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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: **MAR 15, 2022**

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

INSPECTOR: 
DATE: **Sept. 2, 2022**

PERMIT NO.: **MODEL CERT.**

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGSPECTIONS@TOWNOFBWG.COM
INSPECTION REQUEST FAX: (905) 778-2035
INSPECTION REQUEST TELEPHONE: (905) 778-2035 EXT. 1500



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

AREA CHART ON PAGE 6

BASEMENT PLAN 'A'

REVIEWED		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S42-21	
Wellington Jno-Baptiste		signature		25591		project name		municipality	
VA3 Design Inc.		registration information		42658		GREEN VALLEY EAST		BRADFORD, ON.	
3 REVISED AS PER ENG COMMENTS		MAR 09-22		RC		date		project no.	
2 REVISED AS PER FLOOR / ROOF LAYOUTS		FEB 24-22		RC		SEPTMBER 2021		16023	
1 ISSUED FOR CLIENT REVIEW		OCT 22-21		KL		drawn by		drawing no.	
no. description		date		by		checked by		scale	
						KL		3/16" = 1'-0"	
						file name		1	
						16023-S42-21			
						RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:09 PM			

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AND APPROVAL

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NOTE W1
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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AREA CHART ON PAGE 6

BASEMENT PLAN 'A' (9'-0" BASEMENT)

9.					
8.					
7.					
6.					
5.					
4.					
3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC		
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC		
1.	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL		
no.	description	date	by		

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Wellington Jno-Baptiste
name
signature
BCIN 25591
VA3 Design Inc.
registration information
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-21	
project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 16023	
date SEPTEMBER 2021	checked by KL	scale 3/16" = 1'-0"	drawing no. 1A
BASEMENT PLAN 'A'		file name 16023-S42-21	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:09 PM			

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MAR 9, 2022

150 = 3 1/2"x3 1/2"x 1/4" SQUARE H.S.S. 6x6x3/8" TOP AND BOTTOM PL. BASE PLATE 4 1/2"x10 1/2"x 1/2" WITH 2- 1/2"x12"x2" HOOK ANCHORS. FIELD WELD COLUMN TO BASE PLATE

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")
CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER	

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

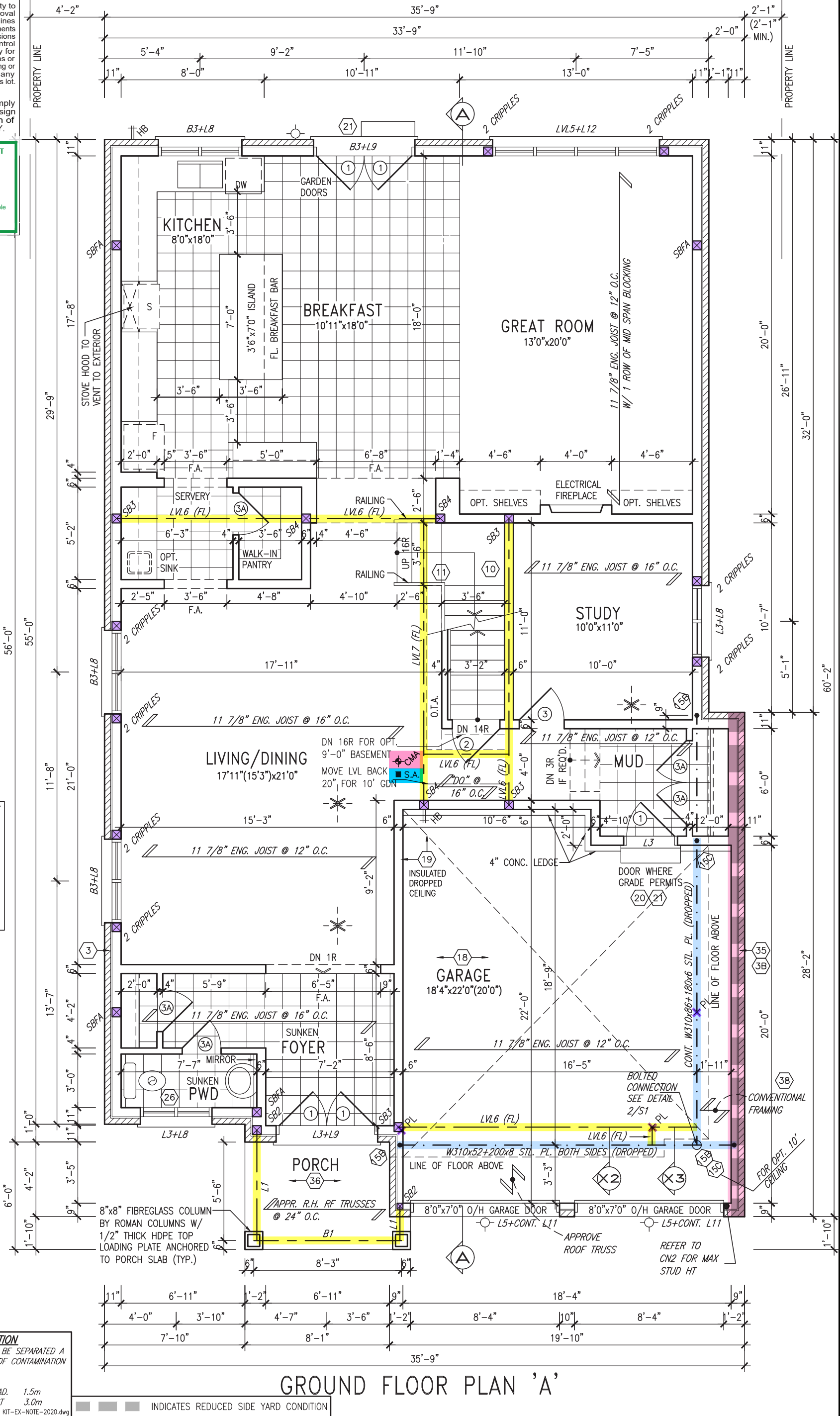
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg



GROUND FLOOR PLAN 'A'

9.	REVIEWED		
8.			
7.			
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4.			
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Wellington Jno-Baptiste

name: Wellington Jno-Baptiste BCIN: 25591

registration information: VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		S42-21	
project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 16023	drawing no. 2
date SEPTEMBER 2021	checked by KL	scale 3/16" = 1'-0"	file name 16023-S42-21
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GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

SECOND FLOOR PLAN 'A'

9	REVIEWED	DATE	BY
8	REVIEWED	DATE	BY
7	REVIEWED	DATE	BY
6	REVIEWED	DATE	BY
5	REVIEWED	DATE	BY
4	REVIEWED	DATE	BY
3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
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no.	description	date	by

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Wellington Jno-Baptiste
name
signature
registration information
VA3 Design Inc.
42658

25591
BCIN
42658

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VA3 DESIGN

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va3design.com

BAYVIEW WELLINGTON		S42-21	
project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 16023	drawing no. 3
date SEPTEMBER 2021	checked by KL	scale 3/16" = 1'-0"	file name 16023-S42-21
SECOND FLOOR PLAN 'A'			
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MAR 9, 2022

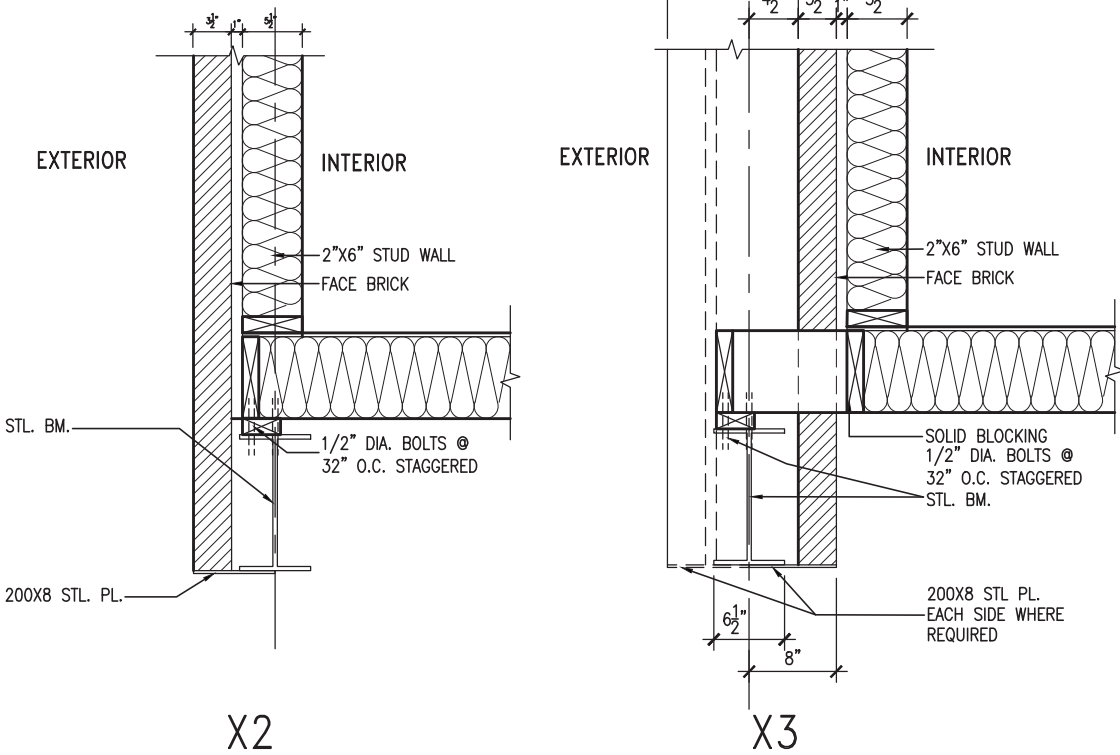
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

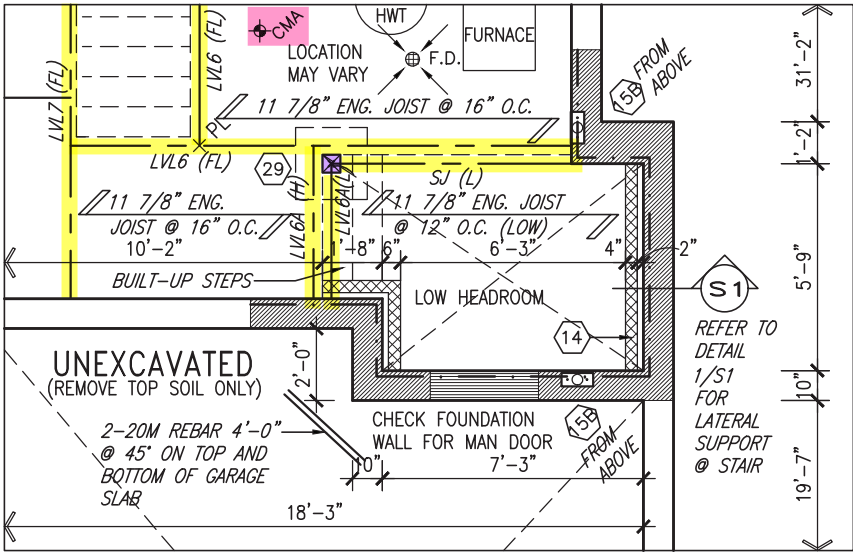
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MANUFACTURER.

