



PLANNING DEPARTMENT

COMPLIES WITH
ZONING BY-LAW:

2010-050

DATE REVIEWED:

2022-09-14

REVIEWED BY:

Likan Zhang

ENGINEERING REVIEW

☐ ACCEPTED☒ ACCEPTED AS NOTED☐ REQUIRES RE-SUBMISSION

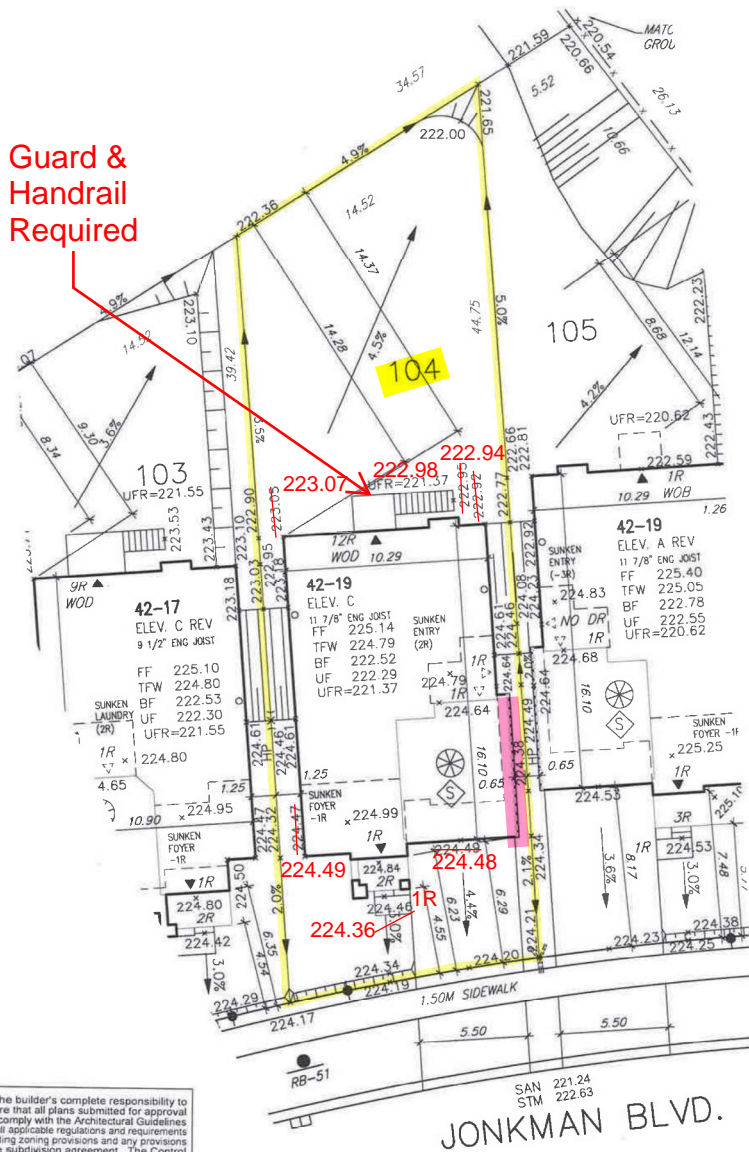
THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

April 29, 2022

DATE

REVIEWED BY

(TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

Guard &
Handrail
Required

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

INSPECTOR: [Signature]
PERMIT NO: PRBD202200292 DATE: Sept. 15, 2022

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM
INSPECTION REQUEST FAX: (905) 778-2055
INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: NOV 25, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**REVIEWED**

= 45 Min. FRR

- PROPOSED VALVE
UP LIGHT POLE
WATER SERVICE
DOUBLE STM/SAN CONNECTION
SINGLE STM/SAN CONNECTION
CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL
- NO. OF RISERS
FINISHED FLOOR ELEVATION
FINISHED MAIN LEVEL ELEVATION
UNDERGROUND FOOTING ELEVATION
FIN. BASEMENT FLOOR SLAB
TOP OF FOUNDATION WALL
UNDERGROUND FOOTING AT REAR
UNDERGROUND FOOTING AT FRONT
UNDERGROUND FOOTING AT SIDE
DECK
WALK OUT DECK
NO. B. WALK OUT BASEMENT
REVERSE PLAN
- STREET SIGN
MAIL BOX
RETAINING WALL
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
HYDRO METER
GAS METER
SMOKE DIRECTION
LOTS EQUIPPED WITH SUMP PUMP
- PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
OPT. DOOR LOCATION
EXTERIOR DOOR LOCATION
REDUCE SIDE YARD

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Site plan\16023-SP.dwg - Wed - Nov 24 2021 - 10:07 AM

project no

16023

MUNICIPAL ADDRESS

134 JONKMAN BLVD.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name
registration information
VA3 Design Inc. 42658

Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO. 104
DATE NOV 24, 2021

DEVELOPER:

ARG GROUP

BUILDER:

BAYVIEW WELLINGTON

CONSULTANT:

**URBAN ECO SYSTEMS- CIVIL ENG
VA3 DESIGN- ARCHITECTURE**

MAX BUILDING HEIGHT: 13.0m

BUILDING HEIGHT: 8.29m

AVERAGE GRADE: 223.94m

LOT AREA: 537.62 m²

LOT FRONTAGE: 12.80 m

LOT COVERAGE: N/A %

ISSUED FOR CLIENT REVIEW

NOV 10-2021

Revision

Date

SAN INVERT: 221.24 m

STM INVERT: 222.63 m

DESIGNED: -

DRAWN: R

SCALE: 1:250

DATE: NOV 10, 2021

PLAN: 51M-1137

LOT NO. 104

SITING & GRADING PLAN

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