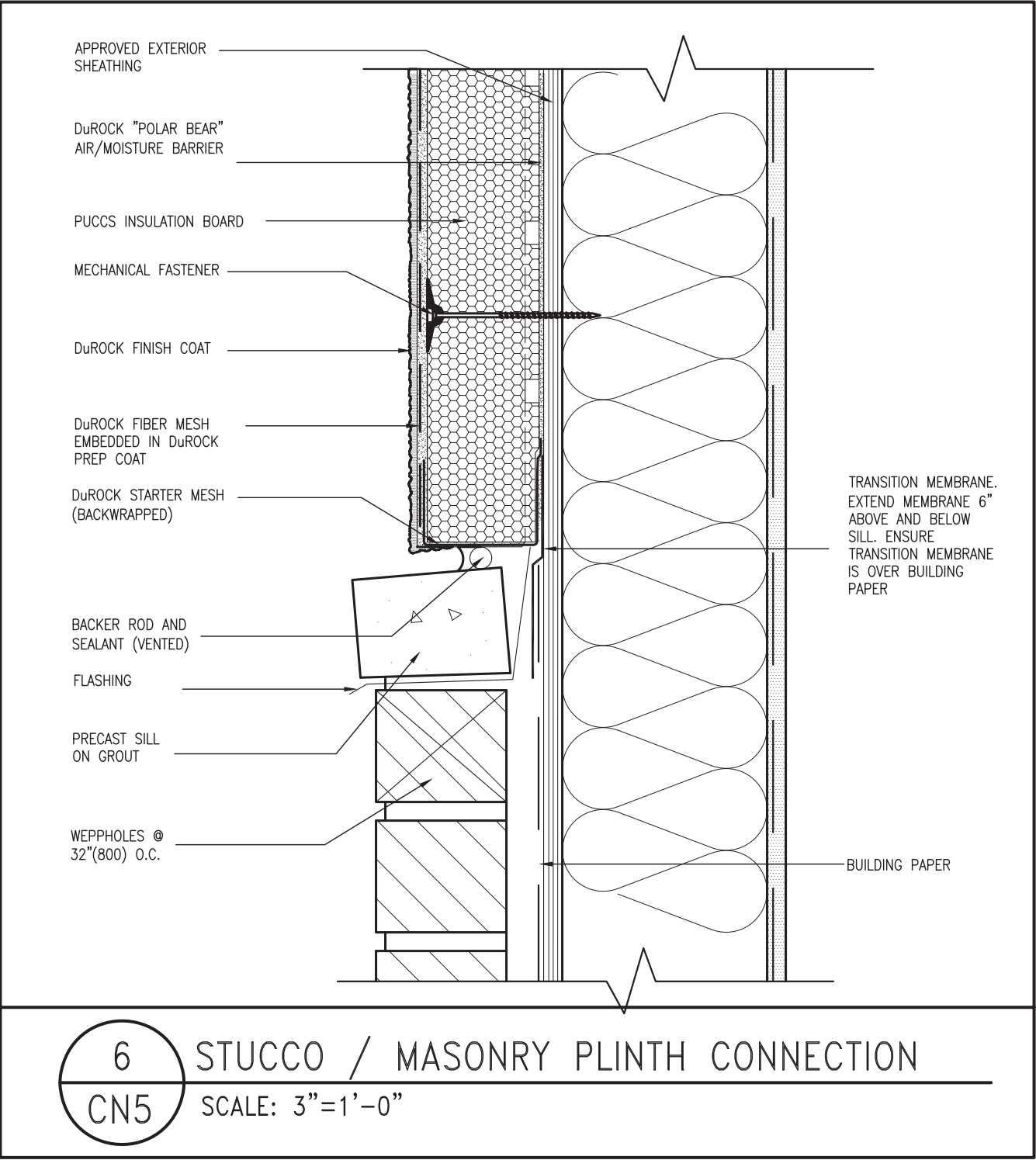
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

project name		municipality		project no.
GREEN VALLEY EAST		BRADFORD		16023
date	CONSTRUCTION NOTES			drawing no.
MAY 2016				CN4
drawn by	checked by	scale	file name	
RC	—	3/16" = 1'-0"	16023-CN-2022-A1	
RICHARD - H\ ARCHIVE WORKING(2016)\16023.BW(Units)\NOTES\16023-CN-2022-A1.dwg -- Wed - Jun 26 2022 -- 12:07 PM				



5 CORNER DETAIL  
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.  
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