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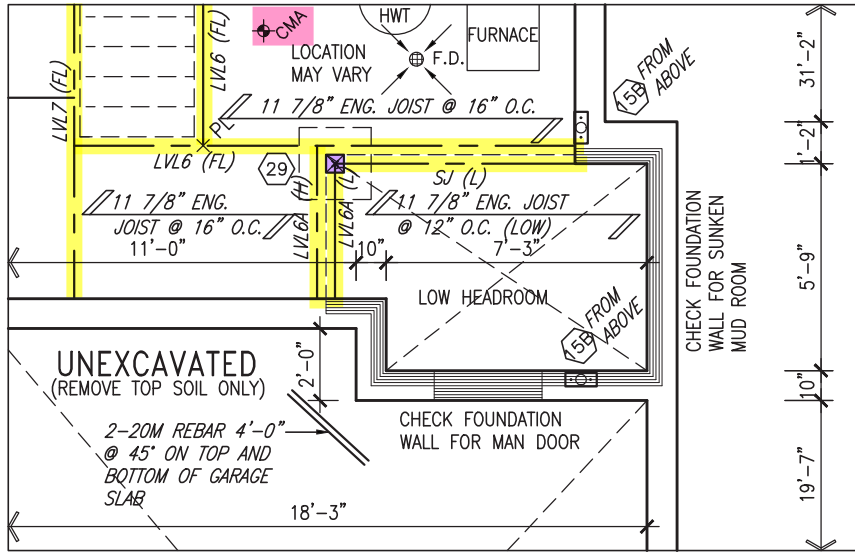
NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



M11a 12" WALL JOG
SCALE: N.T.S.

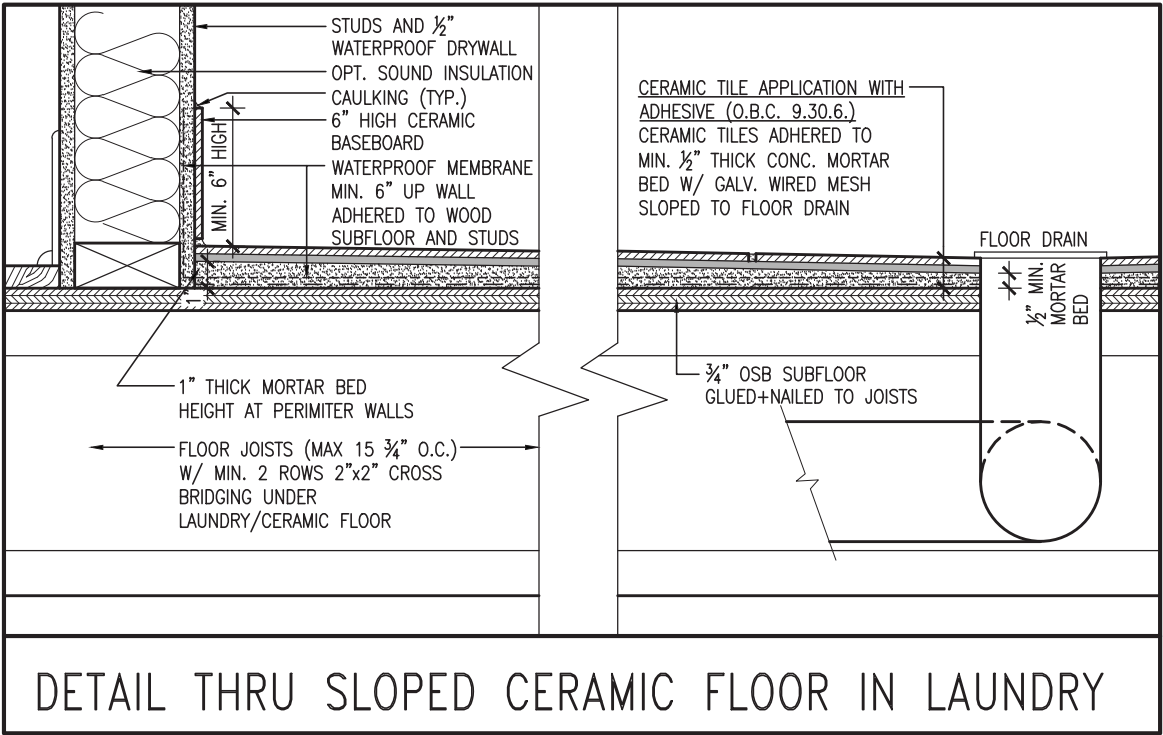


PARTIAL BASEMENT PLAN FOR
SUNKEN MUD ROOM
(-2R TO -3R CONDITION)



PARTIAL BASEMENT PLAN FOR
SUNKEN MUD ROOM
(-1R CONDITION)

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1592.7 SF	1593.5 SF	1598.0 SF
SECOND FLOOR AREA	1894.5 SF	1885.1 SF	1891.4 SF
SUBTOTAL	3487.2 SF	3478.6 SF	3489.4 SF
DEDUCT ALL OPENINGS	7.6 SF	7.6 SF	7.6 SF
TOTAL NET AREA	3480 SF	3471 SF	3482 SF
	323.3 m2	322.5 m2	323.5 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3480 SF	3471 SF	3482 SF
	323.3 m2	322.5 m2	323.5 m2
COVERAGE W/O PORCH	2012.8 SF	2013.6 SF	2018.1 SF
	187.0 m2	187.1 m2	187.5 m2
COVERAGE W/PORCH	2063.4 SF	2073.7 SF	2104.8 SF
	191.7 m2	192.7 m2	195.5 m2

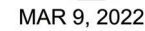


DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

9.	REVIEWED	25591	BCIN
8.		42658	
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1.	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description	date	by

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
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va3design.com

BAYVIEW WELLINGTON		S42-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.
date	SEPTEMBER 2021	project no.	16023
drawn by	KL	checked by	-
scale	3/16" = 1'-0"	file name	16023-S42-21
PARTIAL PLANS, DETAILS & AREA CHART		drawing no.	6
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REVIEWED

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

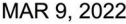
APPROVED BY: 

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2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description	date	by

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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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APPROVED BY: 
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S42-21

BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ON.	16023

date _____ drawing no. _____

drawn by	checked by	scale	file name
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KL	-	$3/16'' = 1'-0''$	16023-S42-21
11.5' (3.50m) x 11.5' (3.50m)	4.00' (1.22m)	4.00' (1.22m)	7.00' (2.13m)
11.5' (3.50m) x 11.5' (3.50m)	4.00' (1.22m)	4.00' (1.22m)	7.00' (2.13m)

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we are *not* defining property as the abstract representation of any property in the sense of the first definition. We are defining property as the abstract representation of the *concrete* instances of the property. This is the sense in which we use the word property in the title of this paper.

Decision

DESIGN
255 Consumers Rd Suite 120

Toronto ON M2J 1R4

416.630.2233 | 416.630.4782
va3design.com

specifications, related documents and c

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste, signature BCIN 25591

registration information
VA3 Design Inc.
42658

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Drawings are not to be scaled.

All draw

[illegible]

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3	REVISED AS PER ENG COMMENTS	MAR 09-22	R
2	REVISED AS PER ENG COMMENTS	FEB 24 22	R

2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	K
1	ISSUED FOR CLIENT REVIEW	OCT 22-21	K

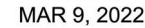
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WALL AREA	1109.17 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.64 SQ. FT.
OPENING PROVIDED	54.84 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'

REVIEWED

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R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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APPROVED BY: 

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BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ON.	

date	SEPTEMBER 2021	checked by	scale	file name	drawing no.
	KL	-	3/16" = 1'-0"	16023-S42E-21	

DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

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Wellington Jno-Baptiste
signature
BCIN 2559

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BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	1178.92 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	82.52 SQ. FT.
OPENING PROVIDED	35.40 SQ. FT. (GLASS AREA ONLY)

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 15, 2022

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RIGHT SIDE ELEVATION 'A'

