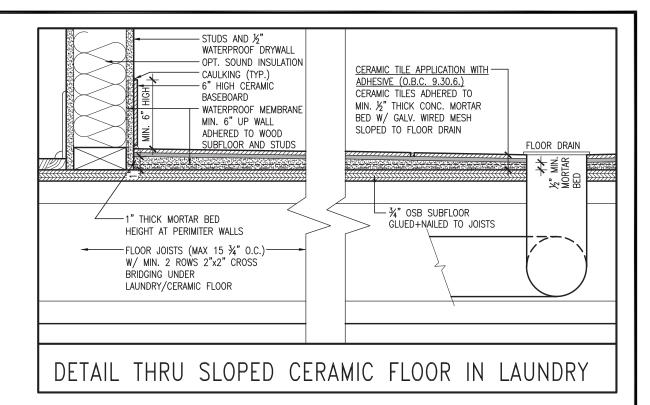


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

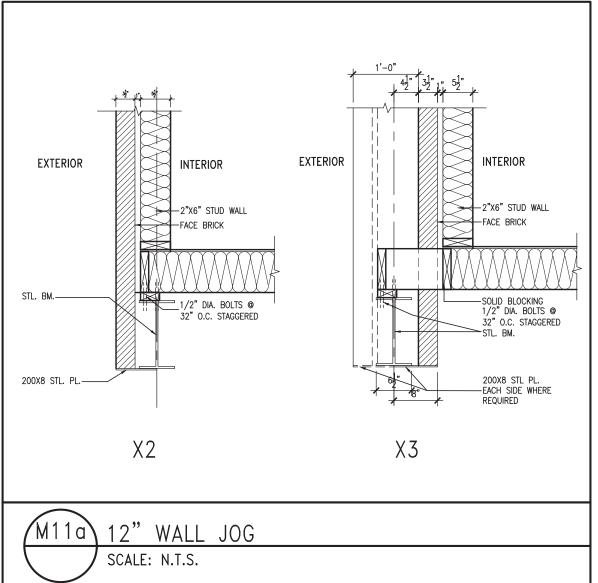
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

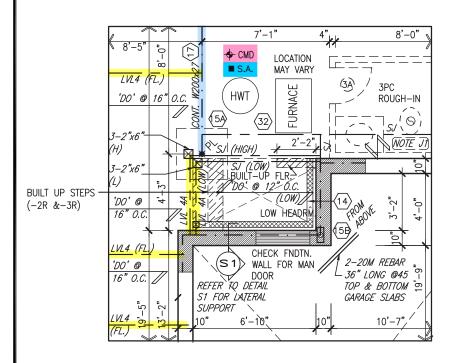




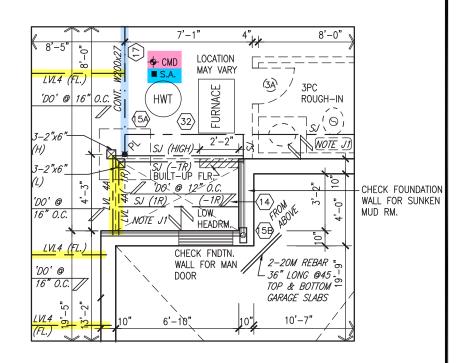


ARE	EA CALCULAT	IONS	
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1462.1 SF	1462.1 SF	1483.5 SF
SECOND FLOOR AREA	1825.9 SF	1851.6 SF	1871.7 SF
SUBTOTAL	3288.0 SF	3313.7 SF	3355.3 SF
DEDUCT ALL OPENINGS	25.8 SF	25.8 SF	25.8 SF
TOTAL NET AREA	3262 SF	3288 SF	3329 SF
	303.1 m2	305.4 m2	309.3 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA	3262 SF	3288 SF	3329 SF
W/ FIN BSMT	303.1 m2	305.4 m2	309.3 m2
COVERAGE W/O PORCH	1917.3 SF	1918.6 SF	1937.9 SF
	178.1 m2	178.2 m2	180.0 m2
COVERAGE W/PORCH	1994.4 SF	1978.2 SF	1998.4 SF
	185.3 m2	183.8 m2	185.7 m2





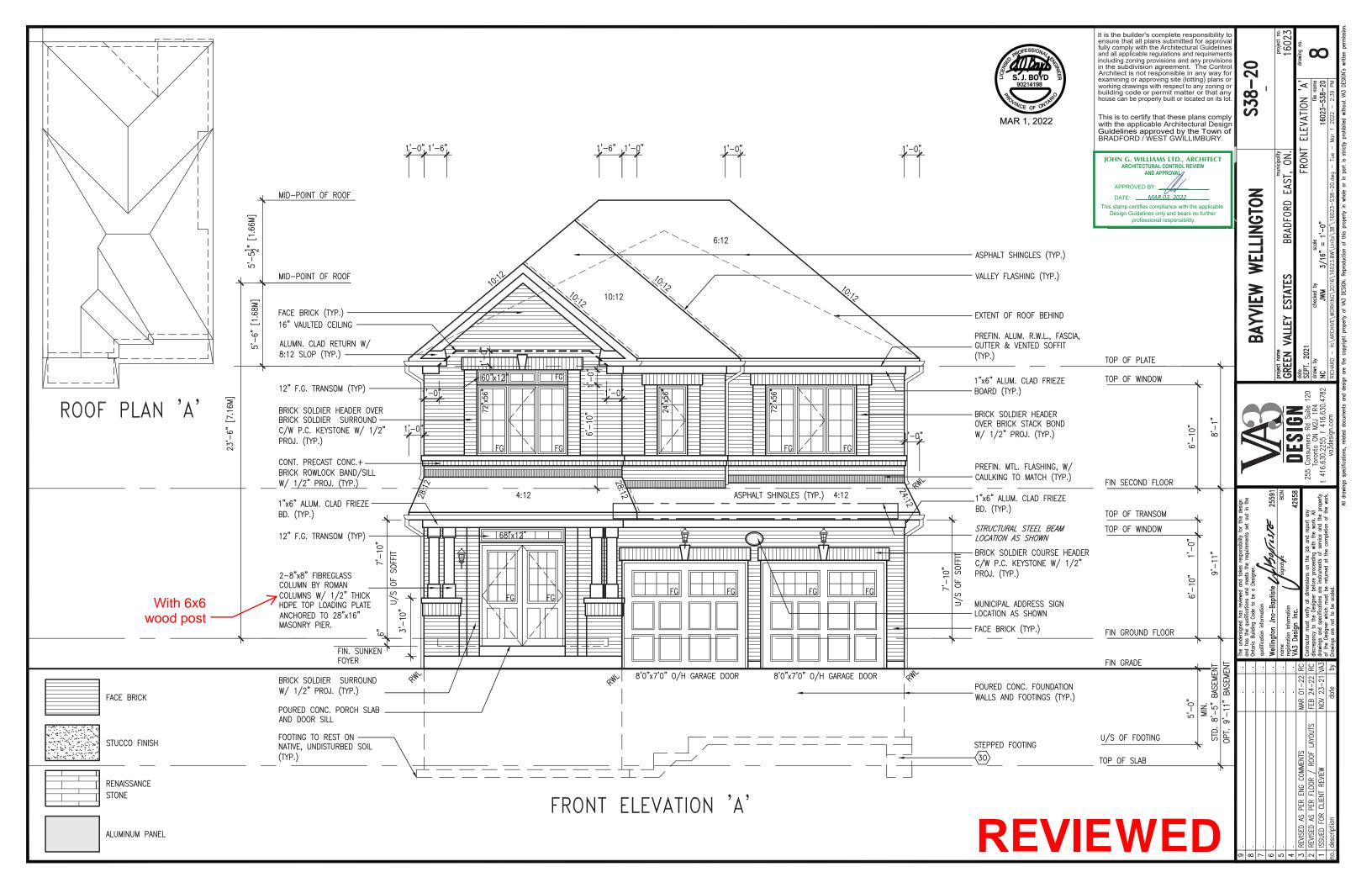


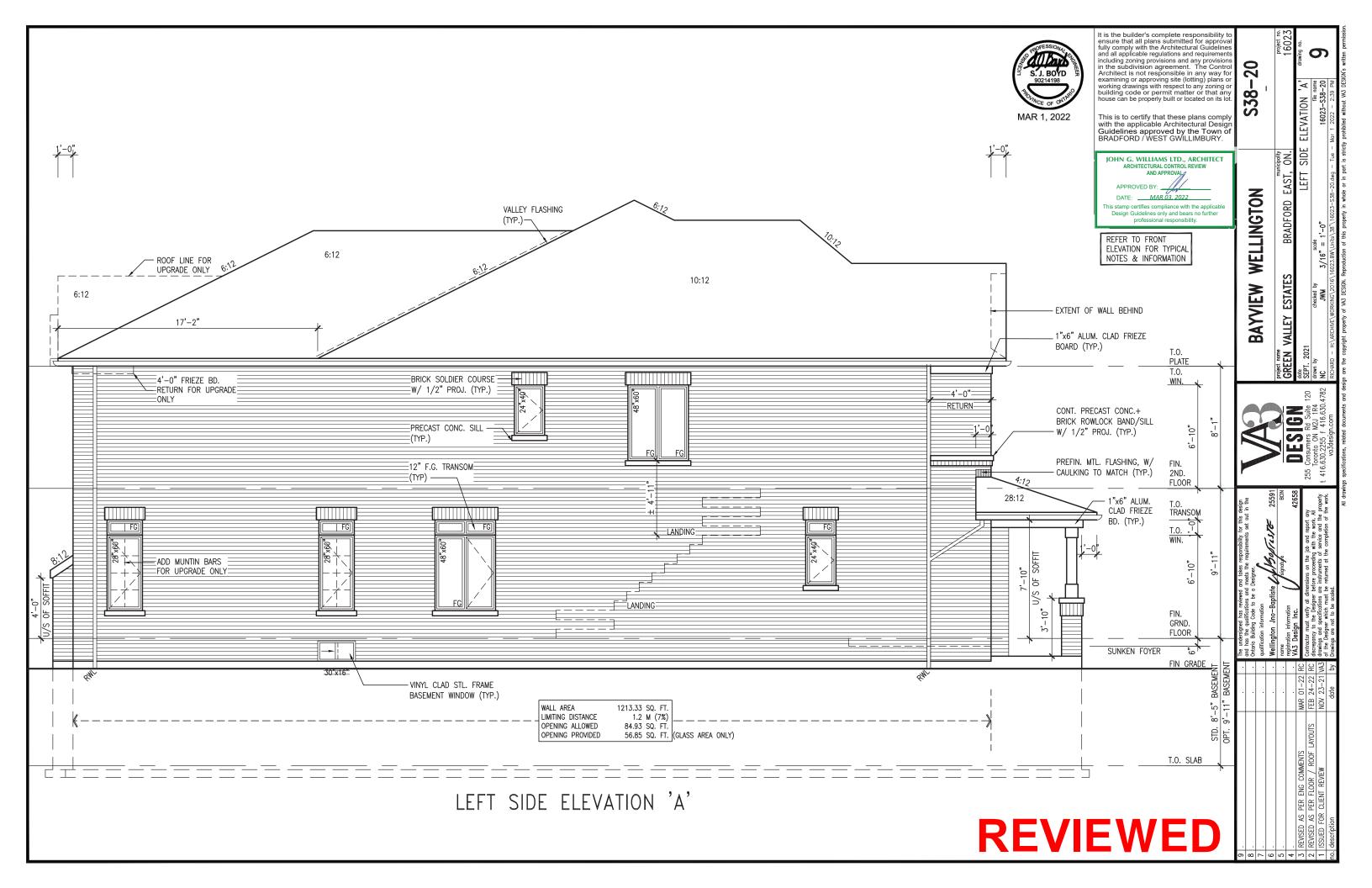


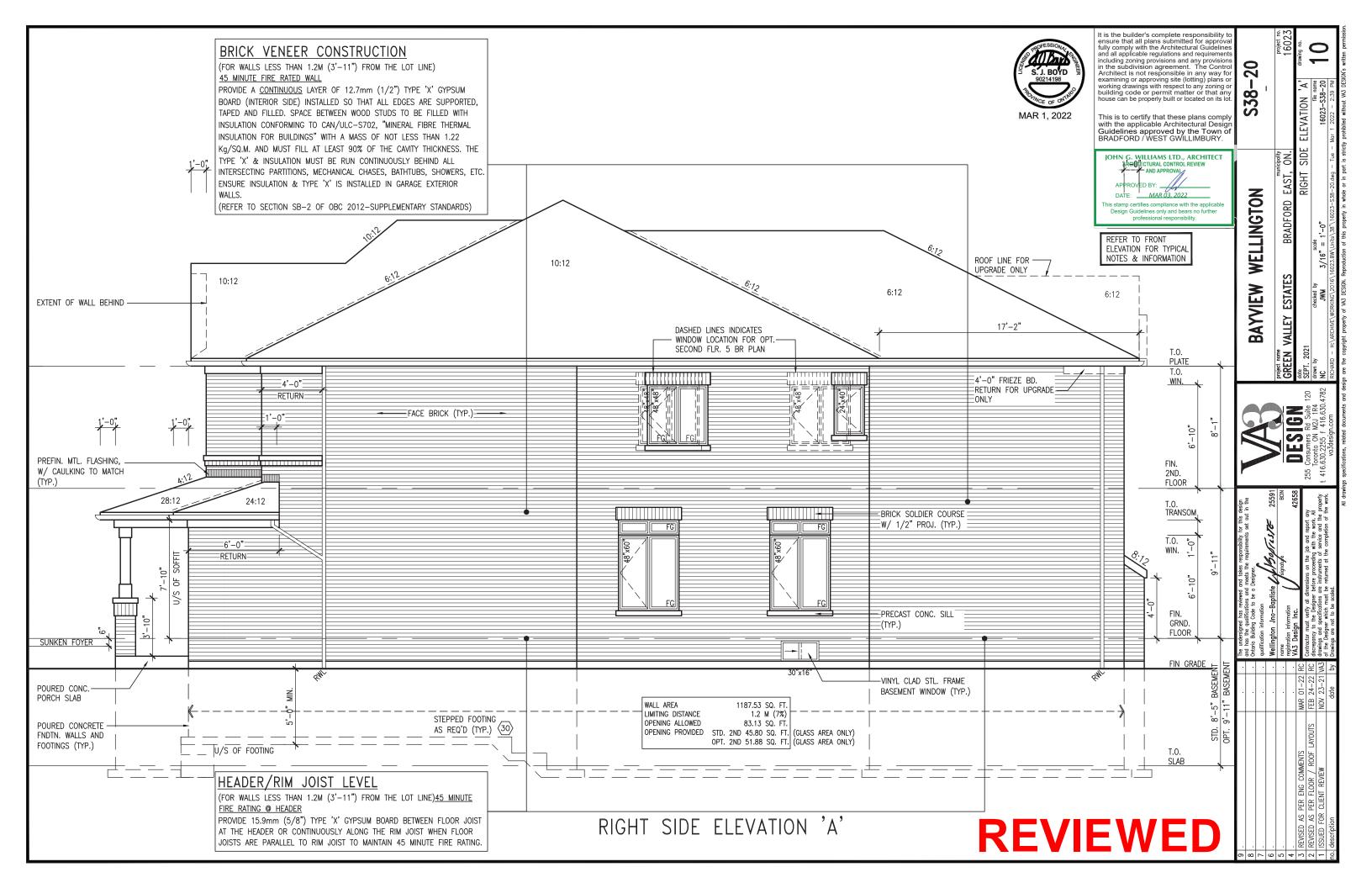
PART. SUNKEN MUD ROOM (-1R)

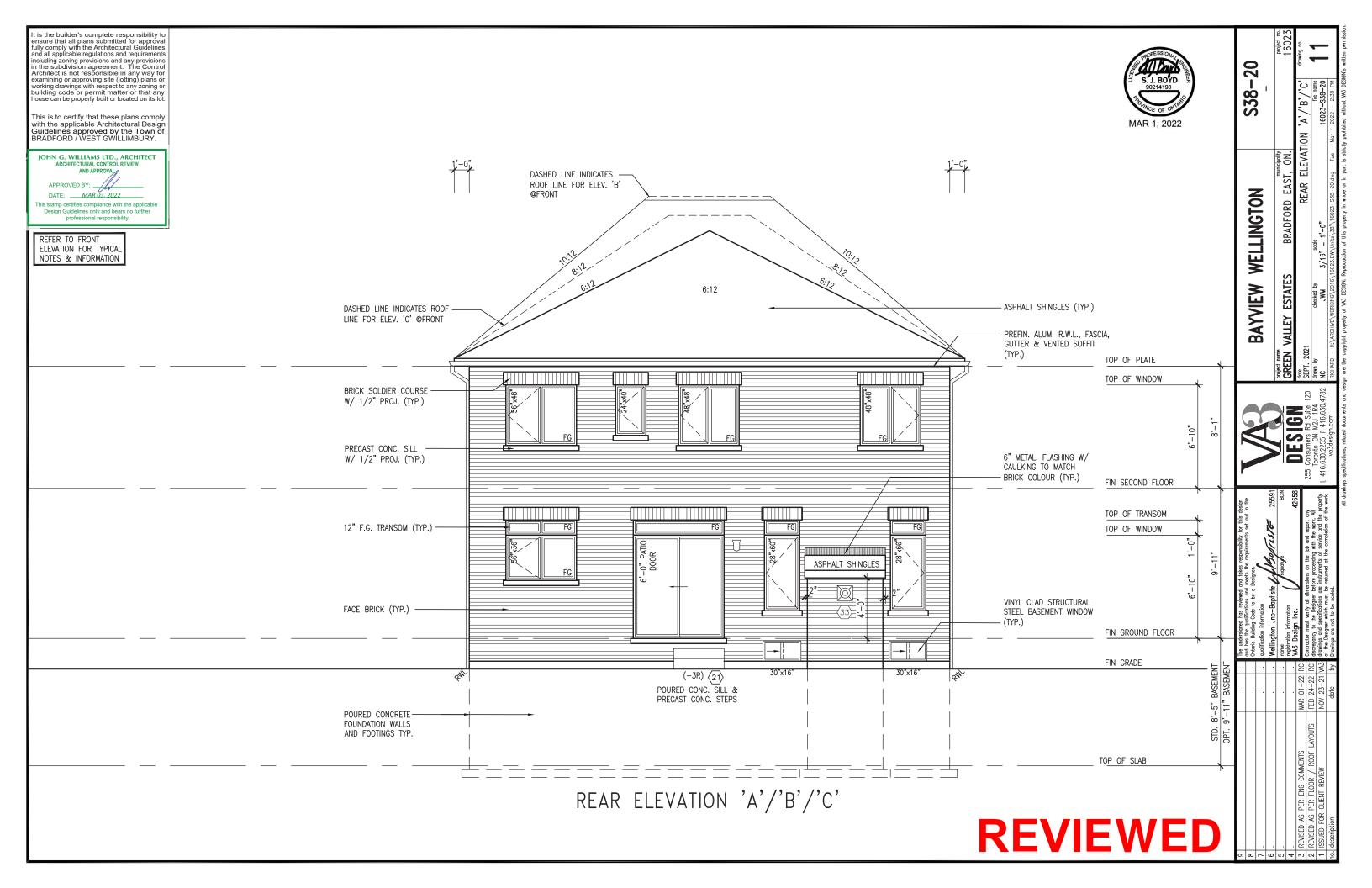
9 8 7 6 5				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste Signature Signature BCIN	VA3	Project name GREEN VALLEY ESTATES
4	REVISED AS PER ENG COMMENTS	MAR 01-22	PC	registration information VA3 Design Inc. 42658	DESIGN	date date
_	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All	255 Consumers Rd Suite 120	SEPT. 2021 drawn by checked by
1	ISSUED FOR CLIENT REVIEW	NOV 23-21	VA3	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		NC JWM
no.	. description	date	by	Drawings are not to be scaled.	va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\16

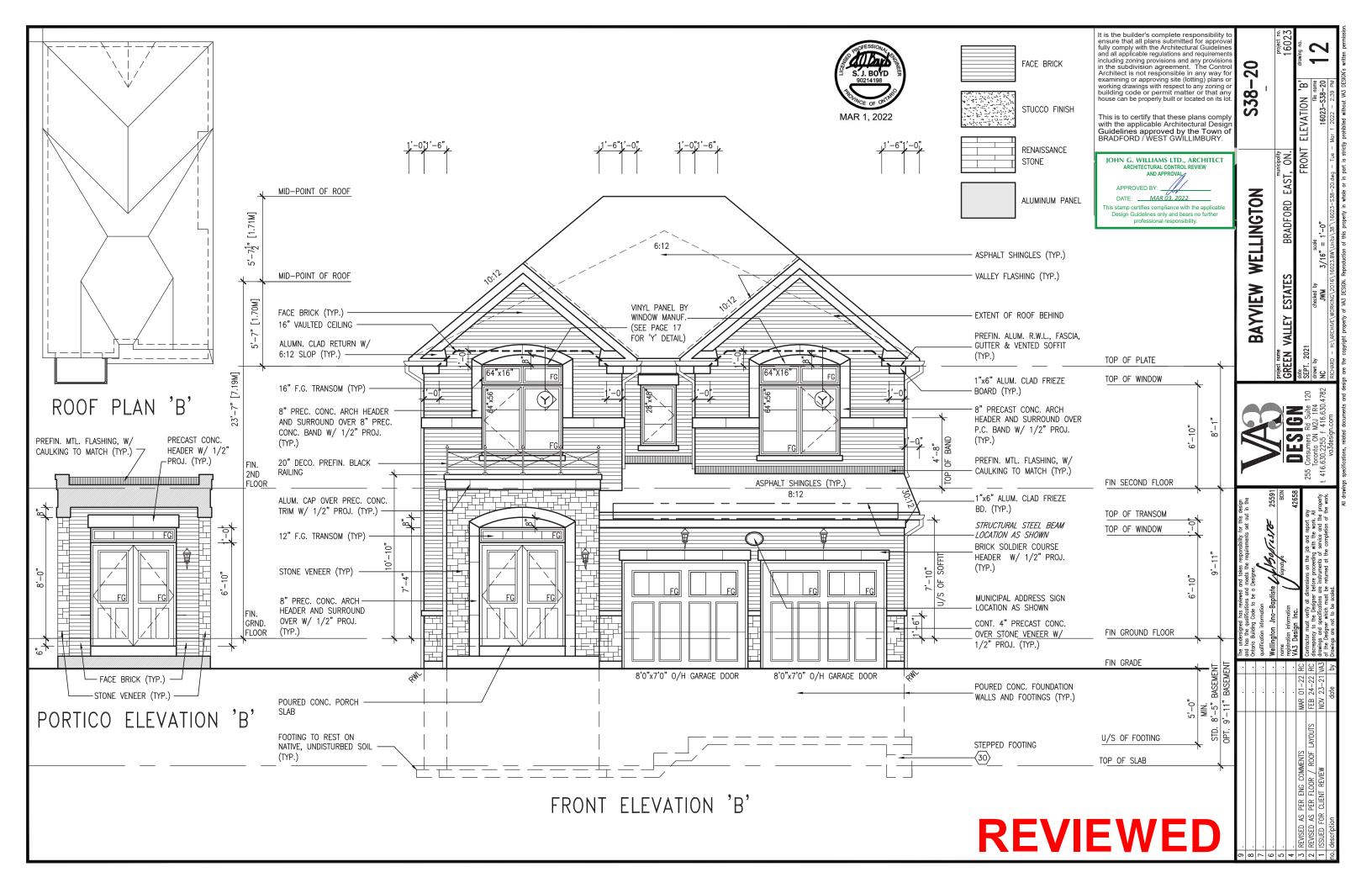
	BA	YVIEW	WELLINGTO	W//	_ S3	8 – 2	
	project name GREEN VALL	EY ESTATES	BRADFORD	EAST, ON.			project no. 16023
0	date SEPT. 2021			PART. F	FLOOR PLAN	,C,	drawing no.
82	drawn by NC	checked by JWM	3/16" = 1'-0"		fil 16023–S3	e name 88-20	- 7 I
	RICHARD - H:\ARCH	IIVE\WORKING\2016\1	6023.BW\Units\38'\16023-	S38-20.dwg - Tue	– Mar 1 2022 – 2:	39 PM	•

