

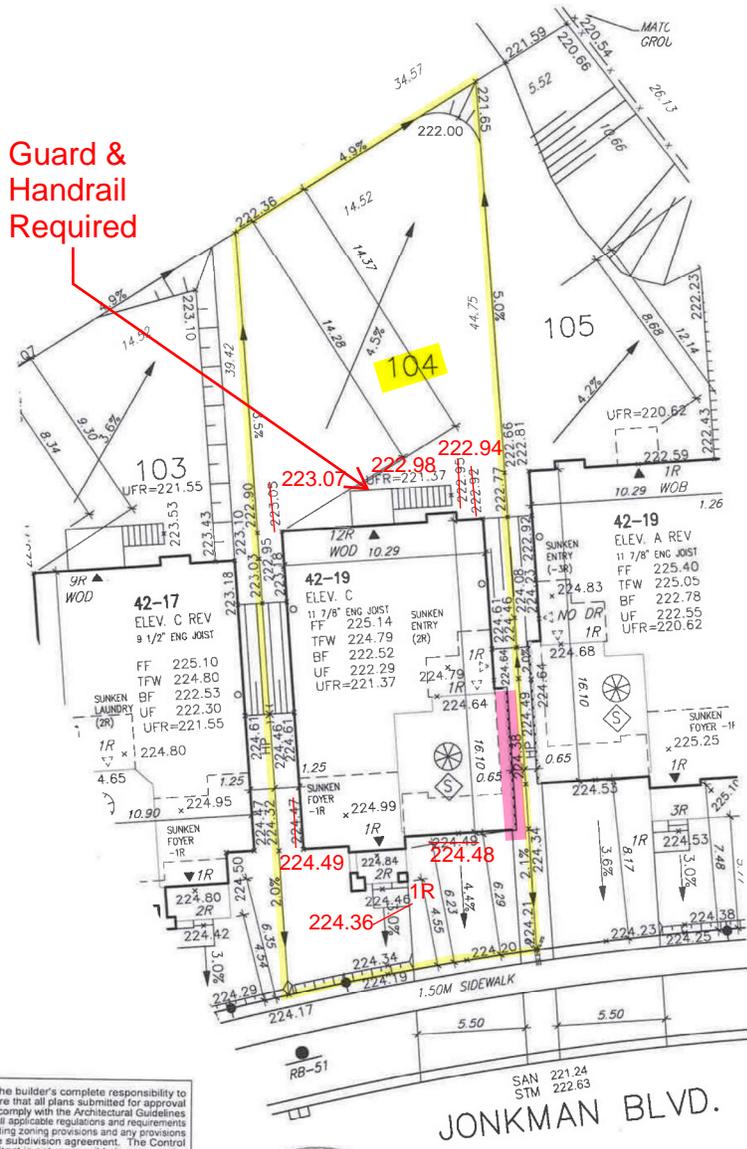


PLANNING DEPARTMENT
 COMPLIES WITH ZONING BY-LAW: **2010-050**
 DATE REVIEWED: **2022-09-14**
 REVIEWED BY: *Likun Zhang*

ENGINEERING REVIEW
 ACCEPTED
 ACCEPTED AS NOTED
 REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.
April 29, 2022
 DATE REVIEWED BY: _____
 (TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

Guard & Handrail Required



TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT
REVIEWED
 INSPECTOR: _____ DATE: **Sept. 15, 2022**
 PERMIT NO: **PRBD202200292**
 ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.
 INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWGC.COM
 INSPECTION REQUEST FAX: (905) 778-2055
 INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500

= 45 Min. FRR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford / West Gwillimbury.

JOHN C. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: _____
 DATE: **NOV 25, 2021**
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REVIEWED

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Site plan\16023-SP.dwg - Wed - Nov 24 2021 - 10:07 AM

- PROPOSED VALVE
- LIGHT POLE
- WATER SERVICE
- DOUBLE SIM/SAN CONNECTION
- SINGLE SIM/SAN CONNECTION
- CATCH BASIN
- CABLE TELEVISION PEDESTAL
- BELL PEDESTAL
- NO. OF RISERS
- FINISHED FLOOR ELEVATION
- FINISHED MAIN LEVEL ELEVATION
- UNDERSIDE FOOTING ELEVATION
- FIN. BASEMENT FLOOR SLAB
- TOP OF FOUNDATION WALL
- UNDERSIDE FOOTING AT REAR
- UNDERSIDE FOOTING AT FRONT
- UNDERSIDE FOOTING AT SIDE
- DECK
- WALK OUT DECK
- WALK OUT BASEMENT
- REVERSE PLAN
- STREET SIGN
- MAL BOX
- RETAINING WALL
- CHAIN LINK FENCE
- ACQUISITION FENCE
- WOOD SCREEN FENCE
- HYDRO SERVICE LATERAL
- HYDRO METER
- GAS METER
- SMALL DIRECTION
- EMBANKMENT
- LOTS EQUIPPED WITH SUMP PUMP
- PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA
- AIR CONDITIONER REQUIRED
- RAIN WATER DOWNSPOUT LOCATION
- SIDE WINDOW LOCATION
- OPEN DOOR LOCATION
- EXTERIOR DOOR LOCATION
- REDUCE SIDE YARD

project no: **16023**
 The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
Wellington Jno-Baptiste 25591
 name: _____ BCN
 registration information: **VA3 Design Inc.** 42658
 Builder to verify location of all hydrants, street lights, transformers and other services, if minimum dimensions are not maintained, builder to be relocate at his own expense.
 Builder to verify service connection elevations prior to constructing foundations.

MUNICIPAL ADDRESS
134 JONKMAN BLVD.



URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS
 LOT NO: **104**
 DATE: **Nov 24, 2021**

DEVELOPER: **ARG GROUP**
 BUILDER: **BAYVIEW WELLINGTON**
 CONSULTANT: **URBAN ECO SYSTEMS- CIVIL ENG**
VA3 DESIGN- ARCHITECTURE

MAX BUILDING HEIGHT: 13.0m	LOT AREA: 537.62 m²	SAN INVERT: 221.24 m
BUILDING HEIGHT: 8.29m	LOT FRONTAGE: 12.80 m	STM INVERT: 222.63 m
AVERAGE GRADE: 223.94m	LOT COVERAGE: N/A %	DESIGNED: -
4	DRAWN: RC	SCALE: 1:250
3	DRAWING NOT TO SCALE	DATE: NOV 16 2021
2	ISSUED FOR CLIENT REVIEW	NOV 10 2021
1	PLAN 51M-1137	
No. Revision		Date

LOT NO: **104**

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