REVIEWED

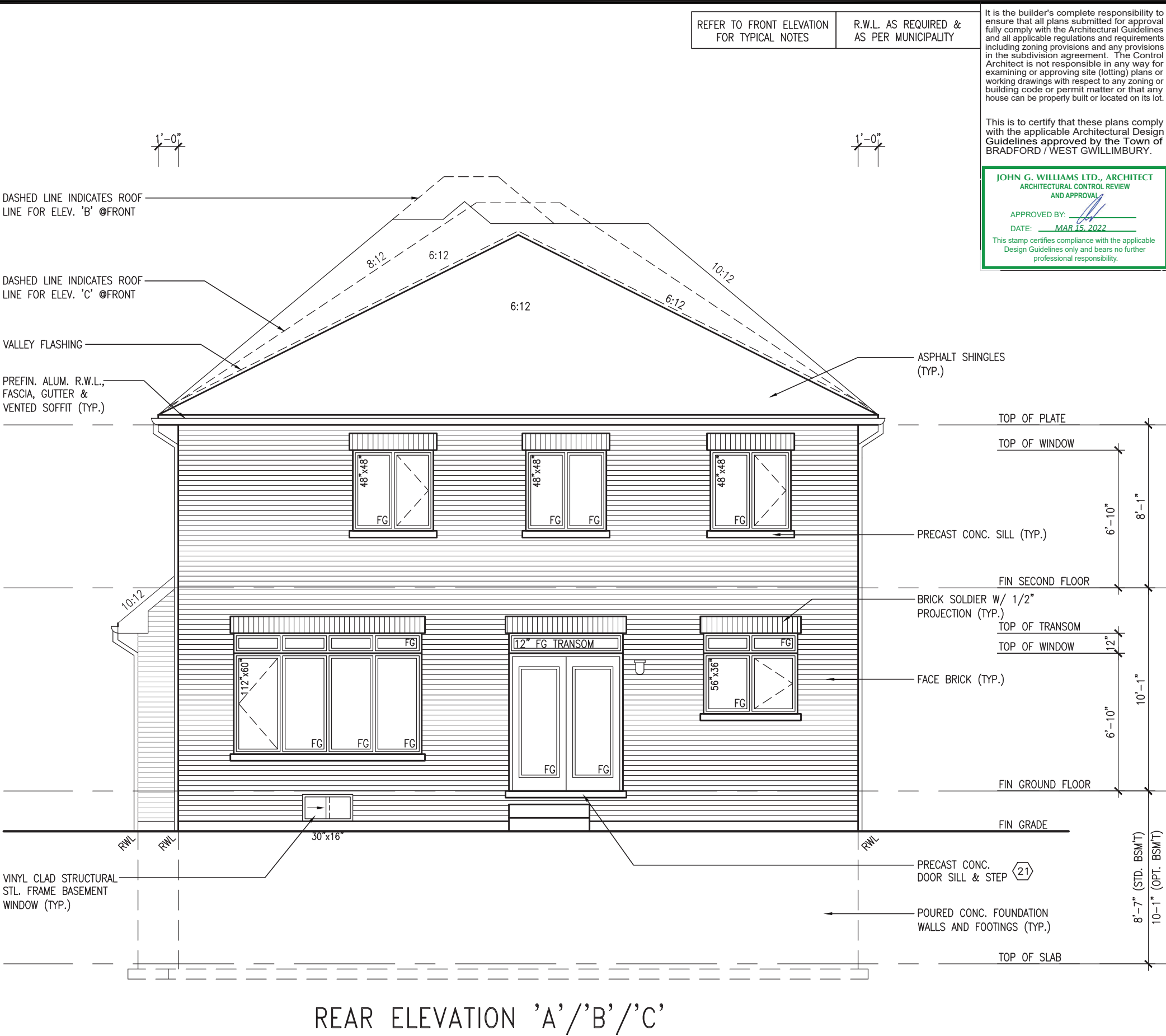
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION A/A REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	687.38 S.F.	169.37 S.F.	24.64 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	680.62 S.F.	170.39 S.F.	25.03 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3641.80 S.F.	481.76 S.F.	13.23 %
TOTAL SQ. M.	338.33 S.M.	44.76 S.M.	13.23 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION B/B REAR UPG	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	688.13 S.F.	137.56 S.F.	19.99 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	680.62 S.F.	170.39 S.F.	25.03 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3642.55 S.F.	449.95 S.F.	12.35 %
TOTAL SQ. M.	338.40 S.M.	41.80 S.M.	12.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	699.75 S.F.	191.94 S.F.	27.43 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	680.62 S.F.	170.39 S.F.	25.03 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3654.17 S.F.	504.33 S.F.	13.80 %
TOTAL SQ. M.	339.48 S.M.	46.85 S.M.	13.80 %



MAR 9, 2022



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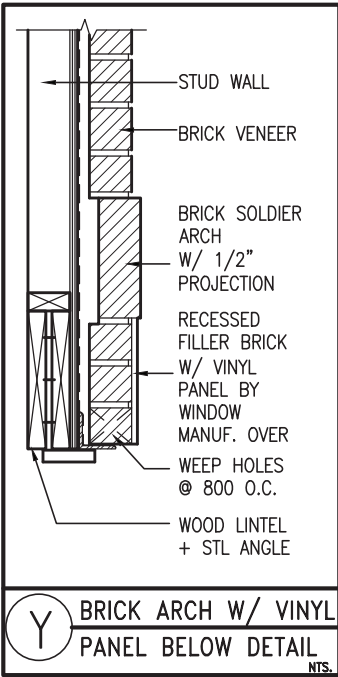
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

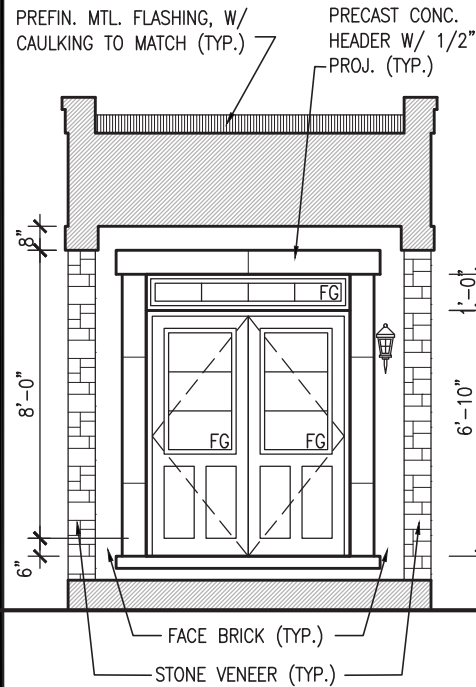
DATE: MAR 15, 2022

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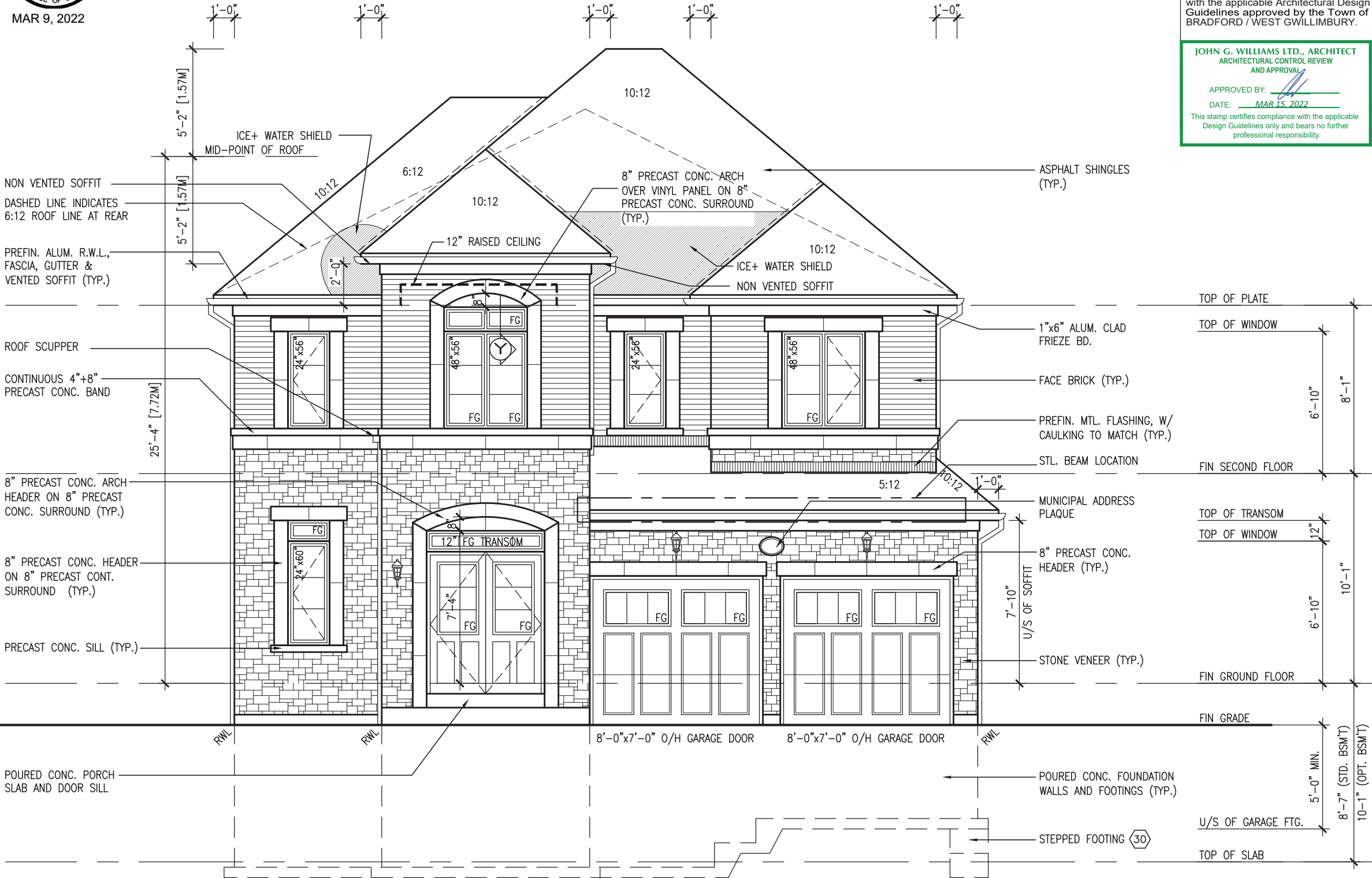
BAYVIEW WELLINGTON		S42-21	
project name	GREEN VALLEY EAST	project no.	16023
municipality	BRADFORD, ON.	drawing no.	10
date	SEPTEMBER 2021	rear elevation 'A'/'B'/'C'	16023-S42-21
checked by	KL	scale	3/16" = 1'-0"
drawn by	KL	file name	16023-S42-21
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:09 PM			
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591 BCN			
name registration information VAS Design Inc. 42658			
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Drawings are not to be scaled.			
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4			
3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description	date	by



MAR 9, 2022



PORTICO
ELEVATION 'B'



FRONT ELEVATION 'B'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 15, 2022

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S42-21

BAYVIEW WELLINGTON

project no. 16023
drawing no. 11
project name GREEN VALLEY EAST
municipality BRADFORD, ON.
date SEPTEMBER 2021
checked by KL
drawn by KL

scale 3/16" = 1'-0"

file name 16023-S42-21
drawn by KL
checked by KL
date SEP 9 2022 - 3:09 PM



255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

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qualification information

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name Jno-Baptiste 25591 BCN

registration information VAS Design Inc. 42658

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no. description

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3 REVISED AS PER ENG COMMENTS MAR 09-22 RC

2 REVISED AS PER FLOOR / ROOF LAYOUTS FEB 24-22 RC

1 ISSUED FOR CLIENT REVIEW OCT 22-21 KL

REVIEWED



MAR 9, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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AS PER MUNICIPALITY