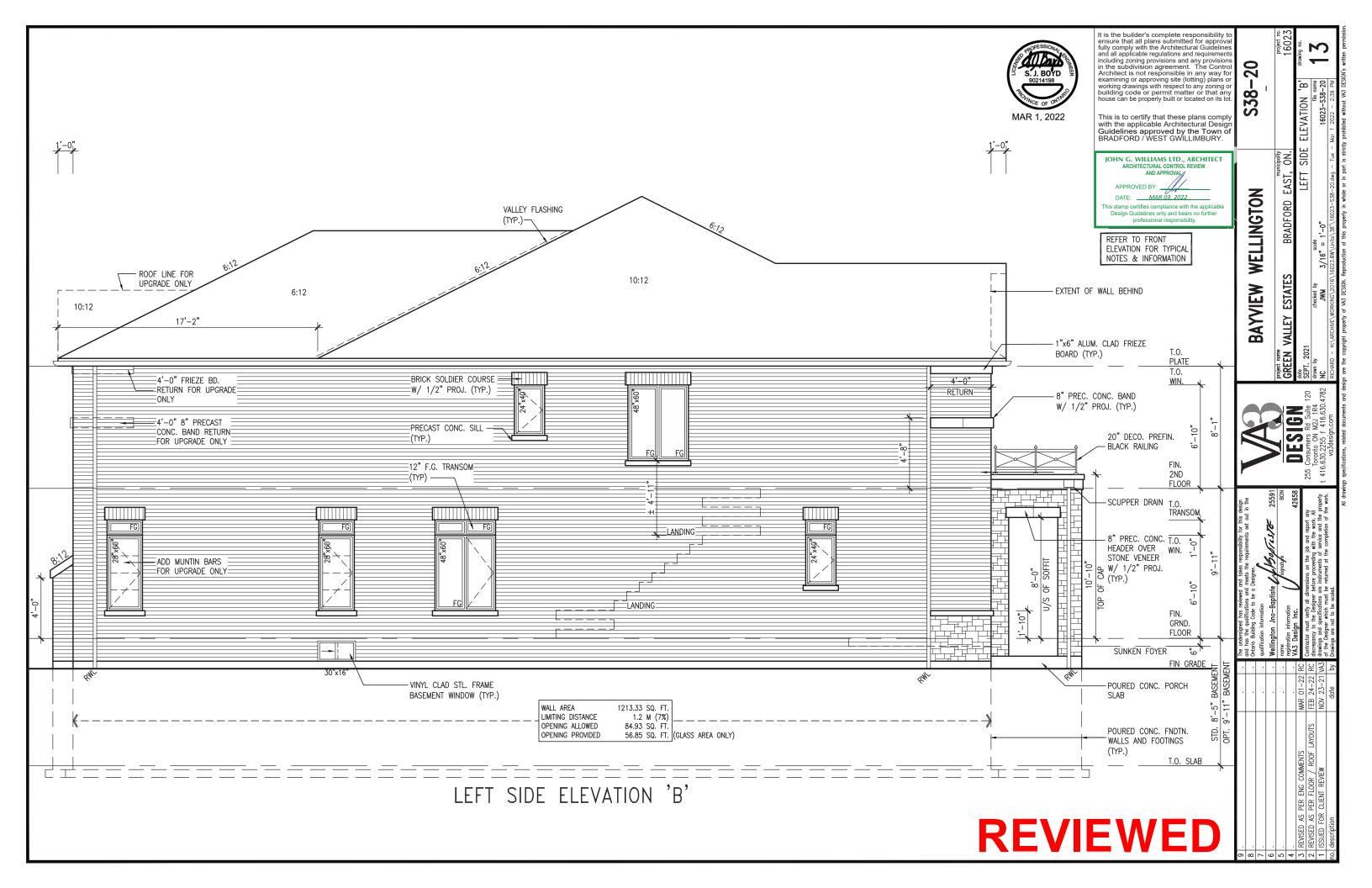


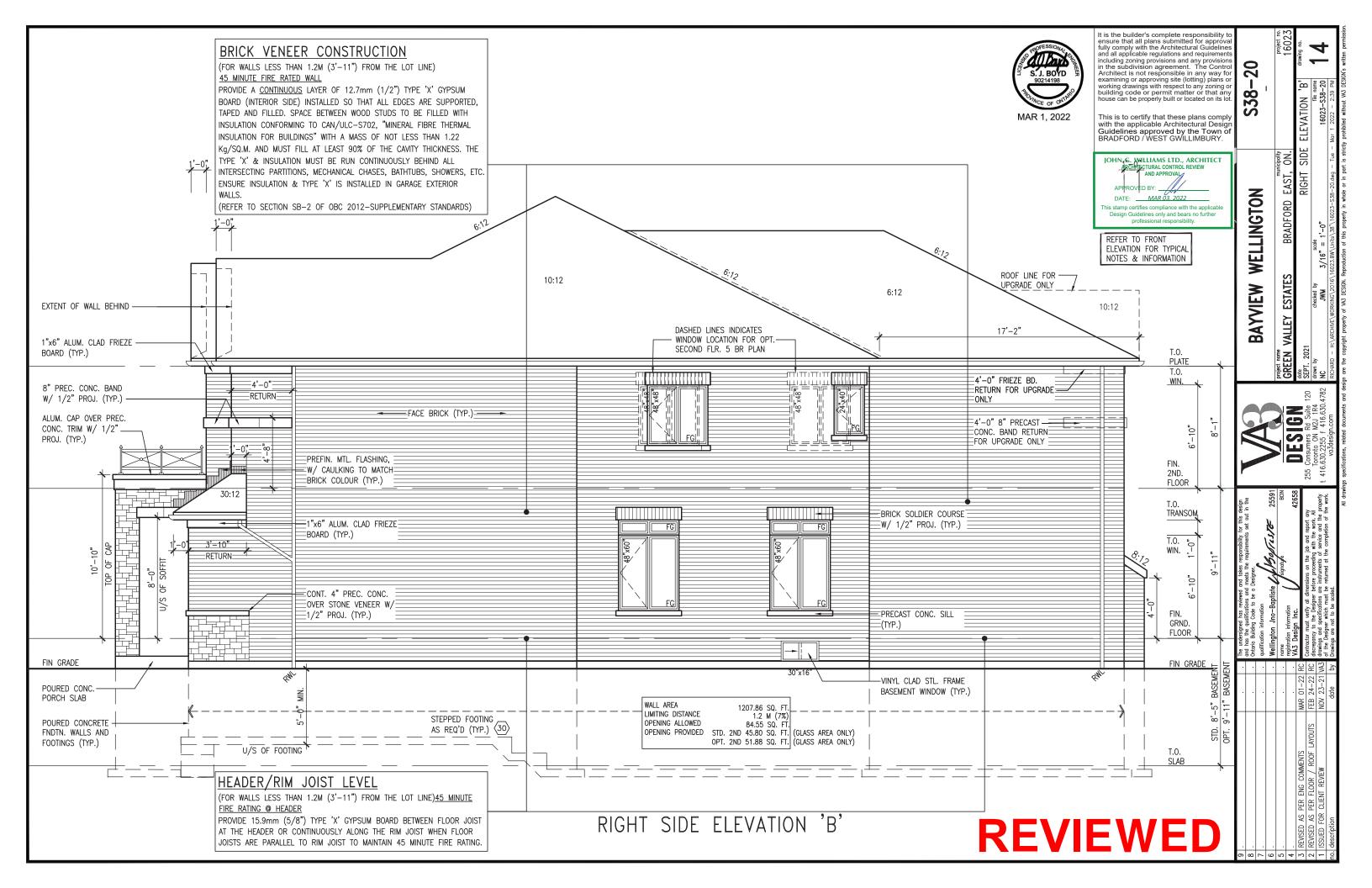


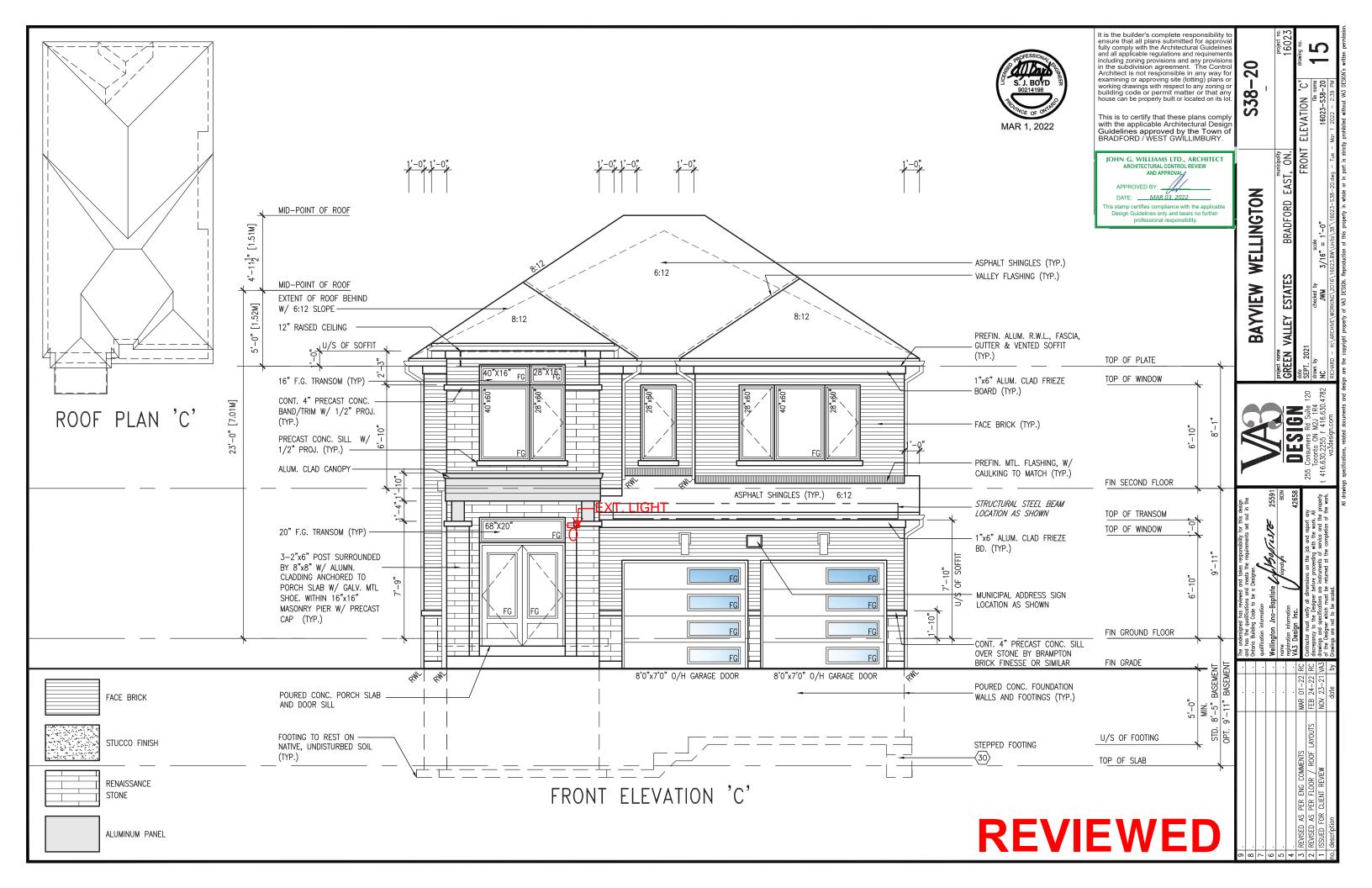


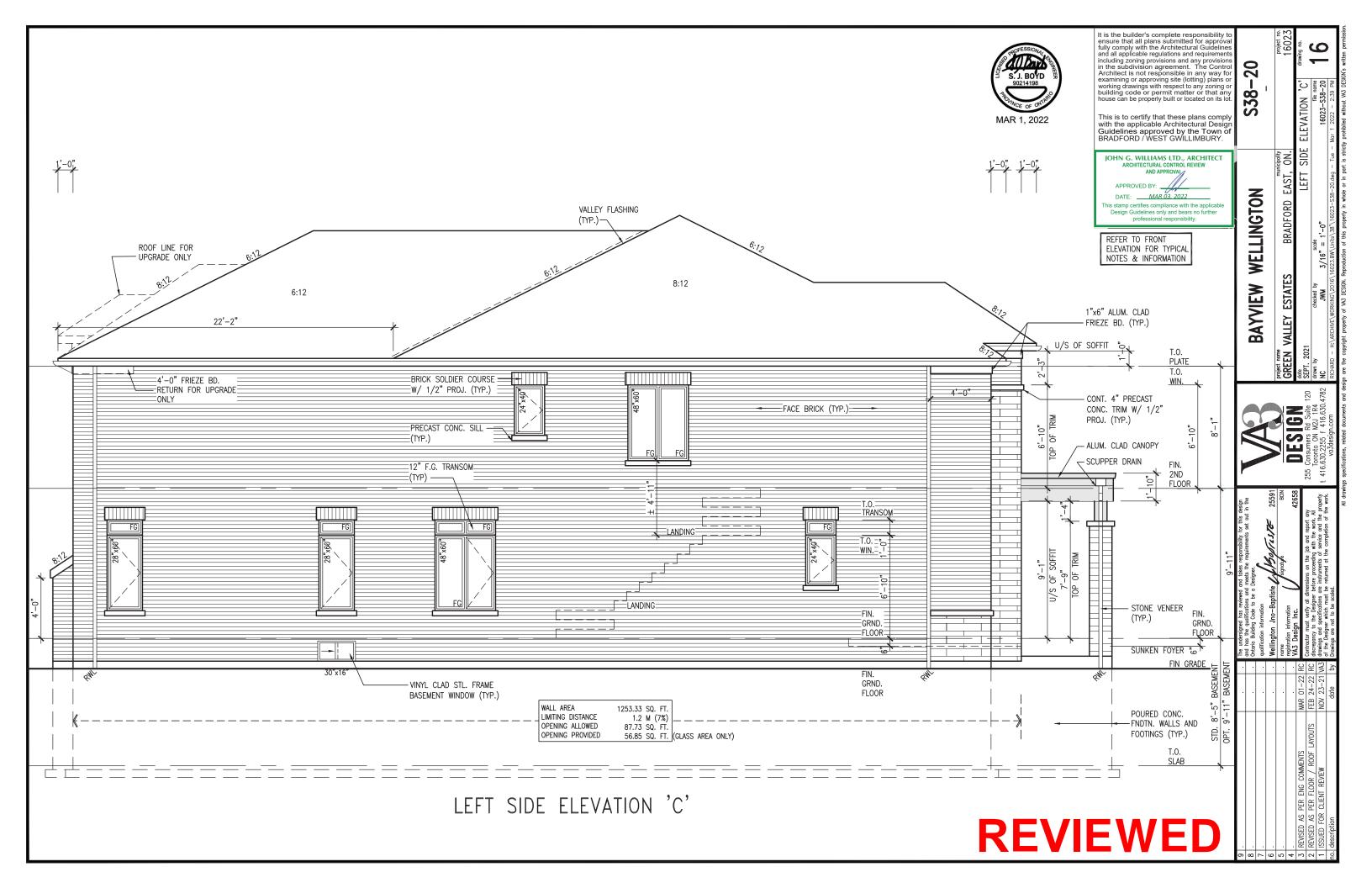


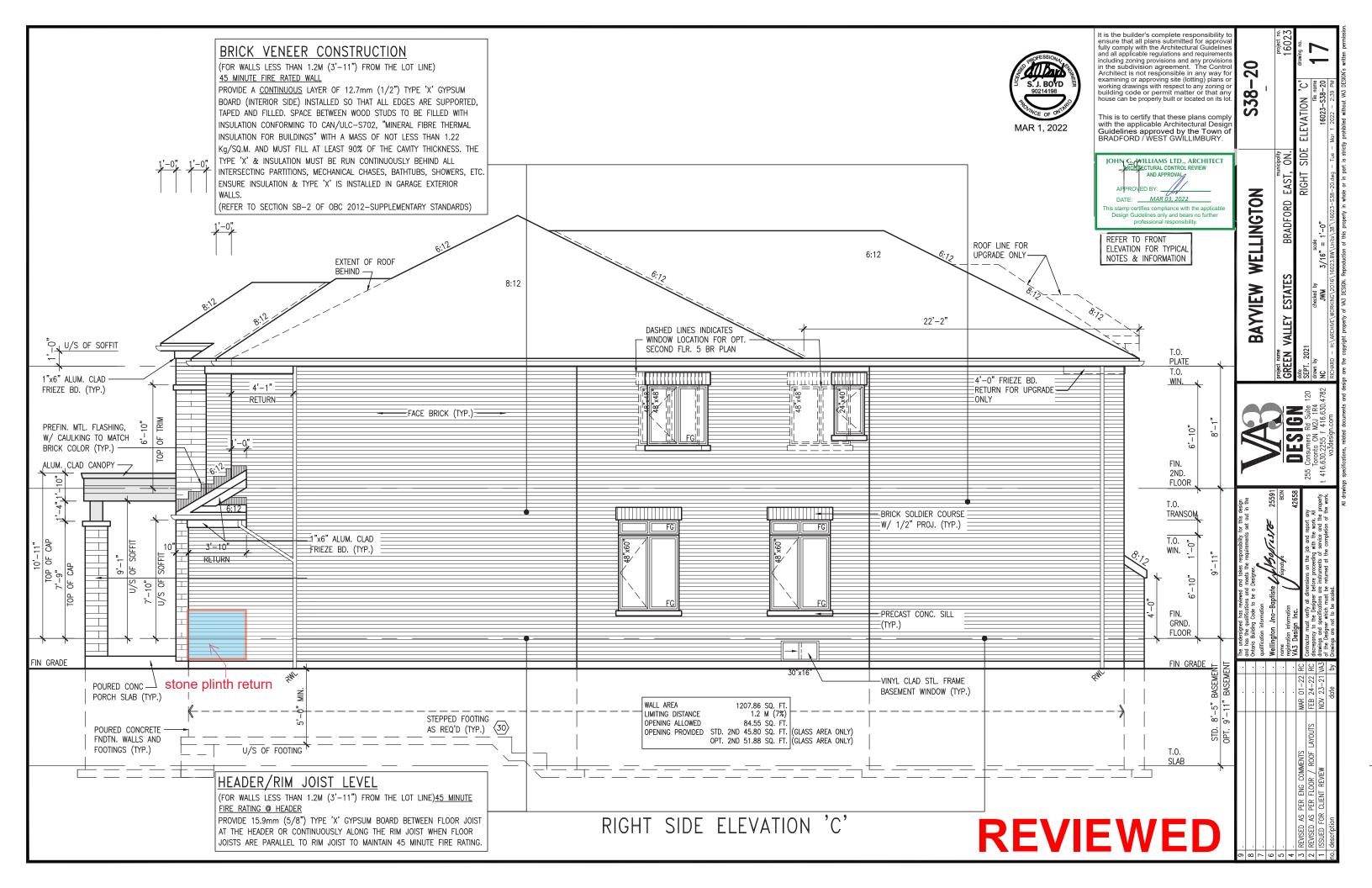


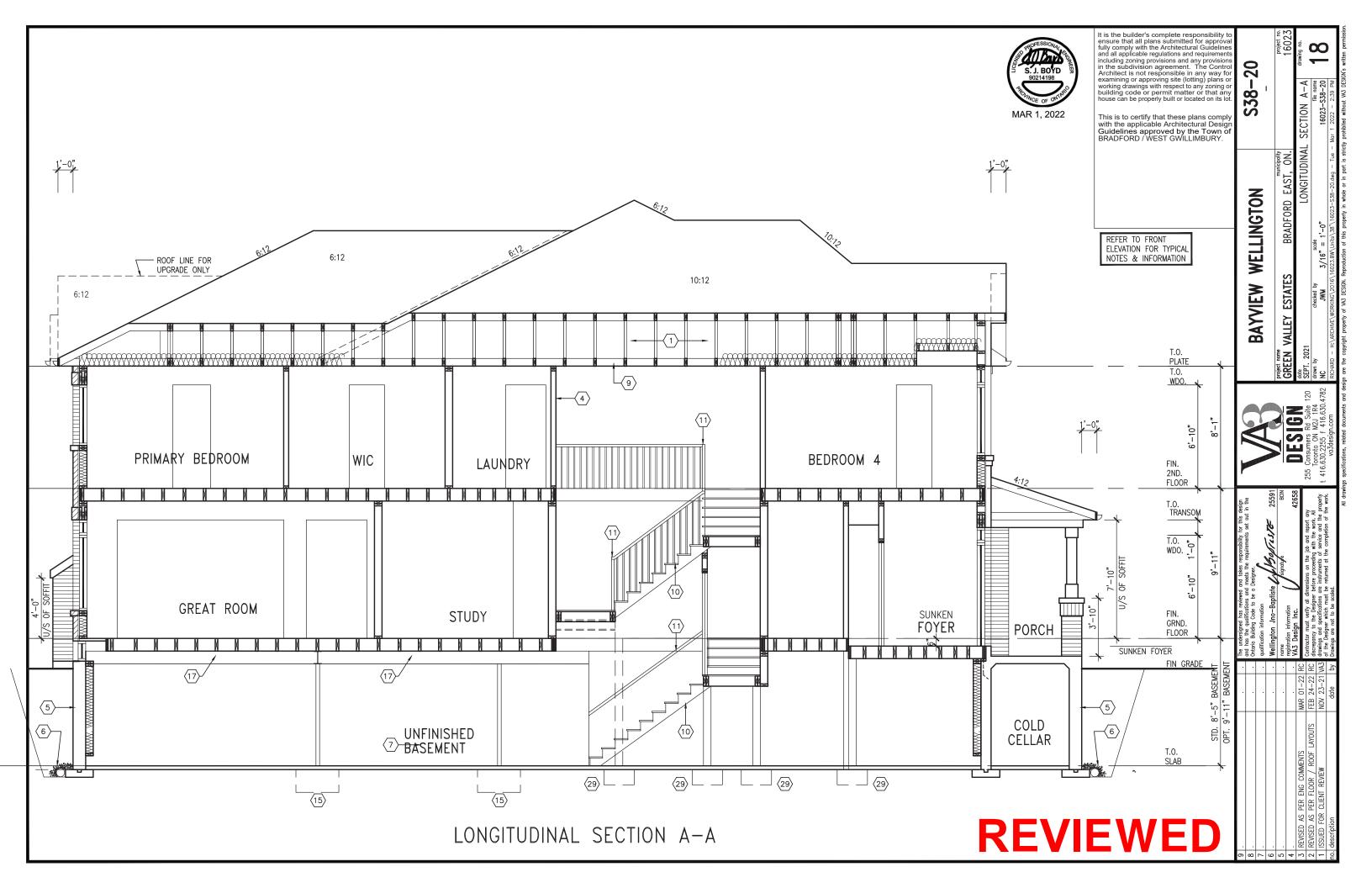


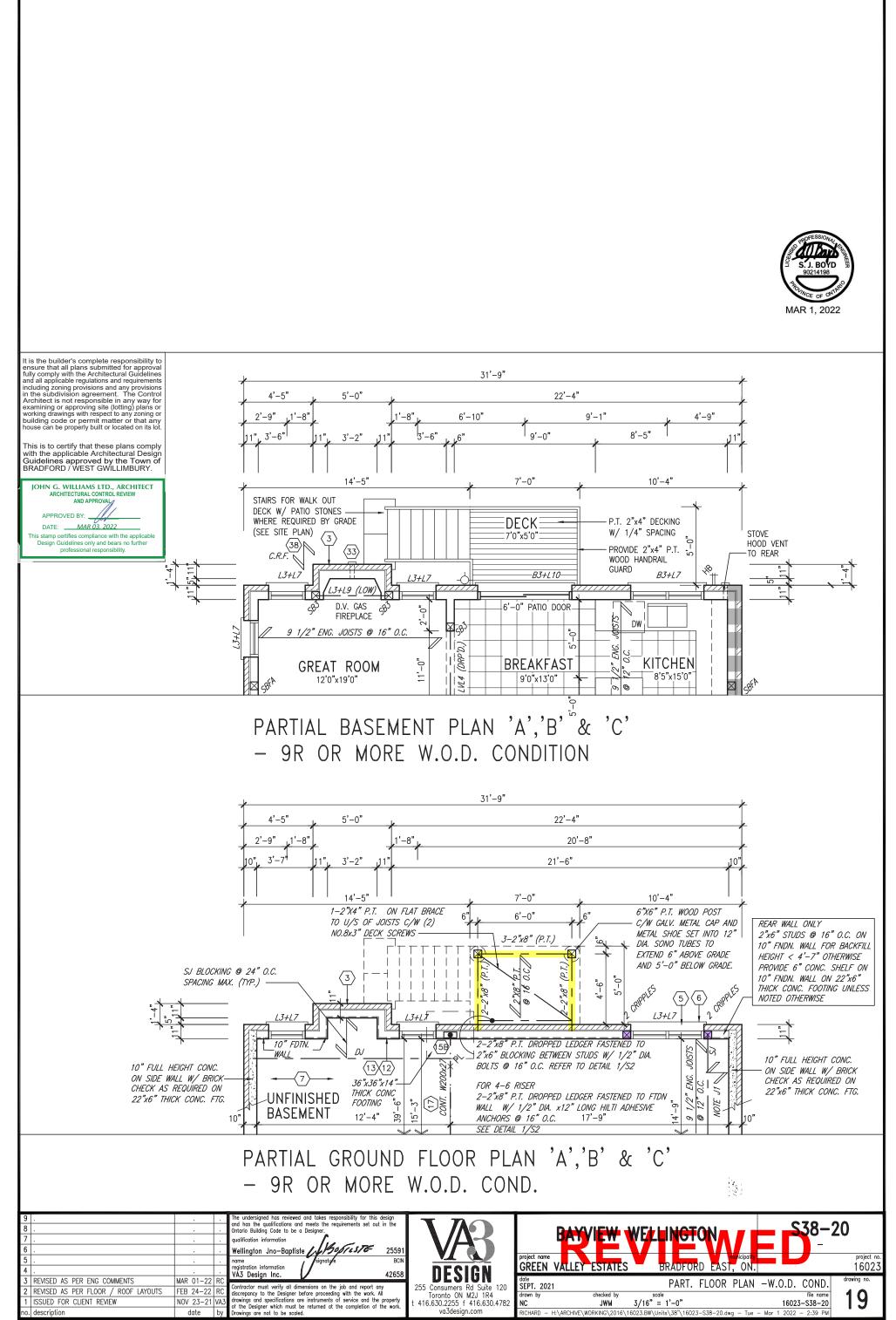


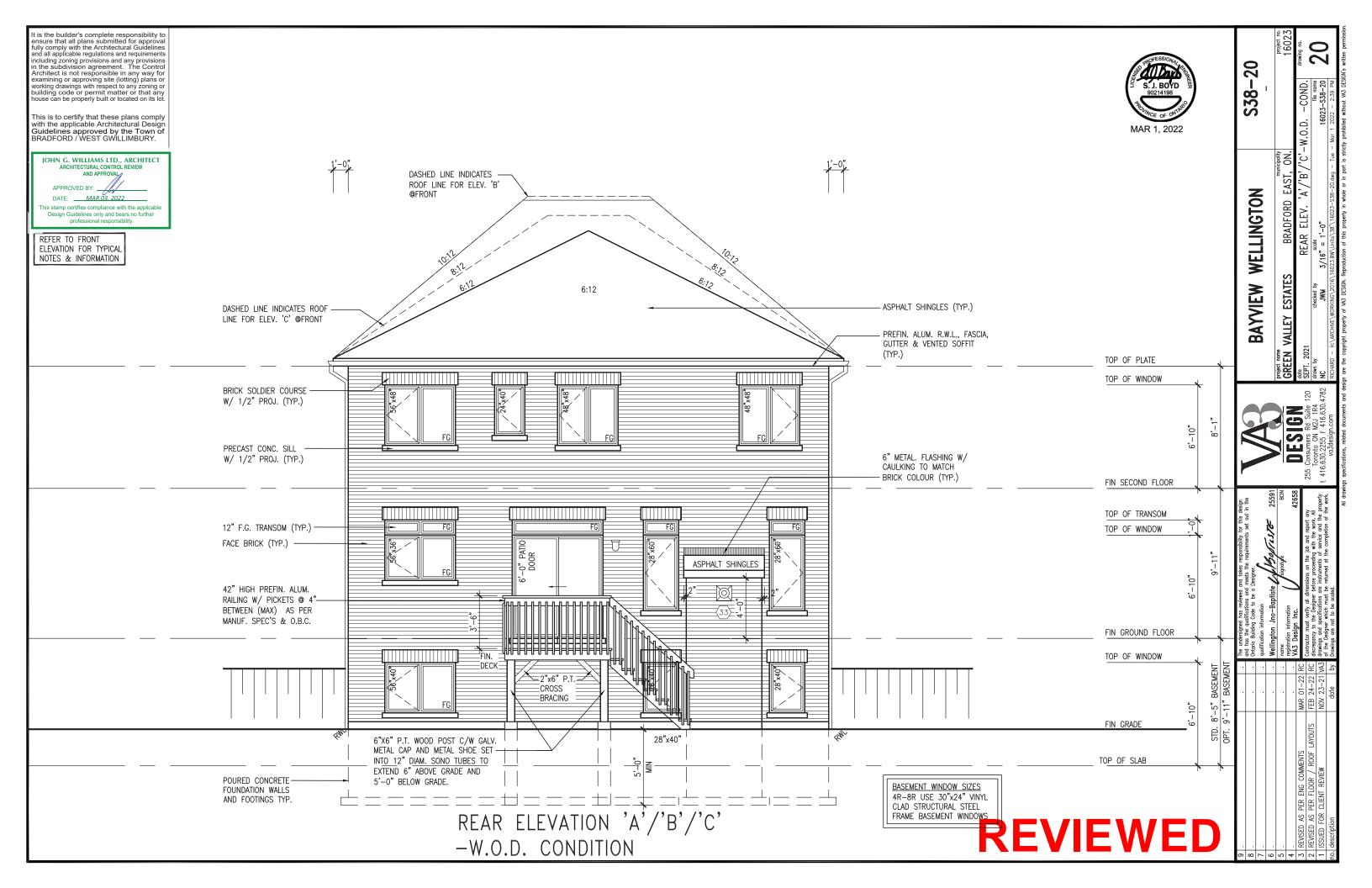


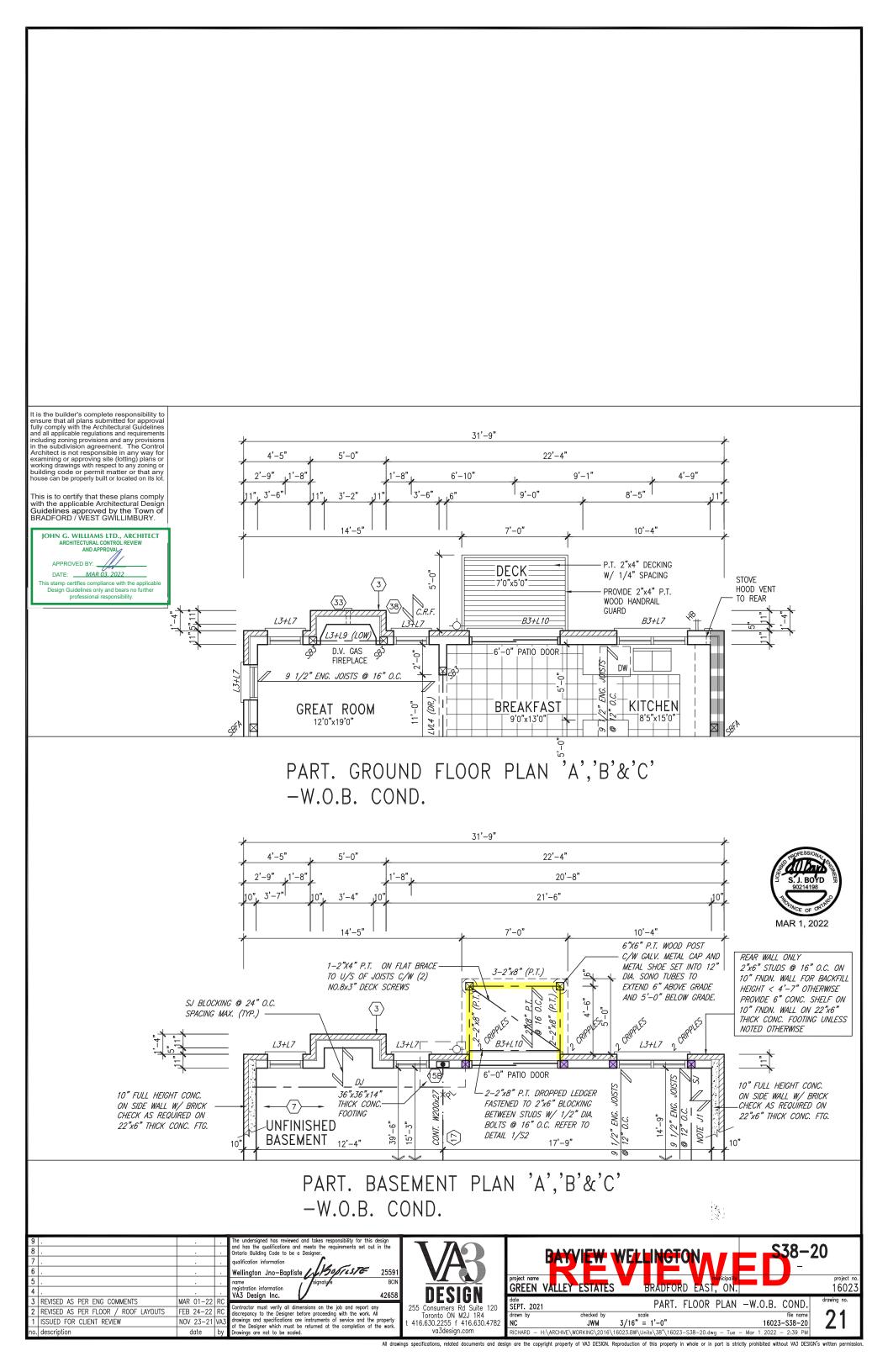


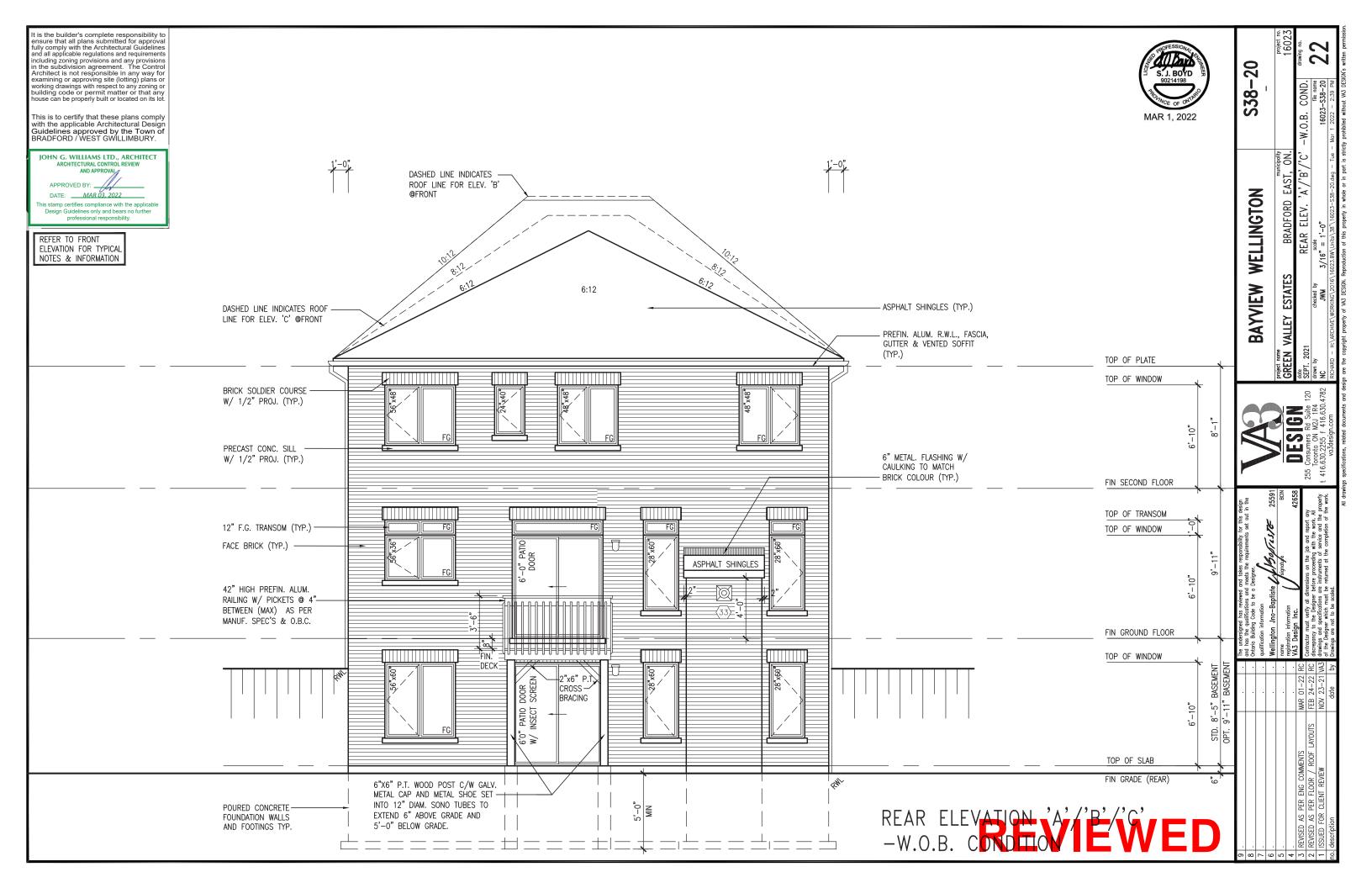


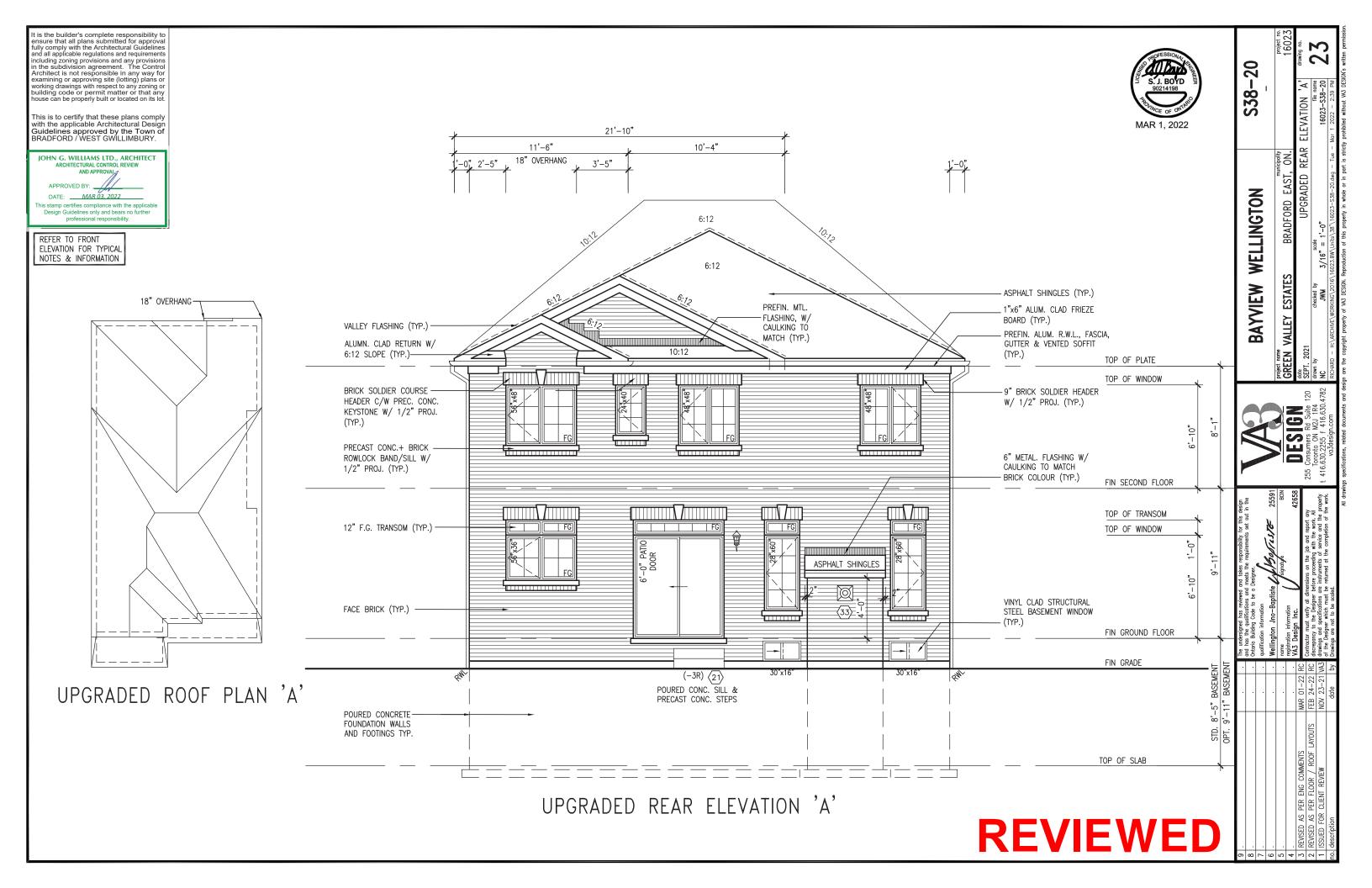


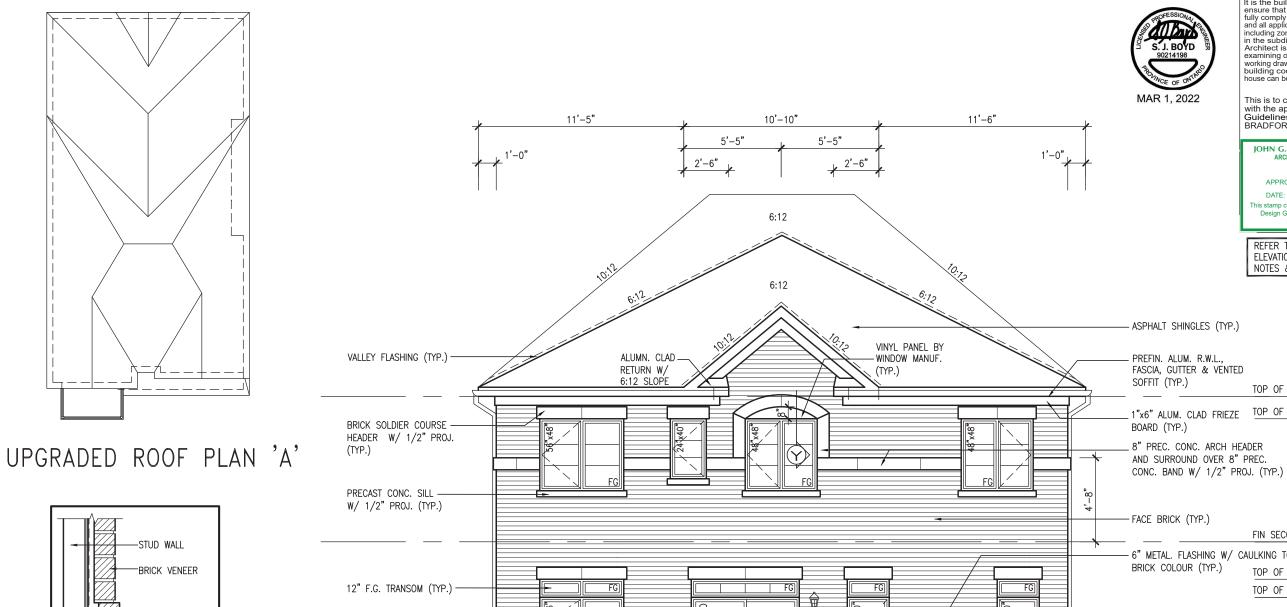












It is the builder's complete responsibility to ensure that all plans submitted for approvidily comply with the Architectural Guideline and all applicable regulations and requiremen and an applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contro Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot 2 **S38-**ELEVATION 'I This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY. JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW WELLINGTON DATE: MAR 03, 2022 REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION BAYVIEW GREEN VALLEY TOP OF PLATE 1"x6" ALUM. CLAD FRIEZE TOP OF WINDOW _10, FIN SECOND FLOOR 6" METAL. FLASHING W/ CAULKING TO MATCH TOP OF TRANSOM TOP OF WINDOW VINYL CLAD STRUCTURAL STEEL BASEMENT WINDOW (TYP.) FIN GROUND FLOOR

PRECAST CONC.
ARCH W/ 1/2"
PROJECTION

RECESSED
FILLER BRICK
W/ VINYL
PANEL BY
WINDOW
MANUF. OVER
WEEP HOLES
® 800 O.C.
WOOD LINTEL
+ STL ANGLE

P.C. ARCH W/ VINYL
PANEL BELOW DETAIL

FACE BRICK (TYP.)

POURED CONCRETE-FOUNDATION WALLS AND FOOTINGS TYP.