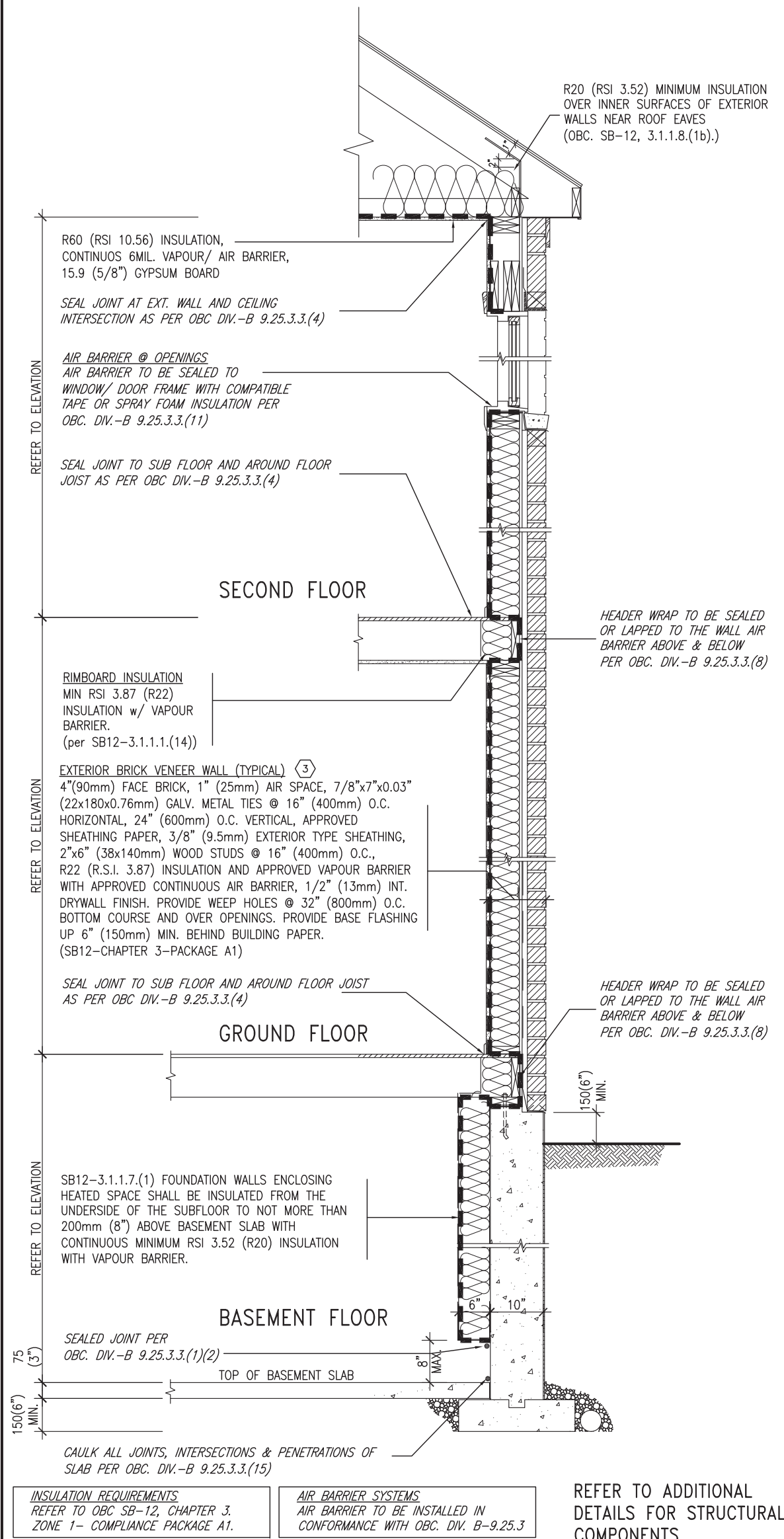


6 STUCCO / MASONRY PLINTH CONNECTION  
CN5 SCALE: 3"=1'-0"

REVIEWED

CONST NOTE			BAYVIEW WELLINGTON		
project no.	16023	project name	GREEN VALLEY EAST	municipality	BRADFORD
drawing no.	CN5	CONSTRUCTION NOTES	file name 16023-CN-2022-A1		
date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
drawn by	RC	date	MAY 2016	checked by	RC
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qualification information					
name	Wellington Jno-Baptiste	25591	BCIN	42658	
registration information	VAS Design Inc.				
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
no.	9	description	date	by	
4	UPDATE TO 2022		JAN 11-22	RC	
3	UPDATE TO 2020		FEB 24-20	RC	
2	UPDATE TO 2018		JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW		AUG 04-17	RC	

SB12-COMPLIANCE PACKAGE 'A1'

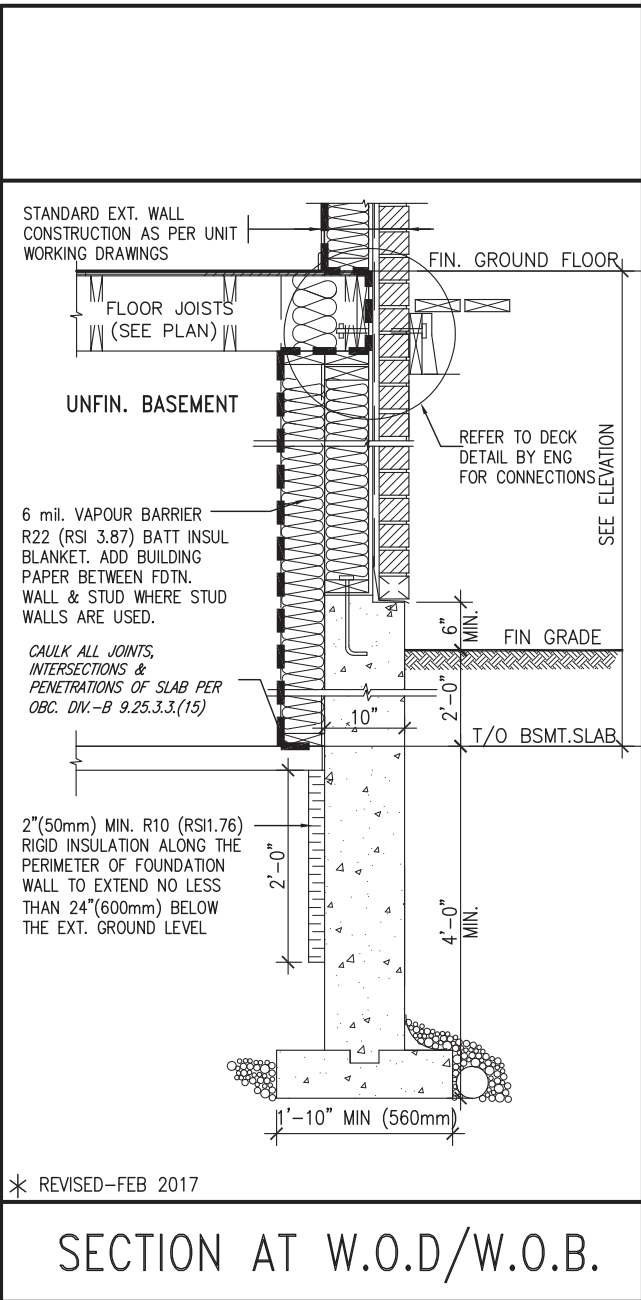


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV		
Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