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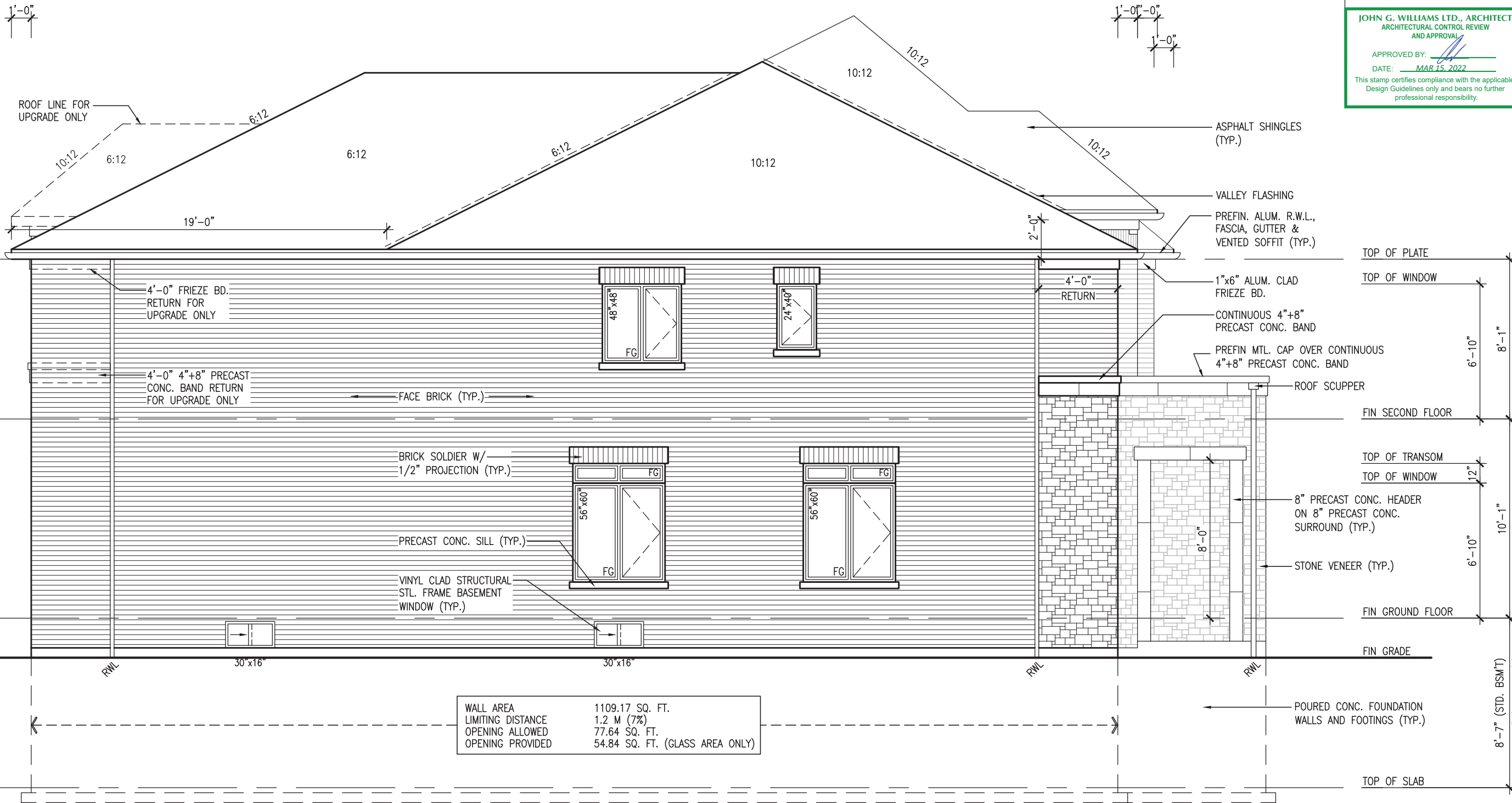
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 15, 2022

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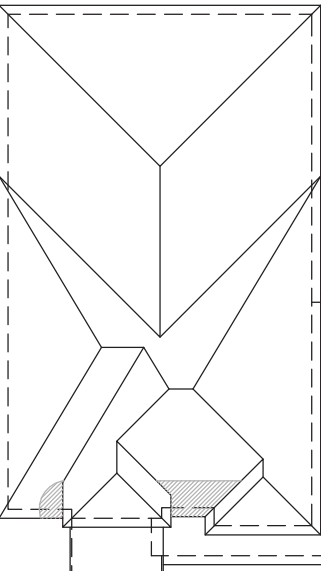


WALL AREA	1109.17 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.64 SQ. FT.
OPENING PROVIDED	54.84 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

REVIEWED

project no.		16023
drawing no.		12
project name		BAYVIEW WELLINGTON
municipality		BRADFORD, ON.
project name		GREEN VALLEY EAST
date		SEPTEMBER 2021
checked by		KL
drawn by		KL
scale		3/16" = 1'-0"
file name		16023-S42-21
date		Mar 9 2022 - 3:09 PM
no.		description
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3	REVISED AS PER ENG. COMMENTS	MAR 09-22 RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC
1	ISSUED FOR CLIENT REVIEW	OCT 22-21 KL



ROOF PLAN 'B'



MAR 9, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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ASPHALT SHINGLES
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD.

CONTINUOUS 4"x8"
PRECAST CONC. BAND

STONE VENEER
(TYP.)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

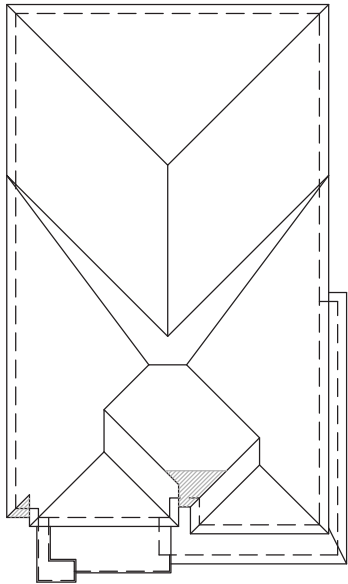
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	1178.92 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	82.52 SQ. FT.
OPENING PROVIDED	35.40 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'B'

REVIEWED

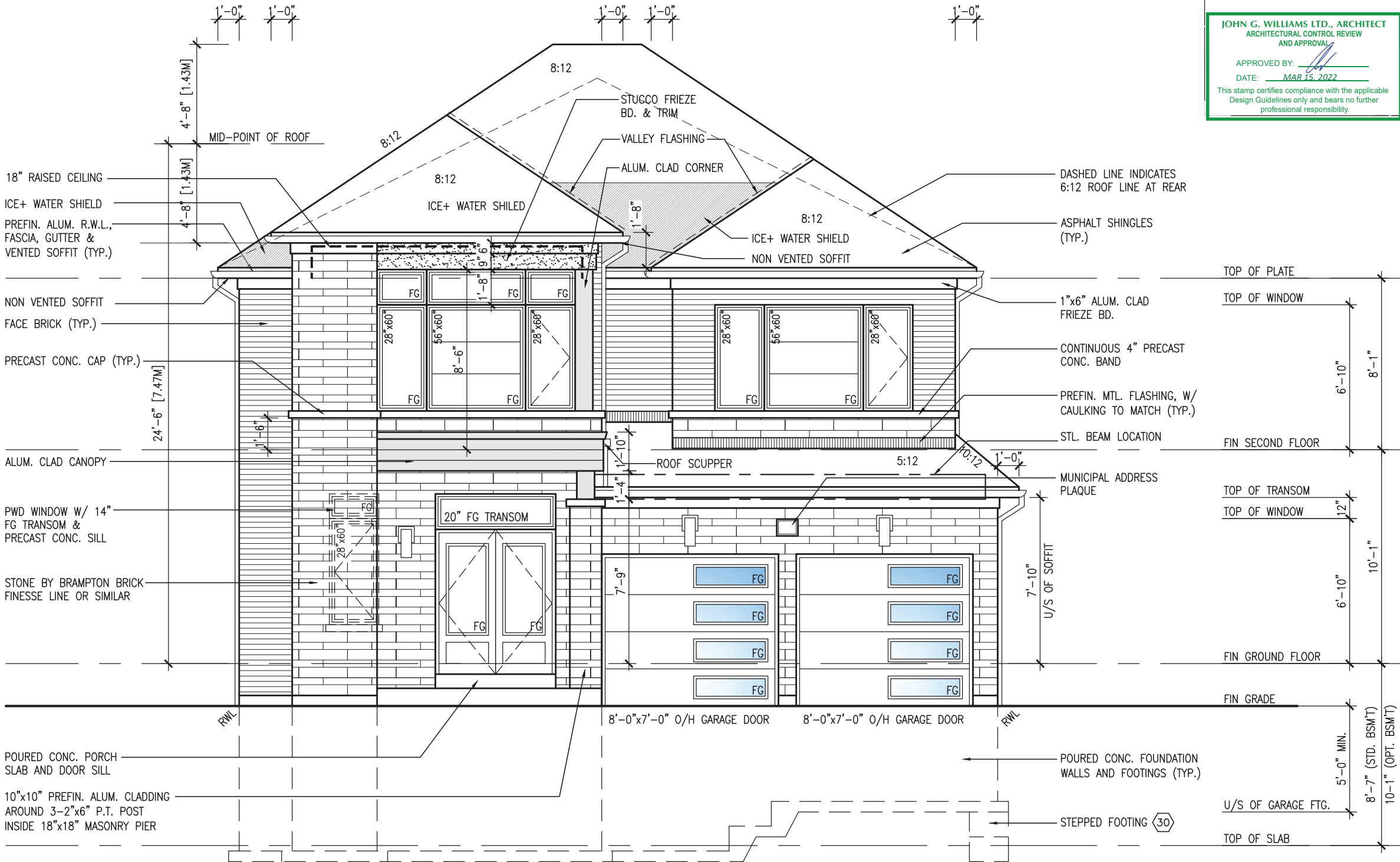
BAYVIEW WELLINGTON		S42-21	
GREEN VALLEY EAST		RIGHT SIDE ELEVATION 'B'	
project name	BRADFORD, ON.	project no.	16023
date	SEPTEMBER 2021	drawing no.	13
checked by	KL	scale	3/16" = 1'-0"
drawn by	KL	file name	16023-S42-21
RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:09 PM		This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.	
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Wellington Jno-Baptiste		Wellington Jno-Baptiste	
signature		signature	
BCIN		BCIN	
25591		25591	
42658		42658	
VAS Design Inc.		VAS Design Inc.	
name		name	
MAR 09-22 RC		MAR 09-22 RC	
FEB 24-22 RC		FEB 24-22 RC	
OCT 22-21 KL		OCT 22-21 KL	
date		date	
description		description	
REVISED AS PER ENG COMMENTS		REVISED AS PER ENG COMMENTS	
REVISED AS PER FLOOR / ROOF LAYOUTS		REVISED AS PER FLOOR / ROOF LAYOUTS	
ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW	



ROOF PLAN 'C'



MAR 9, 2022

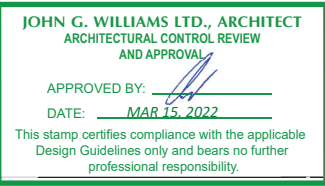


FRONT ELEVATION 'C'