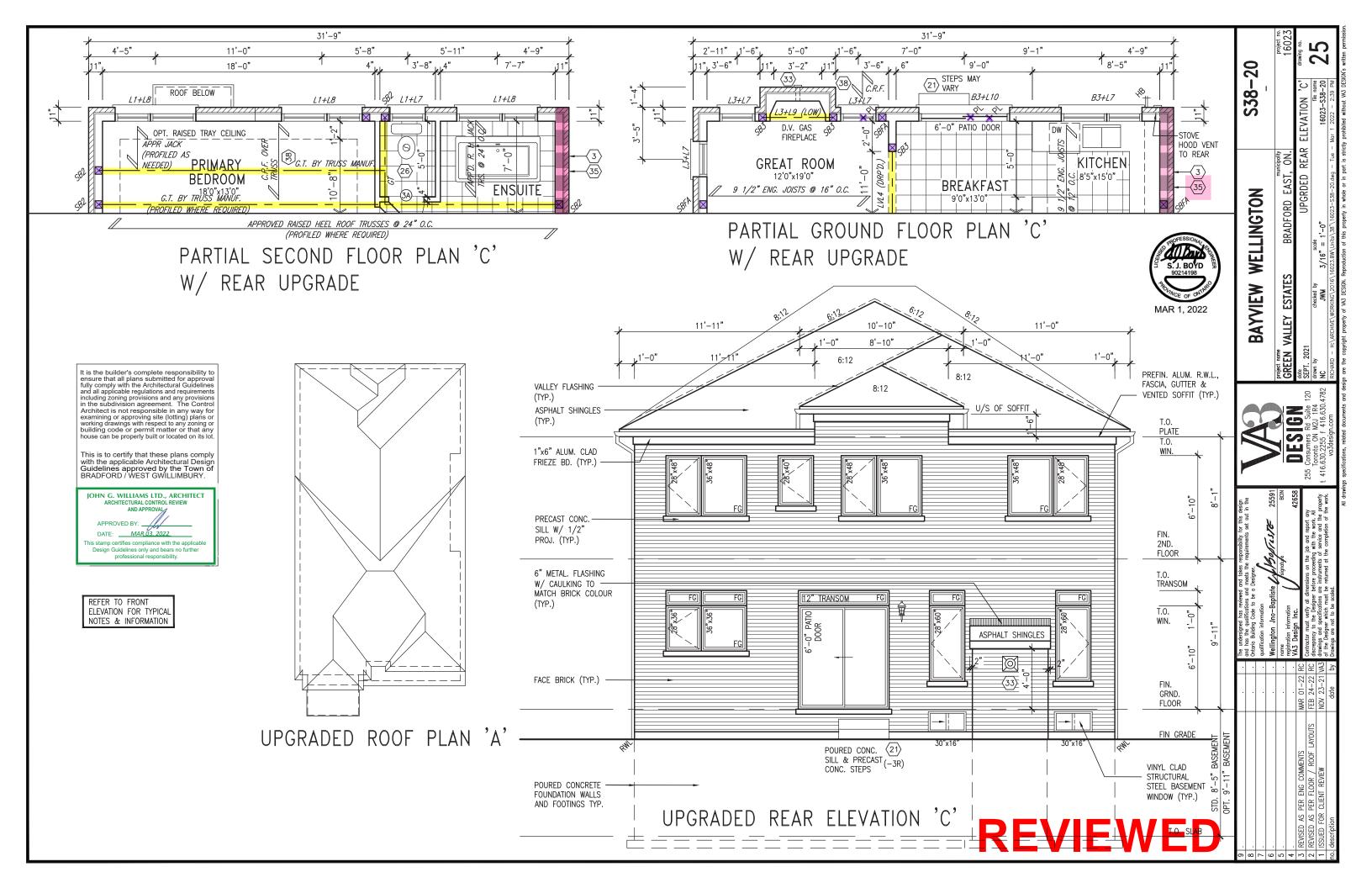
UPGRADED REAR ELEVATION 'B'

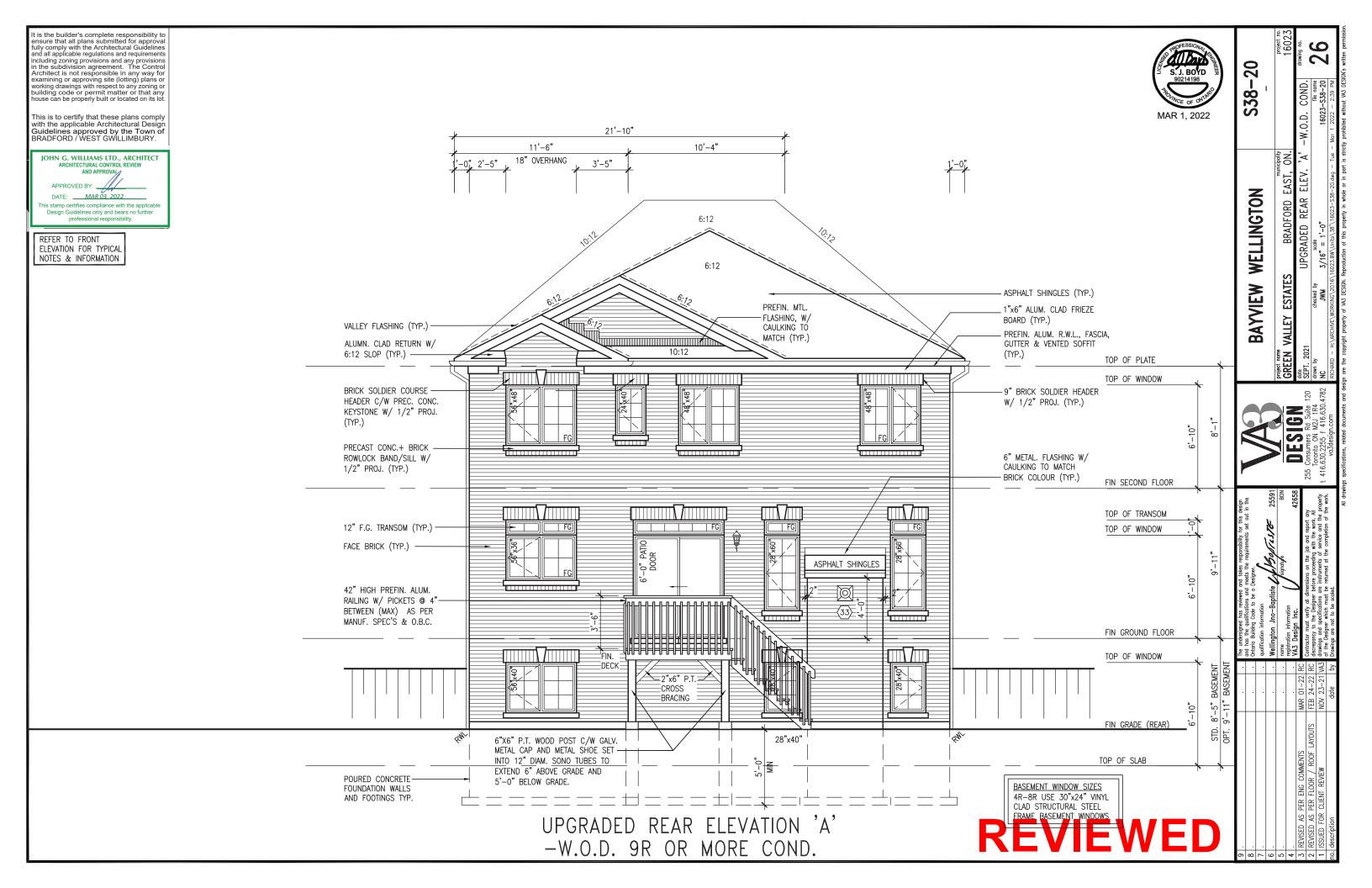
(-3R) $\langle 21 \rangle$

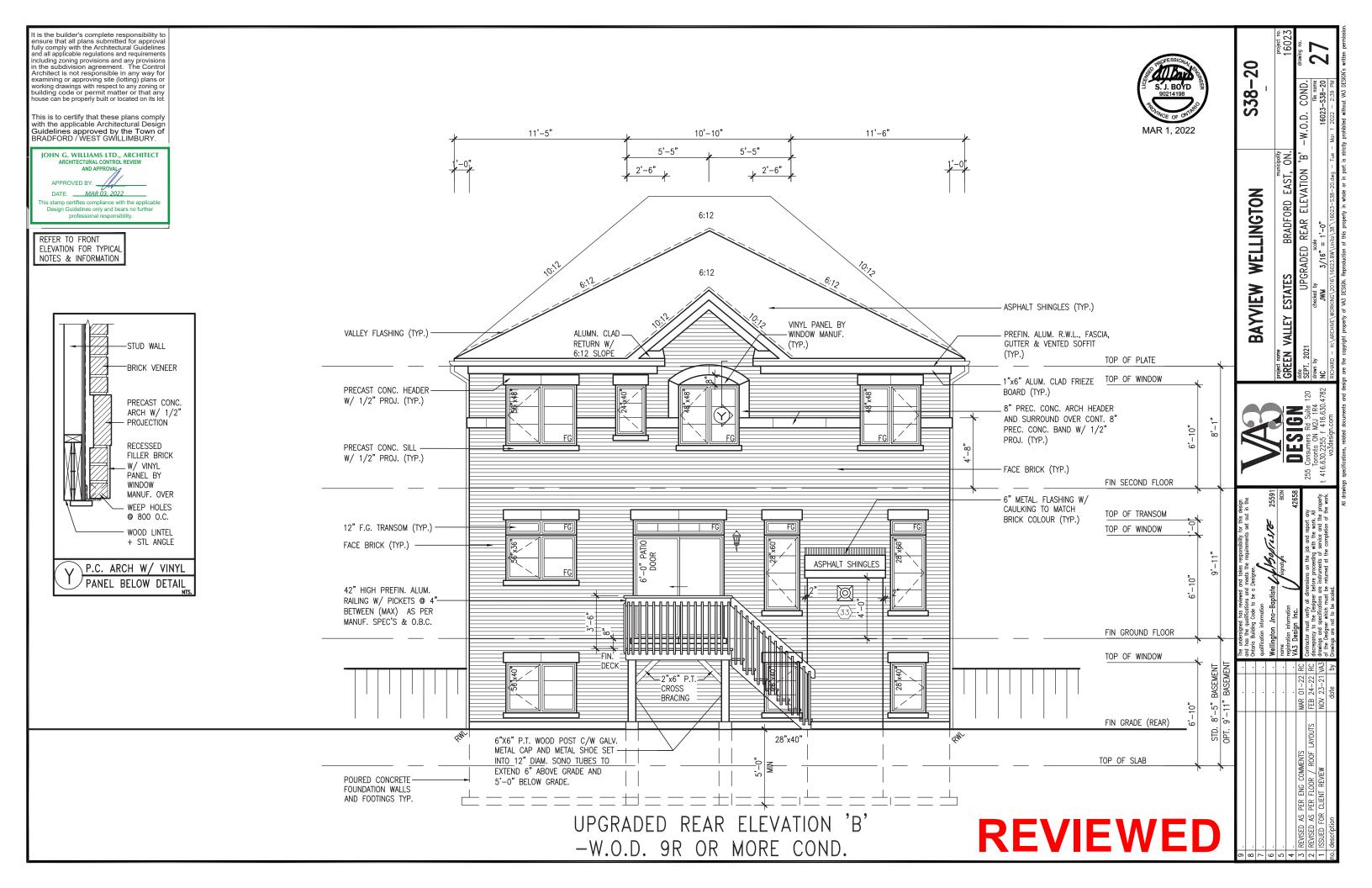
POURED CONC. SILL & PRECAST CONC. STEPS

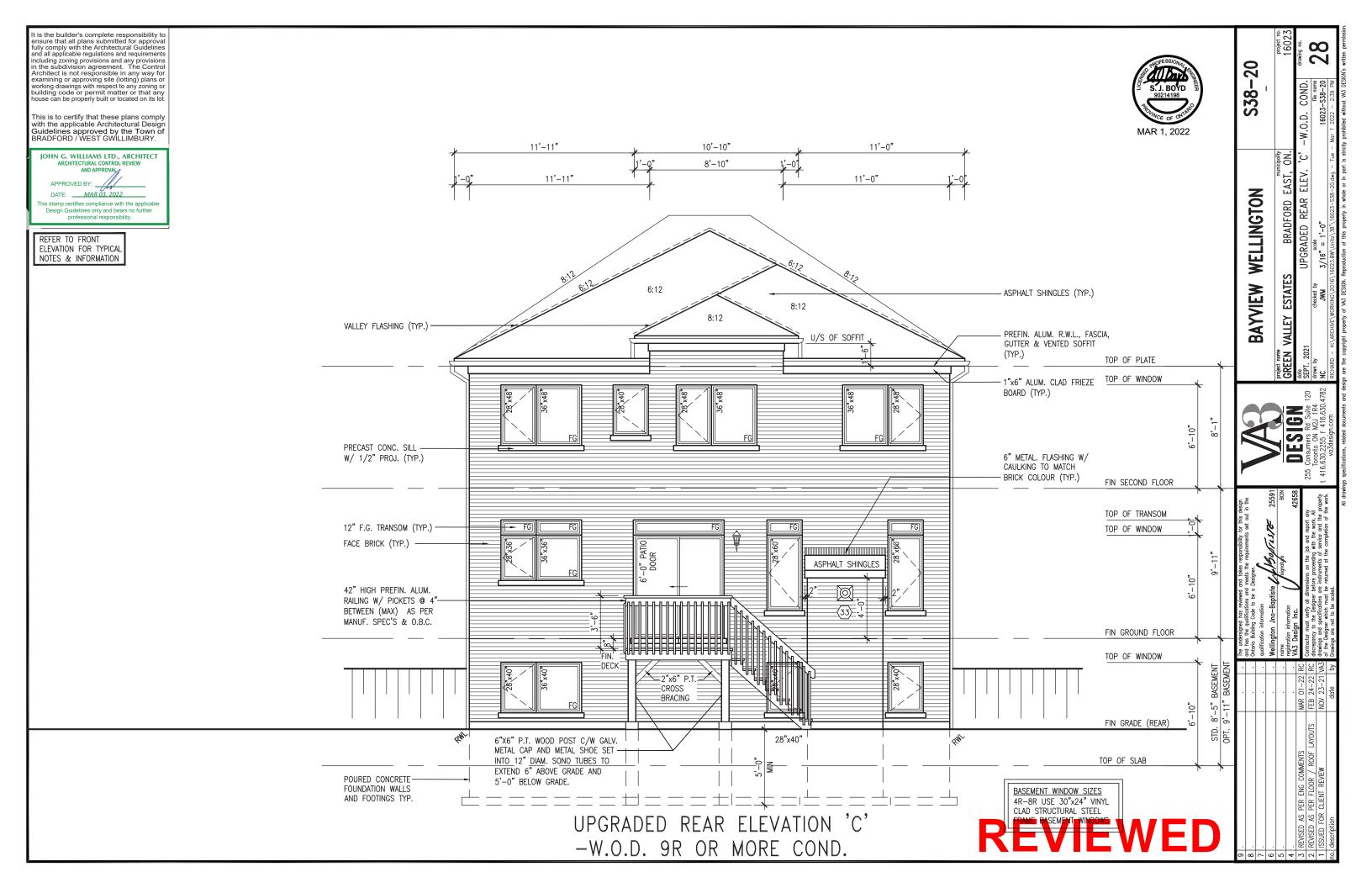
ASPHALT SHINGLES

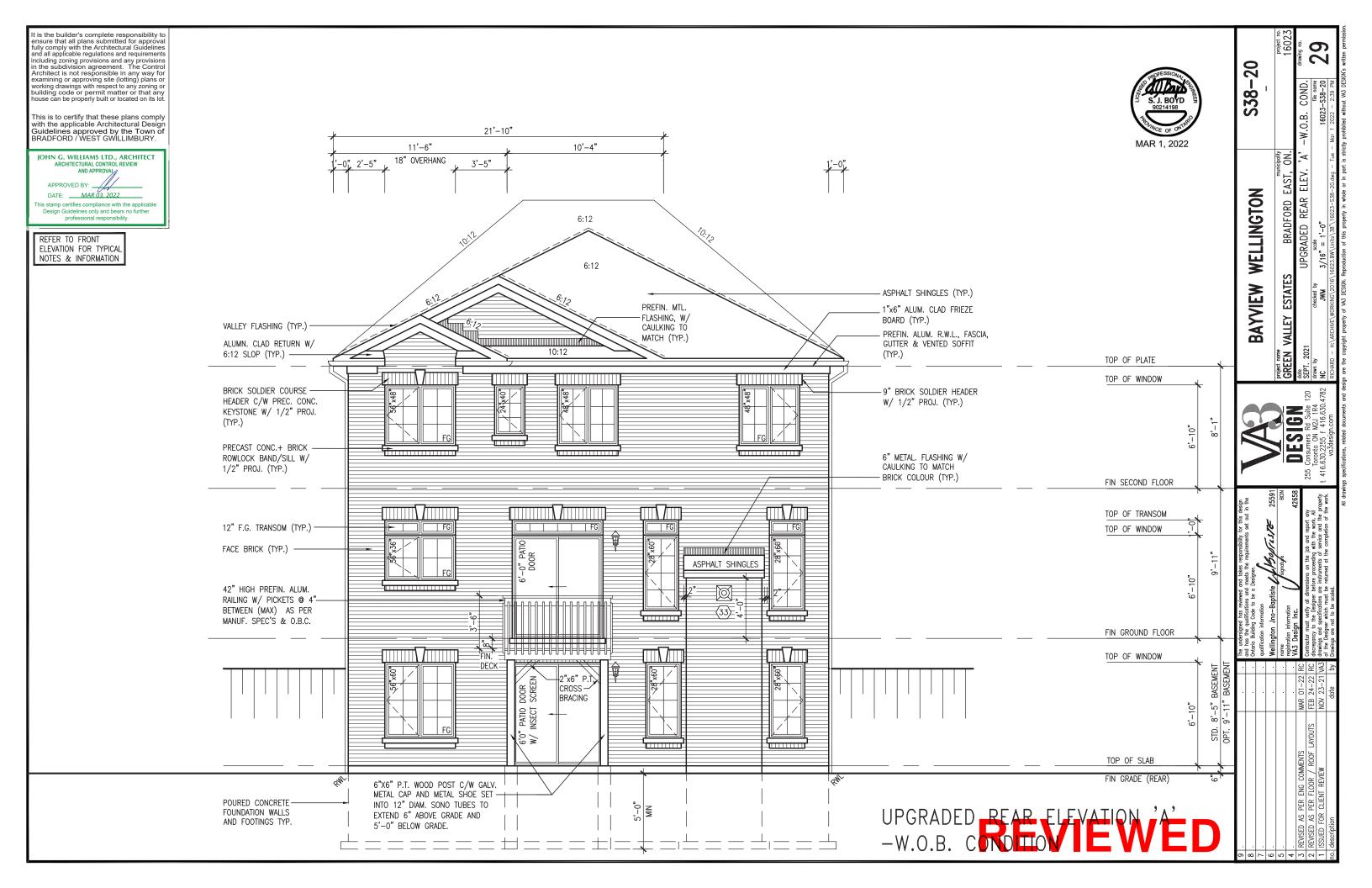
REVIEWED

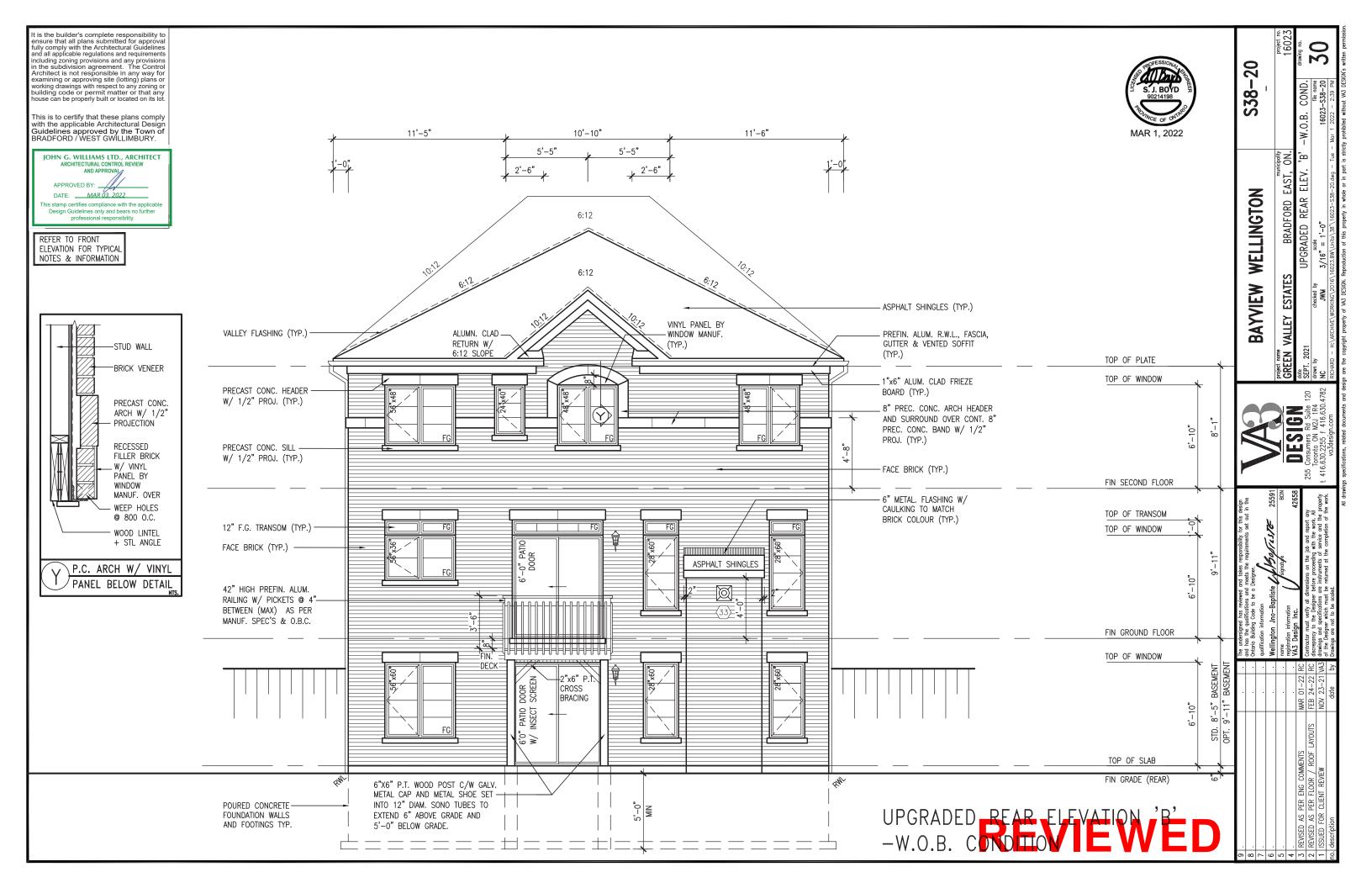


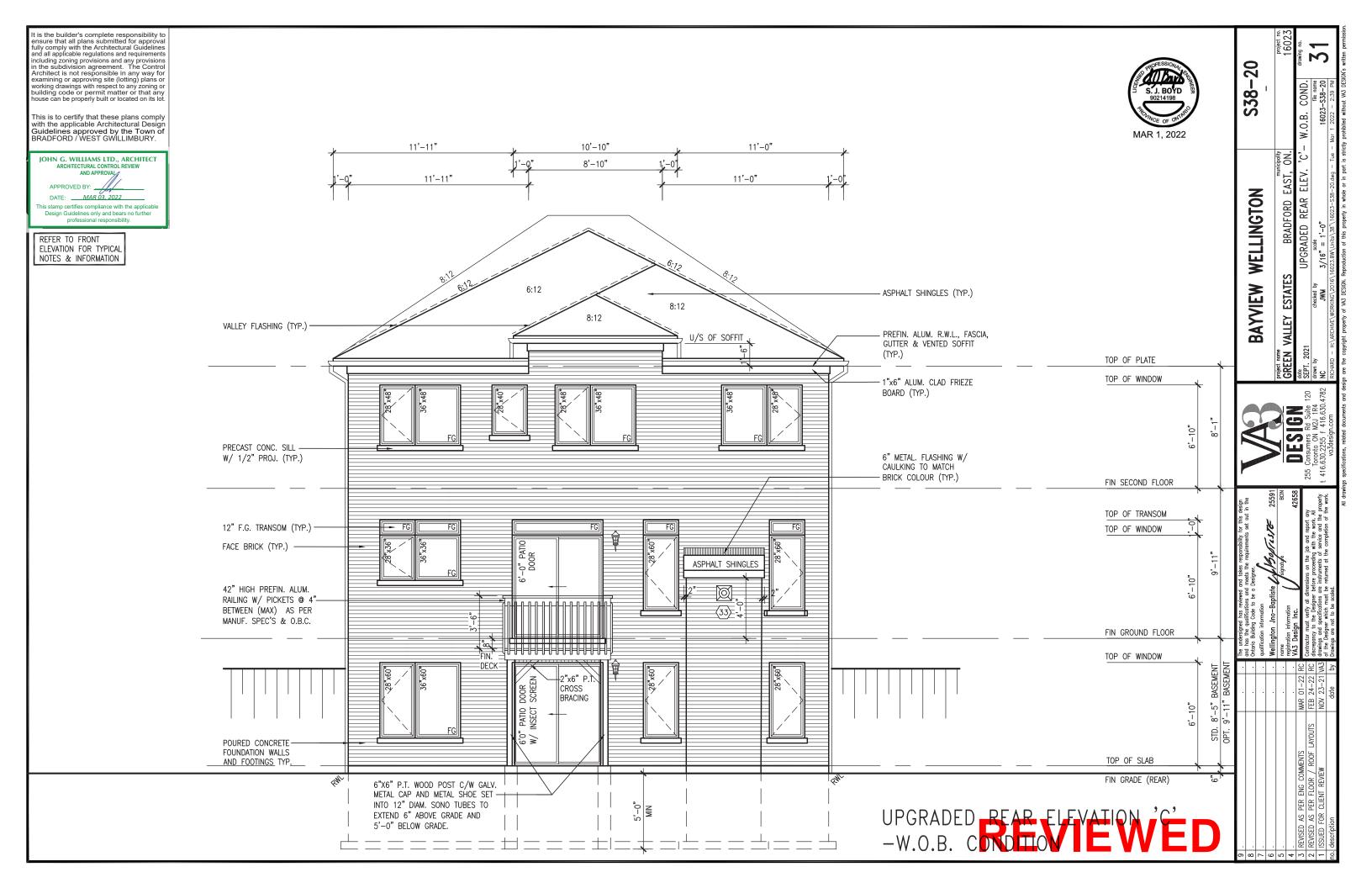












	UNINSULATED OPENIN	VGS (PER OBC	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A	ENERGY E	FFICIENCY - OI	BC SB12	نے	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	BC SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE],	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	645 S.F.	136.22 S.F.	21.12 %	SE	FRONT	656 S.F.	138.22 S.F.	21.07 %		FRONT	643 S.F.	156.22 S.F.	24.30 %
STD	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	S	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	SE	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
SADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	SADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	STD	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
UPGRADE	REAR	635 S.F.	157.86 S.F.	24.86 %	UPGF	REAR	635 S.F.	157.86 S.F.	24.86 %	8	REAR	635 S.F.	157.86 S.F.	24.86 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		STANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3693.00 S.F.	458.75 S.F.	12.42 %	NDA	TOTAL SQ. FT.	3704.00 S.F.	460.75 S.F.	12.44 %	ST	TOTAL SQ. FT.	3748.00 S.F.	478.75 S.F.	12.77 %
STA	TOTAL SQ. M.	343.09 S.M.	42.62 S.M.	12.42 %	STA	TOTAL SQ. M.	344.11S.M.	42.80 S.M.	12.44 %		TOTAL SQ. M.	348.20 S.M.	44.48 S.M.	12.77 %
	UNINSULATED OPENIN	VGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))
FL.	S38-20 ELEVATION A	ENERGY E	FFICIENCY - OI	BC SB12	7.	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	BC SB12
ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ز [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
. SE	FRONT	645 S.F.	136.22 S.F.	21.12 %	. S	FRONT	656 S.F.	138.22 S.F.	21.07 %	<u>ا</u> ا	FRONT	643 S.F.	156.22 S.F.	24.30 %
OPT.	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	OPT	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	SE(LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
ADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	ADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	OPT.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
UPGRADE	REAR	635 S.F.	157.86 S.F.	24.86 %	JPGR	REAR	635 S.F.	157.86 S.F.	24.86 %	8	REAR	635 S.F.	157.86 S.F.	24.86 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR (* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3693.00 S.F.	468.08 S.F.	12.67 %	NDAF	TOTAL SQ. FT.	3704.00 S.F.	470.08 S.F.	12.69 %	ST	TOTAL SQ. FT.	3749.00 S.F.	488.08 S.F.	13.02 %
STAI	TOTAL SQ. M.	343.09 S.M.	43.49 S.M.	12.67 %	STAI	TOTAL SQ. M.	344.11S.M.	43.67 S.M.	12.69 %	1	TOTAL SQ. M.	348.29 S.M.	45.34 S.M.	13.02 %

	UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBC	SB-12,3.1.1(7))
Ŀ	S38-20 ELEVATION A WOD	ENERGY E	FFICIENCY - OF	BC SB12	نے	S38-20 ELEVATION B WOD	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FICIENCY - OB	C SB12
ري ا	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SS	FRONT	645 S.F.	136.22 S.F.	21.12 %	S	FRONT	656 S.F.	138.22 S.F.	21.07 %	<u>ا</u> ا	FRONT	643 S.F.	156.22 S.F.	24.30 %
STD	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	STD	LEFT SIDE	1213 S.F.	90.67 S.F.	-	SEC	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
RADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	RADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	E [RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
UPGRADE	REAR	762 S.F.	182.11 S.F.	23.90 %	UPGRADE	REAR	762 S.F.	182.11 S.F.	23.90 %	સ્ર [REAR	762 S.F.	182.11 S.F.	23.90 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	l I	ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3820.00 S.F.	483.00 S.F.	12.64 %	ANDARD	TOTAL SQ. FT.	3831.00 S.F.	485.00 S.F.	12.66 %	ST	TOTAL SQ. FT.	3875.00 S.F.	503.00 S.F.	12.98 %
STA	TOTAL SQ. M.	354.89 S.M.	44.87 S.M.	12.64 %	STA	TOTAL SQ. M.	355.91 S.M.	45.06 S.M.	12.66 %		TOTAL SQ. M.	360.00 S.M.	46.73 S.M.	12.98 %
	UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBC	SB-12,3.1.1(7))
Ŀ	S38-20 ELEVATION A WOD ENERGY EFFICIENCY - OBC SB12 ELEVATION WALL AREA S.F. OPENING S.F. PERCENTAGE				ij	S38-20 ELEVATION B WOD	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FICIENCY - OB	C SB12
ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ار	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SE.	FRONT	645 S.F.	136.22 S.F.	21.12 %	SS	FRONT	656 S.F.	138.22 S.F.	21.07 %	<u>د</u> ا	FRONT	643 S.F.	156.22 S.F.	24.30 %
OPT	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	OPT	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	SE	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
SADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	RADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	PT.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
UPGRADE	REAR	762 S.F.	182.11 S.F.	23.90 %	UPGF	REAR	762 S.F.	182.11 S.F.	23.90 %	ళ [REAR	762 S.F.	182.11 S.F.	23.90 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3820.00 S.F.	492.33 S.F.	12.89 %	ANDARD	TOTAL SQ. FT.	3831.00 S.F.	494.33 S.F.		SE	TOTAL SQ. FT.	3876.00 S.F.	512.33 S.F.	13.22 %
STA	TOTAL SQ. M.	354.89 S.M.	45.74 S.M.	12.89 %	STA	TOTAL SQ. M.	355.91 S.M.	45.92 S.M.	12.90 %		TOTAL SQ. M.	360.09 S.M.	47.60 S.M.	13.22 %

s des		BAYVIEW WELLINGTON	S38-20
25591 BCIN		GREEN VALLEY ESTATES BRADFORD EAST, ON.	project no.
42036 report any	255 Consumers Rd Suite 120	SEPT. 2021 UPGRADED REAR ELEV. 'C'- W.O.B. COND	W.O.B. COND. drawing no.
te work. All and the property letion of the work.	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782	drawn by checked by scale NC JWM $3/16$ " = 1'-0"	file name 16023–S38–20
	va3design.com	RICHARD H:\ARCHIVE\WORKING\2016\16023.BW\Units\38'\16023—S38—20.dwg Tue Mar 1 2022 2:39 PM	Mar 1 2022 – 2:39 PM

			REVISED AS PER ENG COMMENTS	REVISED AS PER FLOOR / ROOF LAYOUTS	ISSUED FOR CLIENT REVIEW	
			AS	AS	FOR	١.
			PER	PER	CLIE	
			EN	FLC	N	
			3 C	30R	REV	
			NMO	/	IEW	
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			ည	노		
				AYOUI		



	UNINSULATED OPENIN	VGS (PER OBC	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OBC	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - O	BC SB12	انے	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OF	3C SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	<u>.</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE],	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	645 S.F.	136.22 S.F.	21.12 %	SE	FRONT	656 S.F.	138.22 S.F.	21.07 %	E	FRONT	643 S.F.	156.22 S.F.	24.30 %
STD	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	STD	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	SE	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
RADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	NADE	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	STD	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
UPGRADE	REAR	855 S.F.	238.67 S.F.	27.91 %	UPGF	REAR	855 S.F.	238.67 S.F.	27.91 %	8	REAR	855 S.F.	238.67 S.F.	27.91 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		STANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3913.00 S.F.	539.56 S.F.	13.79 %	NDA	TOTAL SQ. FT.	3924.00 S.F.	541.56 S.F.	13.80 %	ST	TOTAL SQ. FT.	3968.00 S.F.	559.56 S.F.	14.10 %
STA	TOTAL SQ. M.	363.53 S.M.	50.13 S.M.	13.79 %	STA	TOTAL SQ. M.	364.55 S.M.	50.31 S.M.	13.80 %		TOTAL SQ. M.	368.64 S.M.	51.98 S.M.	14.10 %
	UNINSULATED OPENIN	VGS (PER OBO	C. SB-12,3.1.1	(7))	i i	UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENI	VGS (PER OBO	C. SB-12,3.1.1(7))
FL.	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - O	BC SB12	7.	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OF	3C SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
ပ္	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان ا	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ز [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
. SE	FRONT	645 S.F.	136.22 S.F.	21.12 %		FRONT	656 S.F.	138.22 S.F.	21.07 %	<u>ا</u> ا	FRONT	643 S.F.	156.22 S.F.	24.30 %
OPT.	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	l P	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	SE	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
ADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	ADE	RIGHT SIDE	1200 S.F.	83.33 S.F.	6.94 %	OPT.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
UPGRADE	REAR	855 S.F.	238.67 S.F.	27.91 %	JPGF	REAR	855 S.F.	238.67 S.F.	27.91 %	8	REAR	855 S.F.	268.67 S.F.	31.42 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR I	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3913.00 S.F.	548.89 S.F.	14.03 %	NDAF	TOTAL SQ. FT.	3924.00 S.F.	550.89 S.F.	14.04 %	ST	TOTAL SQ. FT.	3969.00 S.F.	598.89 S.F.	15.09 %
STA	TOTAL SQ. M.	363.53 S.M.	50.99 S.M.	14.03 %	STA	TOTAL SQ. M.	364.55 S.M.	51.18 S.M.	14.04 %	1	TOTAL SQ. M.	368.73 S.M.	55.64 S.M.	15.09 %

	UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1((7))		<u>UNINSULATED</u> OPENII	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))
	S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OB	3C SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	1.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	1.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
=	FRONT	643 S.F.	156.22 S.F.	24.30 %	르	FRONT	643 S.F.	156.22 S.F.	24.30 %	르	FRONT	643 S.F.	156.22 S.F.	24.30 %
SEC.	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %	SEC	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %	SEC	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
STD	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %	SI	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %	S S	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
શ્ર	REAR	635 S.F.	174.78 S.F.	27.52 %	8	REAR	762 S.F.	201.44 S.F.	26.44 %	8	REAR	855 S.F.	259.11 S.F.	30.31 %
GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
5	TOTAL SQ. FT.	3748.00 S.F.	495.67 S.F.	13.22 %	75	TOTAL SQ. FT.	3875.00 S.F.	522.33 S.F.	13.48 %] 5	TOTAL SQ. FT.	3968.00 S.F.	580.00 S.F.	14.62 %
	TOTAL SQ. M.	348.20 S.M.	46.05 S.M.	13.22 %		TOTAL SQ. M.	360.00 S.M.	48.53 S.M.	13.48 %		TOTAL SQ. M.	368.64 S.M.	53.88 S.M.	14.62 %
	UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENII	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))
	S38-20 ELEVATION C						ENERGY E	FFICIENCY - OF	3C SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OB	BC SB12
١,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] ,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] ,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
E	FRONT	643 S.F.	156.22 S.F.	24.30 %		FRONT	643 S.F.	156.22 S.F.	24.30 %		FRONT	643 S.F.	156.22 S.F.	24.30 %
SEC.	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %	SEC	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %	SE	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
OPT.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %	OPT.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %	PF.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
શ્ર	REAR	635 S.F.	174.78 S.F.	27.52 %	8	REAR	762 S.F.	201.44 S.F.	26.44 %	ઋ	REAR	855 S.F.	259.11 S.F.	30.31 %
GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADE REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
J.	TOTAL SQ. FT.	3749.00 S.F.	505.00 S.F.	13.47 %	75	TOTAL SQ. FT.	3876.00 S.F.	531.66 S.F.	13.72 %	15	TOTAL SQ. FT.	3969.00 S.F.	589.33 S.F.	14.85 %
	TOTAL SQ. M.	348.29 S.M.	46.92 S.M.	13.47 %		TOTAL SQ. M.	360.09 S.M.	49.39 S.M.	13.72 %		TOTAL SQ. M.	368.73 S.M.	54.75 S.M.	14.85 %

for this design ts set out in the		BAYVIEW WELLINGTON	S38-20
25591			
BCIN		Project name municipality GREEN VALLEY ESTATES BRADFORD EAST, ON.	project no.
42658			drawing no.
report any	255 Consumers Rd Suite 120	SEPT. 2021 UPGRADED REAR ELEV. C - W.O.B. COND.	W.O.B. COND.
ie work. All	Toronto ON M2J 1R4	drawn by checked by scale	file name
e and the property letion of the work.	t 416.630.2255 f 416.630.4782	NC JWM $3/16$ " = 1'-0"	16023-538-20
	va3design.com	RICHARD H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\\16023-S38-20.dwg Tue - Mar 1 2022 - 2:39 PM	Mar 1 2022 - 2:39 PM

a Bay	WA3 KR	
Wellington Jno-Baptiste // 190/12576 28	•	
qualification information	•	
and has the qualifications and meets the requirements set out in to Ontario Building Code to be a Designer.		
The undersigned has reviewed and takes responsibility for this design	•	