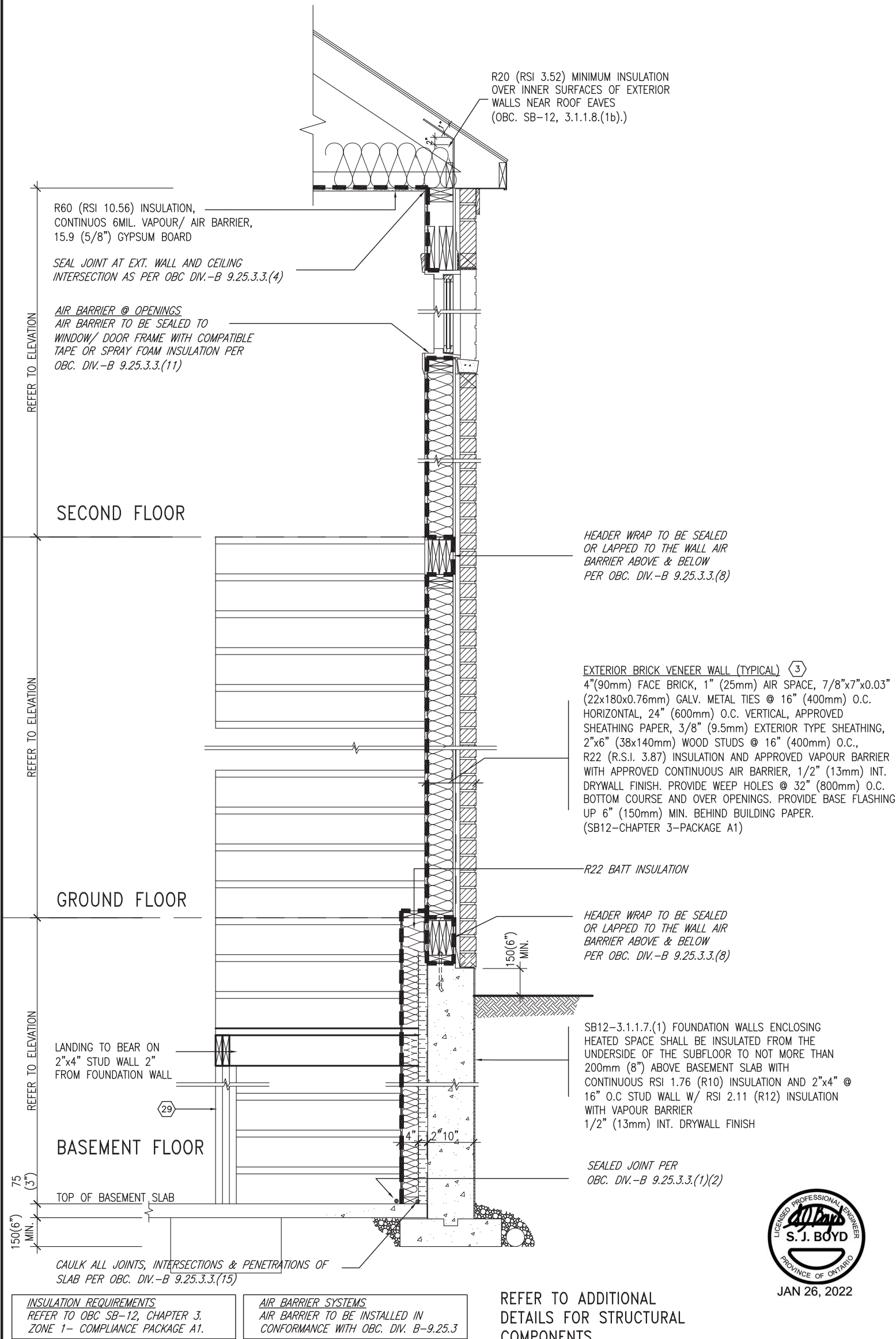


\* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<b>VA3 DESIGN</b> 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	<b>BAYVIEW WELLINGTON</b> <b>GREEN VALLEY EAST</b> date MAY 2016 drawn by RC checked by — scale 3/16" = 1'-0" file name 16023-CN-2022-A1 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:08 PM	<b>CONST NOTE</b> project no. 16023 drawing no. <b>CN6</b>
8	.	.	.	qualification information			
7	.	.	.	Wellington Jno-Baptiste 25591 name signature BCIN			
6	.	.	.	registration information VA3 Design Inc. 42658			
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
4	UPDATE TO 2022	JAN 11-22	RC				
3	UPDATE TO 2020	FEB 24-20	RC				
2	UPDATE TO 2018	JAN 11-18	RC				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				
no.	description	date	by				

SB12-COMPLIANCE PACKAGE 'A1'