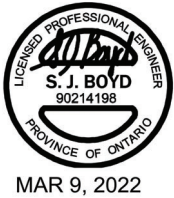
R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information		Wellington Jno-Baptiste 25591		BCIN		VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		16023		S42-21	
8 .										project name		GREEN VALLEY EAST		municipality		BRADFORD, ON.	
7 .										name		Wellington Jno-Baptiste		signature		25591	
6 .										registration information		VA3 Design Inc.		42658			
5 .										contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work and the property of the Designer which must be returned at the completion of the work.							
4 .										drawings are not to be scaled.							
3 REVISED AS PER ENG COMMENTS		MAR 09-22 RC												date		by	
2 REVISED AS PER FLOOR / ROOF LAYOUTS		FEB 24-22 RC												date		by	
1 ISSUED FOR CLIENT REVIEW		OCT 22-21 KL												date		by	
no. description														date		by	



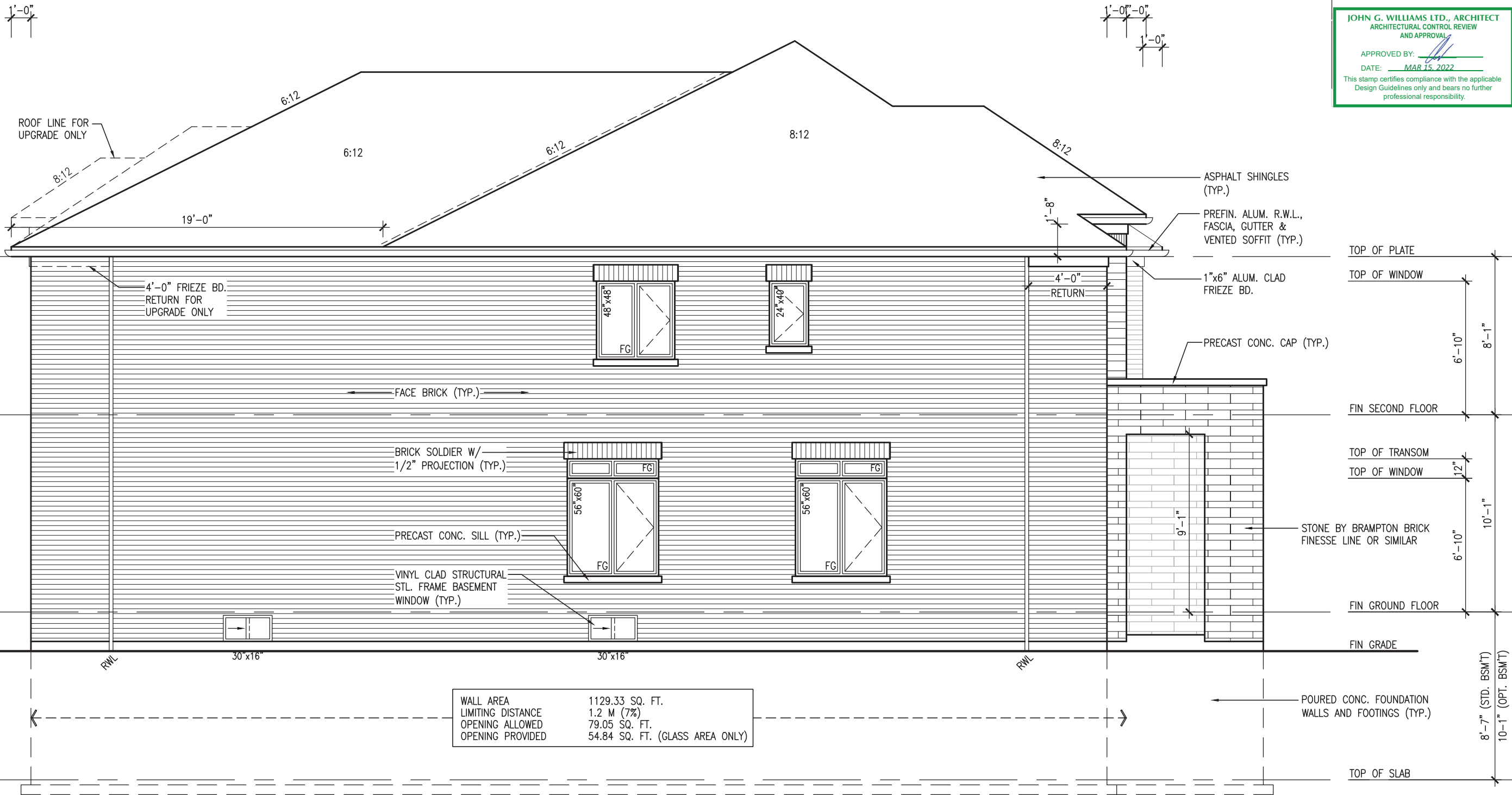
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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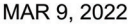
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 15, 2022
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LEFT SIDE ELEVATION 'C'

REVIEWED

BAYVIEW WELLINGTON		S42-21	
project name	GREEN VALLEY EAST	project no.	16023
municipality	BRADFORD, ON.	drawing no.	15
date	SEPTEMBER 2021	LEFT SIDE ELEVATION 'C'	
checked by	KL	scale	3/16" = 1'-0"
drawn by	KL	file name	16023-S42-21
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qualification information			
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name registration information VAS Design Inc. 42658			
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2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
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no.	description	date	by



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Drawings are not to be scaled.

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RIGHT SIDE ELEVATION 'C'

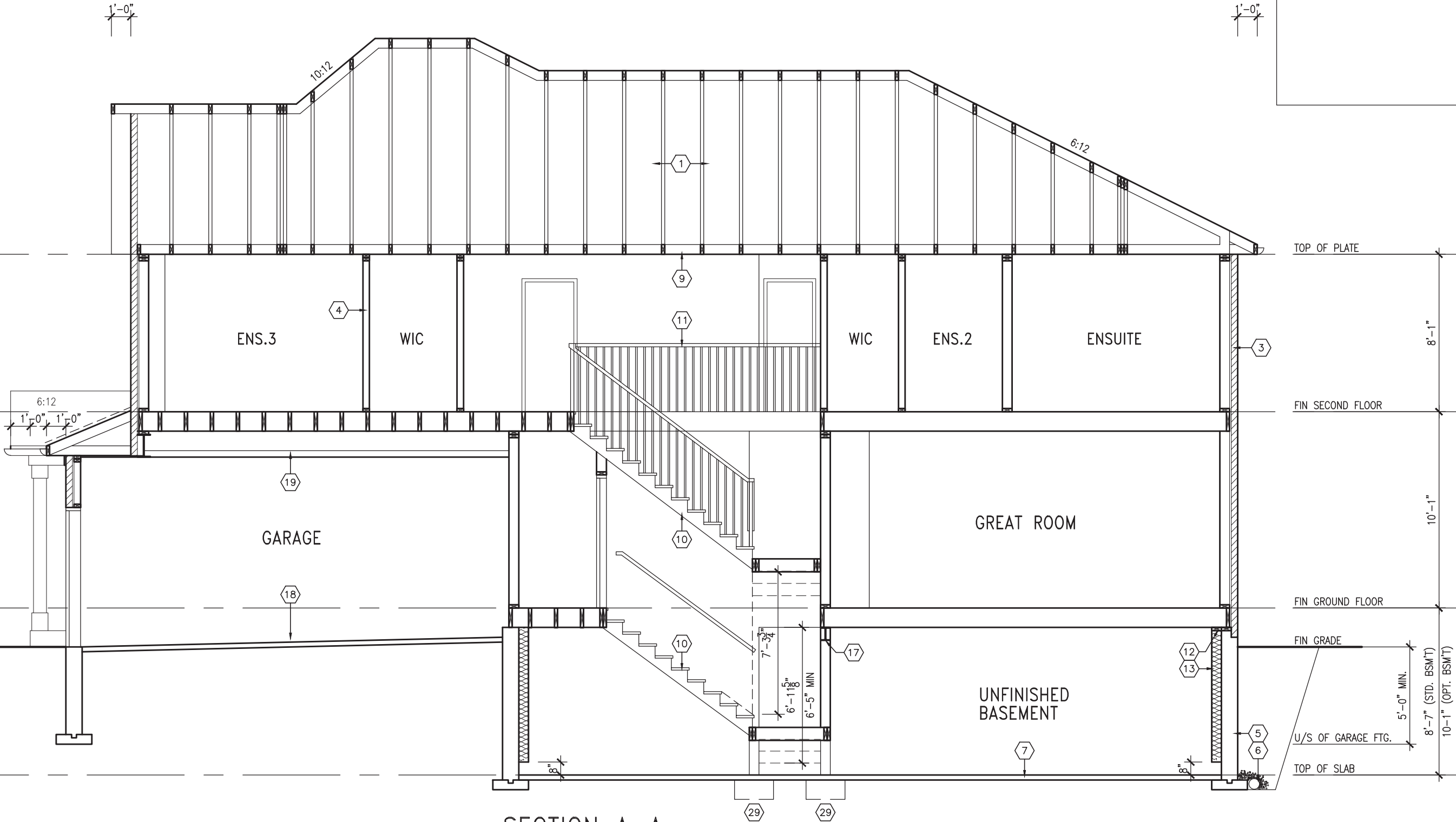
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MAR 9, 2022

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REVIEWED

BAYVIEW WELLINGTON		S42-21	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.
project no.	16023	drawing no.	17
date	SEPTEMBER 2021	SECTION	A-A
drawn by	KL	file name	16023-S42-21
checked by	-	scale	3/16" = 1'-0"
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2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description		