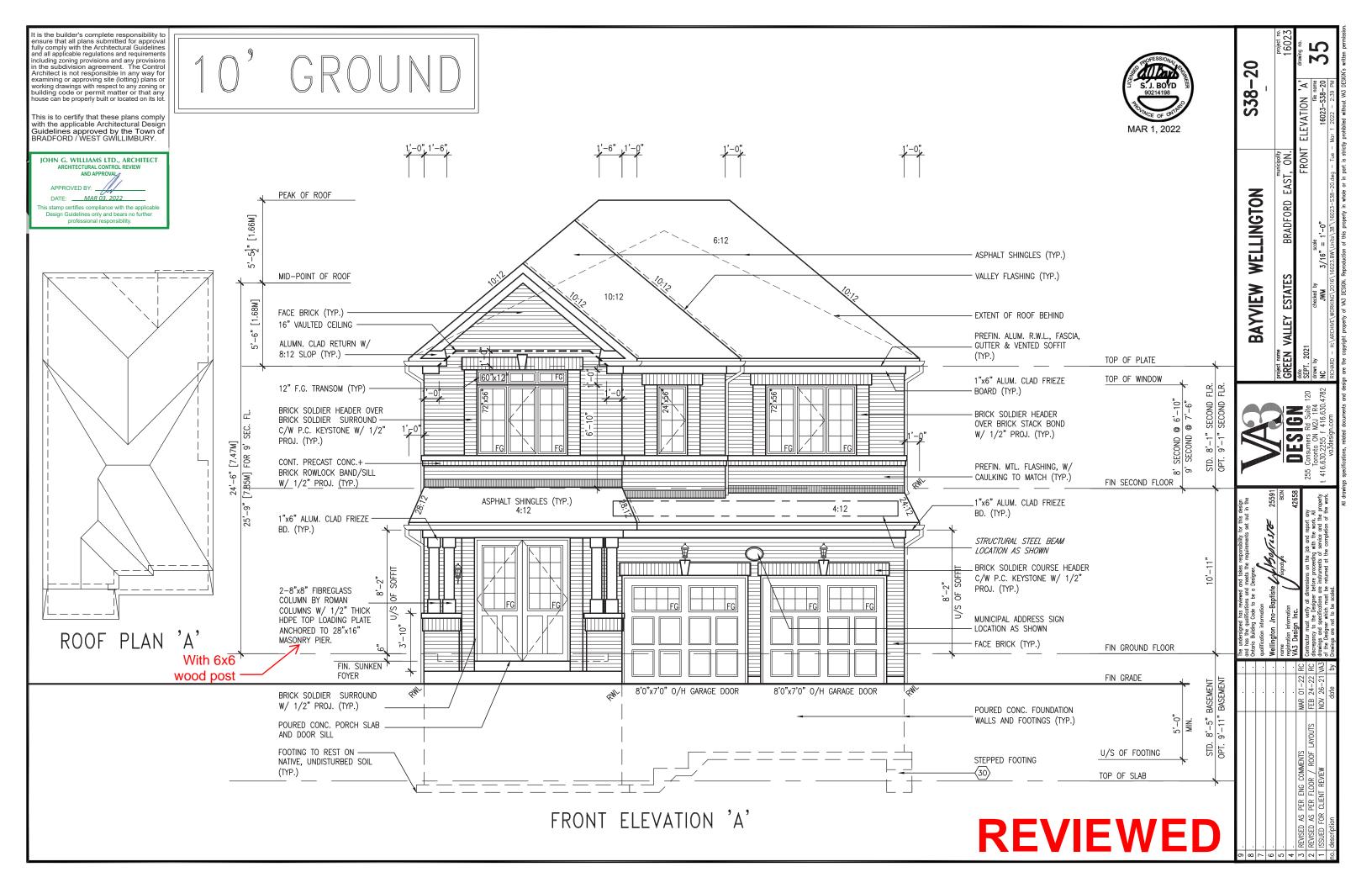
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	UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7))		<u>UNINSULATED OPENIN</u>	IGS (PER OBC.	SB-12,3.1.1(7))		UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7))
ن	S38-20 ELEVATION A WOB		FFICIENCY - OB		_ii	S38-20 ELEVATION B WOB		FFICIENCY - OB		0	S38-20 ELEVATION C WOB		FICIENCY - OB	
ز		WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن		WALL AREA S.F.	OPENING S.F.	PERCENTAGE	6	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
วี	FRONT	645 S.F.	136.22 S.F.	21.12 %	SS	FRONT	656 S.F.	138.22 S.F.	21.07 %]PI	FRONT	643 S.F.	156.22 S.F.	24.30 %
BASEMENT	LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %		LEFT SIDE	1213 S.F.	90.67 S.F.	7.47 %	근	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
ASEN	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %	RADE SEM	RIGHT SIDE	1200 S.F.	74.00 S.F.	6.17 %] Si E	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
2 "0	REAR	886 S.F.	238.67 S.F.	26.94 %	UPGI	REAR	886 S.F.	238.67 S.F.	26.94 %	& STD SEC. BASEMENT	REAR	886 S.F.	238.67 S.F.	26.94 %
7. 9'-	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR OPT. 9'0	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
ڔٞ	TOTAL SQ. FT.	3944.00 S.F.	539.56 S.F.	13.68 %	ANDA	TOTAL SQ. FT.	3955.00 S.F.	541.56 S.F.	13.69 %	STANDARD	TOTAL SQ. FT.	3999.00 S.F.	559.56 S.F.	13.99 %
5	TOTAL SQ. M.	366.41 S.M.	50.13 S.M.	13.68 %	STA	TOTAL SQ. M.	367.43 S.M.	50.31S.M.	13.69 %	STAN	TOTAL SQ. M.	371.52 S.M.	51.98 S.M.	13.99 %
											UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7))
										٠	S38-20 ELEVATION C WOB	ENERGY EF	FICIENCY - OB	C SB12
										OPI	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
										ني	FRONT	643 S.F.	156.22 S.F.	24.30 %
										 	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
										OPT. SEC.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
										BASE	REAR	886 S.F.	268.67 S.F.	30.32 %
										STANDARD REAR & 9'-0" E	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
										TAND	TOTAL SQ. FT.	4000.00 S.F.	598.89 S.F.	14.97 %
										S	TOTAL SQ. M.	371.61S.M.	55.64 S.M.	14.97 %

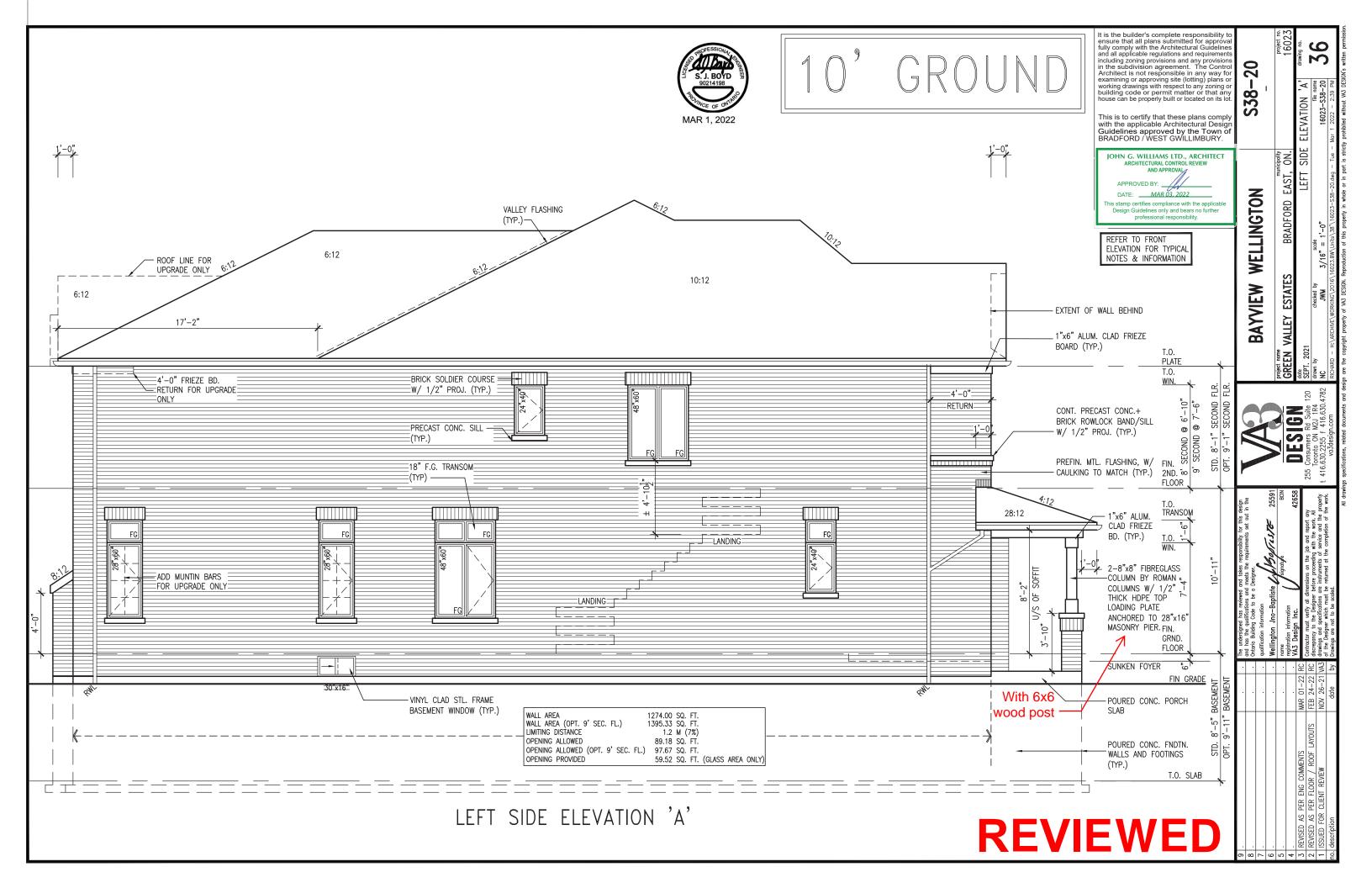
	<u>UNINSULATED OPENIN</u>	<u>IGS</u> (per obc	. SB-12,3.1.1(7	7))
.0-	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	SC SB12
က်	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
OPT.	FRONT	643 S.F.	156.22 S.F.	24.30 %
ا ئے	LEFT SIDE	1252 S.F.	90.67 S.F.	7.24 %
.	RIGHT SIDE	1218 S.F.	74.00 S.F.	6.08 %
- 	REAR	886 S.F.	259.11 S.F.	29.24 %
REAR &	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
UPGRADE	TOTAL SQ. FT.	3999.00 S.F.	580.00 S.F.	14.50 %
UPG	TOTAL SQ. M.	371.52 S.M.	53.88 S.M.	14.50 %
	UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7	7))
.0-	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	3C SB12
້ດ.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
OPT.	FRONT	643 S.F.	156.22 S.F.	24.30 %
۲,	LEFT SIDE	1253 S.F.	90.67 S.F.	7.24 %
SEC.	RIGHT SIDE	1218 S.F.	83.33 S.F.	6.84 %
. ≥	REAR	886 S.F.	259.11 S.F.	29.24 %
REAR &	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
JPGRADE	TOTAL SQ. FT.	4000.00 S.F.	589.33 S.F.	14.73 %
PGF	TOTAL SQ. M.	371.61S.M.	54.75 S.M.	14.73 %

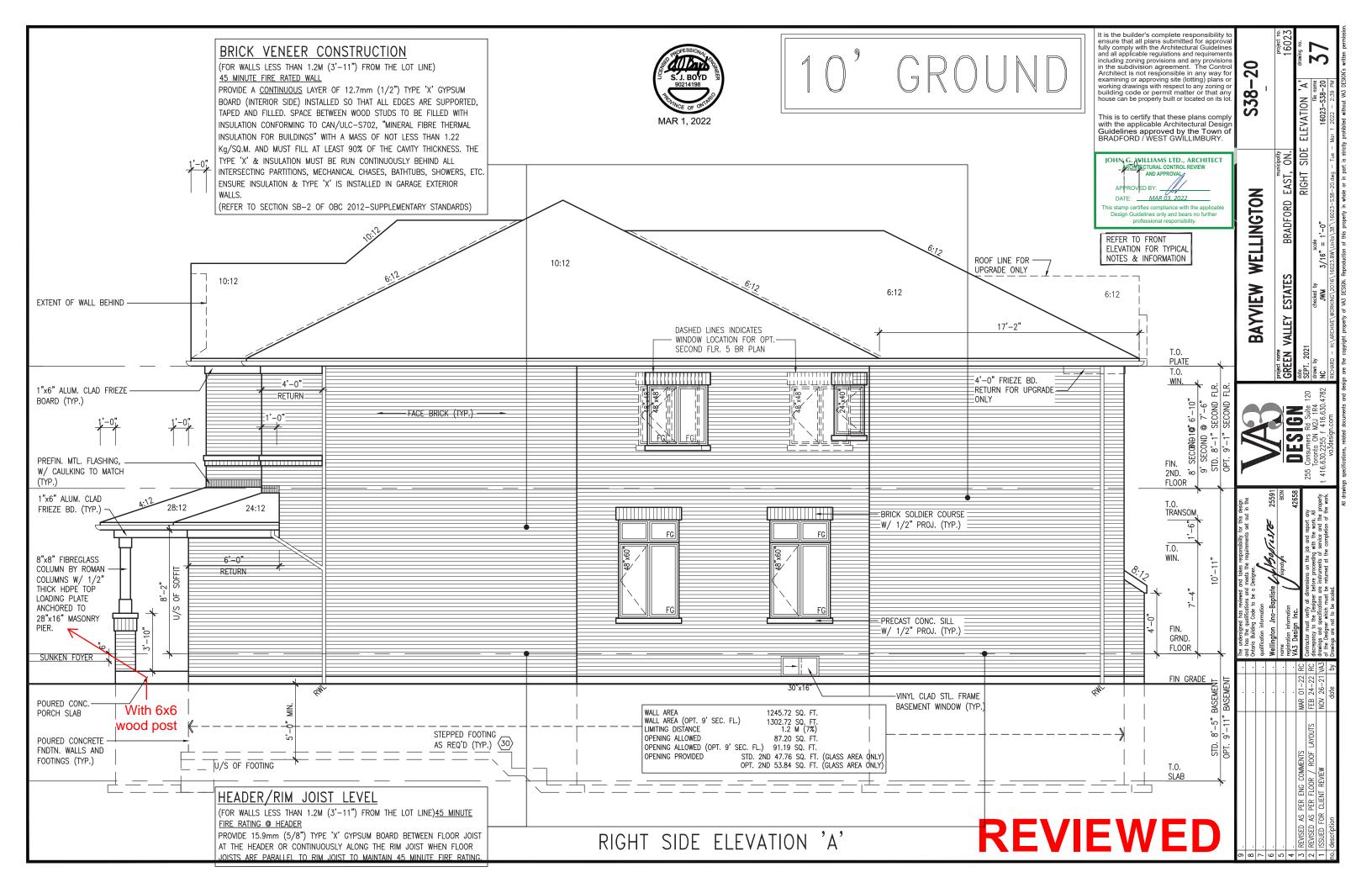
set out in the		BAYVIEW WELLINGTON	S38-20
BCIN	DECIEN	project name municipality GREEN VALLEY ESTATES BRADFORD EAST, ON.	nunicipality project no. 16023
` .	255 Consumers Rd Suite 120	dote SEPT. 2021 UPGRADED REAR ELEV. 'C' – W.O.B. COND.	'C'- W.O.B. COND.
work. All and the property tion of the work	Toronto ON M2J 1R4 draw t 416.630.2255 f 416.630.4782 NC	drawn by checked by scale NC JWM $3/16^n = 1^2 - 0^n$	file name 16023–S38–20
	va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM	- Tue - Mar 1 2022 - 2:39 PM













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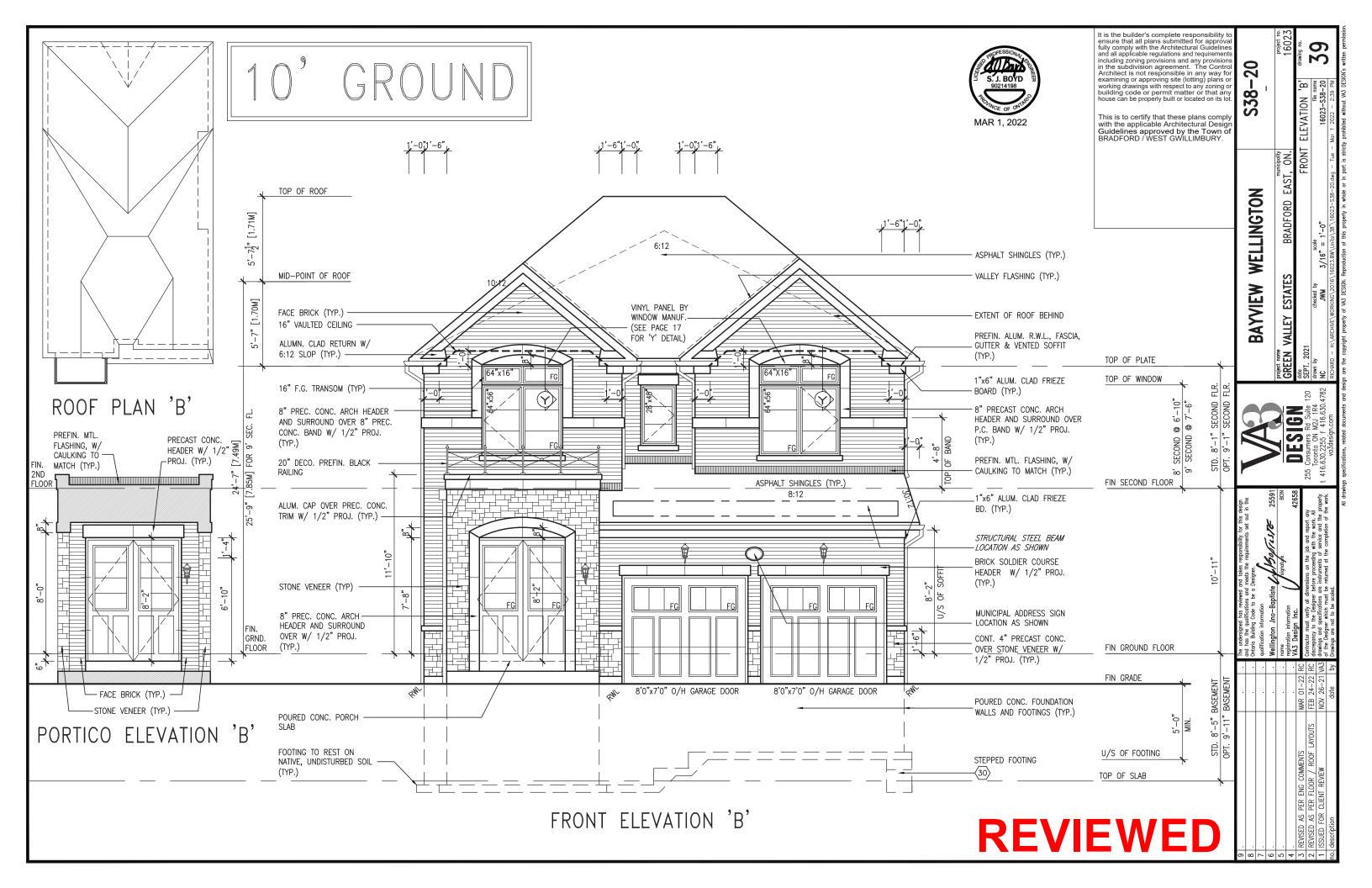
'A'/'B'/'C' file name 16023–S38–20

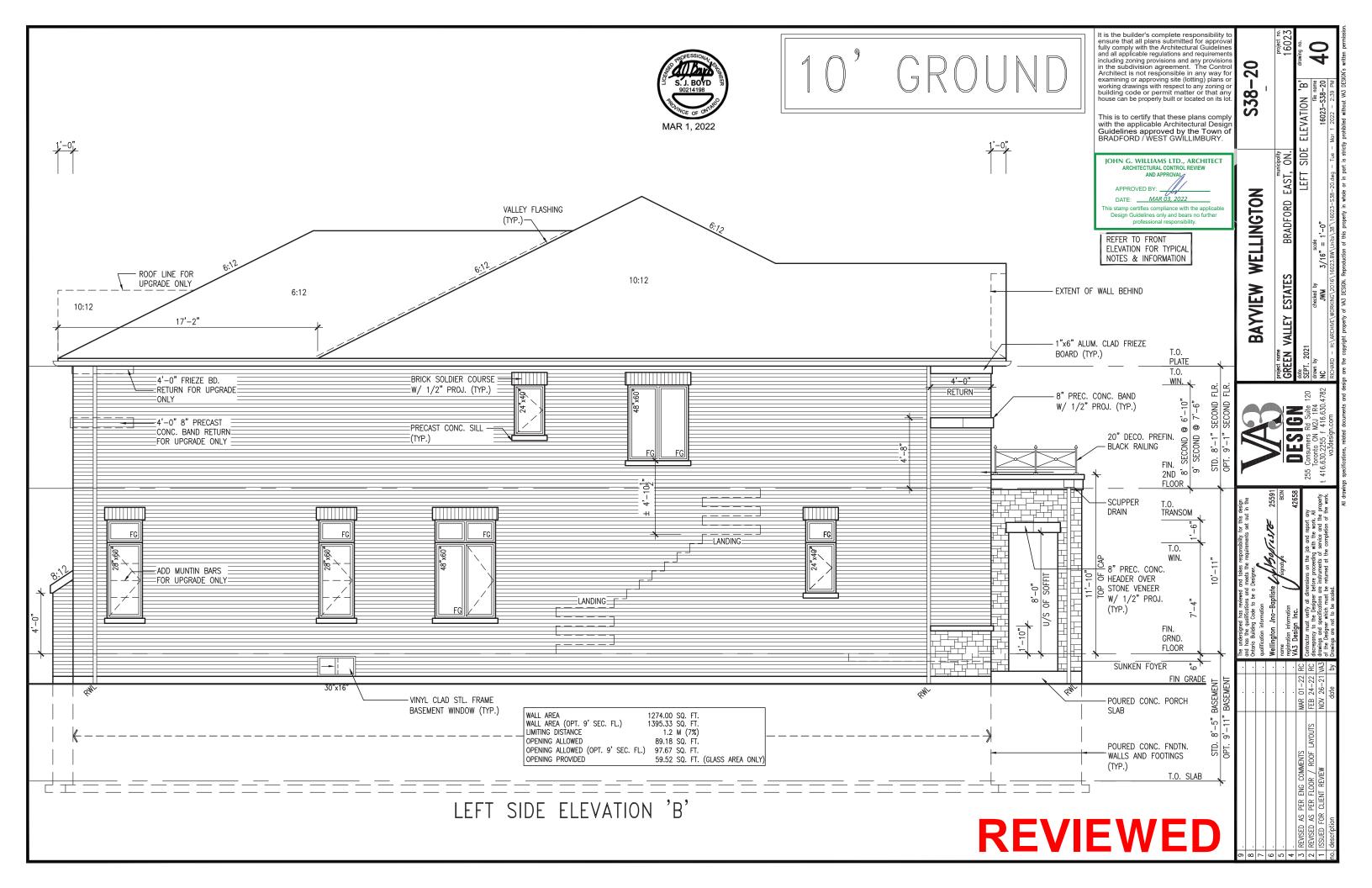
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

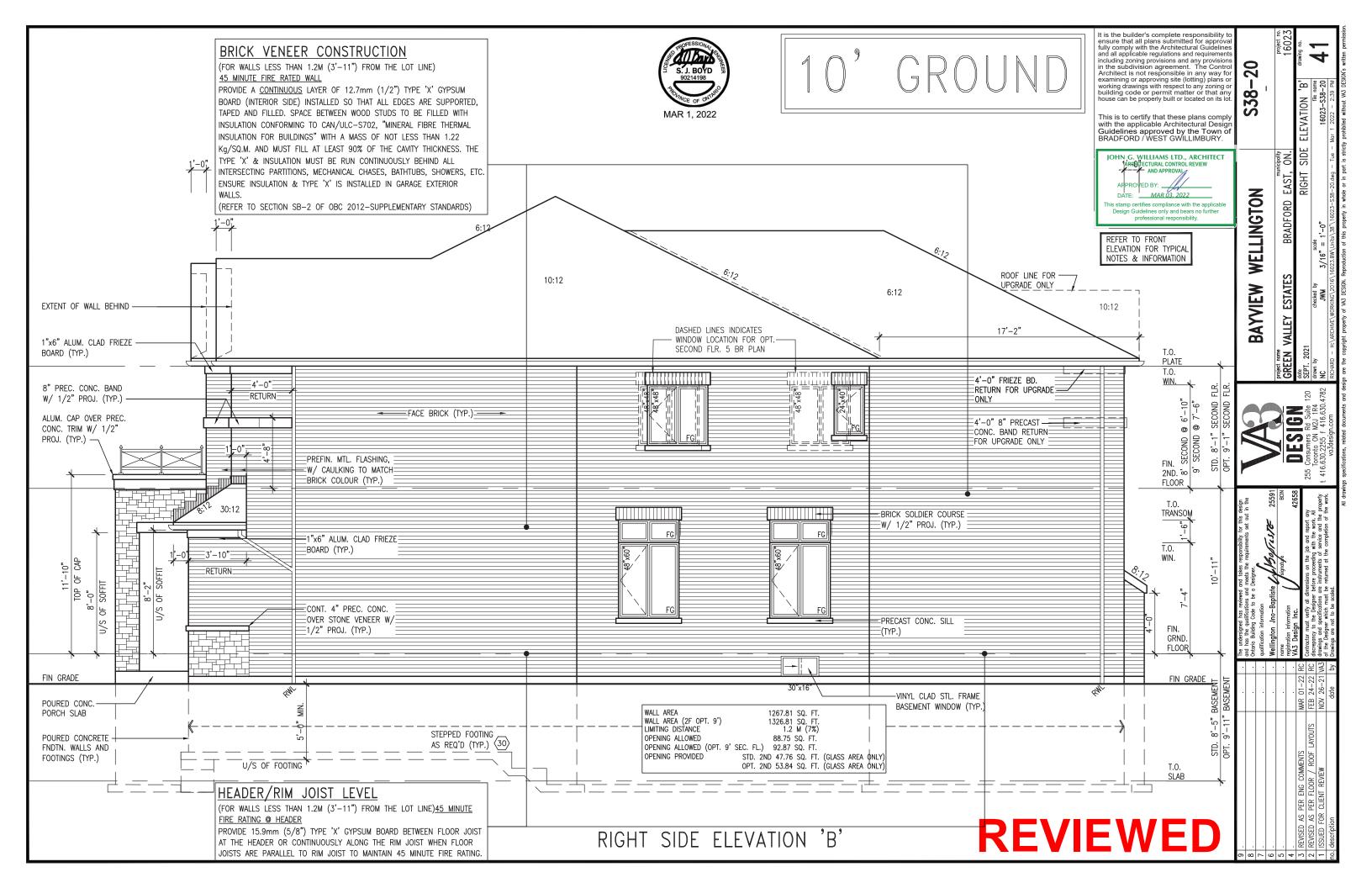
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW

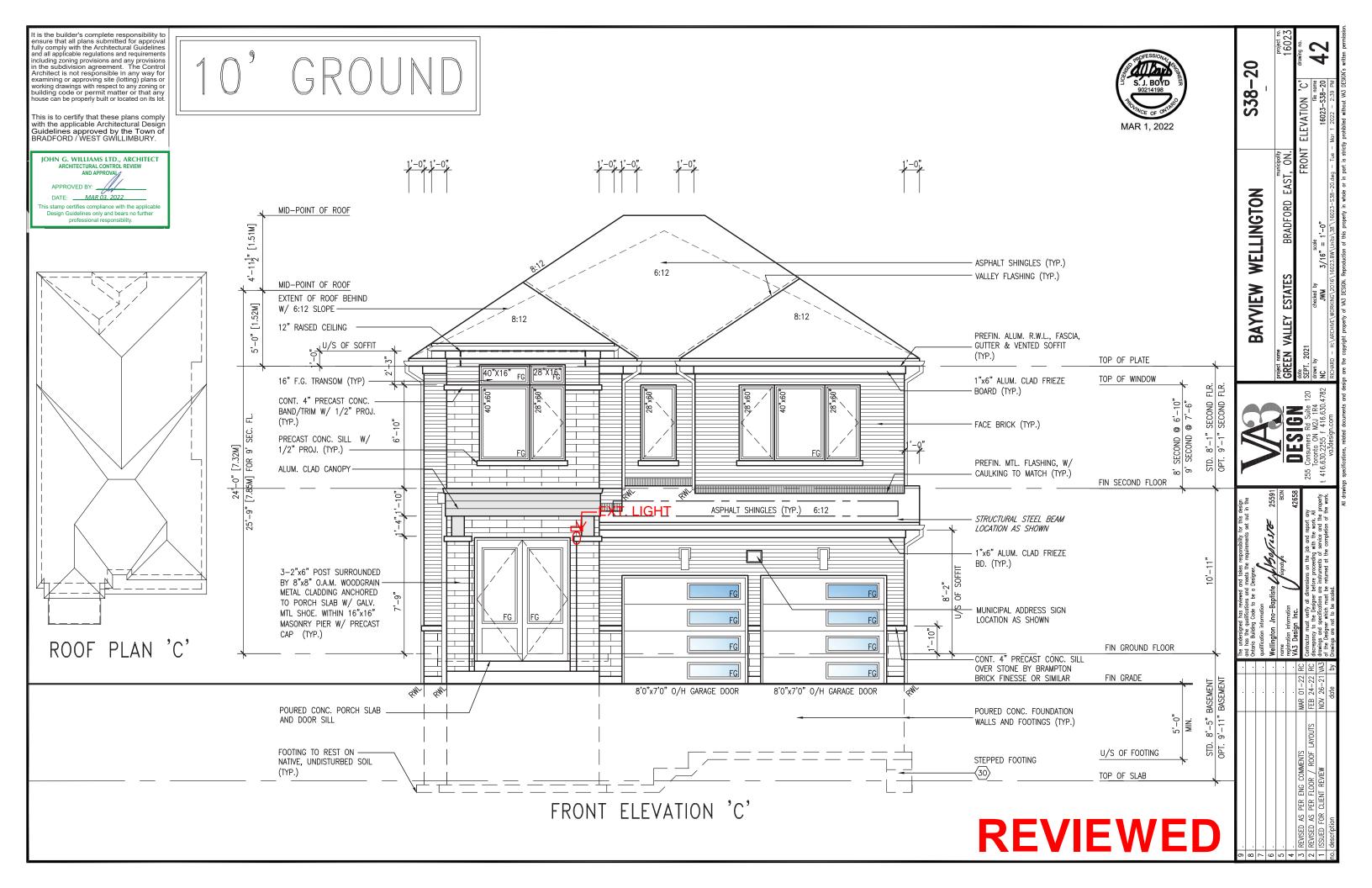
REVIEWED

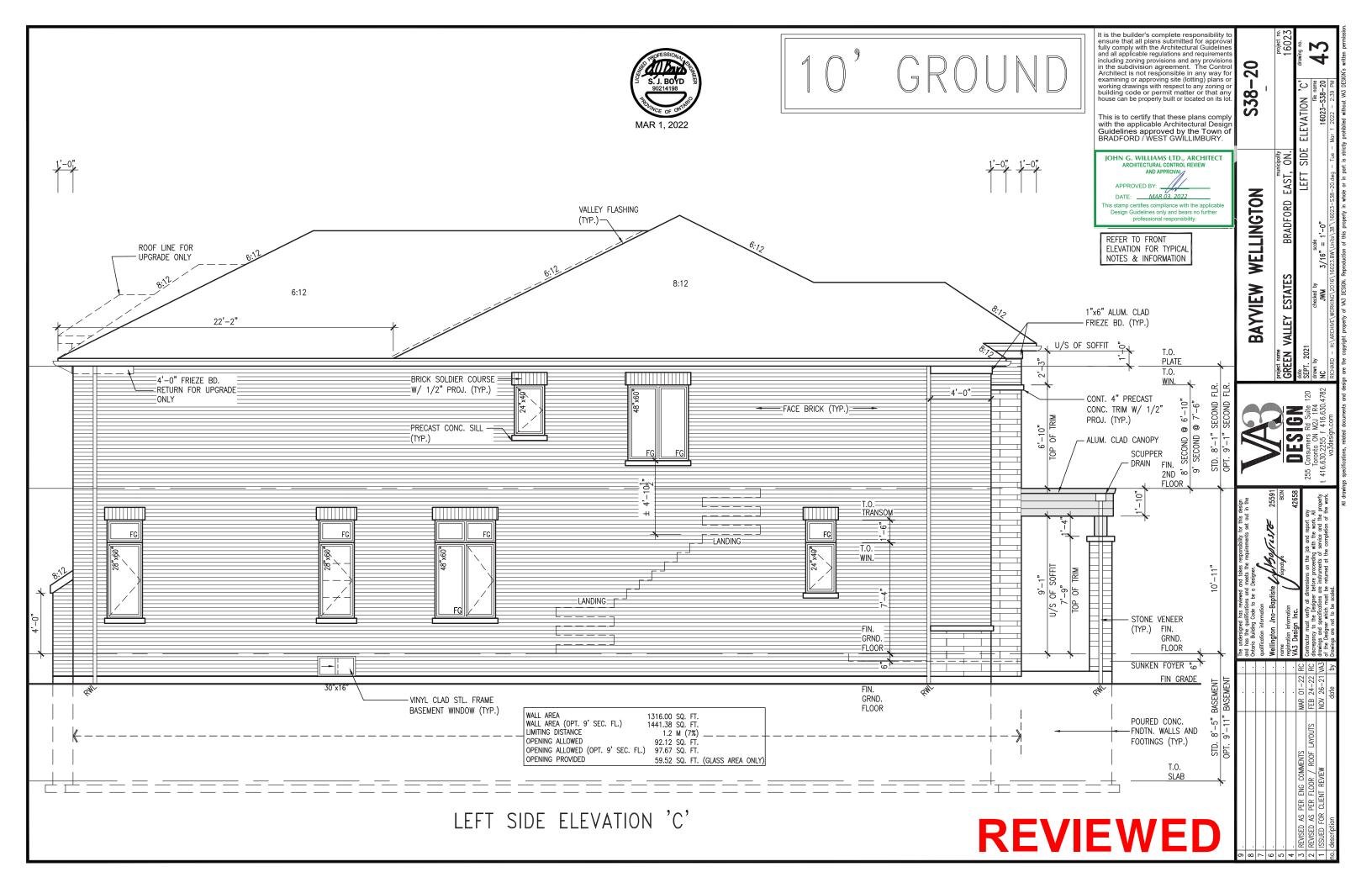
ELEVATION DASHED LINE INDICATES -ROOF LINE FOR ELEV. 'B' WELLINGTON @FRONT Design Guidelines only and bears no further REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION BAYVIEW 6:12 ASPHALT SHINGLES (TYP.) DASHED LINE INDICATES ROOF Project name GREEN VALLEY LINE FOR ELEV. 'C' @FRONT PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT TOP OF PLATE BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.) PRECAST CONC. SILL PREFIN METAL. FLASHING W/ 1/2" PROJ. (TYP.) W/ CAULKING TO MATCH BRICK COLOUR (TYP.) FIN SECOND FLOOR 24" HIGH TRANSOM 18" F.G. TRANSOM (TYP.) -TOP OF WINDOW ASPHALT SHINGLES VINYL CLAD STRUCTURAL FACE BRICK (TYP.) STEEL BASEMENT WINDOW (TYP.) FIN GROUND FLOOR POURED CONC. SILL & PRECAST CONC. STEPS POURED CONCRETE FOUNDATION WALLS AND FOOTINGS TYP. TOP OF SLAB REAR ELEVATION 'A'/'B'/'C'