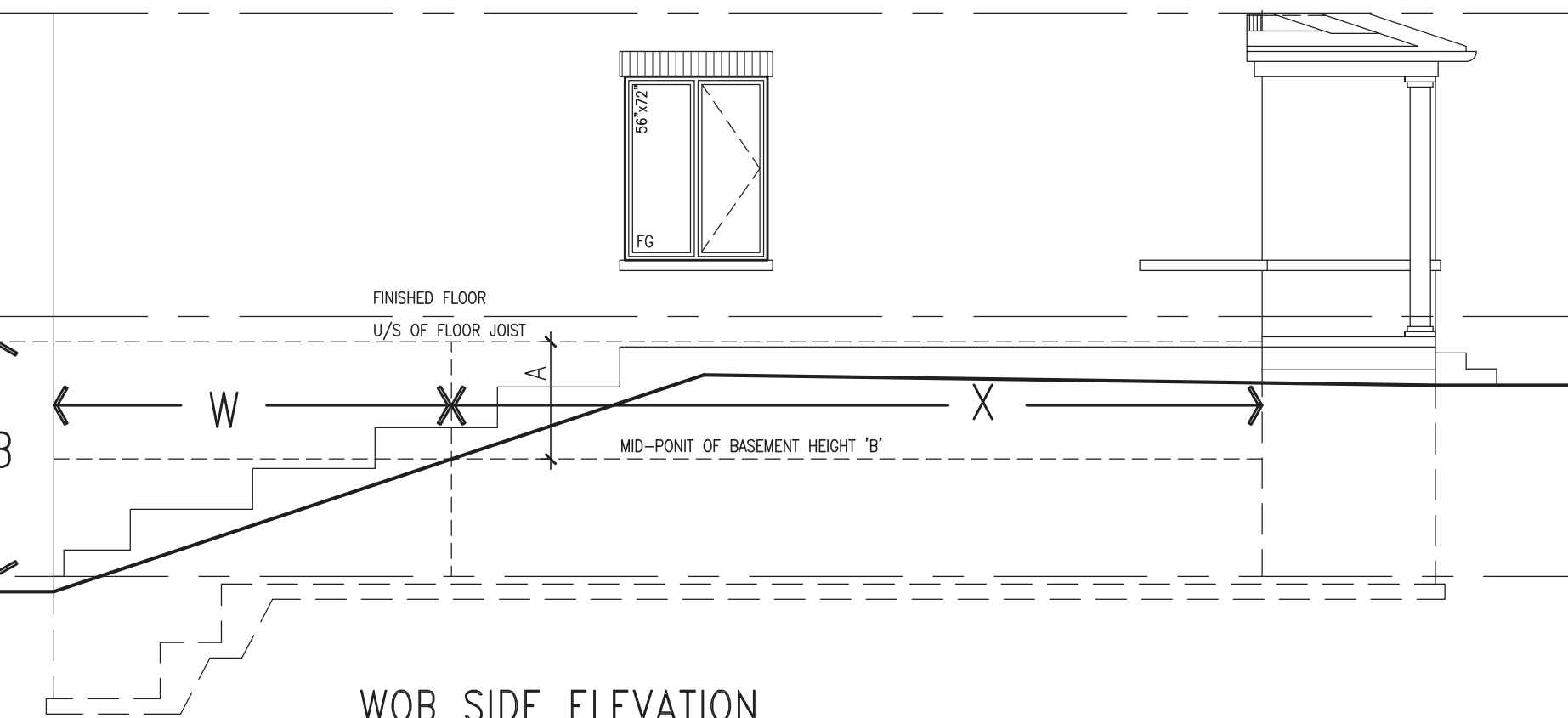


**EW STR** TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	.	qualification information		project name		project no.	
7	.	.	.	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023	
6	.	.	.	signature		date		CONSTRUCTION NOTES	
5	.	.	.	name		MAY 2016		drawing no.	
4	UPDATE TO 2022	JAN 11-22	RC	registration information	drawn by		file name		
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.	checked by		16023-CN-2022-A1		
2	UPDATE TO 2018	JAN 11-18	RC		scale		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		3/16" = 1'-0"		CN7		
no.	description		date	by					

COMPLIANCE TO CBC SB-12 2.1.1.1(1)

WOB PLAN



WHEN EXPOSED WALL "A" IS GREATER THAN 50%  
OF BASEMENT WALL HEIGHT "B"  
INSULATION VALUE FOR WALL IN SECTION "W"  
IS NOT LESS THAN IS REQUIRED FOR ABOVE  
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%  
OF BASEMENT WALL HEIGHT "B"  
INSULATION VALUE FOR WALL IN SECTION "X"  
IS NOT LESS THAN BASEMENT WALL AS  
REQUIRED BY TABLE 2.1.1.2A



**REVIEWED**

9	.	.	.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.		qualification information
7	.	.	.		Wellington Jho-Baptiste 25591
6	.	.	.		name BCIN
5	.	.	.		registration information signature
4	UPDATE TO 2022	JAN 11-22	RC		VA3 Design Inc. 42558
3	UPDATE TO 2020	FEB 24-20	RC		
2	UPDATE TO 2018	JAN 11-18	RC		Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no.	description	date	by		