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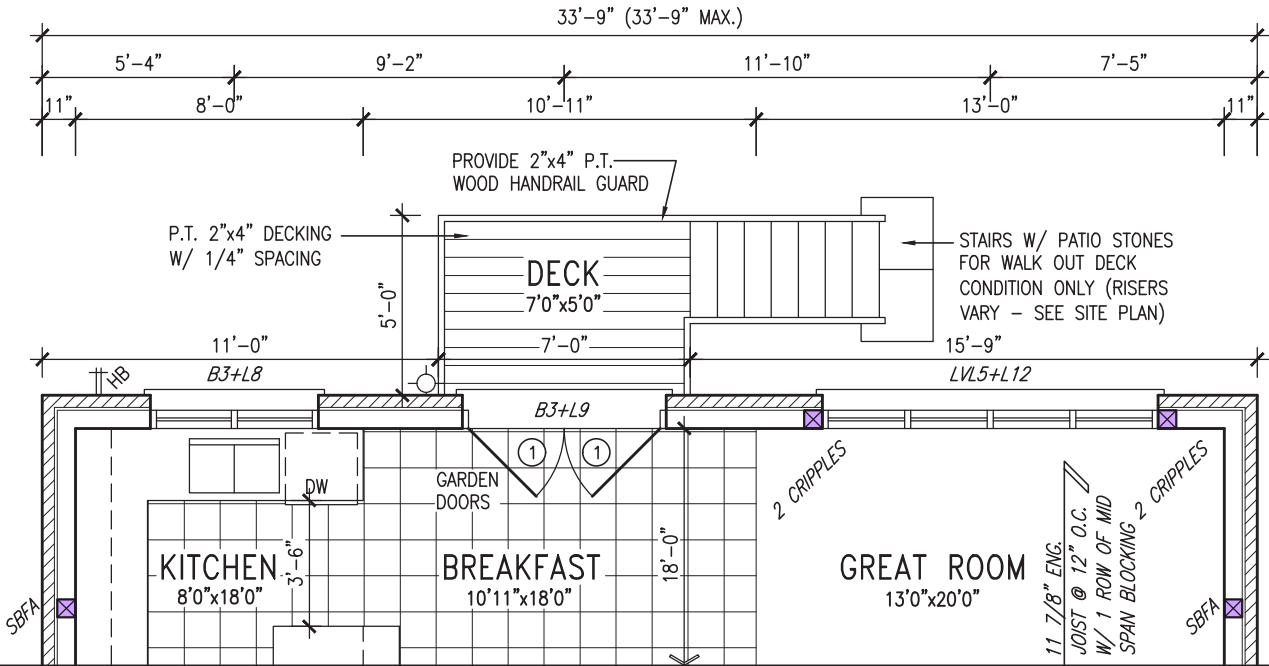
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 15, 2022

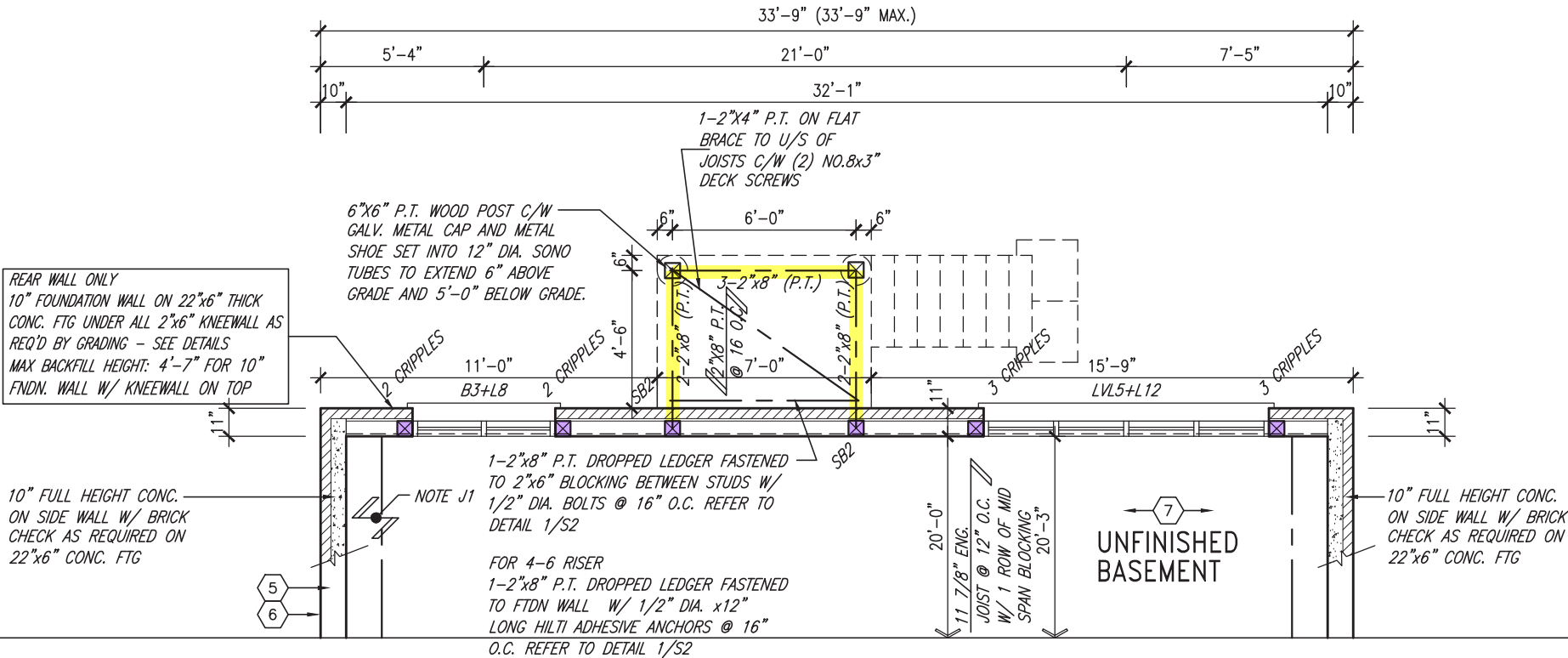
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN
W/ W.O.D. (9R OR MORE)



PARTIAL BASEMENT PLAN
W/ W.O.D. (9R OR MORE)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

9.	REVIEWED		
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4.			
3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
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no.	description	date	by

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name registration information BCIN
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-21

project name GREEN VALLEY EAST municipality BRADFORD, ON. project no. 16023

date SEPTEMBER 2021 PARTIAL PLANS W/ W.O.D. file name 16023-S42-21


drawn by KL checked by 3/16" = 1'-0" scale 18

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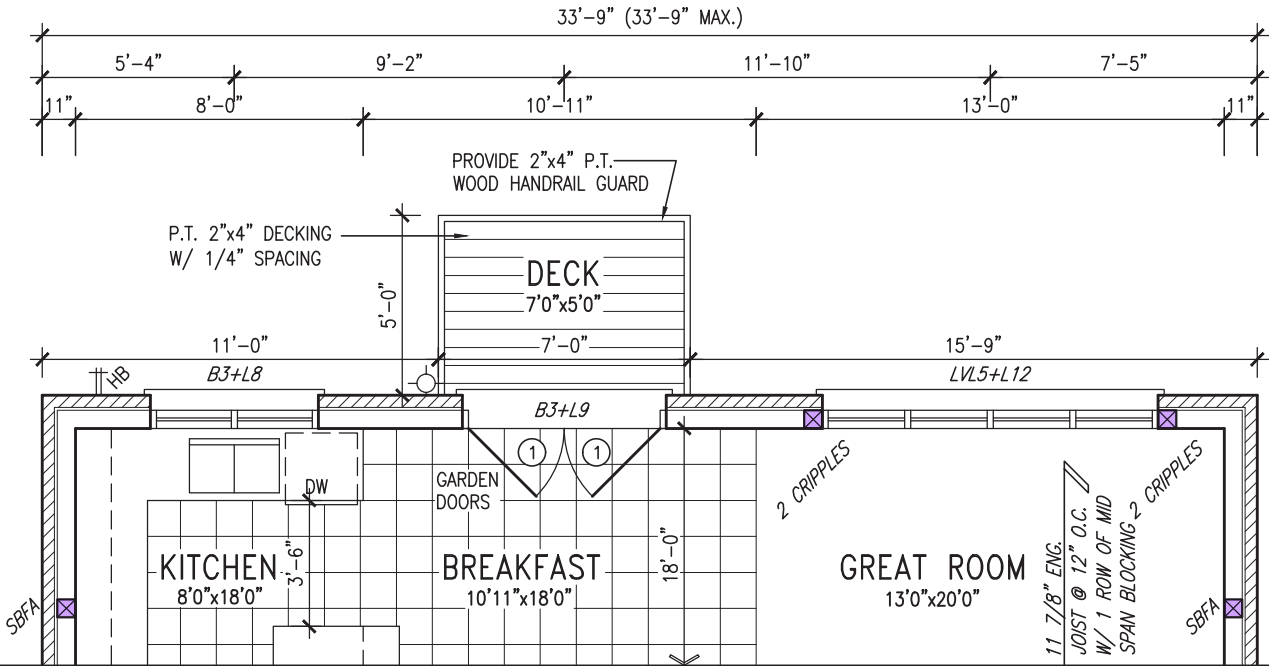
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAR 15, 2022

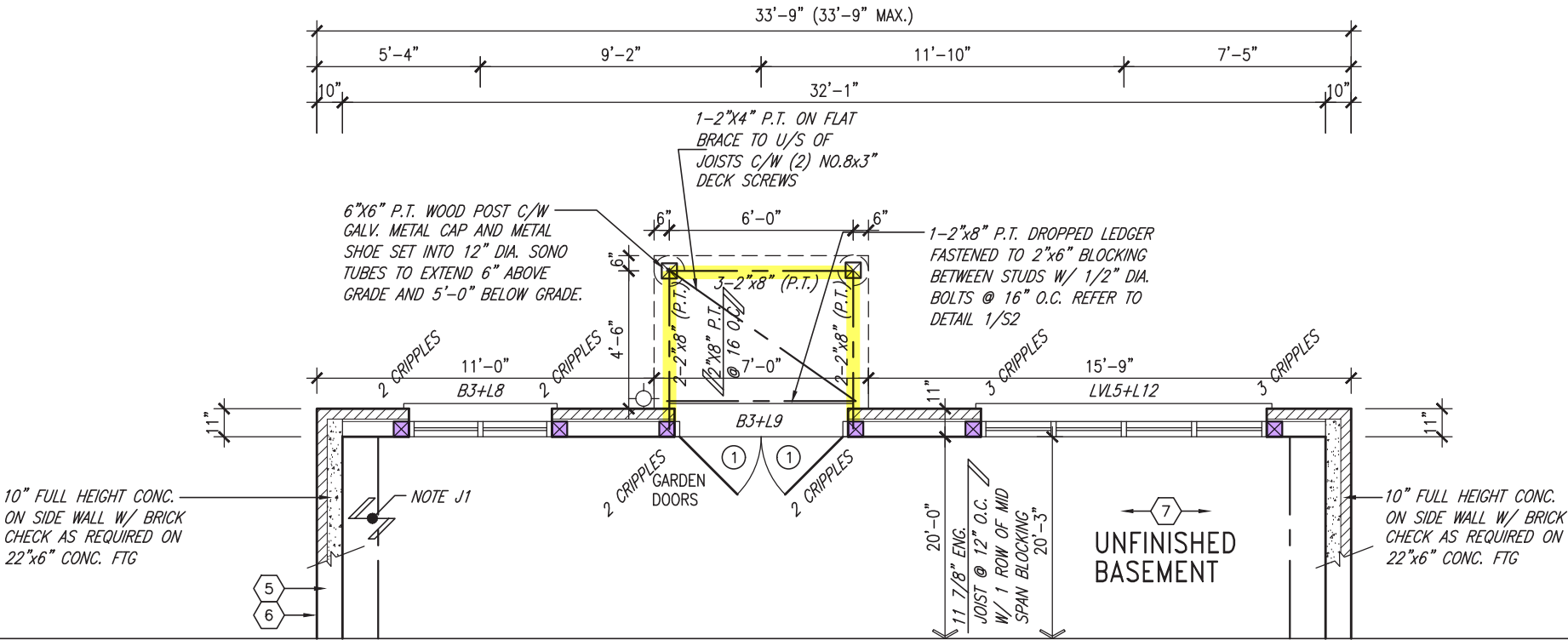
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PARTIAL GROUND FLOOR PLAN
W/ W.O.B.