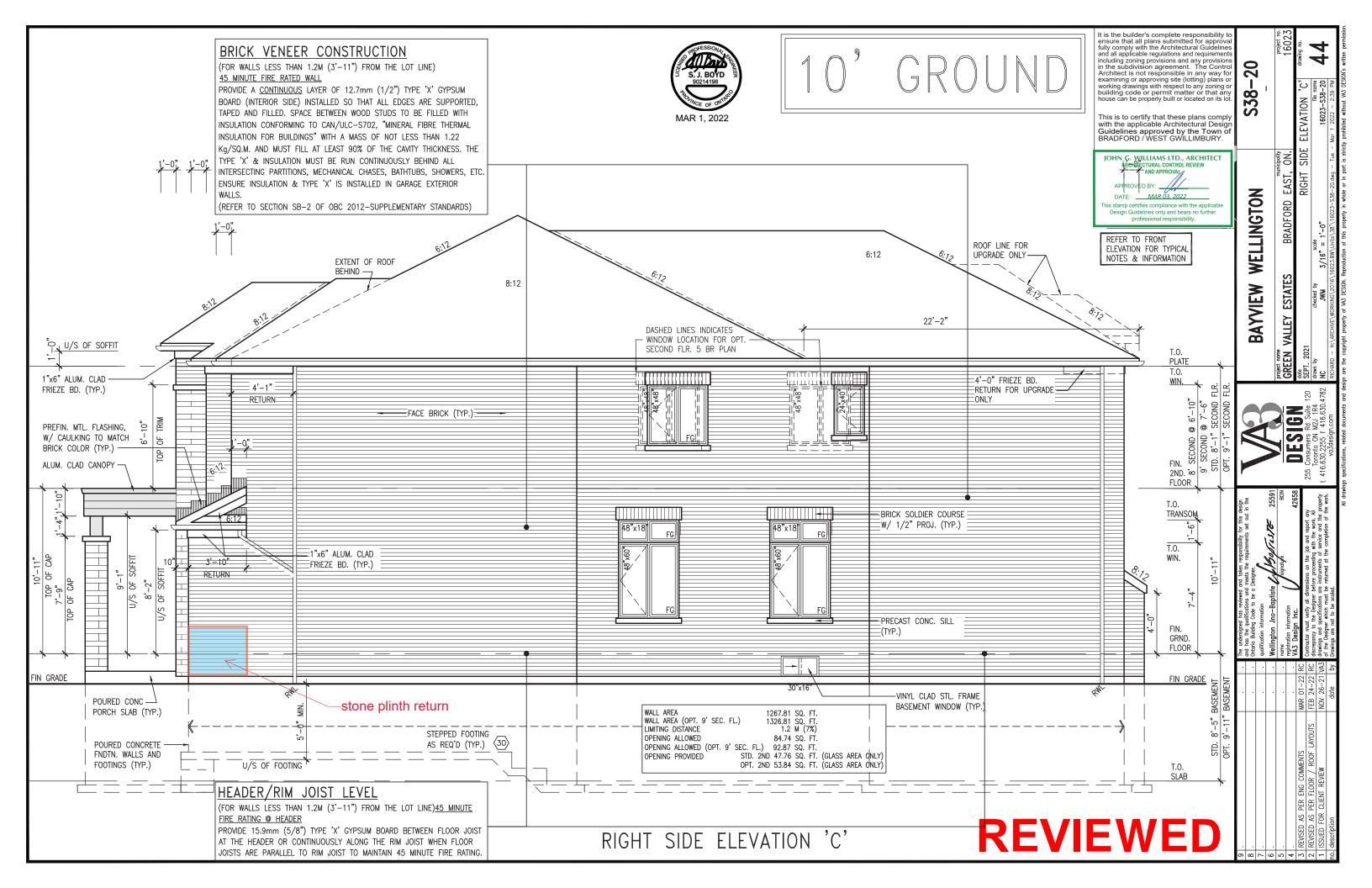












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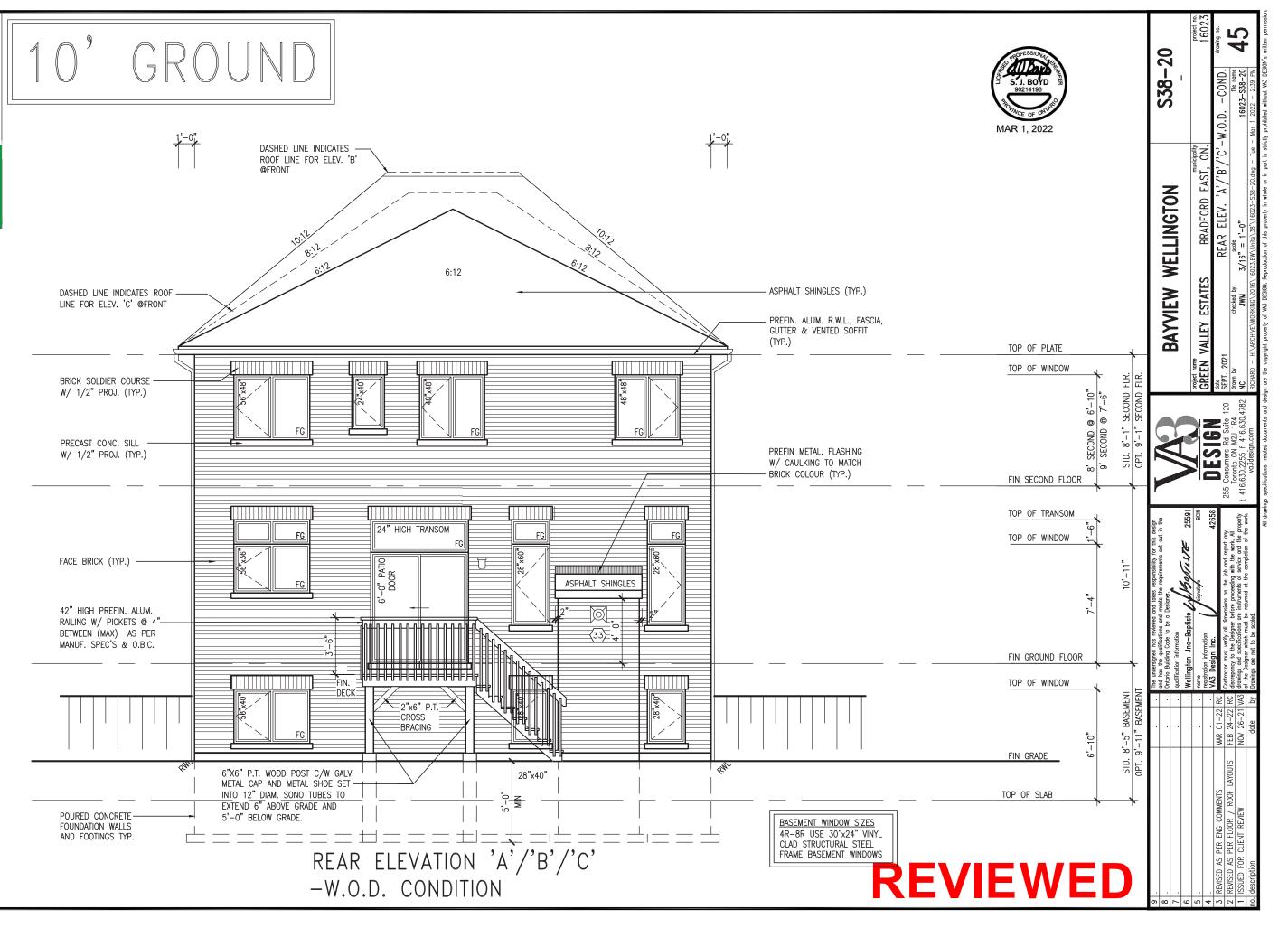
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03. 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



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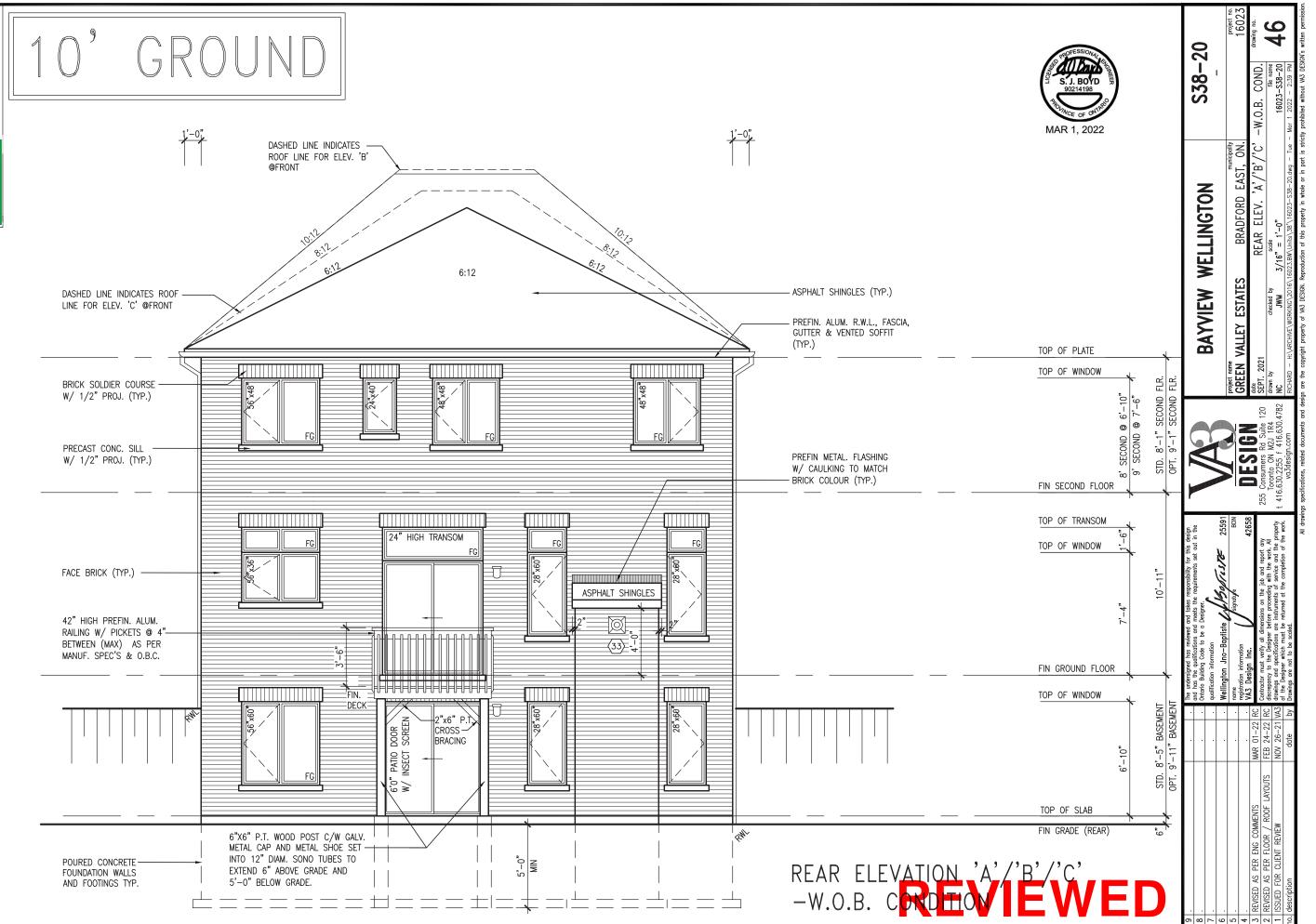
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

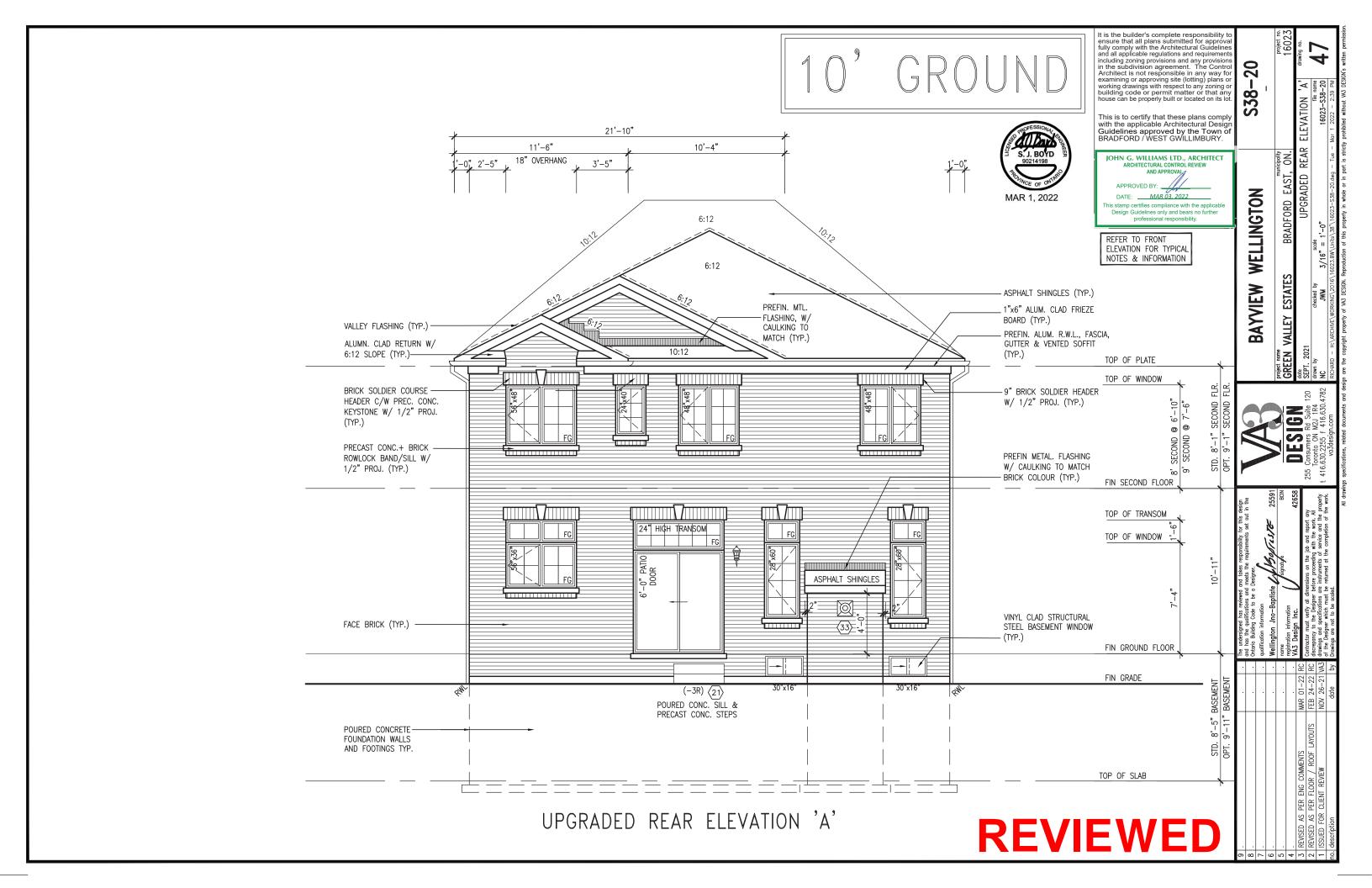
APPROVED BY:

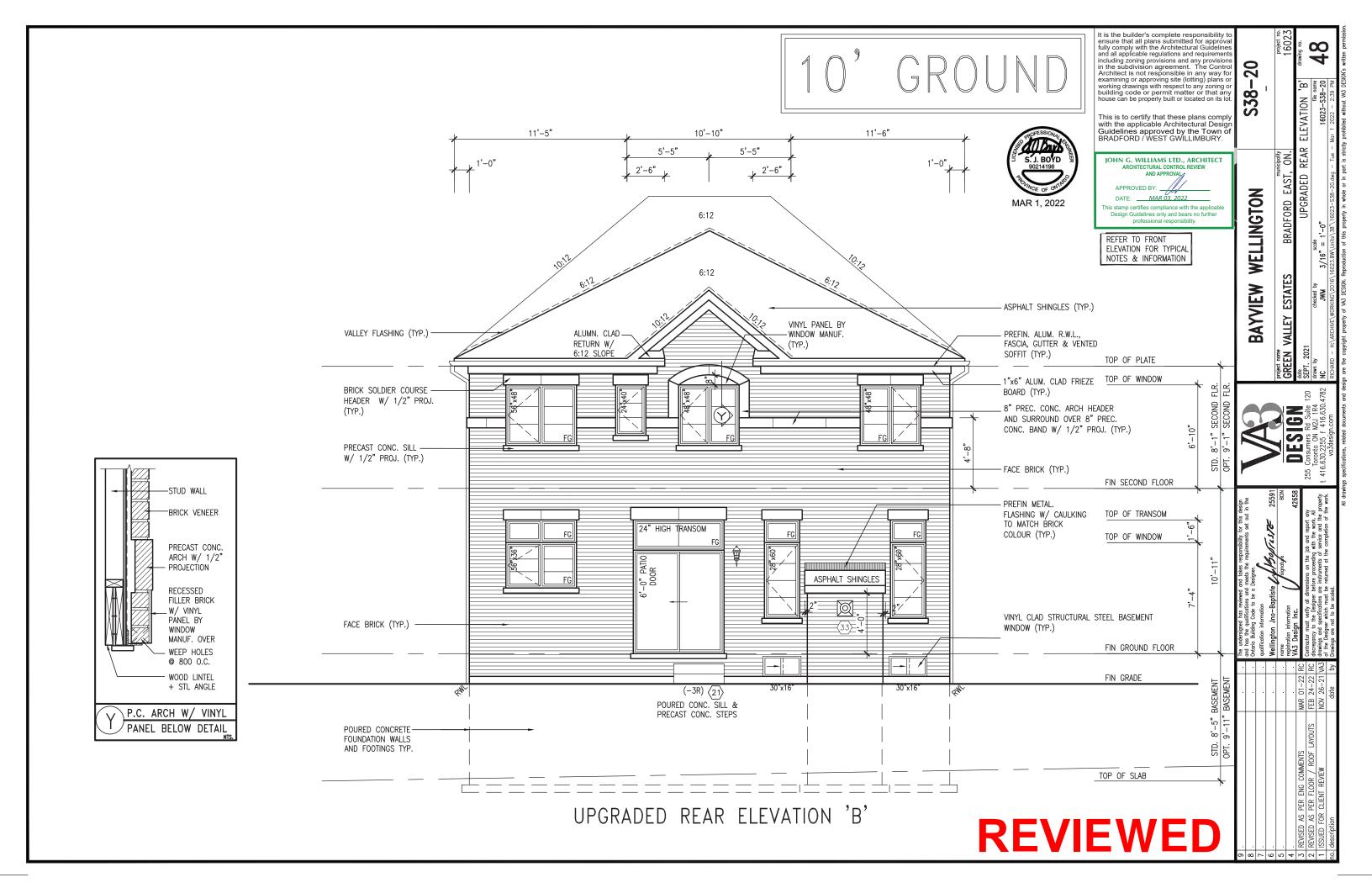
DATE: MAR 03. 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION







S.J. BOYD 90214198 MAR 1, 2022 49

ELEVATION '(file nor 16023–S38–2

S38-20

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

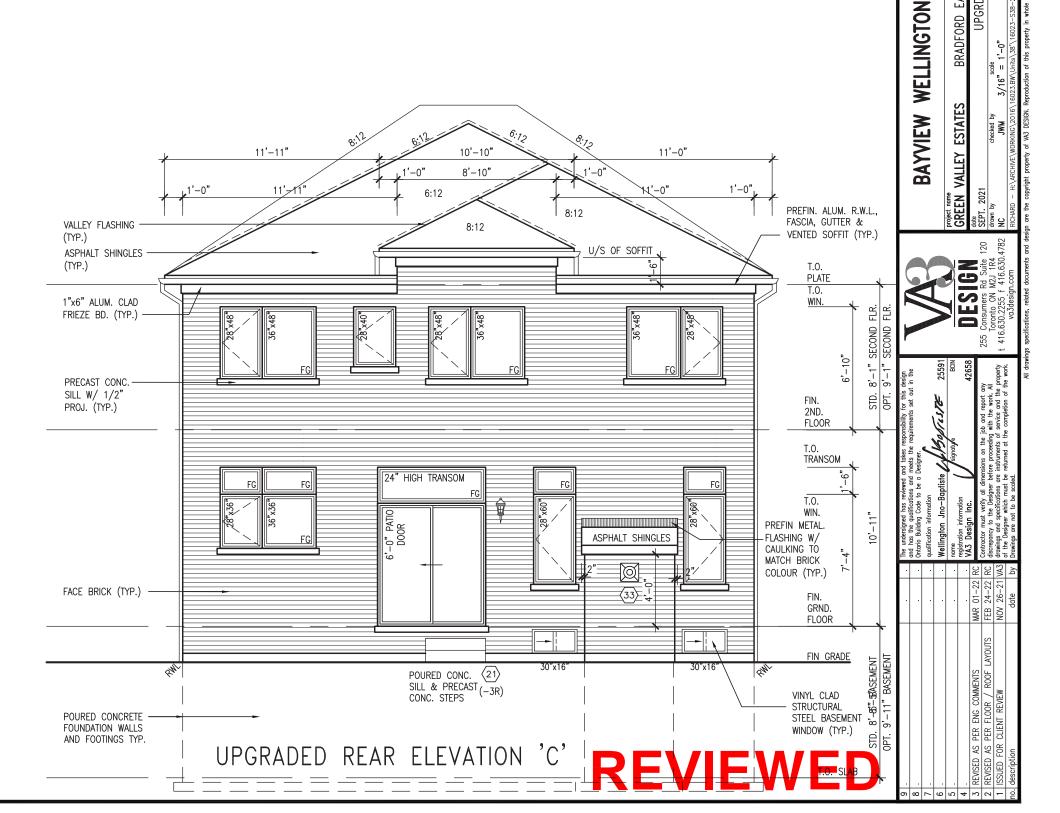
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: MAR 03. 2022

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



10° GROUND

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY:



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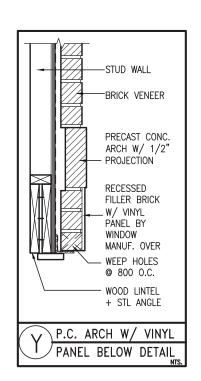
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

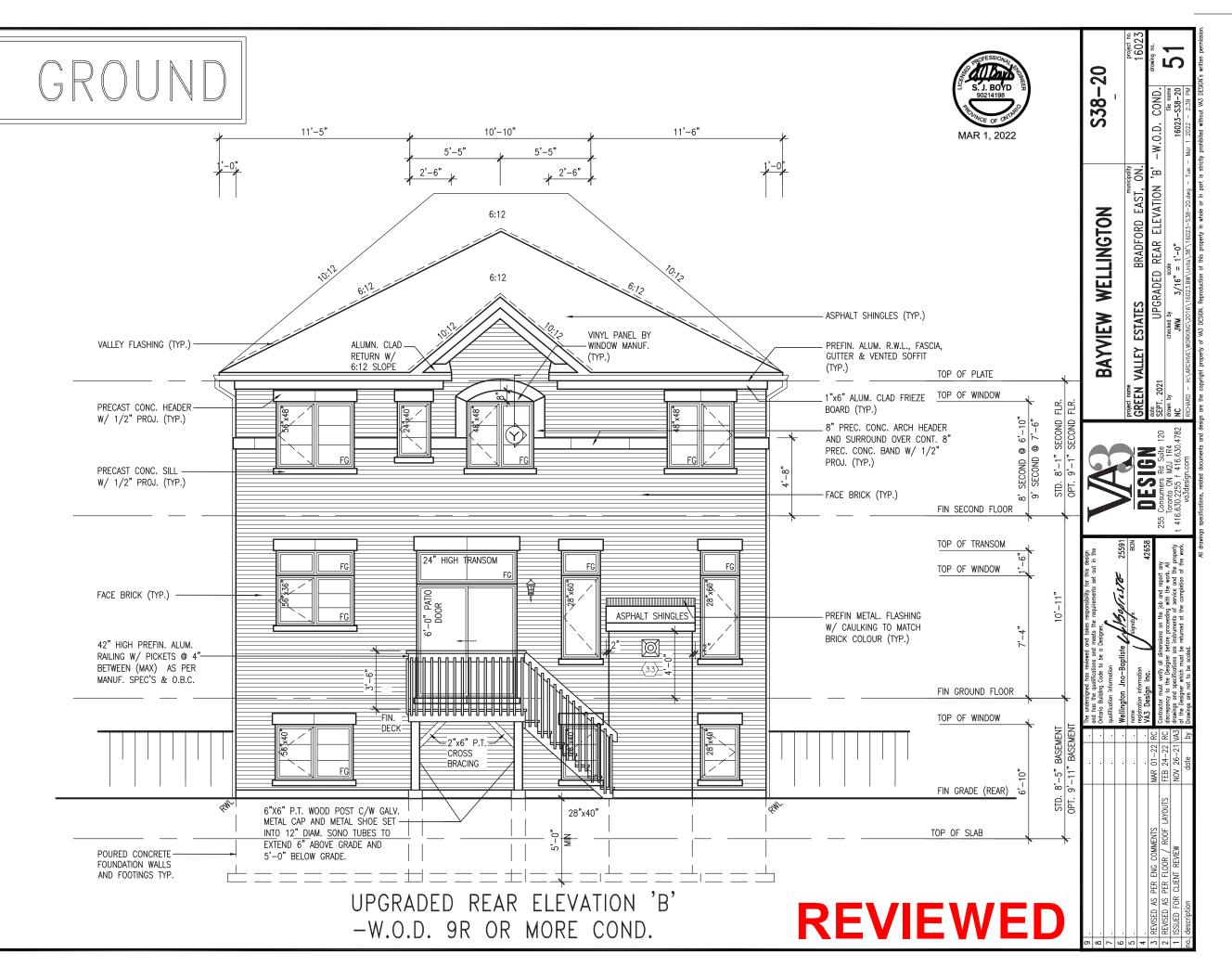
APPROVED BY:

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JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 03, 2022

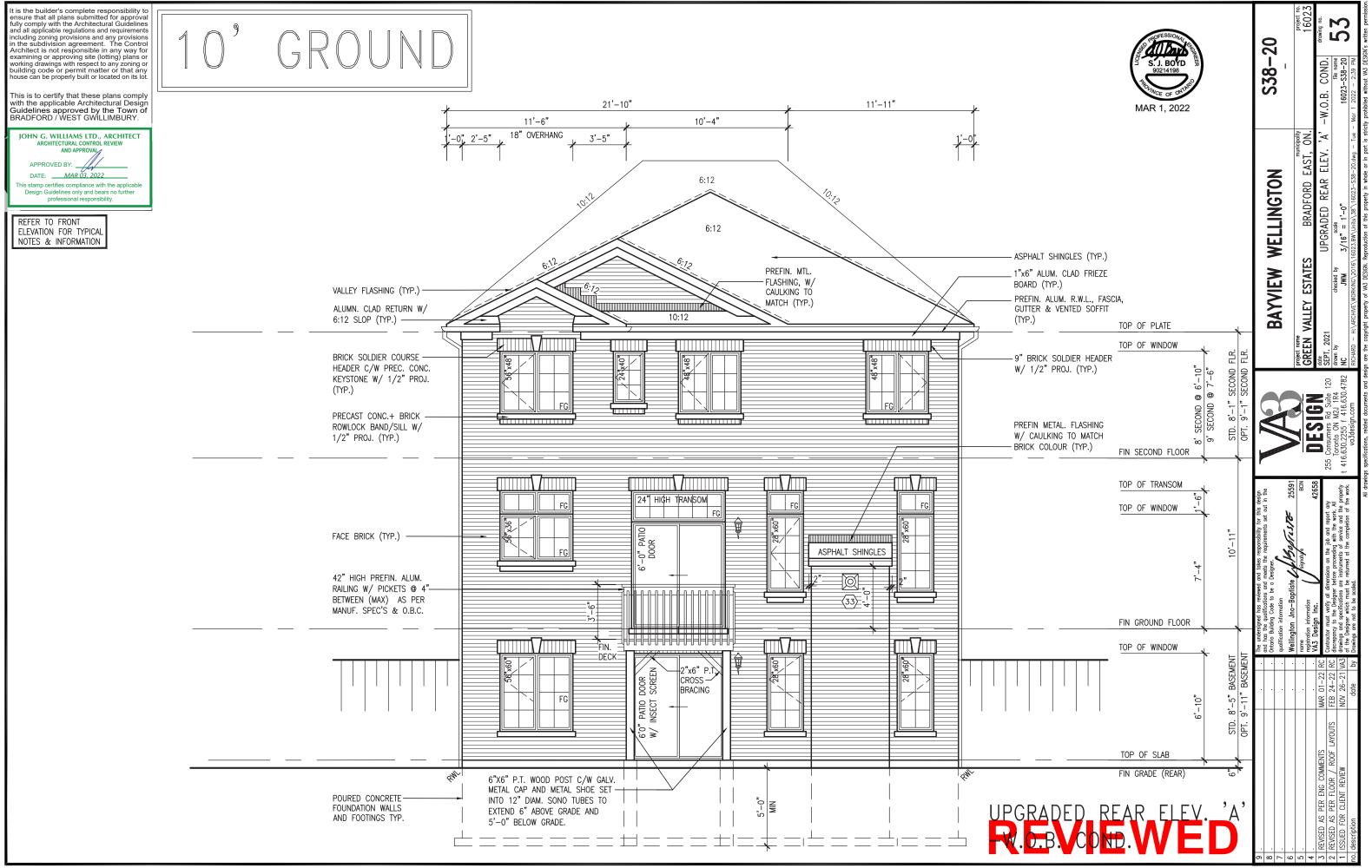
This stamp certifies compliance with the applicable Design Guidelines only and bears no further

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION





52



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

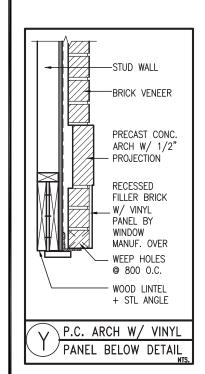
APPROVED BY:

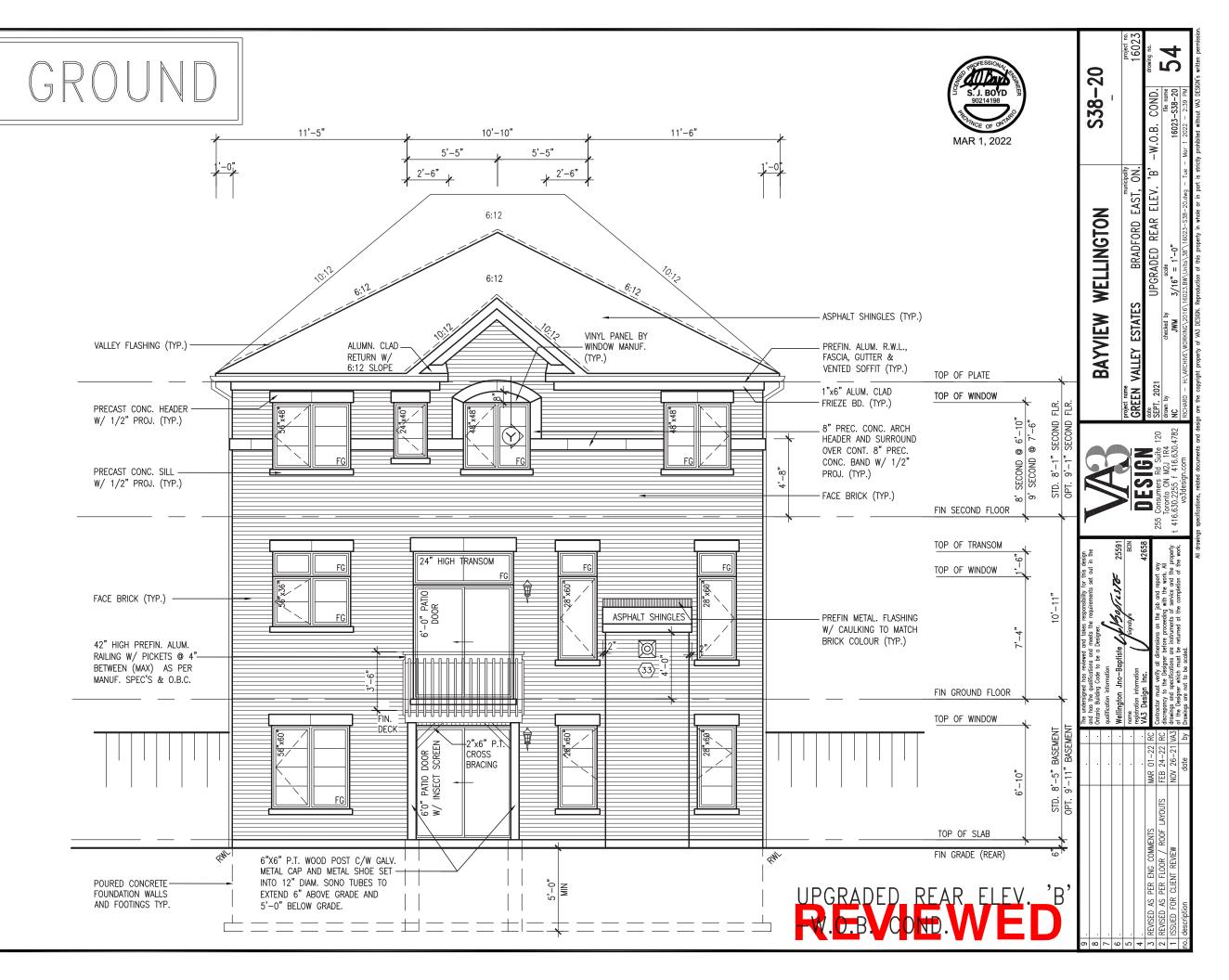
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MAR 03. 2022

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

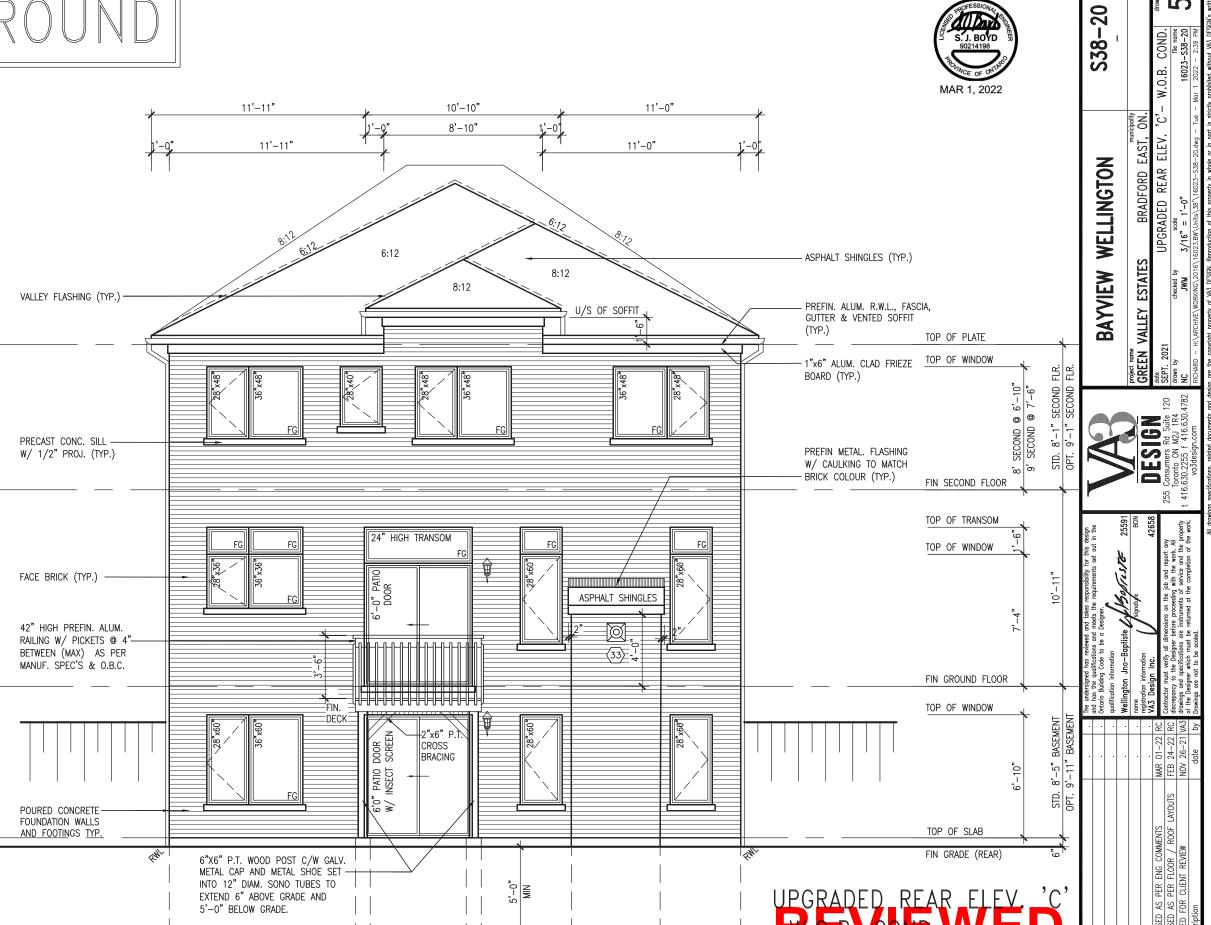
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DATE: MAR 03, 2022

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION





55

	UNINSULATED OPENIN	NGS (PER OBO	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBC	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A	ENERGY E	FFICIENCY - O	BC SB12	نے	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OB	C SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	1,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	677 S.F.	150.28 S.F.	22.20 %	SE	FRONT	688 S.F.	152.28 S.F.	22.13 %	E	FRONT	675 S.F.	166.50 S.F.	24.67 %
STD	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	STD	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	SEC	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
RADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	SADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	STD	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
UPGRADE	REAR	667 S.F.	168.55 S.F.	25.27 %	UPGF	REAR	667 S.F.	168.55 S.F.	25.27 %	8	REAR	667 S.F.	168.55 S.F.	25.27 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		STANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3878.00 S.F.	492.83 S.F.	12.71 %	NDA	TOTAL SQ. FT.	3889.00 S.F.	494.83 S.F.	12.72 %	ST	TOTAL SQ. FT.	3936.00 S.F.	509.05 S.F.	12.93 %
STA	TOTAL SQ. M.	360.27 S.M.	45.79 S.M.	12.71 %	STA	TOTAL SQ. M.	361.30 S.M.	45.97 S.M.	12.72 %		TOTAL SQ. M.	365.66 S.M.	47.29 S.M.	12.93 %
	UNINSULATED OPENIN	VGS (PER OBO	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENI	VGS (PER OBO	C. SB-12,3.1.1(7))
FL.	S38-20 ELEVATION A	ENERGY E	FFICIENCY - O	BC SB12	E.	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OB	C SB12
ပ္	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	_ [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SE.	FRONT	677 S.F.	150.28 S.F.	22.20 %	S.	FRONT	688 S.F.	152.28 S.F.	22.13 %	<u>ا</u> ا	FRONT	675 S.F.	166.50 S.F.	24.67 %
OPT.	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	OPT	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	SE	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
ADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	ADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	OPT.	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
UPGRADE	REAR	667 S.F.	168.55 S.F.	25.27 %	JPGF	REAR	667 S.F.	168.55 S.F.	25.27 %	8	REAR	667 S.F.	168.55 S.F.	25.27 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR L	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		TANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	3878.00 S.F.	502.16 S.F.	12.95 %	STANDAF	TOTAL SQ. FT.	3889.00 S.F.	504.16 S.F.	12.96 %	ST	TOTAL SQ. FT.	3936.00 S.F.	518.38 S.F.	13.17 %
STA	TOTAL SQ. M.	360.27 S.M.	46.65 S.M.	12.95 %	STA	TOTAL SQ. M.	361.30 S.M.	46.84 S.M.	12.96 %		TOTAL SQ. M.	365.66 S.M.	48.16 S.M.	13.17 %