**BAYVIEW WELLINGTON**

**GREEN VALLEY EAST**

project name  
drawing no.  
**16023**

# CONST NOTE

project no. 16023

municipality **BRADFORD**

date **MAY 2016**

checked by **RC**

scale **3/16" = 1'-0"**

file name **16023-CN-2022-A1**

drawn by **RICHARD**

date **Jun 26 2022**

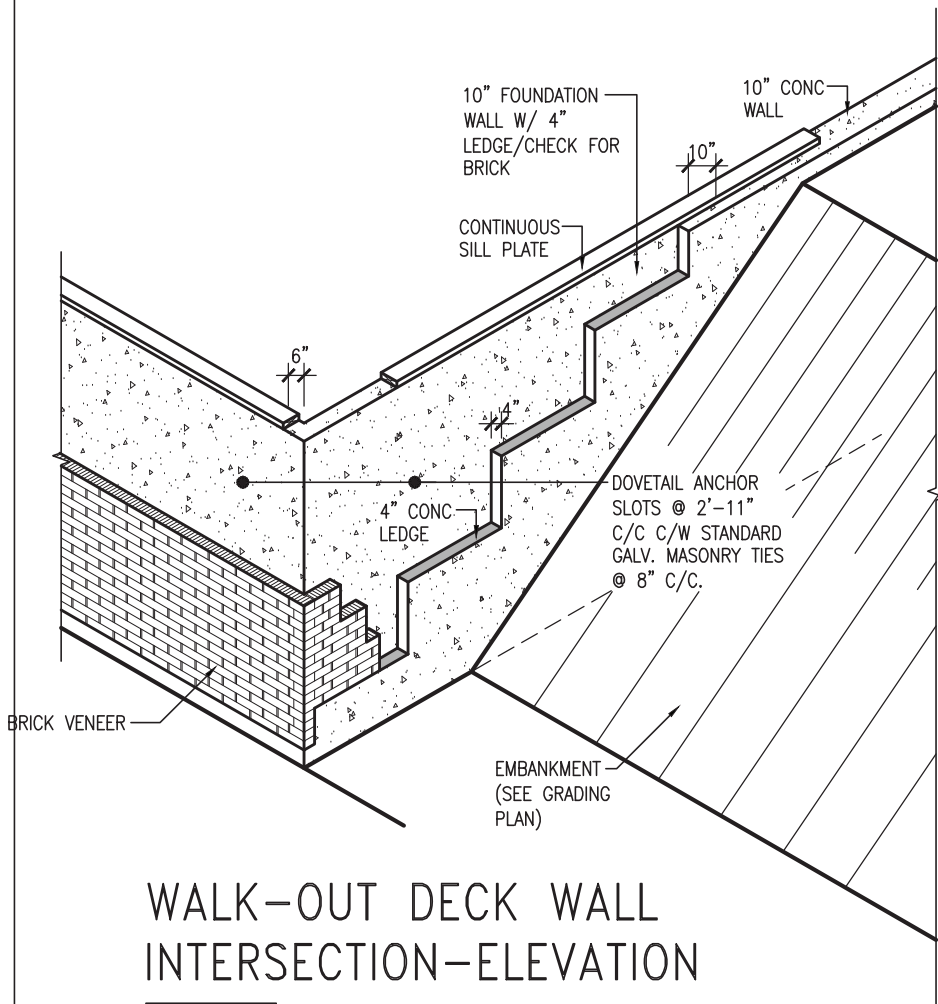
time **12:06 PM**

# CONSTRUCTION NOTES

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Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
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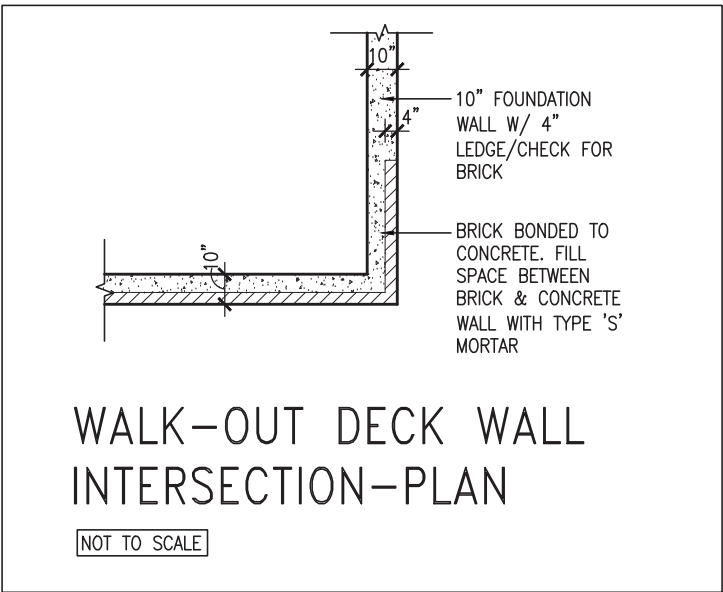
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WALK-OUT DECK WALL INTERSECTION-ELEVATION

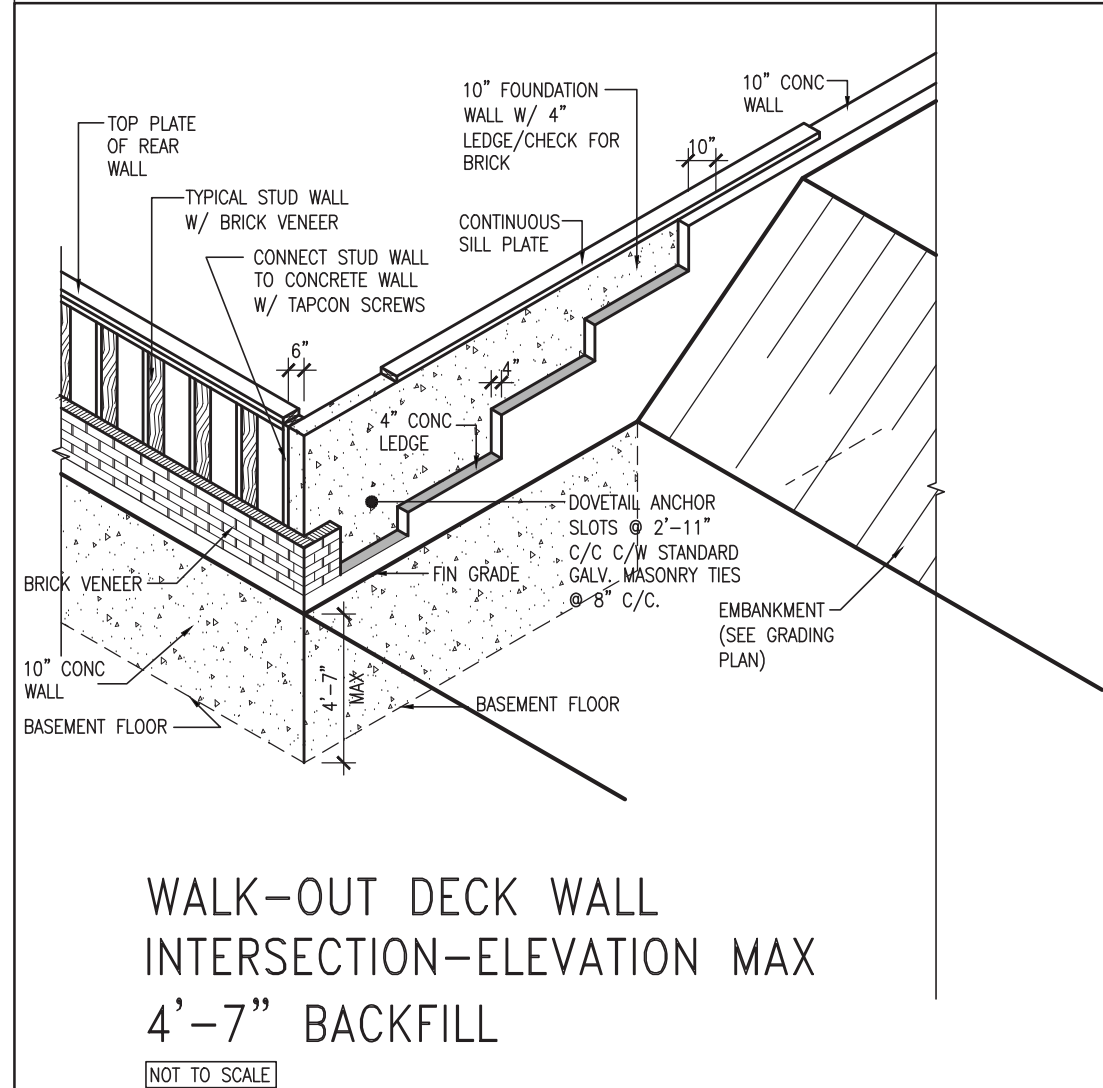
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN

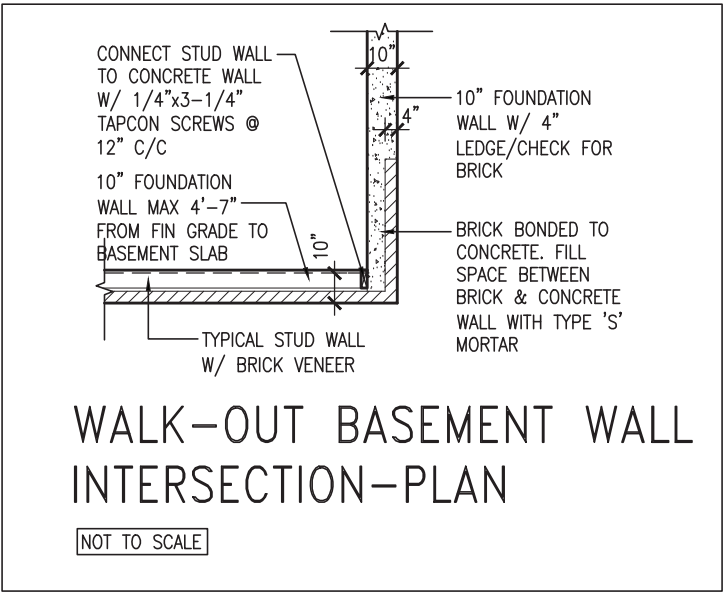
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