PARTIAL BASEMENT PLAN
W/ W.O.B.

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- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

9.	REVIEWED		
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3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1.	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
25591
BCIN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-21

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON.

project no.
16023

date
SEPTEMBER 2021

drawn by
KL

checked by
-

scale
3/16" = 1'-0"

file name
16023-S42-21

drawing no.
20

PARTIAL PLANS W/ W.O.B.

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:10 PM

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION A/A REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	687.38 S.F.	169.37 S.F.	24.64 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	902.81 S.F.	275.76 S.F.	30.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3863.99 S.F.	587.13 S.F.	15.19 %
TOTAL SQ. M.	358.97 S.M.	54.55 S.M.	15.19 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION B/B REAR UPG WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	688.13 S.F.	137.56 S.F.	19.99 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	902.81 S.F.	275.76 S.F.	30.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3864.74 S.F.	555.32 S.F.	14.37 %
TOTAL SQ. M.	359.04 S.M.	51.59 S.M.	14.37 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	699.75 S.F.	191.94 S.F.	27.43 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	902.81 S.F.	275.76 S.F.	30.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3876.36 S.F.	609.70 S.F.	15.73 %
TOTAL SQ. M.	360.12 S.M.	56.64 S.M.	15.73 %



MAR 9, 2022



REAR ELEVATION 'A'/'B'/'C'
W/ W.O.B.

REVIEWED

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

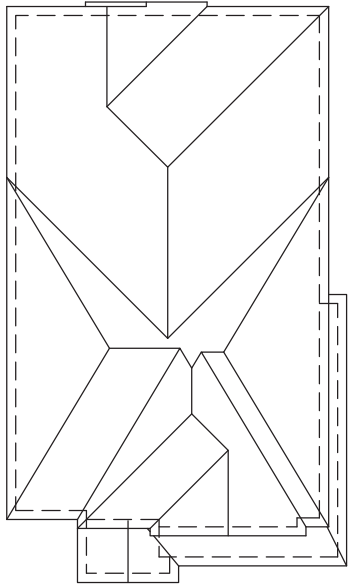
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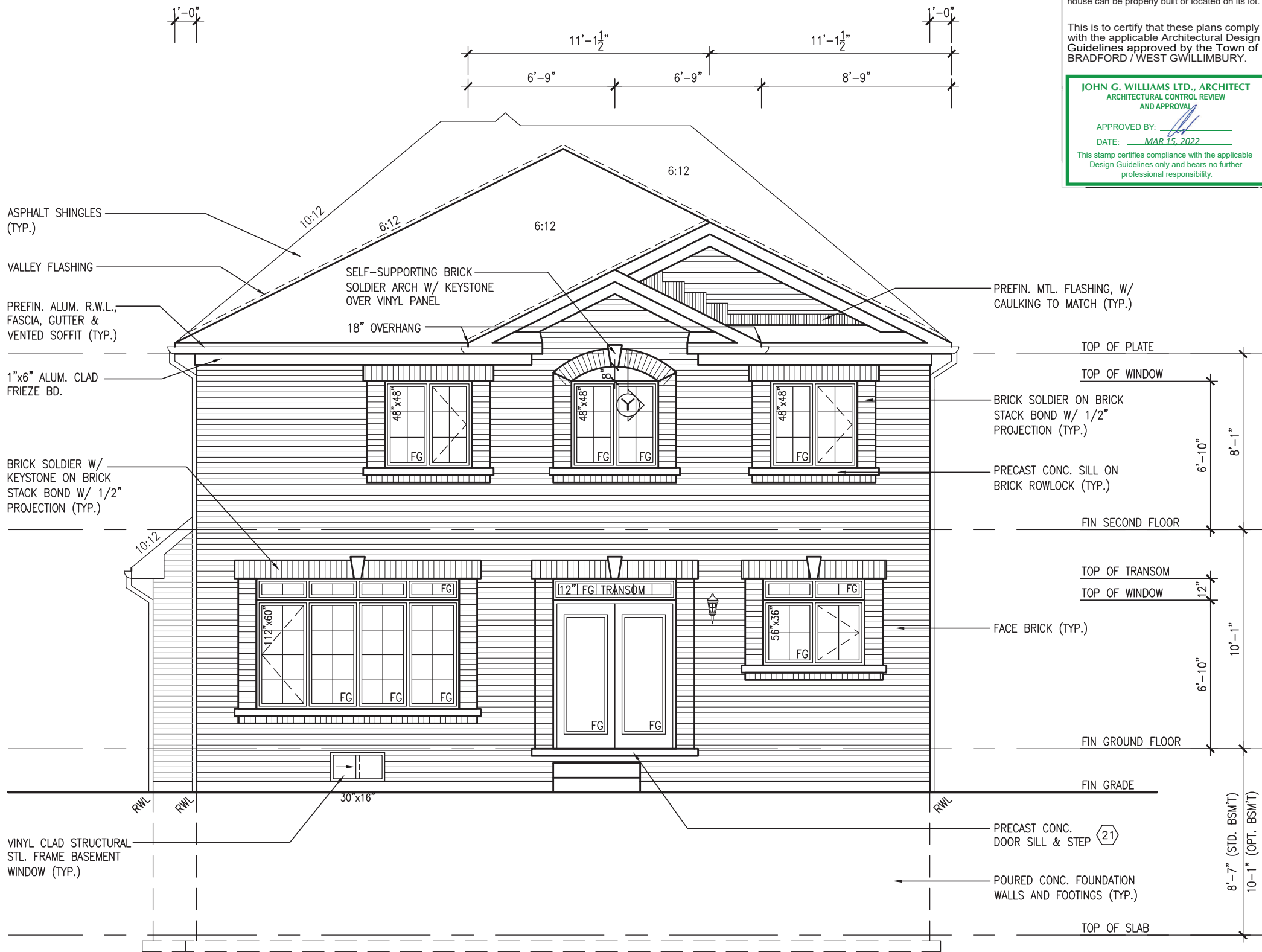
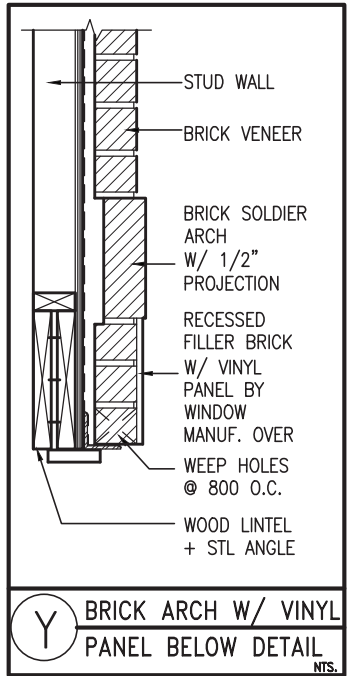
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: MAR 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S42-21		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON.		16023		21	
project no.	16023	project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	date	SEPTEMBER 2021	drawn by	KL	checked by	KL
drawing no.	21	file name	16023-S42-21	scale	3/16" = 1'-0"	checked by	KL	drawn by	KL	checked by	KL
REAR ELEVATION 'A'/'B'/'C' W/ W.O.B.											
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:10 PM											
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3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC	25591	BCN	42658	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC	25591	BCN	42658	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.
1	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL	25591	BCN	42658	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.	WAS Design Inc.
no.	description	date	by	checked by	drawn by	scale	checked by	drawn by	scale	checked by	drawn by



ROOF PLAN 'A'
W/ REAR UPG.



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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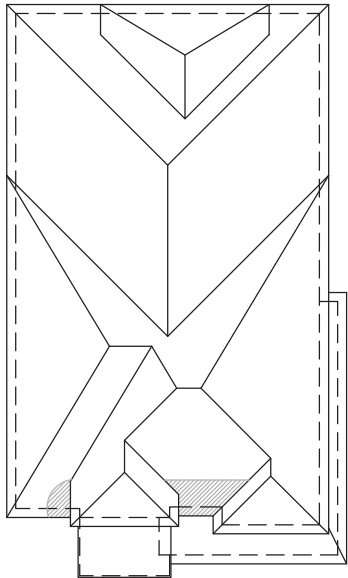
JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

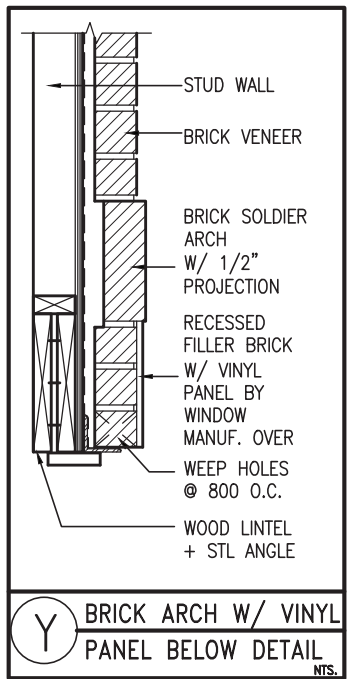
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