	UNINSULATED OPENIN	VGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1((7))	UNINSULATED OPEN	IINGS (PER OB	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A WOD	ENERGY E	FFICIENCY - OF	BC SB12	نے	S38-20 ELEVATION B WOD	ENERGY E	FFICIENCY - OF	BC SB12	S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OF	BC SB12
<u>ن</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	. OPENING S.F.	PERCENTAGE
SE	FRONT	677 S.F.	150.28 S.F.	22.20 %	S	FRONT	688 S.F.	152.28 S.F.	22.13 %	FRONT	675 S.F.	166.50 S.F.	24.67 %
STD	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	ST	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
RADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	SADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
UPGRADE	REAR	794 S.F.	192.79 S.F.	24.28 %	UPGRADE	REAR	794 S.F.	192.79 S.F.	24.28 %	REAR	794 S.F.	192.79 S.F.	24.28 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	ANDARD RFA	* OPENINGS OMITTED AS PER	N	0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4005.00 S.F.	517.07 S.F.	12.91 %	ANDARD	TOTAL SQ. FT.	4016.00 S.F.	519.07 S.F.	12.93 %	TOTAL SQ. FT.	4063.00 S.F.	533.29 S.F.	13.13 %
STA	TOTAL SQ. M.	372.07 S.M.	48.04 S.M.	12.91 %	STA	TOTAL SQ. M.	373.10 S.M.	48.22 S.M.	12.93 %	TOTAL SQ. M.	377.46 S.M.	49.54 S.M.	13.13 %
	UNINSULATED OPENIN	VGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1((7))	UNINSULATED OPEN	<u>IINGS</u> (PER OB	C. SB-12,3.1.1(7))
Ŀ	S38-20 ELEVATION A WOD	ENERGY E	FFICIENCY - OF	BC SB12	Ŀ	S38-20 ELEVATION B WOD	ENERGY E	FFICIENCY - OF	BC SB12	S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OF	BC SB12
ان	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	. OPENING S.F.	PERCENTAGE
S.	FRONT	677 S.F.	150.28 S.F.	22.20 %	SS	FRONT	688 S.F.	152.28 S.F.	22.13 %	FRONT	675 S.F.	166.50 S.F.	24.67 %
OPT	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	P	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
GRADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	ADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
JPGF	REAR	794 S.F.	192.79 S.F.	24.28 %	UPGF	REAR	794 S.F.	192.79 S.F.	24.28 %	REAR	794 S.F.	192.79 S.F.	24.28 %
RD & REAR (* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	ANDARD RFAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	V	0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4005.00 S.F.	526.40 S.F.	13.14 %	ANDARD	TOTAL SQ. FT.	4016.00 S.F.	528.40 S.F.	13.16 %	TOTAL SQ. FT.	4063.00 S.F.	542.62 S.F.	13.36 %
STA	TOTAL SQ. M.	372.07 S.M.	48.90 S.M.	13.14 %	STA	TOTAL SQ. M.	373.10 S.M.	49.09 S.M.	13.16 %	TOTAL SQ. M.	377.46 S.M.	50.41 S.M.	13.36 %

	BAYVIEW WELLINGTON	S38-20 _
NEGIGN	Project name GREEN VALLEY ESTATES BRADFORD EAST, ON.	project no. 16023
255 Consumers Rd Suite 120	date SEPT. 2021	SB12 CHARTS drawing no.
Toronto ON M2J 1R4 .630.2255 f 416.630.4782	drown by checked by scale $NC JWN 3/16" = 1"-0"$	file name 16023–538–20
va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:39 PM	Mar 1 2022 - 2:39 PM



	UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - O	BC SB12	نے	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOB	ENERGY EI	FFICIENCY - OF	3C SB12
<u>.</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	<u>.</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] ,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SE	FRONT	677 S.F.	150.28 S.F.	22.20 %	S	FRONT	688 S.F.	152.28 S.F.	22.13 %	E	FRONT	675 S.F.	166.50 S.F.	24.67 %
ST	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	SEC	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
GRADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	NADE	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	STD	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
UPGF	REAR	883 S.F.	249.33 S.F.	28.24 %	UPGF	REAR	883 S.F.	249.33 S.F.	28.24 %	8	REAR	883 S.F.	249.33 S.F.	28.24 %
RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4094.00 S.F.	573.61 S.F.	14.01 %	ANDA	TOTAL SQ. FT.	4105.00 S.F.	575.61 S.F.	14.02 %	ST	TOTAL SQ. FT.	4152.00 S.F.	589.83 S.F.	14.21 %
STA	TOTAL SQ. M.	380.34 S.M.	53.29 S.M.	14.01 %	STA	TOTAL SQ. M.	381.36 S.M.	53.48 S.M.	14.02 %		TOTAL SQ. M.	385.73 S.M.	54.80 S.M.	14.21 %
	UNINSULATED OPENII	VGS (PER OBO	C. SB-12,3.1.1	(7))	<u> </u>	UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))		UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1(7))
근	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - O	BC SB12	7.	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OF	3C SB12		S38-20 ELEVATION C WOB	ENERGY EI	FFICIENCY - OF	3C SB12
ایر	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ا نے ا	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ر ا	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
I	FRONT	677 S.F.	150.28 S.F.	22.20 %] . [FRONT	688 S.F.	152.28 S.F.	22.13 %	3	FRONT	675 S.F.	166.50 S.F.	24.67 %
P	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	l P	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	SE	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
GRADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	PGRADE	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	OPT.	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
UPGR	REAR	883 S.F.	249.33 S.F.	28.24 %	JPGR	REAR	883 S.F.	249.33 S.F.	28.24 %	8	REAR	883 S.F.	249.33 S.F.	28.24 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		N & REAR I	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4094.00 S.F.	582.94 S.F.	14.24 %	STANDAR	TOTAL SQ. FT.	4105.00 S.F.	584.94 S.F.	14.25 %	ST/	TOTAL SQ. FT.	4152.00 S.F.	599.16 S.F.	14.43 %
STA	TOTAL SQ. M.	380.34 S.M.	54.16 S.M.	14.24 %	STA	TOTAL SQ. M.	381.36 S.M.	54.34 S.M.	14.25 %	1	TOTAL SQ. M.	385.73 S.M.	55.66 S.M.	14.43 %

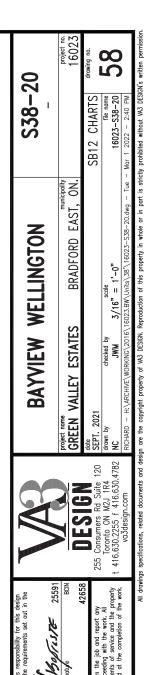
	UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))	UNINSULATED OPEN	NGS (PER OB	C. SB-12,3.1.1((7))
	S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OF	BC SB12	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	3C SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	1,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
];	FRONT	675 S.F.	166.50 S.F.	24.67 %	1	FRONT	675 S.F.	166.50 S.F.	24.67 %	FRONT	675 S.F.	166.50 S.F.	24.67 %
SEC	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %] SS	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
STD	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %	STD	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
8	REAR	667 S.F.	185.78 S.F.	27.85 %	& &	REAR	794 S.F.	212.44 S.F.	26.76 %	REAR	886 S.F.	270.11 S.F.	30.49 %
GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	GRADED REA	* OPENINGS OMITTED AS PER		0.00 S.F.	
l P	TOTAL SQ. FT.	3936.00 S.F.	526.28 S.F.	13.37 %	3	TOTAL SQ. FT.	4063.00 S.F.	552.94 S.F.	13.61 %	TOTAL SQ. FT.	4155.00 S.F.	610.61 S.F.	14.70 %
	TOTAL SQ. M.	365.66 S.M.	48.89 S.M.	13.37 %		TOTAL SQ. M.	377.46 S.M.	51.37 S.M.	13.61 %	TOTAL SQ. M.	386.01 S.M.	56.73 S.M.	14.70 %
	UNINSULATED OPENII	VGS (PER OBO	C. SB-12,3.1.1((7))		UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1(7))	UNINSULATED OPEN	NGS (PER OB	C. SB-12,3.1.1(7))
	S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OF	BC SB12	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OE	3C SB12
انے	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	نہ[ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
;	FRONT	675 S.F.	166.50 S.F.	24.67 %	.; LL	FRONT	675 S.F.	166.50 S.F.	24.67 %	FRONT	675 S.F.	166.50 S.F.	24.67 %
SE	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %	SE	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
OPT	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %	PT.	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
8	REAR	667 S.F.	185.78 S.F.	27.85 %	\ \ \	REAR	794 S.F.	212.44 S.F.	26.76 % ≈	REAR	883 S.F.	270.11 S.F.	30.59 %
GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		SRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	SRADED REAR	OT ENTITOO OMITTED TO TEN		0.00 S.F.	
UP(TOTAL SQ. FT.	3936.00 S.F.	535.61 S.F.	13.61 %	J. M.	TOTAL SQ. FT.	4063.00 S.F.	562.27 S.F.	13.84 %	TOTAL SQ. FT.	4152.00 S.F.	619.94 S.F.	14.93 %
	TOTAL SQ. M.	365.66 S.M.	49.76 S.M.	13.61 %		TOTAL SQ. M.	377.46 S.M.	52.24 S.M.	13.84 %	TOTAL SQ. M.	385.73 S.M.	57.59 S.M.	14.93 %

lity for this design ents set out in the			BAY	VIEW \	BAYVIEW WELLINGTON	z	S38-20	20
BCIN		project name GREEN	VALLEY	PEEN VALLEY ESTATES		BRADFORD EAST, ON.		project no. 16023
42000 nd report any	255 Consumers Rd Suite 120	dote SEPT. 2021	يا				SB12 CHARTS	drawing no.
the work. All ice and the property maletion of the work	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782	drawn by NC		checked by JWM	ecked by scale JWM 3/16" = 1'-0"		file name 16023-S38-20	27
	va3design.com	RICHARD -	H:\ARCHIVE\\	VORKING\2016\11	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\\16023-S38-20.dwg - Tue - Mar 1 2022 - 2:40 PM	38-20.dwg - Tue -	Mar 1 2022 - 2:40 PM	

	by	date	ption
	VA3	NOV 26-21 VA3	D FOR CLIENT REVIEW
Contractor must venity all aimensions on discrepancy to the Designer before process	RC	FEB 24-22 RC	ED AS PER FLOOR / ROOF LAYOUTS
ייייי פייייייייייייייייייייייייייייייי	RC	MAR 01-22 RC	ED AS PER ENG COMMENTS
registration information	•		
name	•		
Wellington Jno-Baptiste			
qualification information	•		
and has the qualifications and meets the Ontario Building Code to be a Designer.		•	
The undersigned has reviewed and takes			
	l		

	UNINSULATED OPENIN	IGS (PER OBC.	. SB-12,3.1.1(7	7))	ĺ	UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7	'))		UNINSULATED OPENIN	NGS (PER OBC.	SB-12,3.1.1(7	7))
į	S38-20 ELEVATION A WOB	ENERGY EI	FFICIENCY - OF	3C SB12	نے	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OE	BC SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	3C SB12
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	<u>ن</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	-0	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	677 S.F.	150.28 S.F.	22.20 %	SS	FRONT	688 S.F.	152.28 S.F.	22.13 %	L. 9	FRONT	675 S.F.	166.50 S.F.	24.67 %
STD	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %		LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	C. F	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
AADE IMEN	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	RADE EMEN	RIGHT SIDE	1260 S.F.	78.00 S.F.	6.19 %	S N	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
UPGRADE BASEMENT	REAR	918 S.F.	249.33 S.F.	27.16 %	UPGF BASE	REAR	918 S.F.	249.33 S.F.	27.16 %	STD SEMENT	REAR	918 S.F.	249.33 S.F.	27.16 %
& REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD REAR & BASI	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4129.00 S.F.	573.61 S.F.	13.89 %	NDA	TOTAL SQ. FT.	4140.00 S.F.	575.61 S.F.	13.90 %	TAND	TOTAL SQ. FT.	4187.00 S.F.	589.83 S.F.	14.09 %
STA	TOTAL SQ. M.	383.59 S.M.	53.29 S.M.	13.89 %	ZIS	TOTAL SQ. M.	384.62 S.M.	53.48 S.M.	13.90 %	S	TOTAL SQ. M.	388.98 S.M.	54.80 S.M.	14.09 %
	UNINSULATED OPENIN	I <u>GS</u> (per obc.	. SB-12,3.1.1(7	7))		UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7	'))		UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7	7))
귿	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - OF	BC SB12	ij	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OE	BC SB12),,	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	3C SB12
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن:	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE),_(ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	677 S.F.	150.28 S.F.	22.20 %	S.	FRONT	688 S.F.	152.28 S.F.	22.13 %	نے[FRONT	675 S.F.	166.50 S.F.	24.67 %
OPT.	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	P T	LEFT SIDE	1274 S.F.	96.00 S.F.	7.54 %	S.	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
SADE :	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	ADE :	RIGHT SIDE	1260 S.F.	87.33 S.F.	6.93 %	. F	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
UPGRADE BASEMEN	REAR	918 S.F.	249.33 S.F.	27.16 %	UPGF BASE	REAR	918 S.F.	249.33 S.F.	27.16 %	OPT. SEMENT	REAR	918 S.F.	249.33 S.F.	27.16 %
& REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		₹D & REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD REAR & BASI	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4129.00 S.F.	582.94 S.F.	14.12 %	NDAI	TOTAL SQ. FT.	4140.00 S.F.	584.94 S.F.	14.13 %	TAND	TOTAL SQ. FT.	4187.00 S.F.	599.16 S.F.	14.31 %
STA	TOTAL SQ. M.	383.59 S.M.	54.16 S.M.	14.12 %	STÀ	TOTAL SQ. M.	384.62 S.M.	54.34 S.M.	14.13 %	S	TOTAL SQ. M.	388.98 S.M.	55.66 S.M.	14.31 %

	UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7	7))
	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
,0-,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FL. 9'	FRONT	675 S.F.	166.50 S.F.	24.67 %
SEC. F	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
SE IT	RIGHT SIDE	1278 S.F.	78.00 S.F.	6.10 %
STE	REAR	918 S.F.	270.11 S.F.	29.42 %
UPGRADED REAR & STD : BASEMENT	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
PGRA	TOTAL SQ. FT.	4187.00 S.F.	610.61 S.F.	14.58 %
Ď	TOTAL SQ. M.	388.98 S.M.	56.73 S.M.	14.58 %
	UNINSULATED OPENIN	IGS (PER OBC	. SB-12,3.1.1(7	7))
	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
9'-0"	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FL. 9	FRONT	675 S.F.	166.50 S.F.	24.67 %
SEC. F	LEFT SIDE	1316 S.F.	96.00 S.F.	7.29 %
.r SE	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
OP-	REAR	918 S.F.	270.11 S.F.	29.42 %
DED REAR & OPT. S BASEMENT	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
UPGRADED	TOTAL SQ. FT.	4187.00 S.F.	619.94 S.F.	14.81 %
J)	TOTAL SQ. M.	388.98 S.M.	57.59 S.M.	14.81 %



	UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))
نے	S38-20 ELEVATION A	ENERGY E	FFICIENCY - O	BC SB12	نے	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	3C SB12
<u>.</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] ,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SE	FRONT	708 S.F.	150.28 S.F.	21.23 %	SE	FRONT	719 S.F.	152.28 S.F.	21.18 %] <u></u>	FRONT	706 S.F.	166.50 S.F.	23.58 %
STD	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	ST	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	SE	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
UPGRADE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	ADE.	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	ST	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %
UPGF	REAR	698 S.F.	168.55 S.F.	24.15 %	UPGF	REAR	698 S.F.	168.55 S.F.	24.15 %	8	REAR	698 S.F.	168.55 S.F.	24.15 %
RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4060.00 S.F.	492.83 S.F.	12.14 %	NDA	TOTAL SQ. FT.	4071.00 S.F.	494.83 S.F.	12.15 %	S	TOTAL SQ. FT.	4122.00 S.F.	509.05 S.F.	12.35 %
ST/	TOTAL SQ. M.	377.18 S.M.	45.79 S.M.	12.14 %	ST	TOTAL SQ. M.	378.21 S.M.	45.97 S.M.	12.15 %]	TOTAL SQ. M.	382.94 S.M.	47.29 S.M.	12.35 %
	UNINSULATED OPENII	NGS (PER OBO	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	VGS (PER OBO	C. SB-12,3.1.1(7))
Ŀ.	S38-20 ELEVATION A	ENERGY E	FFICIENCY - O	BC SB12	근	S38-20 ELEVATION B	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C	ENERGY E	FFICIENCY - OF	SC SB12
ن	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	نے[ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
<u>.</u> 	FRONT	708 S.F.	150.28 S.F.	21.23 %	\[\bar{\c}{\c}\]	FRONT	719 S.F.	152.28 S.F.	21.18 %	ا ن	FRONT	706 S.F.	166.50 S.F.	23.58 %
OPT	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	P	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	S	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
PGRADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	ADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	OPT.	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %
JPGF	REAR	698 S.F.	168.55 S.F.	24.15 %	JPGF	REAR	698 S.F.	168.55 S.F.	24.15 %	8	REAR	698 S.F.	168.55 S.F.	24.15 %
O & REAR O	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR I	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4060.00 S.F.	502.16 S.F.	12.37 %	STANDAR	TOTAL SQ. FT.	4071.00 S.F.	504.16 S.F.	12.38 %	ST	TOTAL SQ. FT.	4122.00 S.F.	518.38 S.F.	12.58 %
ĭ	TOTAL SQ. M.	377.18 S.M.	46.65 S.M.	12.37 %]¥]	TOTAL SQ. M.	378.21 S.M.	46.84 S.M.	12.38 %	1	TOTAL SQ. M.	382.94 S.M.	48.16 S.M.	12.58 %

	LININGLII ATED ODENIIA	100				LININICHI ATED ODENII	NOC :			_	LINIMOLII ATED ODENII	NOC :		
	<u>UNINSULATED OPENII</u>	<u>NGS</u> (PER OBC	C. SB-12,3.1.1((7))	L.,	<u>UNINSULATED OPENII</u>	NGS (PER OB	C. SB-12,3.1.1(7))		<u>UNINSULATED OPENI</u>	NGS (PER OB	C. SB-12,3.1.1(7	7))
긭	S38-20 ELEVATION A WOD		fficiency — oi		긭	S38-20 ELEVATION B WOD		EFFICIENCY - OF			S38-20 ELEVATION C WOD		FFICIENCY - OB	
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ن	ELEVATION	WALL AREA S.F.	. OPENING S.F.	PERCENTAGE	<u>.</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	708 S.F.	150.28 S.F.	21.23 %	S	FRONT	719 S.F.	152.28 S.F.	21.18 %		FRONT	706 S.F.	166.50 S.F.	23.58 %
STD	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	SI	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %		LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
UPGRADE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	JPGRADE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	STD	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %
UPGI	REAR	825 S.F.	192.79 S.F.	23.37 %	UPG	REAR	825 S.F.	192.79 S.F.	23.37 %	~ ~	REAR	825 S.F.	192.79 S.F.	23.37 %
RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4187.00 S.F.	517.07 S.F.	12.35 %	ANDARD	TOTAL SQ. FT.	4198.00 S.F.	519.07 S.F.	12.36 %	ST	TOTAL SQ. FT.	4249.00 S.F.	533.29 S.F.	12.55 %
ST/	TOTAL SQ. M.	388.98 S.M.	48.04 S.M.	12.35 %	ST	TOTAL SQ. M.	390.00 S.M.	48.22 S.M.	12.36 %		TOTAL SQ. M.	394.74 S.M.	49.54 S.M.	12.55 %
	UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1((7))		<u>UNINSULATED OPENII</u>	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))
Ŀ	S38-20 ELEVATION A WOD	ENERGY EI	FFICIENCY - OI	BC SB12	Ŀ	S38-20 ELEVATION B WOD	ENERGY E	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OB	C SB12
ပ္ပ	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان [ELEVATION	WALL AREA S.F.	. OPENING S.F.	PERCENTAGE	ر [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
S.	FRONT	708 S.F.	150.28 S.F.	21.23 %	S.	FRONT	719 S.F.	152.28 S.F.	21.18 %	<u>ا</u> ا	FRONT	706 S.F.	166.50 S.F.	23.58 %
OPT	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	OPT	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	SE(LEFT SIDE	1340 S.F.	96.00 S.F.	7.16 %
RADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	ADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	OPT.	RIGHT SIDE	1278 S.F.	87.33 S.F.	6.83 %
UPGRADE	REAR	825 S.F.	192.79 S.F.	23.37 %	UPGRADE	REAR	825 S.F.	192.79 S.F.	23.37 %	ಇ ~	REAR	825 S.F.	192.79 S.F.	23.37 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4187.00 S.F.	526.40 S.F.	12.57 %	STANDARD	TOTAL SQ. FT.	4198.00 S.F.	528.40 S.F.	12.59 %		TOTAL SQ. FT.	4149.00 S.F.	542.62 S.F.	13.08 %
STA	TOTAL SQ. M.	388.98 S.M.	48.90 S.M.	12.57 %	STA	TOTAL SQ. M.	390.00 S.M.	49.09 S.M.	12.59 %		TOTAL SQ. M.	385.45 S.M.	50.41 S.M.	13.08 %

S38-20

BAYVIEW WELLINGTON

BAYVIEW W	project name	GREEN VALLET ESTATES	date SEPT. 2021	drawn by checked by	NC JWM 3/	BICHABN = H-\ ABCHIVE\ WORKING\ 2016\ 1602
		7 1 1 1 1	255 Consumers Rd Suite 120	Toronto ON M2J 1R4	t 416.630.2255 f 416.630.4782	va3desian.com
gn the 5591	BCIN	2658		-	work	

\		1		255 Consumers Rd St. Toronto ON M2J t 416.630.2255 f 416.	O'COCESION O
quirements set out in the	offiste 25591	BCIN	42658	 job and report any ng with the work. All of service and the property the completion of the work. 	

qualification i	. Official building code to be a pesigner.	nformation	Wellington Jno-Baptiste 11 John 1876 255	Signative	Iformation	1 V V V V V V V V V V V V V V V V V V V	,	the second of th	Contractor must verify all dimensions on the job and report any	discrepancy to the Designer before proceeding with the work. All	VA3 drawings and specifications are instruments of service and the proper	of the Designer which must be returned at the completion of the wor	a which make the retained at the completion of the world
	or anon furning original	qualification information	Wellington Jno-Ba	name	registration information	VA3 Design Inc	the pesign inc.	2	Contractor must venity a	discrepancy to the Desig	drawings and specificatio	of the Decimer which m	III IIIIIII IIIIIIIII IIIIIIIIIIIIIIII
				٠			υď	2		2	VA3	2	

	UNINSULATED OPENII	NGS (PER OB	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENII	VGS (PER OBO	C. SB-12,3.1.1((7))
نے	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - O	BC SB12	نے	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - OI	3C SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
<u>ن</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	<u>ن</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	1,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SE	FRONT	708 S.F.	150.28 S.F.	21.23 %	SE	FRONT	719 S.F.	152.28 S.F.	21.18 %	E	FRONT	706 S.F.	166.50 S.F.	23.58 %
STD	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	J∏	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %] 	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
SADE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	MDE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	ST	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %
UPGRADE	REAR	918 S.F.	249.33 S.F.	27.16 %	UPGF	REAR	918 S.F.	249.33 S.F.	27.16 %	88	REAR	918 S.F.	249.33 S.F.	27.16 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		RD & REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4280.00 S.F.	573.61 S.F.	13.40 %	NDAI	TOTAL SQ. FT.	4291.00 S.F.	575.61 S.F.	13.41 %	SI	TOTAL SQ. FT.	4342.00 S.F.	589.83 S.F.	13.58 %
STA	TOTAL SQ. M.	397.62 S.M.	53.29 S.M.	13.40 %	STA	TOTAL SQ. M.	398.64 S.M.	53.48 S.M.	13.41 %]	TOTAL SQ. M.	403.38 S.M.	54.80 S.M.	13.58 %
	UNINSULATED OPENII	VGS (PER OBO	C. SB-12,3.1.1	(7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENII	VGS (PER OBO	C. SB-12,3.1.1((7))
ij	S38-20 ELEVATION A WOB	ENERGY E	FFICIENCY - 0	BC SB12	Ŀ	S38-20 ELEVATION B WOB	ENERGY E	FFICIENCY - O	3C SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12
<u>ن</u>	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ان [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ندا	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	708 S.F.	150.28 S.F.	21.23 %	S.	FRONT	719 S.F.	152.28 S.F.	21.18 %	<u>ا</u> ا	FRONT	706 S.F.	166.50 S.F.	23.58 %
Ю	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	P	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	S	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
ADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	RADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	OPT.	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %
UPGRADE	REAR	918 S.F.	249.33 S.F.	27.16 %	JPGR	REAR	918 S.F.	249.33 S.F.	27.16 %	8	REAR	918 S.F.	249.33 S.F.	27.16 %
& REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		N & REAR I	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ANDARD REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4280.00 S.F.	582.94 S.F.	13.62 %	STANDAF	TOTAL SQ. FT.	4291.00 S.F.	584.94 S.F.	13.63 %	ST	TOTAL SQ. FT.	4342.00 S.F.	599.16 S.F.	13.80 %
STA	TOTAL SQ. M.	397.62 S.M.	54.16 S.M.	13.62 %	STA	TOTAL SQ. M.	398.64 S.M.	54.34 S.M.	13.63 %	1	TOTAL SQ. M.	403.38 S.M.	55.66 S.M.	13.80 %

	UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))		UNINSULATED OPENI	NGS (PER OBO	C. SB-12,3.1.1(7))
	S38-20 ELEVATION C		FFICIENCY - OF	,		S38-20 ELEVATION C WOD	 -	FFICIENCY - OI	. ,,		S38-20 ELEVATION C WOB		FFICIENCY - OE	
,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] , [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE] ,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
[문]	FRONT	706 S.F.	166.50 S.F.	23.58 %	[FRONT	706 S.F.	166.50 S.F.	23.58 %	E	FRONT	706 S.F.	166.50 S.F.	23.58 %
SEC.	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %	SE	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %		LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
STD	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %	STD	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %	SI	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %
8	REAR	698 S.F.	185.78 S.F.	26.62 %	\& \\\\\	REAR	825 S.F.	212.44 S.F.	25.75 %	\ \ \ \	REAR	918 S.F.	270.11 S.F.	29.42 %
UPGRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
B	TOTAL SQ. FT.	4122.00 S.F.	526.28 S.F.	12.77 %] 🖺	TOTAL SQ. FT.	4249.00 S.F.	552.94 S.F.	13.01 %] 🖺	TOTAL SQ. FT.	4342.00 S.F.	610.61 S.F.	14.06 %
	TOTAL SQ. M.	382.94 S.M.	48.89 S.M.	12.77 %		TOTAL SQ. M.	394.74 S.M.	51.37 S.M.	13.01 %	1	TOTAL SQ. M.	403.38 S.M.	56.73 S.M.	14.06 %
	UNINSULATED OPENII	VGS (PER OBC	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1((7))		UNINSULATED OPENI	NGS (PER OB	C. SB-12,3.1.1(7))
	S38-20 ELEVATION C	ENERGY EI	FFICIENCY - OF	BC SB12		S38-20 ELEVATION C WOD	ENERGY E	FFICIENCY - OI	BC SB12		S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OE	C SB12
] ز_	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ا زـ [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ا [ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
(; L	FRONT	706 S.F.	166.50 S.F.	23.58 %	i.	FRONT	706 S.F.	166.50 S.F.	23.58 %	<u>ا</u>	FRONT	706 S.F.	166.50 S.F.	23.58 %
SEC.	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %	SE.	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %	J.S.	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
OPT	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %	OPT.	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %	P.	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %
સ ~	REAR	698 S.F.	185.78 S.F.	26.62 %	શ્ર ~	REAR	825 S.F.	212.44 S.F.	25.75 %	ર ~	REAR	918 S.F.	270.11 S.F.	29.42 %
JPGRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADED REAR	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		GRADED REAF	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
J. J.	TOTAL SQ. FT.	4122.00 S.F.	535.61 S.F.	12.99 %] j	TOTAL SQ. FT.	4249.00 S.F.	562.27 S.F.	13.23 %]]	TOTAL SQ. FT.	4342.00 S.F.	619.94 S.F.	14.28 %
	TOTAL SQ. M.	382.94 S.M.	49.76 S.M.	12.99 %		TOTAL SQ. M.	394.74 S.M.	52.24 S.M.	13.23 %		TOTAL SQ. M.	403.38 S.M.	57.59 S.M.	14.28 %

BAYVIEW W	GREEN VALLEY ESTATES	date SEPT. 2021	drawn by checked by NC JWM 3/	RICHARD - H:\ARCHIVE\WORKING\2016\1602:
	PECICA	255 Consumers Rd Suite 120	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782	va3design.com
t design t in the 25591	BCIN	42638 any	All e property the work	

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S38-20

BAYVIEW WELLINGTON

Ontario Building Code to be a Designer.	ner.
qualification information	1:1
Wellington Jno-Baptiste // 190/1.57	1150/1657E 25591
name	signaty/e BCIN
registration information	42658
TAS Design IIIe.	42000
Contractor must verify all dimensions on the job and report any	s on the job and report any
discrepancy to the Designer before proceeding with the work. All	proceeding with the work. All
drawings and specifications are instruments of service and the property	ruments of service and the property
of the Designer which must be returned at the completion of the work.	rned at the completion of the work.
Drawings are not to be scaled	

The undersigned has reviewed and takes responsibility to and has the qualifications and meets the requirements Ontario Building Code to be a Designer.	qualification information	Wellington Jno-Baptiste 1/4/50/1/5/	name signature	registration information	The Design like:	Contractor must verify all dimensions on the job and ra discrepancy to the Designer before proceeding with the	NOV 26_21 VA3 drawings and specifications are instruments of service of
						RC	VA.3
					MAR 01-22 RC	FEB 24-22 RC	26-21
					MAR	FEB	NOV

	UNINSULATED OPENIN	IGS (PER ORC	SR_12 3 1 1/7))	UNINSULATED OPENIN	IGS (PER ORC	SR_12 3 1 1/7))		UNINSULATED OPENIN	IGS (PER ORC	SR_12 3 1 1(7)))
<u></u>	S38-20 ELEVATION A WOB		FFICIENCY - OB		S38-20 ELEVATION B WOB		FFICIENCY - OB			S38-20 ELEVATION C WOB		FICIENCY - OB	
i.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE :	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	,0-,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
SEC.	FRONT	708 S.F.	150.28 S.F.	21.23 %	FRONT	719 S.F.	152.28 S.F.	21.18 %	6	FRONT	706 S.F.	166.50 S.F.	23.58 %
STD	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	C. FI	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
RADE	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 % BN WAR	RIGHT SIDE	1320 S.F.	78.00 S.F.	5.91 %	STD SE(MENT	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82 %
UPGRADE S BASEMENT	REAR	950 S.F.	249.33 S.F.	26.25 % ISAN	REAR	950 S.F.	249.33 S.F.		~ 5		950 S.F.	249.33 S.F.	26.25 %
& REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	RD & REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD REAR 8 BAS	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4312.00 S.F.	573.61 S.F.	13.30 %	TOTAL SQ. FT.	4323.00 S.F.	575.61 S.F.	13.32 %	TAND	TOTAL SQ. FT.	4374.00 S.F.	589.83 S.F.	13.48 %
ST/	TOTAL SQ. M.	400.59 S.M.	53.29 S.M.	13.30 %	TOTAL SQ. M.	401.62 S.M.	53.48 S.M.	13.32 %	S	TOTAL SQ. M.	406.35 S.M.	54.80 S.M.	13.48 %
	UNINSULATED OPENIN	IGS (PER OBC.	. SB-12,3.1.1(7))	UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7))		UNINSULATED OPENIN	IGS (PER OBC.	SB-12,3.1.1(7)))
ij	S38-20 ELEVATION A WOB		FFICIENCY - OB	4	S38-20 ELEVATION B WOB		FFICIENCY - OB)"	S38-20 ELEVATION C WOB	ENERGY EF	FICIENCY - OB	C SB12
SEC.	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE ;	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE),-(ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	708 S.F.	150.28 S.F.	21.23 %	FRONT	719 S.F.	152.28 S.F.	21.18 %	۲.	FRONT	706 S.F.	166.50 S.F.	23.58 %
OPT.	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	LEFT SIDE	1334 S.F.	96.00 S.F.	7.20 %	C. F	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97 %
ADE MEN	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 % SADE	RIGHT SIDE	1320 S.F.	87.33 S.F.	6.62 %	SE	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52 %
UPGRADE BASEMENT	REAR	950 S.F.	249.33 S.F.	26.25 % SA	REAR	950 S.F.	249.33 S.F.	26.25 %	OPT. SEMENT	REAR	950 S.F.	249.33 S.F.	26.25 %
& REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	3D & REAR 9'-0"	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		ARD REAR & BASI	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
STANDARD	TOTAL SQ. FT.	4312.00 S.F.	582.94 S.F.	13.52 %	TOTAL SQ. FT.	4323.00 S.F.	584.94 S.F.	13.53 %	TAND.	TOTAL SQ. FT.	4374.00 S.F.	599.16 S.F.	13.70 %
STA	TOTAL SQ. M.	400.59 S.M.	54.16 S.M.	13.52 % ፟፟	TOTAL SQ. M.	401.62 S.M.	54.34 S.M.	13.53 %	S	TOTAL SQ. M.	406.35 S.M.	55.66 S.M.	13.70 %

	LINUNCLII ATED ODENIA	100			
	<u>UNINSULATED OPENIN</u>	IGS (PER OBC	. SB-12,3.1.1(7	"))	
:_	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	BC SB12	
9,-0,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT.	AGE
<u>F</u>	FRONT	706 S.F.	166.50 S.F.	23.58	%
SEC. F	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97	%
	RIGHT SIDE	1340 S.F.	78.00 S.F.	5.82	%
SEME	REAR	950 S.F.	270.11 S.F.	28.43	%
UPGRADED REAR & STD : BASEMENT	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
PGRA	TOTAL SQ. FT.	4374.00 S.F.	610.61 S.F.	13.96	%
5	TOTAL SQ. M.	406.35 S.M.	56.73 S.M.	13.96	%
	<u>UNINSULATED</u> OPENIN	I <u>GS</u> (per obc	. SB-12,3.1.1(7	"))	
	S38-20 ELEVATION C WOB	ENERGY E	FFICIENCY - OF	SC SB12	
9,-0,	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT.	AGE
<u>-</u>	FRONT	706 S.F.	166.50 S.F.	23.58	%
SEC. F	LEFT SIDE	1378 S.F.	96.00 S.F.	6.97	%
l. F	RIGHT SIDE	1340 S.F.	87.33 S.F.	6.52	%
R & OPT. BASEMENT	REAR	950 S.F.	270.11 S.F.	28.43	%
UPGRADED REAR & BAS	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
GRA	TOTAL SQ. FT.	4374.00 S.F.	619.94 S.F.	14.17	%

BAYVIEW W	GREEN VALLEY ESTATES	2021	y checked by	/S MWL 3/	RICHARD - H:\ARCHIVE\WORKING\2016\16023
	project name GREEN	dote SEPT. 2021	drawn by	S	RICHAR
	LCICN	LEVIGN 255 Consumers Rd Suite 120	Foronto ON M2J 1R4	416.630.2255 f 416.630.4782	va3design.com
	<u> </u>	255 Consu	Toron	t 416.630.	DA

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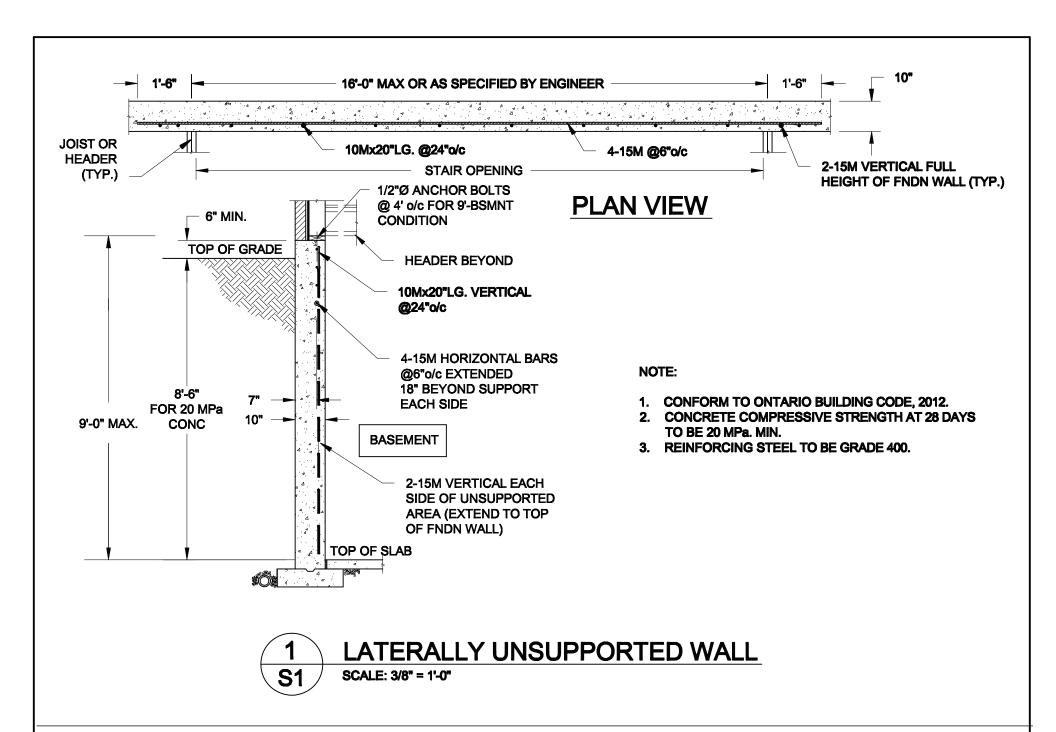
S38-20

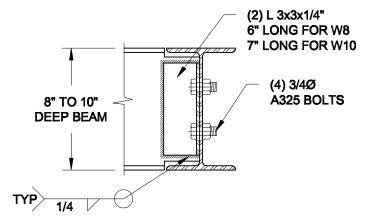
BAYVIEW WELLINGTON

	>			255 Consumers	t 416.630.2255	Nadresi
id meets the requirements set out in the a Designer.	te ////Sapriste 25591	signaty/e BCIN	42658	nensions on the job and report any before proceeding with the work. All	ire instruments of service and the property be returned at the completion of the work.	d.