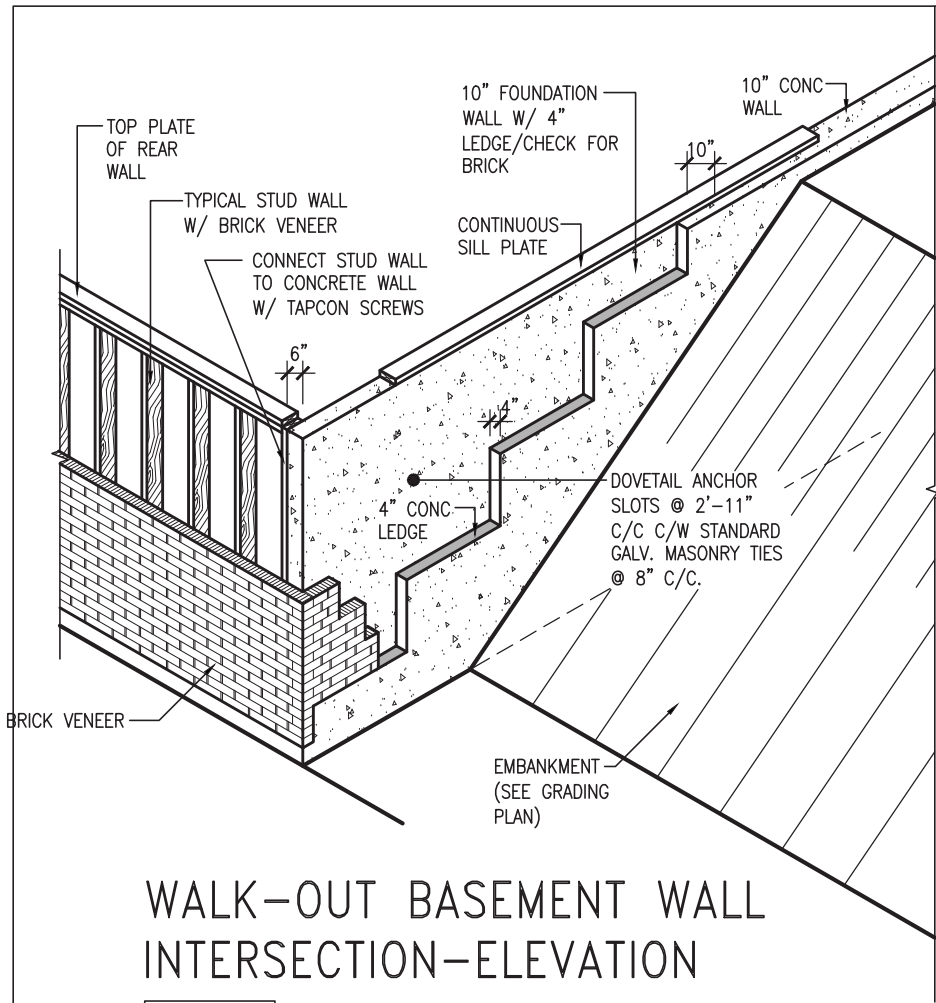
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5.	.	.	.
4.	UPDATE TO 2022	JAN 11-22	RC
3.	UPDATE TO 2020	FEB 24-20	RC
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name	registration information	42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

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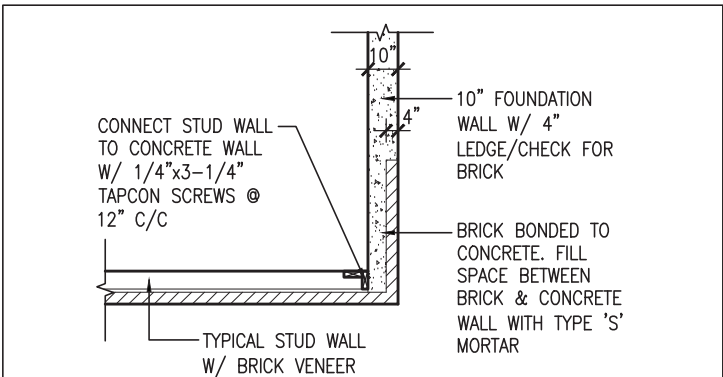
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
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va3design.com

<b>BAYVIEW WELLINGTON</b>		<b>CONST NOTE</b>	
<b>REVIEWED</b>		<b>REVIEWED</b>	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	scale	3/16" = 1'-0"
drawn by	RC	checked by	-
file name	16023-CN-2022-A1	drawing no.	CN10
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM			