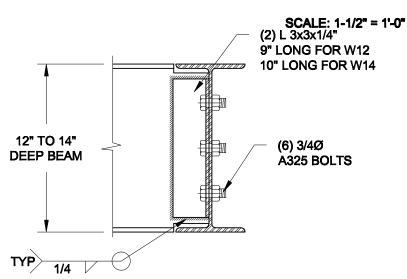
and has the qualifications and mosts the requirements so	Ontario Building Code to be a Designer.	qualification information	Wellington Jno-Baptiste 11 30/11.57	name	registration information	VA.5 Design Inc.		Contractor must verify all aimensions on the job and report discrepancy to the Designer before proceeding with the wor	26-21 VA3 drawings and specifications are instruments of service and	
							RC	RC	VA3	
							11-22 RC	4-22 RC	6-21	ĺ

6									
	œ	7	9	5	4	3	2	1	0.
						3 REVISED AS PER ENG COMMENTS	REVISED AS PER FLOOR	ISSUED FOR CLIENT REVIEW	no. description
						ENG COMMENTS	FLOOR / ROOF LAY	ENT REVIEW	

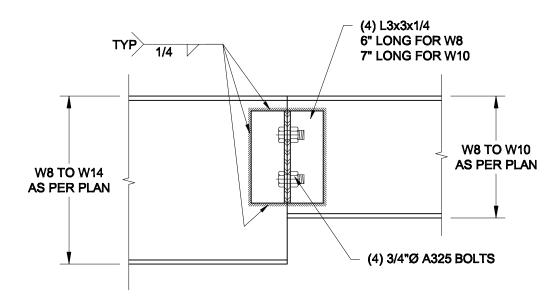




NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

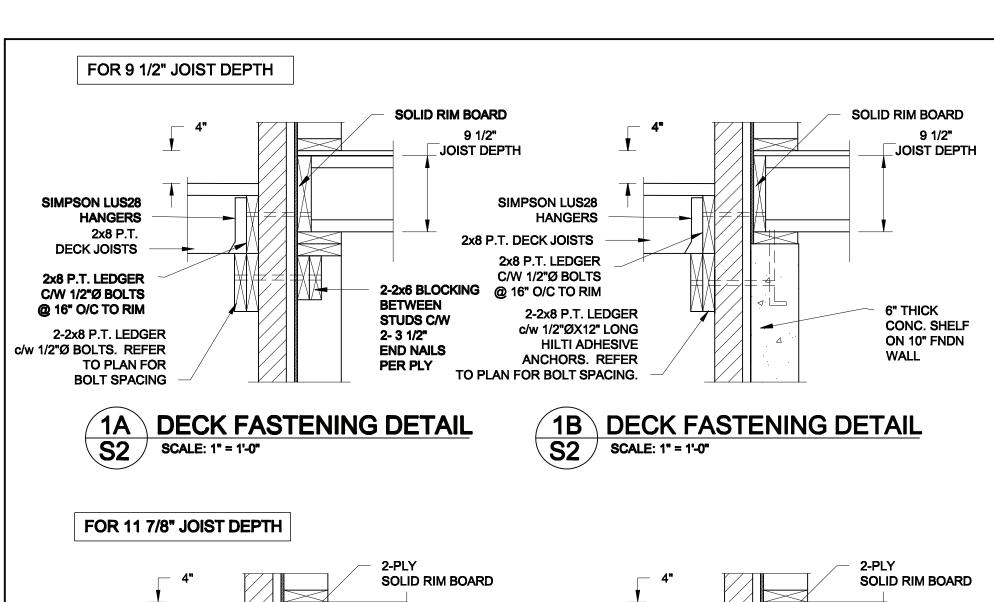


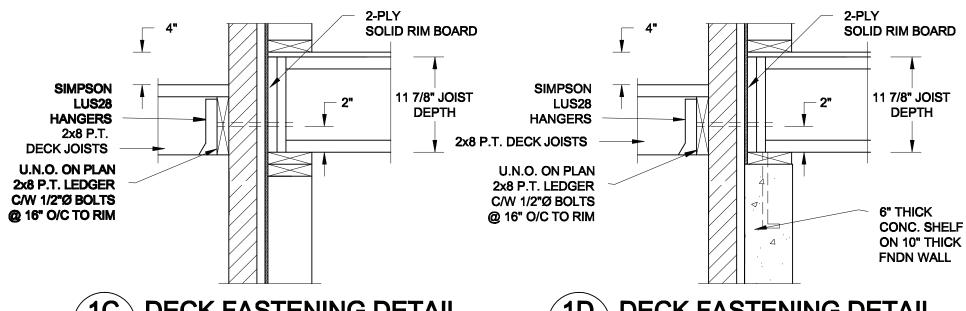
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2 S1 STEEL BEAM CONNECTION DETAILS

REVIEWED

Scale: Engineer's Seat: Project: QUAILE ENGINEERING LTD. BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES **AS NOTED** BRADFORD, ONTARIO Date: 38 Parkside Drive, UNIT 7 S. J. BOYD Newmarket, ON **TYPICAL STRUCTURAL DETAILS** PED-17-2022 L3Y 8J9 Drawn: Checked T: 905-853-8547 Project No.: Drawing No.: E: quaile.eng@rogers.com 21-038 SC SJB FEB 17, 2022 **S1**





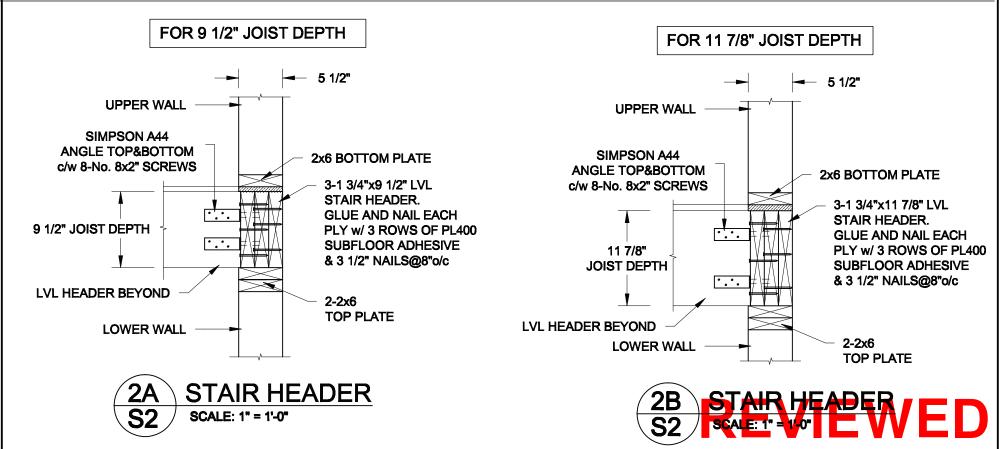
1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL

2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL

3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



Scale:
A\$ NOTED

Date:
MAR-15-3021

Drawn: Checked:

SJB

SC

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: qualle.eng@rogers.com



Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

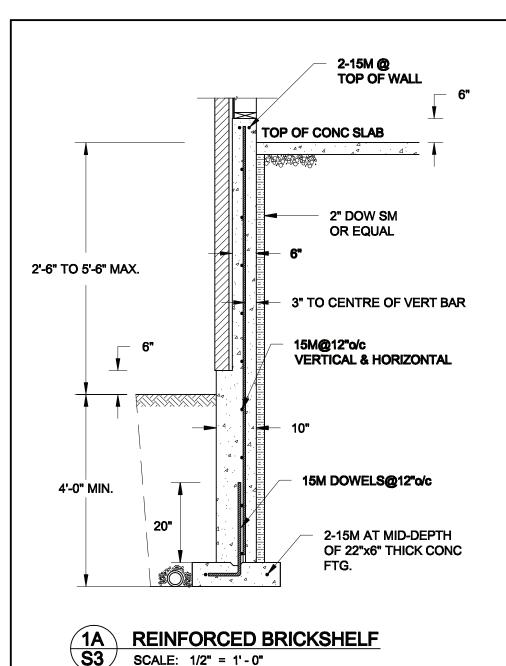
TYPICAL STRUCTURAL DETAILS

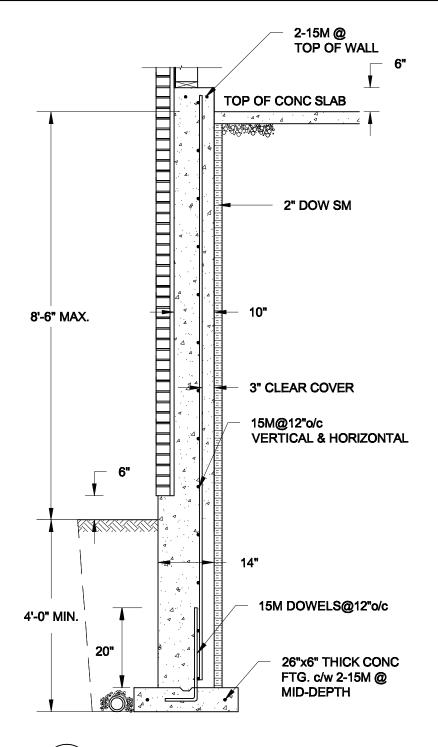
Project No.:

21-038

\$2

P:\SamC-06\2021\21-096 BAYVEW WELLINGTON GREEN VALLEY SINGLES\21-098.dwg





REINFORCED BRICKSHELF

SCALE: 1/2" = 1'-0"

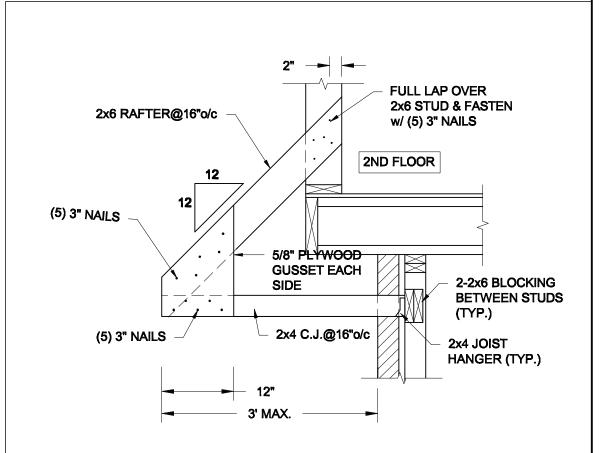
1B

15M DOWELS 24"

S3 SCALE: 1/2" = 1'-0"

NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS SEE DETAIL 1C/S3.
- 5. PROVIDE 3" COVER TO SOIL MINIMUM.
- 6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



2 CANOPY ROOF OVER GARAGE
S3 SCALE: 347-1107

REVIEWED

S3

Scale:
AS NOTED

Date:
FIB-34-3822

Drawn: Checked:

SJB

SC

QUAILE ENGINEERING LTD.



FEB 24, 2022

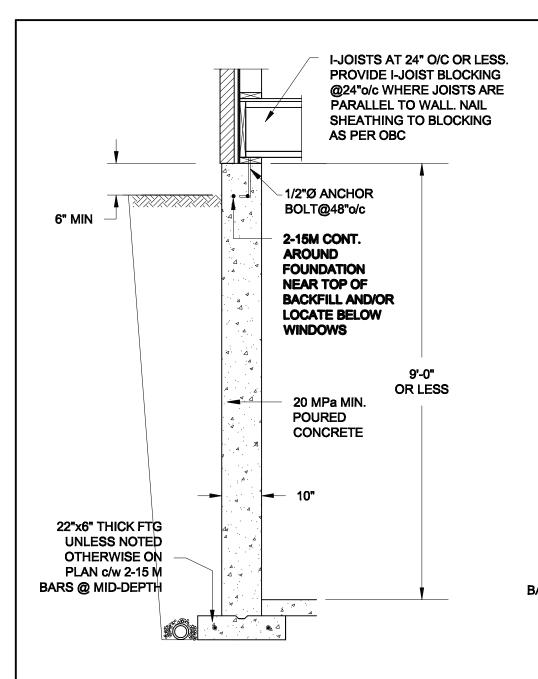
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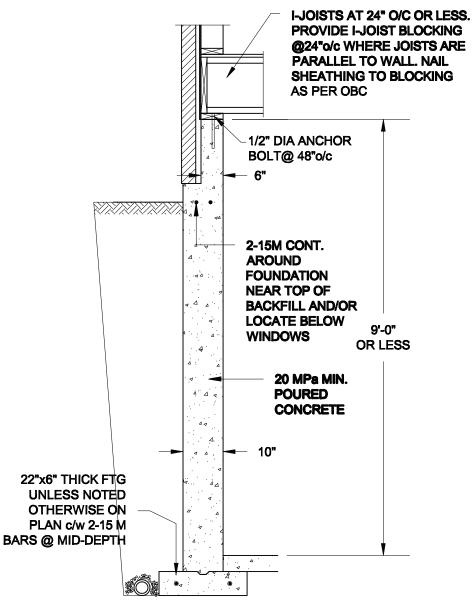
BAYVIEW WILLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.: Drawing No.: 21-036

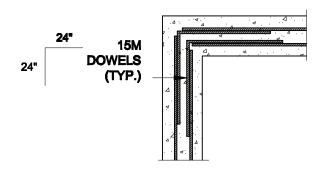
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1A FOUNDATION WALL SCALE: 1/2" = 1'-0" **S4**

DROPPED VENEER SCALE: 1/2" = 1'-0"



TYP. PLAN VIEW AT CORNER SCALE: 1/2" = 1'-0"

> NOTE: AT ALL WINDOW OPENINGS, **PROVIDE 2-15M VERTICALLY** AT EACH SIDE + 2-15M **HORIZONTALLY 2" BELOW & EXTEND 24" BEYOND OPENING**

NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
- 2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
- 3. REINFORCING STEEL TO BE GRADE 400.
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
- 5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
- 6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
- 7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Project:

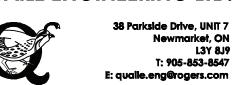
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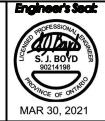
Scale: **AS NOTED** Date: MAR-15-2021 Checked Drawn:

SJB

SC

QUAILE ENGINEERING LTD.





BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.: Drawing No.: 21-038 **S4**

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CONSTRUCTION NOTES (Unless otherwise noted) ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

ROOF CONSTRUCTION
NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD
SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm
(24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT, PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBG 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN, SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT, DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

FRAME WALL CONSTRUCTION (2"x4")— GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (1/6") O.C. (MAX. HEIGHT 3000mm (2B) (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO 0.8.C. 9.27.1.1.(2) &
9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE (2D) CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") AROVÉ FINISH GRADE

WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER (2E.) AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL

MASONRY VENEER CONSTRUCTION (2"x6")(SB-12-TABLE 3.1.1.2.A) 16. 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR, VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER. 13mm (1/2") INTERIOR DRYWALL FINISH PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

MASONRY VENEER CONSTRUCTION (2"x4")— GARAGE WALLS 90mm [4"] MASONRY, 25mm [1"] AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03"] GALV. METAL TIES @ 400mm [16"] O.C. HORIZONTAL ⟨3B.⟩ PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6" BEHIND BUILDING PAPER.

MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.[2] &
9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE
CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (1/4") O.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC 58-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2
STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH
BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE
LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW
FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS
WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560X155
(22"X") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR
TO BACKEUING. ALL FOOTINGS SHALL PEST ON NATIVEAL TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN.

BEARING CAPACITY OF 150kPg OR GREATER. IF SOIL BEARING DOES

NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE

REQUIRED STOREYS SUPPORTED W/ MASONRY VENEER W/ SIDING ONLY

1 18" WIDE x 6" DEEP 18" WIDE x 6" DEEP

22" WIDE x 6" DEEP 22" WIDE x 6" DEEP 22" WIDE x 6" DEEP 22" WIDE x 6" DEEP -SEE OBC 9.15.3 -MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND

MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). -REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS: 2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7") FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA, FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED

(6.) (100mm (4") DIA. FOUNDATION DRAINAGE TILES. STONE OVER AND AROUND DRAINAGE TILES. BASEMENT SLAB 0BC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH

DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)
PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER

AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8) RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

ALL STAIRS/EXTERIOR STAIRS - COUNTY - C LANDINGS
-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST

RISE IN FLIGHT = 200 (7-7/8") = 255 (10") (NOSING TO NOSING) = RUN + 25 (1") MAX. RISE MIN. RUN MAX. TREAD

MAX. NOSING = 25 (1") = 1950 (6'-5") MIN. HEADROOM RAIL @ LANDING = 900 (2'-11") RAIL @ STAIR = 865 (2'-10") to 1070 (3'-6") MIN. STAIR WIDTH

= 860 (2'-10") FOR CURVED STAIRS (TAPERED TREADS) = 150 (6) = 255 (10") MIN. RUN AT 300 (12")

HANDRAILS -OBC. 9.8.7.FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4")
BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE (35)
BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION. INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS — OBC. 9.8.8.
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN.
GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS
REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE — OBC. 9.23.7.

38x89 (2'x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS

200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @

2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL

BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAROUID BLOORS DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS

200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @

2400mm (7"-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155

[14"x6"] CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2
ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7"-7 1/2") CONFORMING TO CAN/CGSB-7.2-94, AND WITH 150x150x9-5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x850x410 [34"x34"x16"] CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm(3-1/2") DIA x 4.78mm(, 188) FIXED STL. COL. WITH 150x150x9.5
(6"x6"x8") STL. TOP & BOTTOM PLATE ON 1070x1070x460
(42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR
ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6x6x3/8") STEEL TOP PLATE, & BOTTOM PLATE.
BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x
300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

GARAGE CEILINGS/INTERIOR WALLS
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN
HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER
O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SEL CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

EXTERIOR STEP
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

DRYER EXHAUST (0BC-6.2.3.8.(7) & 6.2.4.11.)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/27247) & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.F.1) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10

STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND
280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING
ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x
200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED
MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD
STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC

9.17.4.2(2). RESERVED

BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2'x6') BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24'x24'x12') CONC.

STEPPED FOOTINGS OBC 9.15.3.9.
MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4")

COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH
PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa

(4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE, WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENTING GAS FURNACE, H.W.T. VENT
DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A
NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE,
FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO
BE A MIN. OF 1830mm (6"-0") FROM ALL EXHAUST TERMINALS. REFER
TO GAS ITILITATION CODE ALL ARE INTAKES SUAL BELOCATES SO TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12...

DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE, VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS

SUBFLOOR, JOIST STRAPPING AND BRIDGING
16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS, FOR
CERAMIC TILE APPLICATION (* SEE DSIC 9,30.6. *) 6mm (1/4") PANEL
TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.*). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"X2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"X3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

> S. J. BOYD FEB 28, 2022

EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"), WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

COLD CELLAR PORCH SLAB (OBC 9.39.)
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.),
125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN, 30mm (1 1/4")
COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL, SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN, WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11'-7" \$PAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX, 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24")

O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1. HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3")

2) WINDOW GUARDS – OBC. 9.8.8.1,6(5).
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7') ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.3. & SB12-3.1.1.9

GLASS—STRUCTURAL SUFFICIENCY OF GLASS
 DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE
 ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE
 WITH OBC DIV-8 9.6.1.3.

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B, 6.2.2. SEE MECHANICAL DRAWINGS.

ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. B- 9.5.2.3 & DETAIL

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-B 9.25.3.

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-B 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

MANUFACIUKEK.

LVL BEAMS SHALL BE 2.0E -2950Fb MIN.. NAIL EACH PLY OF LVL
WITH 897mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm
(12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7
1/4",9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR
GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2")
DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED, REFER TO ENG. FLOOR LAYOUTS.

JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

WOOD MEMBERS.

WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARAIED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.), ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND. 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21

STEEL: STRUCTURAL STEEL STALL COUNTY OF THE COUNTY

GRADE 400K.

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR: THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED, ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS
SPECIFICATIONS. STUCCO: 1)

0

LEGEND CLASS 'B' VENT DUPLEX OUTLET (12" ABOVE SURFACE) WEATHERPROOF DUPLEX OUTLET

POT LIGHT

LIGHT FIXTURE (PULL CHAIN) Дç SWITCH

√ FLOOR DRAIN **@** SINGLE JOIST

DOUBLE JOIST TJ TRIPLE JOIST LAMINATED VENEER LVL

HOSE BIB (NON-FREEZE) PRESSURE TREATED LUMBER GIRDER TRUSS BY ROOF TRUSS MANUF.

EXHAUST FAN TO EXTERIOR

GFI DUPLEX OUTLET (HEIGHT A.F.F)

HEAVY DUTY OUTLET

SP SP

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

DUPLEX OUTLET (HEIGHT A.F.F)

(220 volt)

POINT LOAD FROM ABOVE FLAT ARCH

M.C. MEDICINE CABINET (RECESSED)

DOUBLE VOLUME
WALL. SEE NOTE 39 CONCRETE
BLOCK WALL

SOLID WOOD BEARING (SPRUCE No. 2).
SOLID BEARING TO BE AS WIDE AS
SUPPORTED MEMBER OR AS DIRECTED BY
STRUCTURAL ENGINEER.
SOLID BEARING TO BE MINIMUM 2 PIECES. SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED

AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK, ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK, ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

(39) TWO STOREY VOLUME SPACES
-FOR A MAXIMUM 5490 mm (18-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"%") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 381410 (2'x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

TYPICAL 1 HOUR RATED PARTY WALL.
REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2'x6") STUDS @ 400mm (16") o.c. <u>OR</u> 38x89 (2"x4") STUDS @ 300mm

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12, A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC ONT. REG. 332/12-20.2 Amendment O. Reg. 88/19 WOOD LINTELS AND BUILT-UP WOOD BEAMS 2/38 × 184 (2/2" × 8") SPR.#2 3/38 × 184 (3/2" × 8") SPR.#2 4/38 × 184 (4/2" × 8") SPR.#2 5/38 × 184 (5/2" × 8") SPR.#2 2/38 × 235 (2/2" × 10") SPR.#2 3/38 × 235 (3/2" × 10") SPR.#2 4/38 × 235 (4/2" × 10") SPR.#2 В3

2/38 × 286 (2/2" × 12") SPR.#2 3/38 × 286 (3/2" × 12") SPR.#2 4/38 × 286 (4/2" × 12") SPR.#2

LOOSE STEEL LINTELS 89 x 89 x 6.4L (3-11/2" x 3-1/2" x 1/4"L) 89 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L) 102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L) 127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L) 152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L) 152 x 102 x 11.0L (6"x 4" x 7/16"L) 178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LAMINATED VENEER LUMBER (LV
LVL1A 1-1 3/4"x7 1/4" (1-45x184)
LVL1 2-1 3/4"x7 1/4" (2-45x184)
LVL2 3-1 3/4"x7 1/4" (3-45x184)
LVL3 4-1 3/4"x7 1/4" (3-45x184)
LVL4A 1-1 3/4"x9 1/2" (1-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5 4-1 3/4"x9 1/2" (4-45x240)
LVL6A 1-1 3/4"x1 1 7/8" (1-45x300)
LVL6A 1-1 3/4"x11 7/8" (3-45x300)
LVL7 3-1 3/4"x11 7/8" (3-45x300)
LVL8 4-1 3/4"x11 7/8" (3-45x300)

DOOR SCHEDULE

2'-8" WIDE **EXTERIOR** DOOR INSULATED MIN. RSI 0.7 (R4) 2'-10" WIDE INSULATED MIN. RSI 0.7 (R4) (1A) DOOR EXTERIOR DOOR 3'-0" WIDE (1B) INSULATED MIN. RSI 0.7 (R4) 3'-2" WIDE INSULATED MIN. RSI 0.7 (R4) EXTERIOR DOOR (1C)

2'-8" wide EXTERIOR (2A)20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DOOR

DEVICE. INSULATED MIN. RSI 0.7 (R4 2.) INTERIOR 2'-8" WIDE

2'-8" WIDE INTERIOR DOOR (2B) (COLD CELLAR) (WEATHERSTRIPPING INSTALLED) (2C) INTERIOR 3'-0" WIDE DOOR 2'-6" WIDE

INTERIOR DOOR (3.) INTERIOR 2'-4" WIDE (3A) INTERI

4. INTERIOR DOOR INTERIOR 2'-2" WIDE (4A) INTERI

INTERIOR 1'-6" WIDE (5.) REFER TO ARCHITECTURAL DRAWINGS FOR

DOOR HEIGHTS MECHANICAL SYMBOLS

-0 HEAT PIPE WARM AIR ---ð` PLUMBING (TOILET) RETURN AIR DUCT PLUMBING (BATH, SINK, SHOWER) SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR, ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.
BATTERY BACK-UP REQUIRED, SMOKE ALARMS TO INCORPORATE

VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING
UNIT, A CARBON MONOXIDE ALARM CONFORMING TO
CAN./CSA-6.19 OR UIL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA, CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE

INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDDITIONAL REQUIREMENTS. SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS I
THE BUILDING IF REQUIRED.

REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL

The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

16023

CONST NOTE

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JAN 11-22 UPDATE TO 2022 UPDATE TO 2020 FEB 24-20 RC UPDATE TO 2018 ISSUE FOR CLIENT REVIEW AUG 04-17 RC

ntario Buildina Code to be a Designe ualification information

Wellington Jno-Baptiste 2559 BC VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

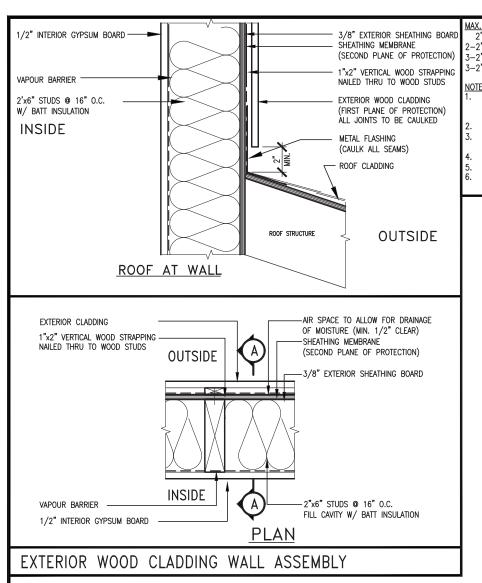


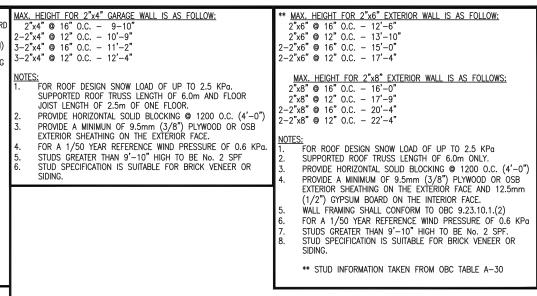
va3design.com

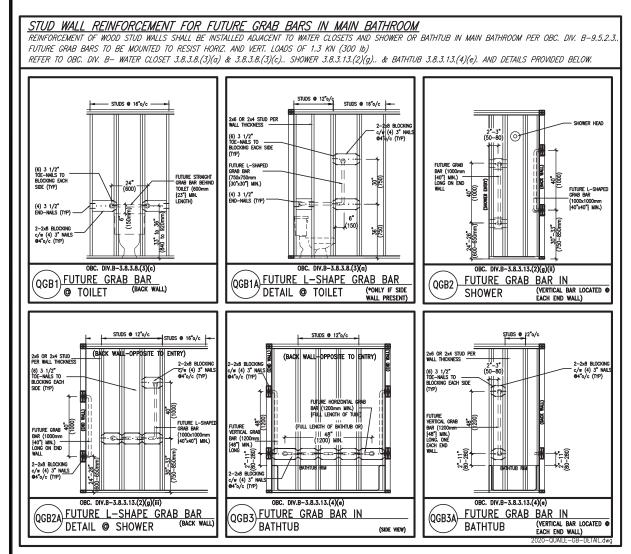


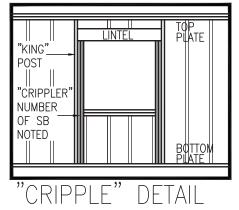
3/16" = 1'-0"

CONSTRUCTION NOTES 16023-CN-2022-A1



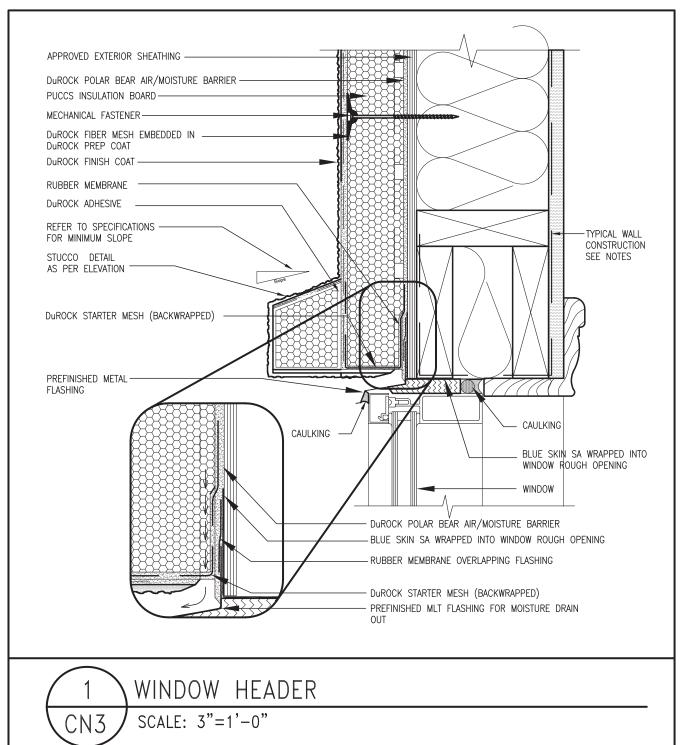


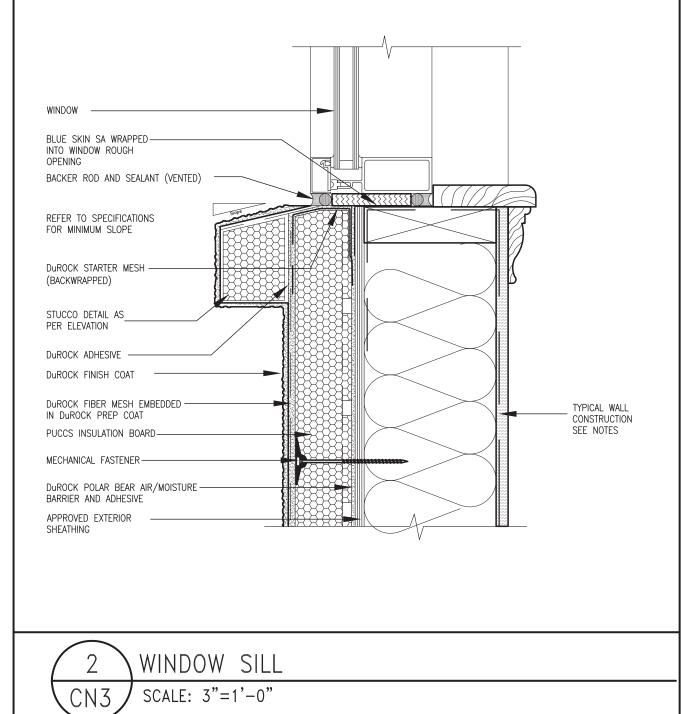






	9 . 8 . 7 . 6 . 5 . 4 UPDATE TO 2022		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Busiding Code to be a Designer. wellington Jno-Baptiste signature BC signature BC registration information	VI C	BAYVIEW WELLINGTON Project name GREEN VALLEY EAST BRADFOR	
E	4 OPDATE TO 2022 3 UPDATE TO 2020 2 UPDATE TO 2018 1 ISSUE FOR CLIENT REVIEW o. description	JAN 11-22 FEB 24-20 JAN 11-18 AUG 04-17 date	VÁ3 Design Inc. 4265 RC Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	date MAY 2016 drawn by checked by scale	STRUCTION NOTES file name 16023-CN-2022-A1



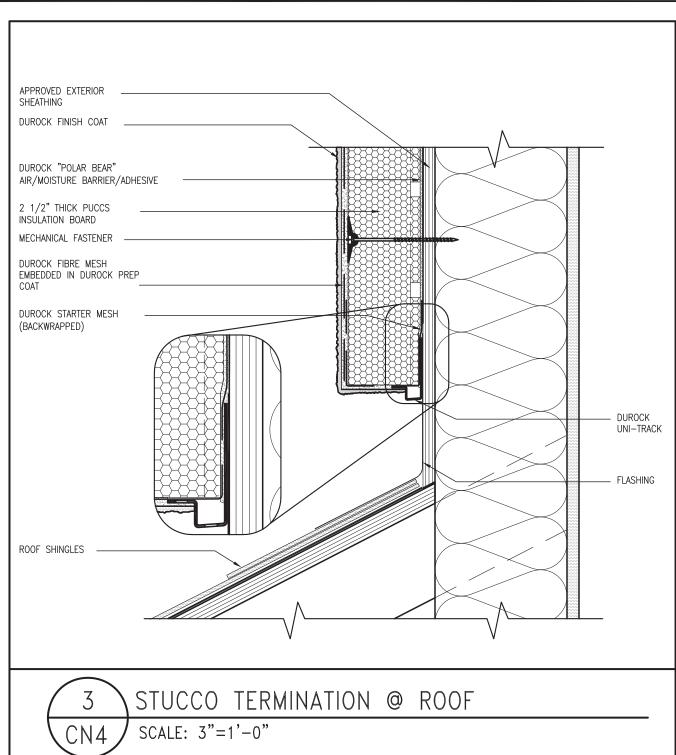


ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

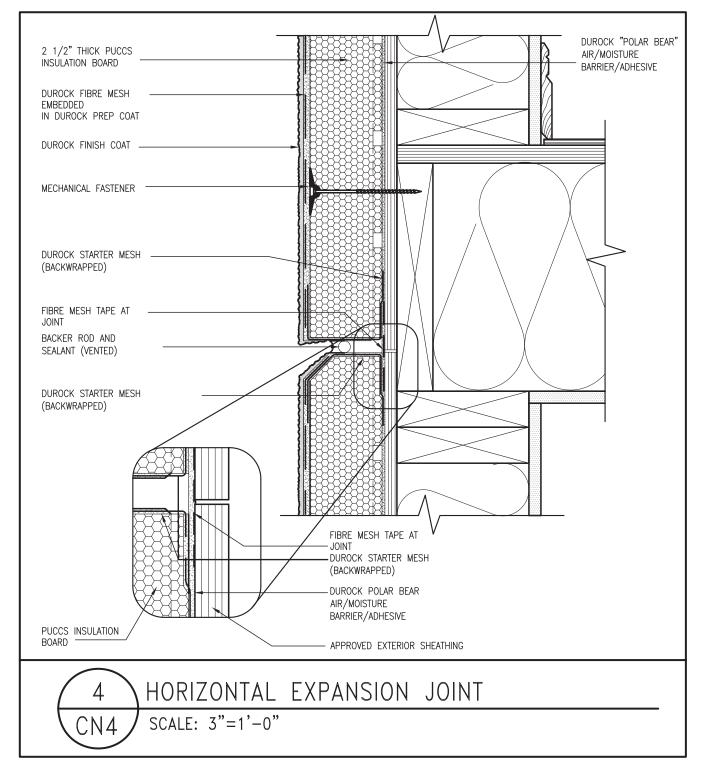


NOTE S CONST CONSTRUCTION WELLINGTON BAYVIEW **EAST** GREEN
date
MAY 2016
drawn by
RC JAN AUG



ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



REVIEWED

| 9 | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... | ... |

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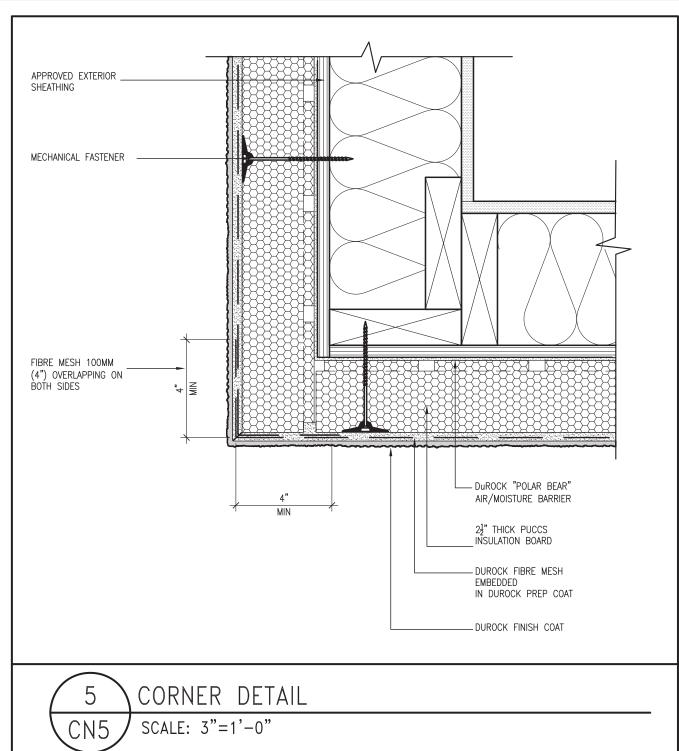
BAYVIEW

EAST

GREEN Valente GREEN Valente MAY 2016 drawn by RC

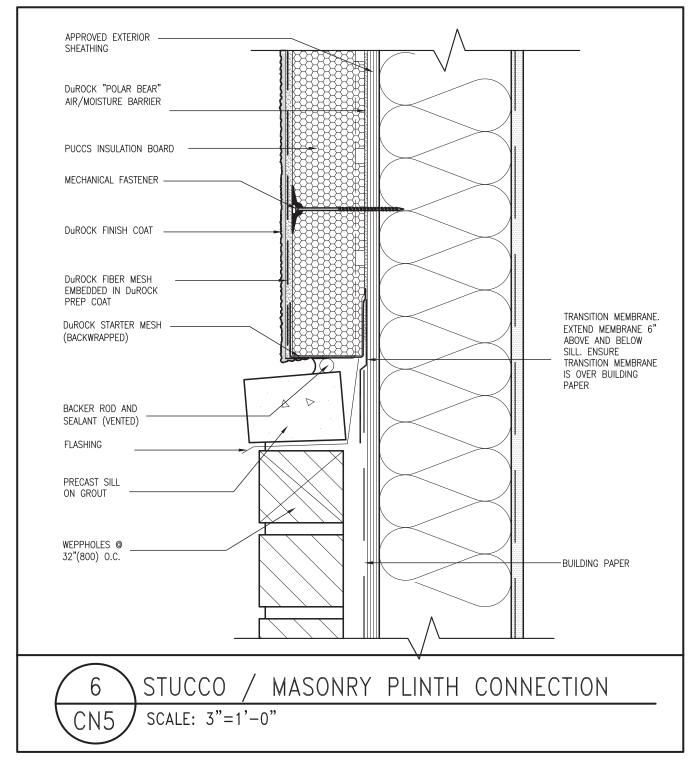
CONSTRUCTION NOTES

file name
16023-CN-2022-A1



ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



REVIEWED

BAYVIEW WELLINGTON project name

GREEN VALLEY EAST

date

MAY 2016

drown by

RC

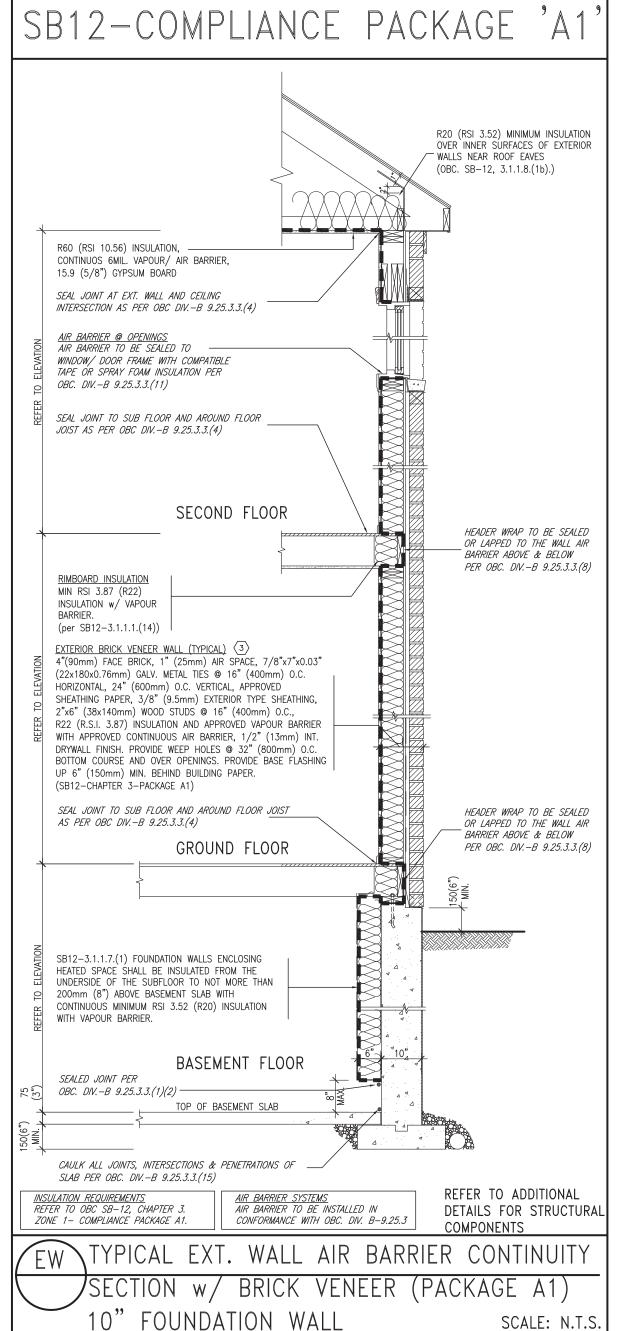
-JAN AUG

CN₅

CONSTRUCTION NOTES

The name 16023-CN-2022-A1

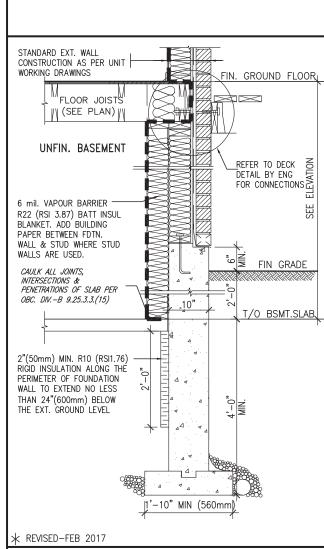
CONST NOTE



THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

A1	Notes:
10.56 (R60)	R20 at inner face of exterior walls
5.46 (R31)	BATT or SPRAY
5.46 (R31)	BATT or SPRAY
3.87 (R22)	6" R22 BATT
3.52ci (R20ci)	OPTION TO USE R12+R10ci.
1.76 (R10)	RIGID INSUL
1.6	
2.8U	
96% Min.	NATURAL GAS
0.8	NATURAL GAS
75%	_
Dependent on n	Maximum 2 Required. number of showers installed. 3.1.1.12 for information
	(R60) 5.46 (R31) 5.46 (R31) 3.87 (R22) 3.52ci (R20ci) 1.76 (R10) 1.6 2.8U 96% Min. 0.8 75%



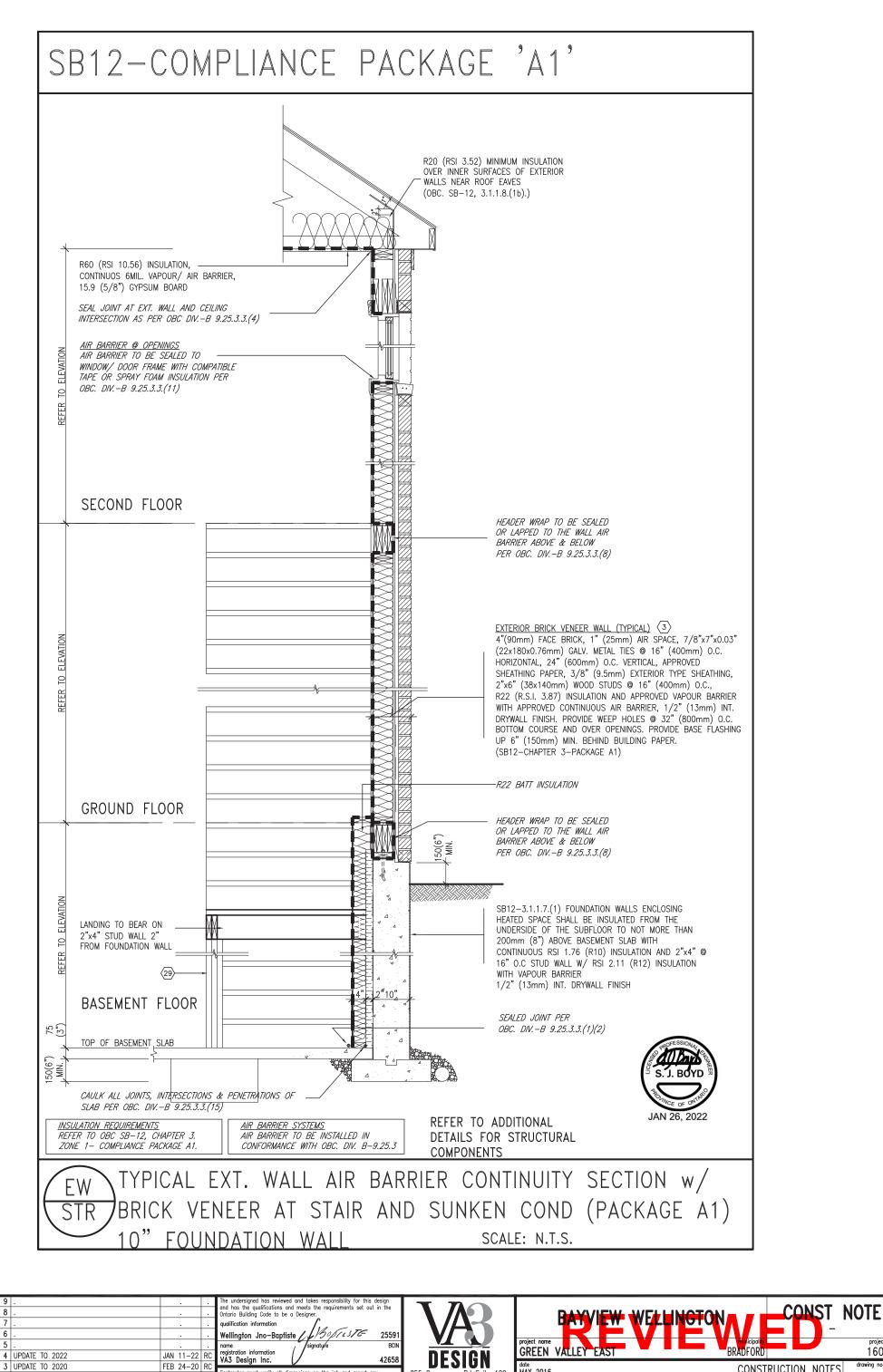


SECTION AT W.O.D/W.O.B.

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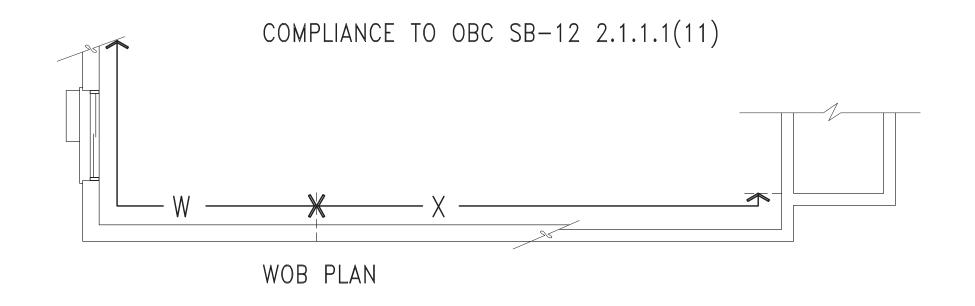
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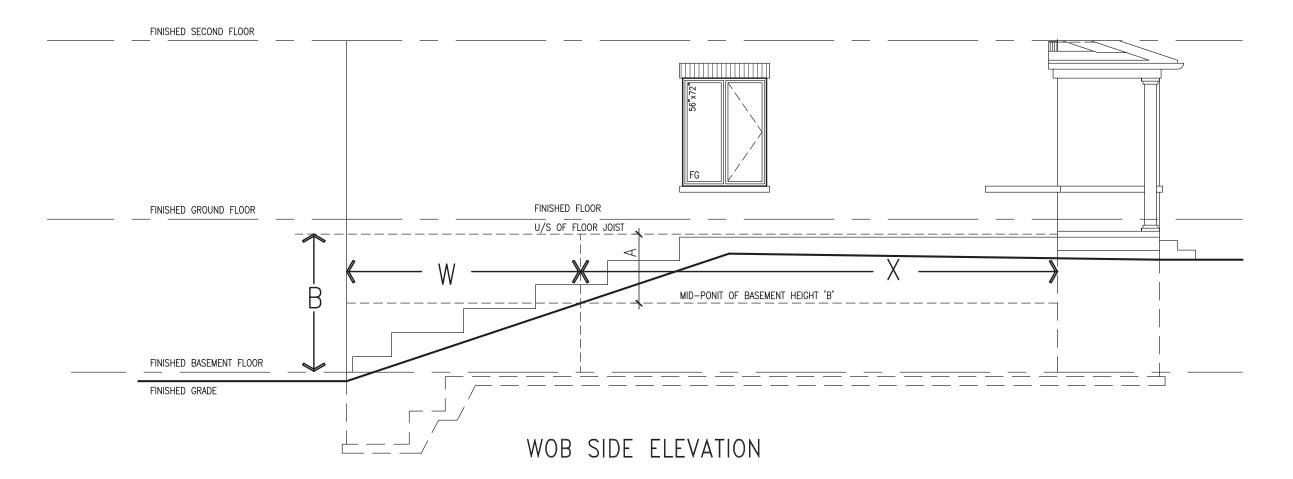


2 UPDATE TO 2018

1 ISSUE FOR CLIENT REVIEW

16023



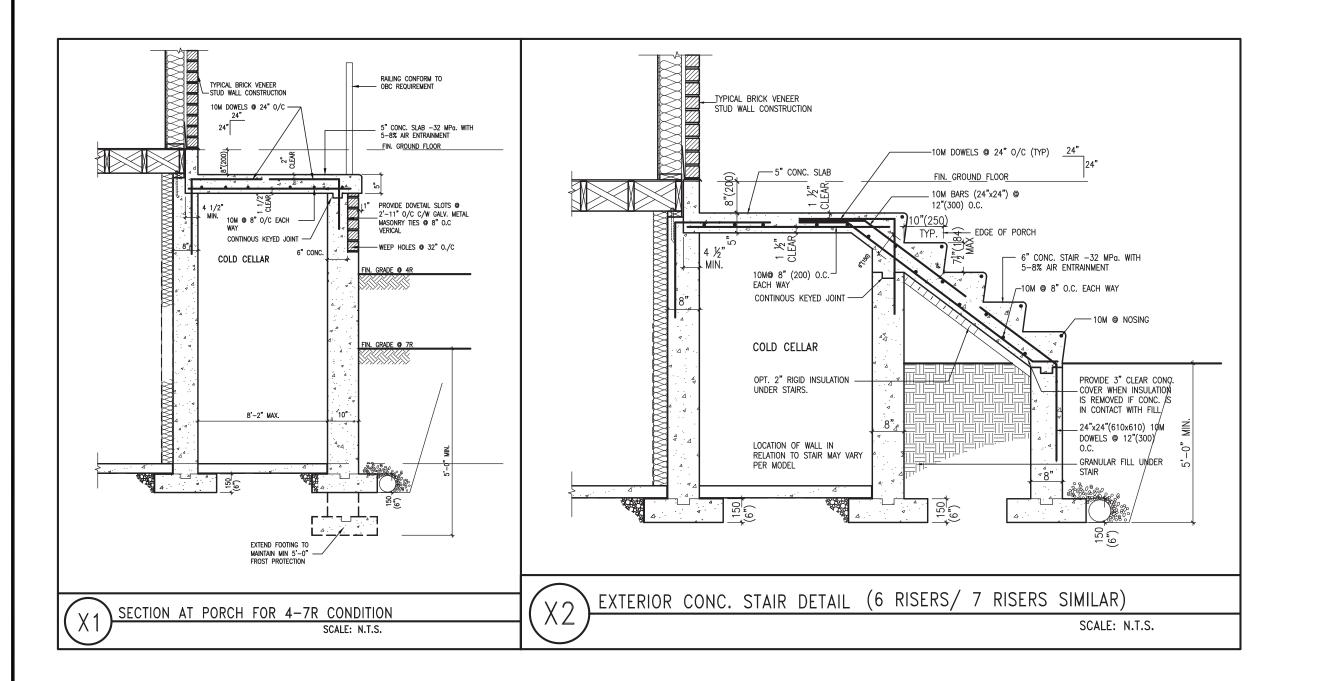


WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

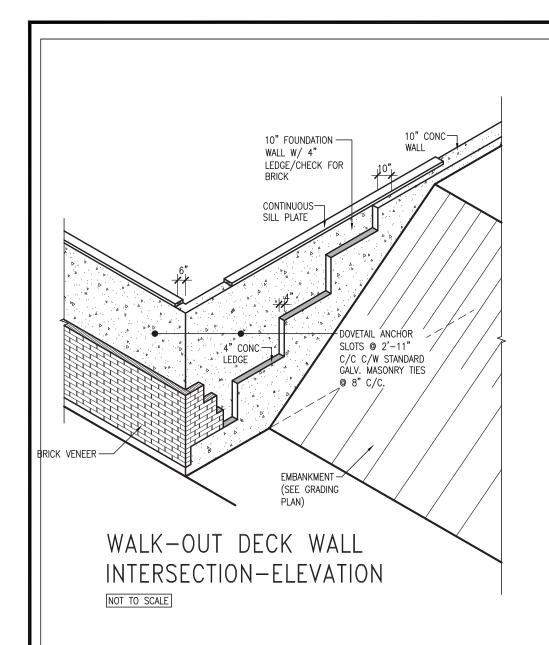


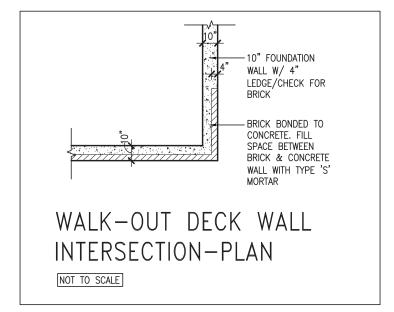
	DAYNEW WELLINGTON CONST NOTE		1	Allocidad	GREEN VALLET EASI BKAUFURU 16UZS	CONSTRICTION NOTES drawing no.	elus vi pajsada	- 3/16" = 1'-0" 16023-CN-2	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM
		Y-57/		project name			255 Consumers Rd Suite 120 MAT 2016	4782	va3design.com
The undersigned has reviewed and takes responsibility for this design	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	qualification information	Wellington Jno-Baptiste // Spliste 25591	name Signature BCIN	JAN 11-22 RC vita Design Inc.		JAN 11—18 RC discrepancy to the Designer before proceeding with the work. All	AUG 04-17 RC drawings and specifications are instruments of service and the property	Drawings are not to be scaled.
-					JAN 11-22 RC	FEB 24-20 RC	JAN 11-18 RC	AUG 04-17 RC	date by



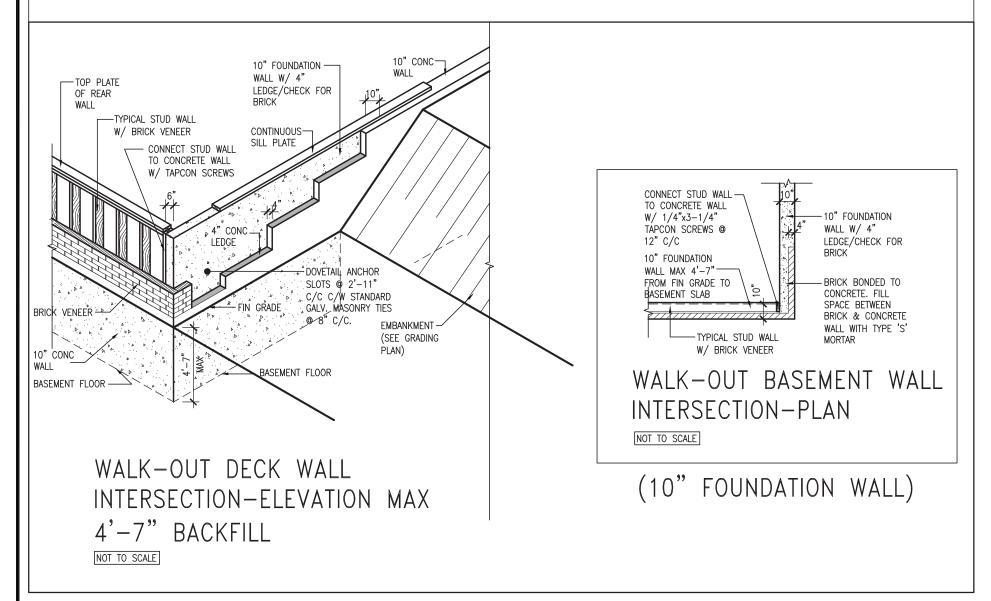
255 Consumers Rd Suite 120 MAY 2016 CONSTRUCTION NOTES	all dimensions on the job and report any
BRADFORD BRADFORD	JAN 11–22 RC Nat Description information (Signature BCIN 17, 20 P.C.)
	Wellington Jno-Baptiste
	qualification information
A TABLE DAVINEW WELLINGTON CONST NOTE	in undestigned most reversed and under responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.





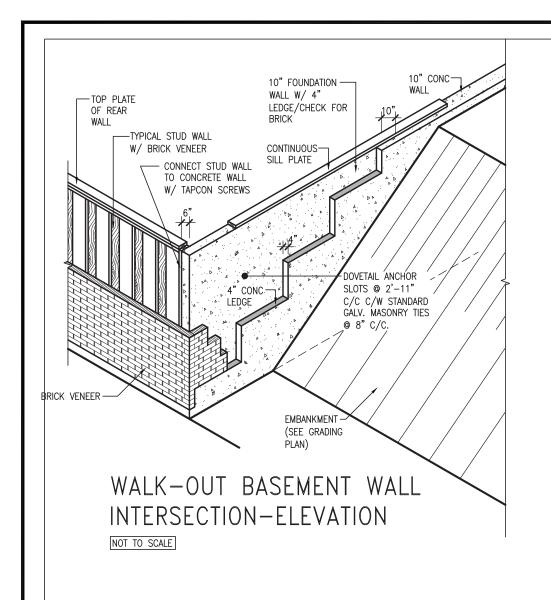


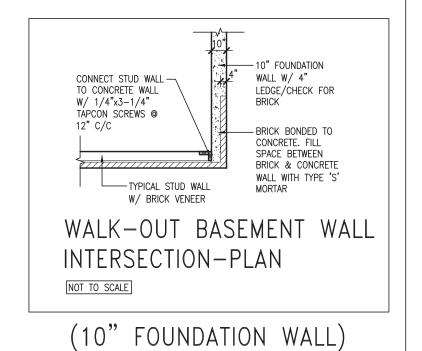
(10" FOUNDATION WALL)

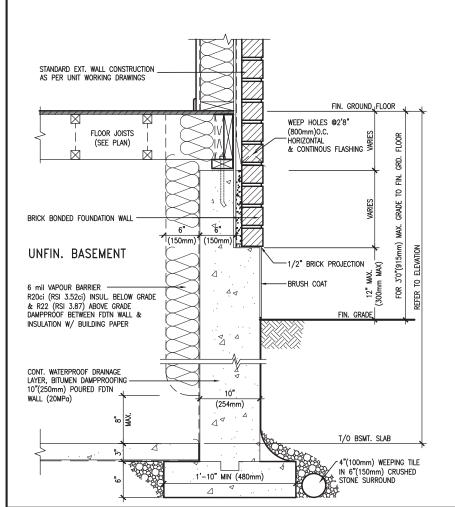




9 . 8 . 7 . 6 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste Wellington Jno-Baptiste	VAS	BAYVIEW WELLINGTON CONST NOTE
5 . 4 UPDATE TO 2022	JAN 11-22 RC	name signature BCIN registration information VA3 Design Inc. 42658	DESIGN	project name project SERADFORD 1602
3 UPDATE TO 2020 2 UPDATE TO 2018	FEB 24-20 RC	Contractor must varify all dimensions on the ich and report any	255 Consumers Rd Suite 120	date MAY 2016 CONSTRUCTION NOTES file name file name
1 ISSUE FOR CLIENT REVIEW no. description	AUG 04-17 RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	

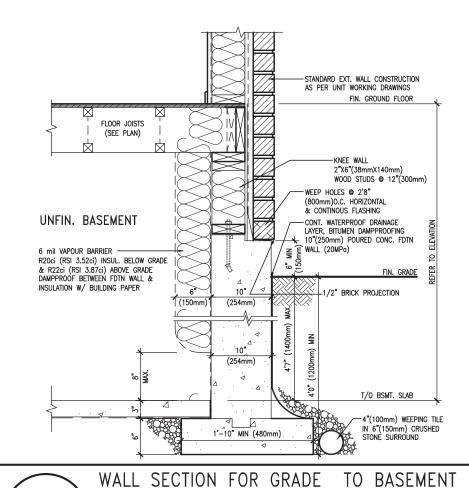






WALL SECTION FOR GRADE TO FIN. FLOOR MORE THAN 4'7" (1400mm) HEIGHT DIFFERENCE SCALE: N.T.S.

EW3.06x

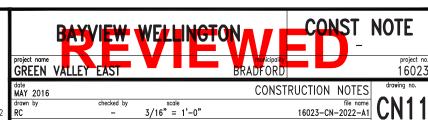


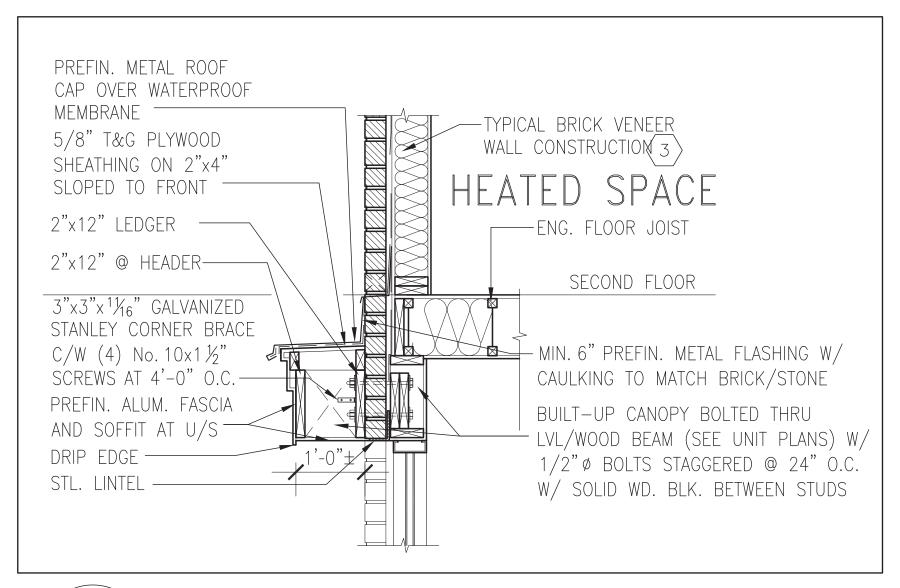
WALL SECTION FOR GRADE
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.









SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



16023

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4	UPDATE TO 2022	JAN 11-22	RC	registration
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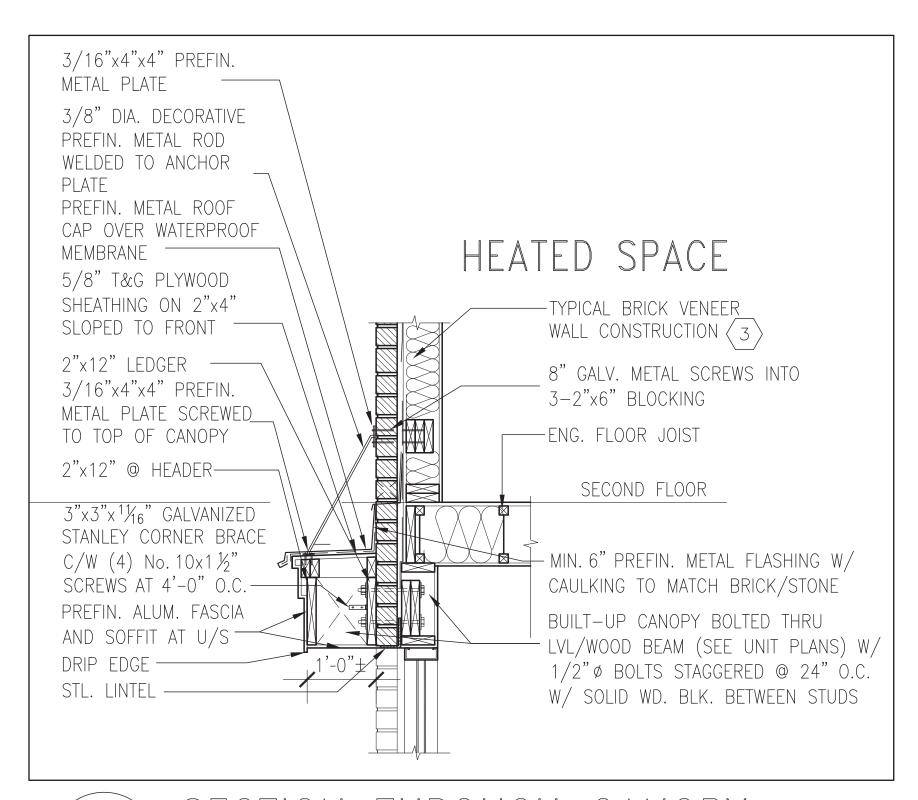
gton Jno-Baptiste / 25591 BC 42658 esign Inc.

or must verify all dimensions on the job and report any ncy to the Designer before proceeding with the work. All and specifications are instruments of service and the property Designer which must be returned at the completion of the work. a are not to be scaled.





MAY 2016 CONSTRUCTION NOTES 3/16" = 1'-0" 16023-CN-2022-A1

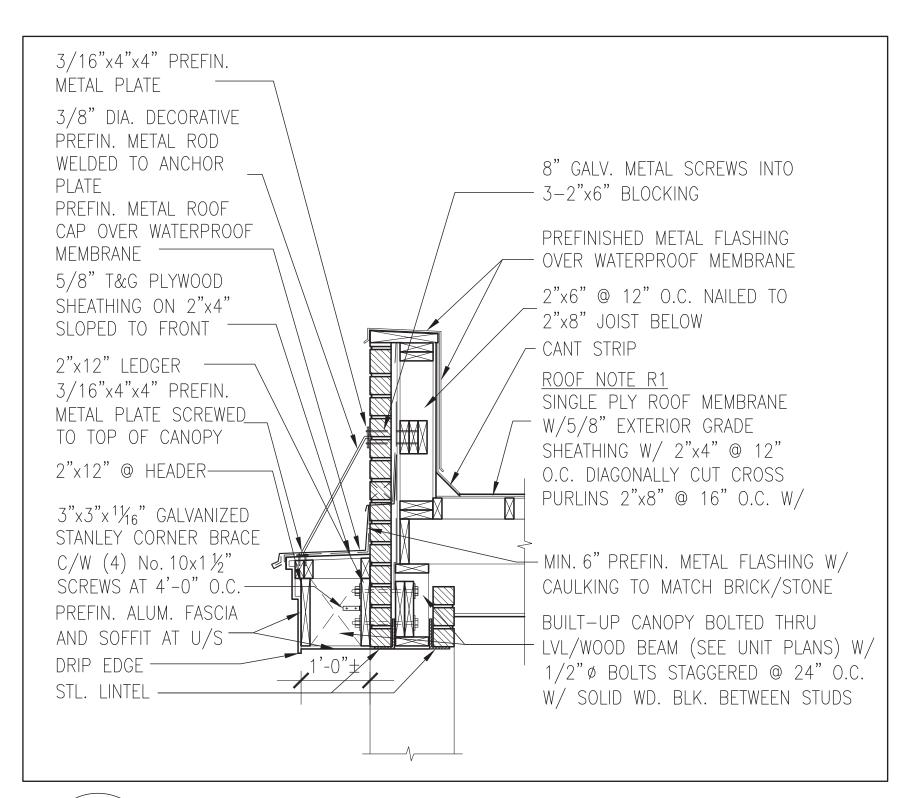


CN13/

SECTION THROUGH CANOPY W/DECORATIVE ROD SCALE 1/2" = 1'-0"



9 8 7 6 5				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste Jisanature BBIN BBIN	VA3	BAYVIEW WELLINGTON CONST NOTE project name project name project name
_	UPDATE TO 2022	JAN 11-22	RC	registration information VA3 Design Inc. 42658	DESIGN	GREEN VALLEY EAST BRADFORD 160
_	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120 Toronto ON M2J 1R4	
_	ISSUE FOR CLIENT REVIEW . description	AUG 04-17 date	RC	drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	t 416.630.2255 f 416.630.4782 va3design.com	



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SECTION THROUGH CANOPY

W/DECORATIVE ROD SCALE 1/2" = 1'-0"



9 8			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		DAY/IEW	WELLINGTON	CONST	NOTE
7 6			qualification information Wellington Jno-Baptiste / JBoscoste 25591	I VA	THE TOTAL PROPERTY.	WILL III OTOW	-	
5 4	UPDATE TO 2022	 JAN 11-22 RC	name signature BCIN registration information		GREEN VALLEY EAST	BRADFORI	y D	project no. 16023
3	UPDATE TO 2020 UPDATE TO 2018	FEB 24-20 RC	VÃ3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any	255 Consumers Rd Suite 120	date MAY 2016	CONS	TRUCTION NOTES	drawing no.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	t 416.630.2255 f 416.630.4782		3/16" = 1'-0"	file name 16023-CN-2022-A1	CN141
no	description	date by	Drawings are not to be scaled.	va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\1602	23.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - We	ed - Jan 26 2022 - 12:09 PM	