WALK-OUT BASEMENT WALL  
INTERSECTION-ELEVATION

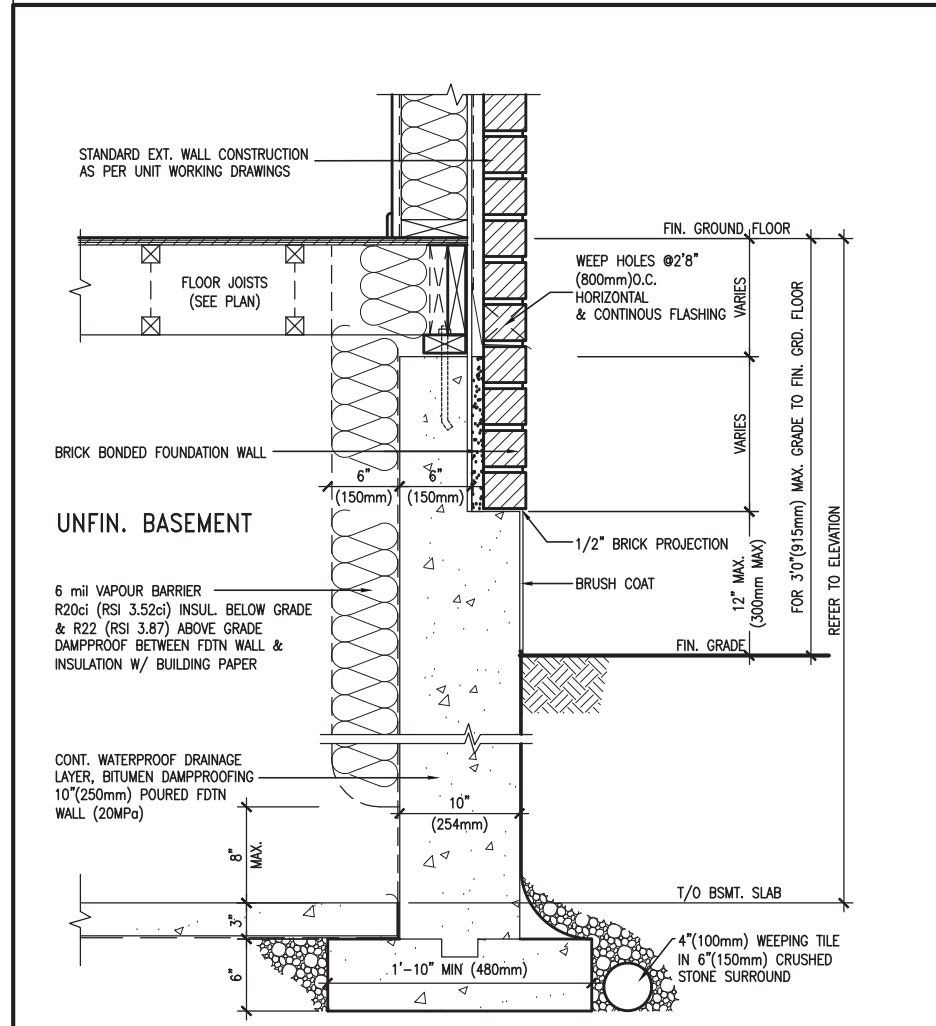
NOT TO SCALE



WALK-OUT BASEMENT WALL  
INTERSECTION-PLAN

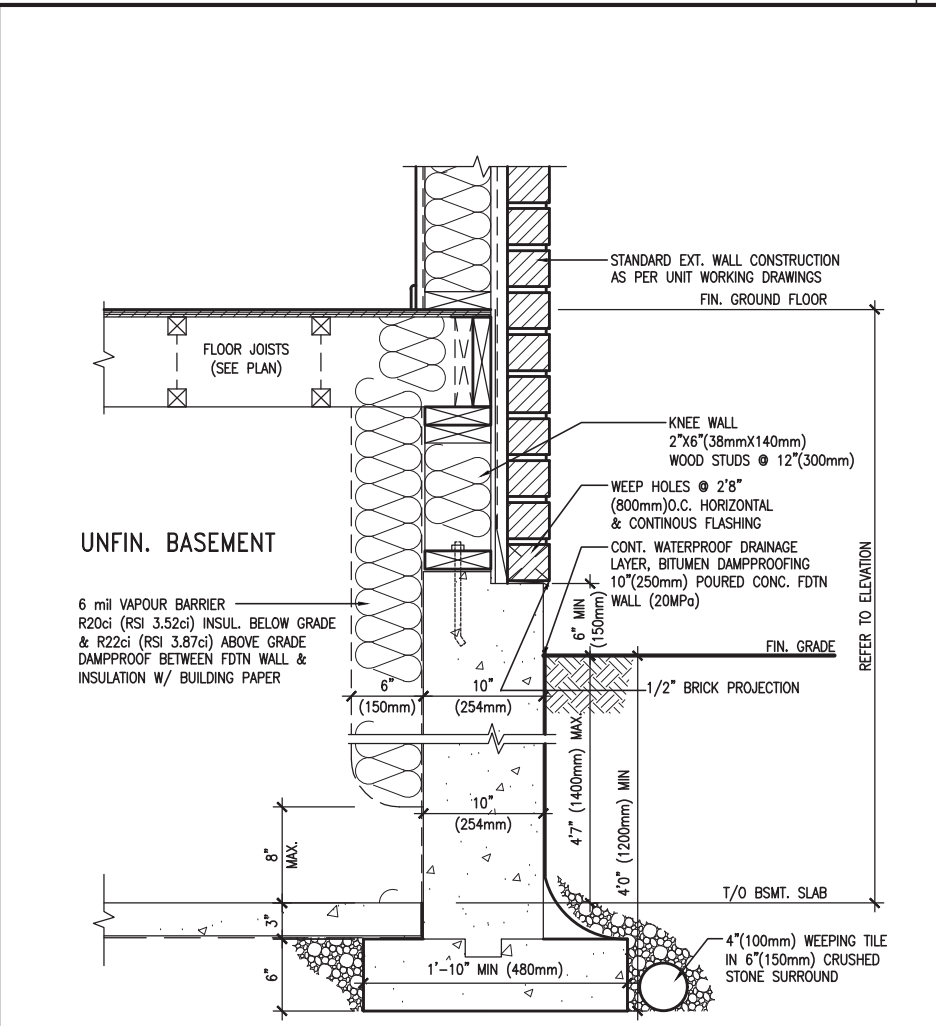
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.  
FLOOR MORE THAN 4'7" (1400mm)  
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT  
SLAB 4'7" (1400mm)  
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591  
name signature BCIN

registration information  
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	checked by	scale
drawn by	RC		3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		project no.	16023
		drawing no.	CN11

PREFIN. METAL ROOF  
CAP OVER WATERPROOF  
MEMBRANE

5/8" T&G PLYWOOD  
SHEATHING ON 2"x4"  
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED  
STANLEY CORNER BRACE  
C/W (4) No. 10x1 1/2"  
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA  
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER  
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/  
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU  
LVL/WOOD BEAM (SEE UNIT PLANS) W/  
1/2" Ø BOLTS STAGGERED @ 24" O.C.  
W/ SOLID WD. BLK. BETWEEN STUDS

1

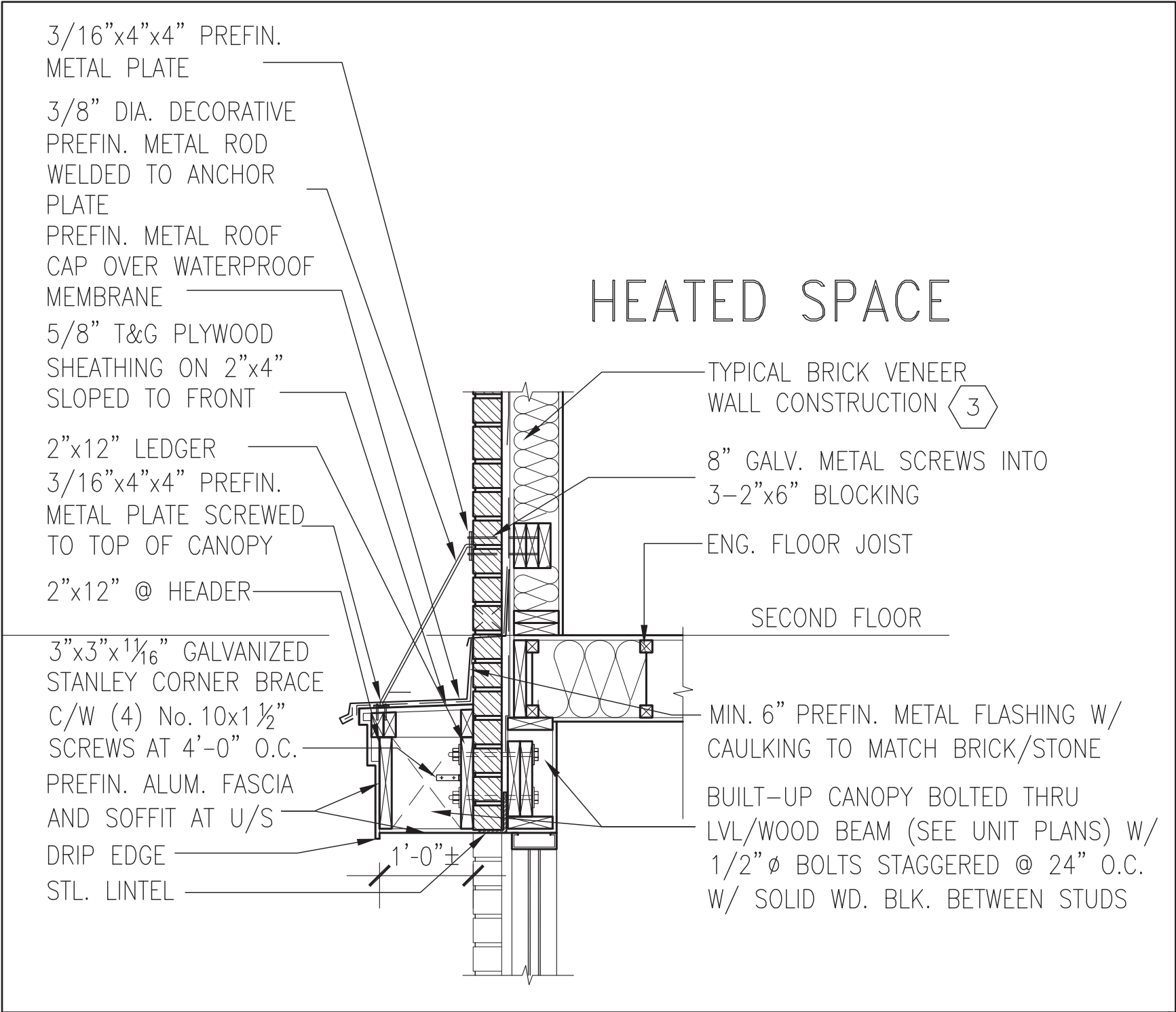
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div>VA3 DESIGN</div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>	BAYVIEW-WELLINGTON		CONST NOTE	
8	.	.	.	qualification information		GREEN VALLEY EAST		BRADFORD	
7	.	.	.	Wellington Jno-Baptiste		MAY 2016		CONSTRUCTION NOTES	
6	.	.	.	name registration information VA3 Design Inc.		RC		16023-CN-2022-A1	
5	.	.	.	signature	42658	checked by		scale	
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		3/16" = 1'-0"		file name	
3	UPDATE TO 2020	FEB 24-20	RC			16023-CN-2022-A1		drawing no.	
2	UPDATE TO 2018	JAN 11-18	RC			16023-CN-2022-A1		CN12	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			
no.	description		date	by					



1  
CN13

SECTION THROUGH CANOPY  
W/ DECORATIVE ROD  
SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<b>VA3 DESIGN</b> 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	<b>BAYVIEW-WELLINGTON</b> <b>GREEN VALLEY EAST</b> Municipality: BRADFORD	<b>CONST NOTE</b>
8	.	.	.	qualification information <b>Wellington Jno-Baptiste</b> 25591 signature BCIN			
7	.	.	.	name registration information <b>VA3 Design Inc.</b> 42658			
6	.	.	.				
5	.	.	.				
4	UPDATE TO 2022	JAN 11-22	RC			project name <b>GREEN VALLEY EAST</b>	project no. <b>16023</b>
3	UPDATE TO 2020	FEB 24-20	RC			date <b>MAY 2016</b>	CONSTRUCTION NOTES
2	UPDATE TO 2018	JAN 11-18	RC			drawn by <b>RC</b>	file name <b>16023-CN-2022-A1</b>
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			checked by <b>-</b>	drawing no. <b>CN13</b>
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		scale <b>3/16" = 1'-0"</b>	

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3/16"x4"x4" PREFIN.  
METAL PLATE

3/8" DIA. DECORATIVE  
PREFIN. METAL ROD  
WELDED TO ANCHOR  
PLATE

PREFIN. METAL ROOF  
CAP OVER WATERPROOF  
MEMBRANE

5/8" T&G PLYWOOD  
SHEATHING ON 2"x4"  
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.  
METAL PLATE SCREWED  
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED  
STANLEY CORNER BRACE  
C/W (4) No. 10x1 1/2"  
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA  
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO  
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING  
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO  
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE  
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"  
O.C. DIAGONALLY CUT CROSS  
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/  
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU  
LVL/WOOD BEAM (SEE UNIT PLANS) W/  
1/2" Ø BOLTS STAGGERED @ 24" O.C.  
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

## SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>name signature BCIN</div> <div>registration information VA3 Design Inc. 42658</div>	<div>VA3 DESIGN</div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>	<div>BAYVIEW WELLINGTON</div> <div>GREEN VALLEY EAST</div> <div>BRADFORD</div>	<div>CONST NOTE</div>		
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4	UPDATE TO 2022	JAN 11-22	RC					project name	project no.
3	UPDATE TO 2020	FEB 24-20	RC					GREEN VALLEY EAST	16023
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				CN14	

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