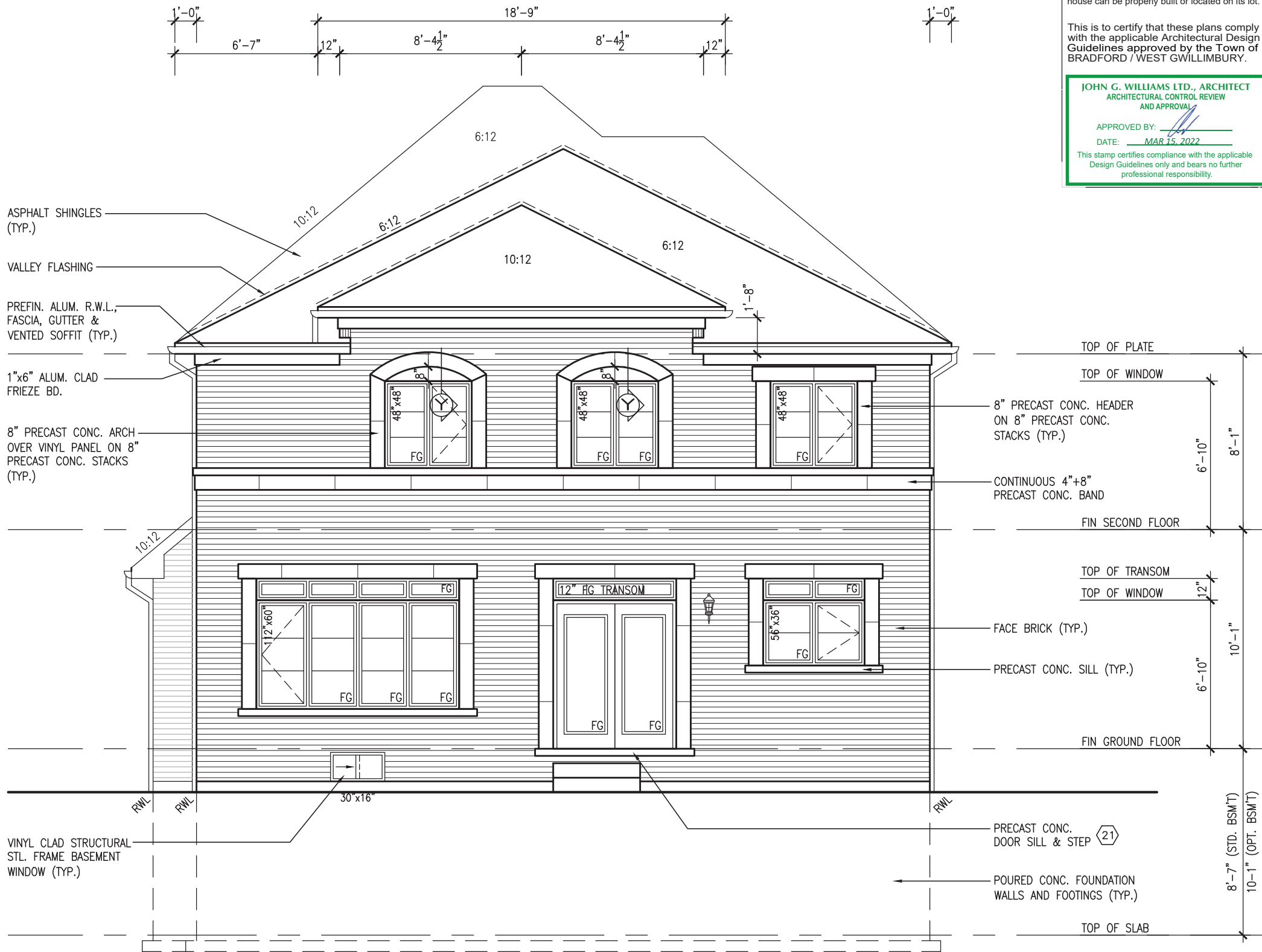
no.	9
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ROOF PLAN 'B'
W/ REAR UPG.



- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD.
- 8" PRECAST CONC. ARCH OVER VINYL PANEL ON 8" PRECAST CONC. STACKS (TYP.)



UPGRADED REAR ELEVATION 'B'

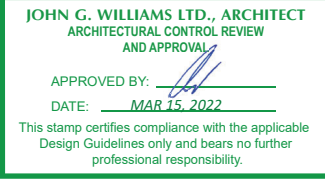
REVIEWED

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

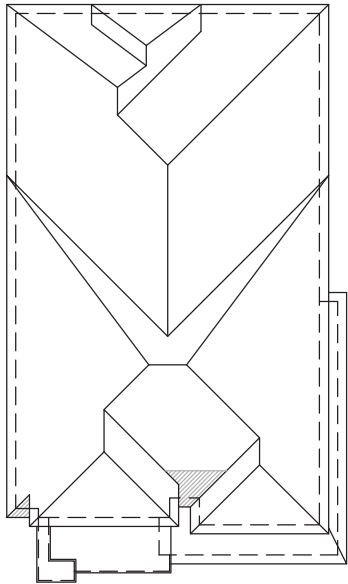
R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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project no.		16023		drawing no.		23	
project name		BAYVIEW WELLINGTON		municipality		BRADFORD, ON.	
date		SEPTEMBER 2021		checked by		KL	
drawn by		KL		scale		3/16" = 1'-0"	
file name		16023-S42-21		date		MAR 9 2022	
no.		description		date		by	
9							
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7							
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4							
3		REVISED AS PER ENG COMMENTS	MAR 09-22	RC			
2		REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC			
1		ISSUED FOR CLIENT REVIEW	OCT 22-21	KL			



ROOF PLAN 'C'
W/ REAR UPG.

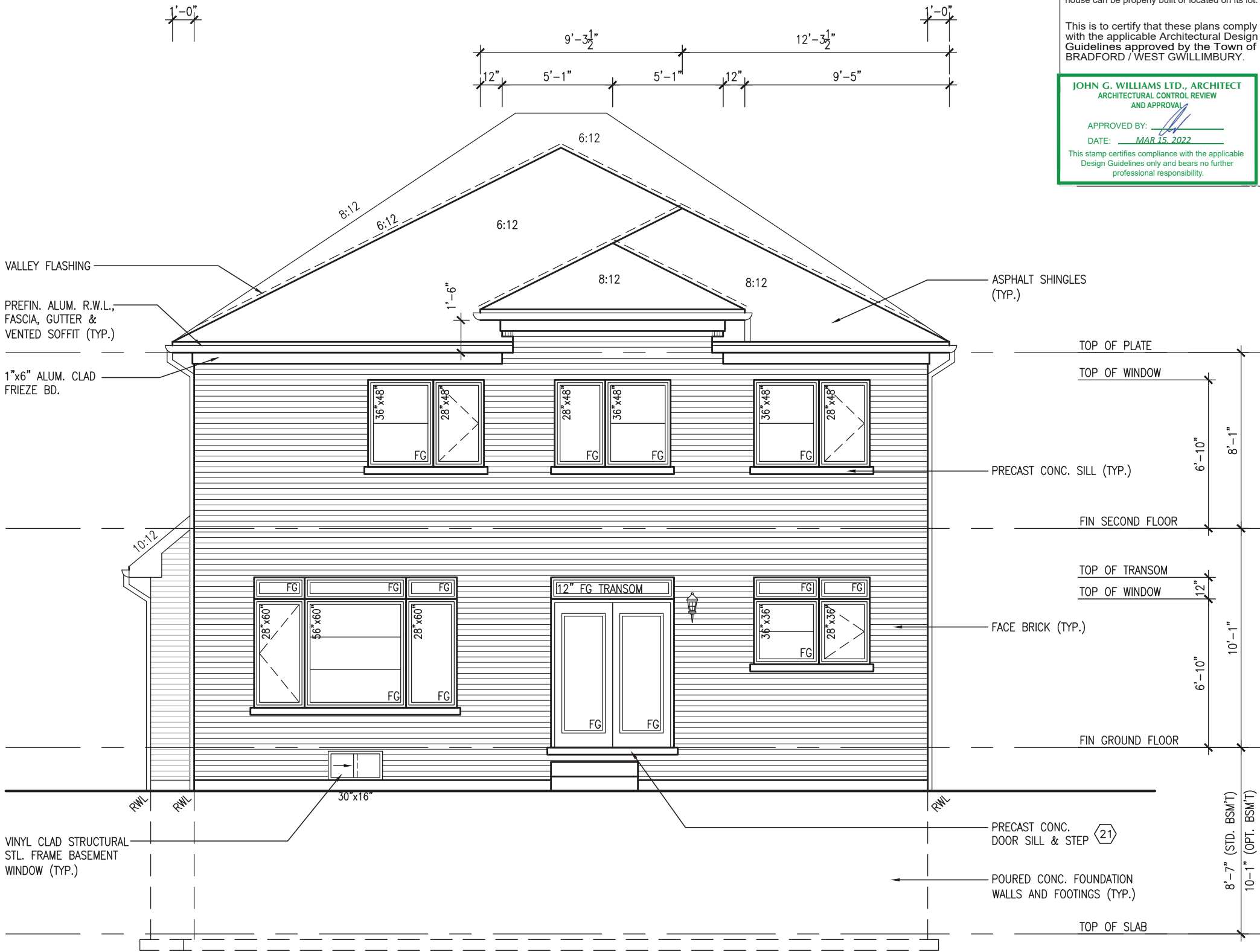


9' GROUND FLOOR

9' GROUND FLOOR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELEVATION C W/ REAR UPG.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	699.75 S.F.	191.94 S.F.	27.43 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	680.62 S.F.	189.06 S.F.	27.78 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3654.17 S.F.	523.00 S.F.	14.31 %
TOTAL SQ. M.	339.48 S.M.	48.59 S.M.	14.31 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 ELE. C WOD W/ REAR UPG.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	699.75 S.F.	191.94 S.F.	27.43 %
LEFT SIDE	1136.90 S.F.	85.33 S.F.	7.51 %
RIGHT SIDE	1136.90 S.F.	56.67 S.F.	4.98 %
REAR	815.62 S.F.	234.61 S.F.	28.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3789.17 S.F.	568.55 S.F.	15.00 %
TOTAL SQ. M.	352.02 S.M.	52.82 S.M.	15.00 %



UPGRADED REAR ELEVATION 'C'

REVIEWED

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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2 .
1 .

project no. 16023
drawing no. 24
file name 16023-S42-21
scale 3/16" = 1'-0"
checked by KL
drawn by KL
date SEPTEMBER 2021
municipality BRADFORD, ON.
project name GREEN VALLEY EAST
S42-21
BAYVIEW WELLINGTON
UPGRADED REAR ELEVATION 'C'

255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vo3design.com

Wellington Jno-Baptiste 25591 BCN
VAS Design Inc. 42658
name registration information
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3 REVISED AS PER ENG COMMENTS MAR 09-22 RC
2 REVISED AS PER FLOOR / ROOF LAYOUTS FEB 24-22 RC
1 ISSUED FOR CLIENT REVIEW OCT 22-21 KL
no. description

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APPROVED BY:

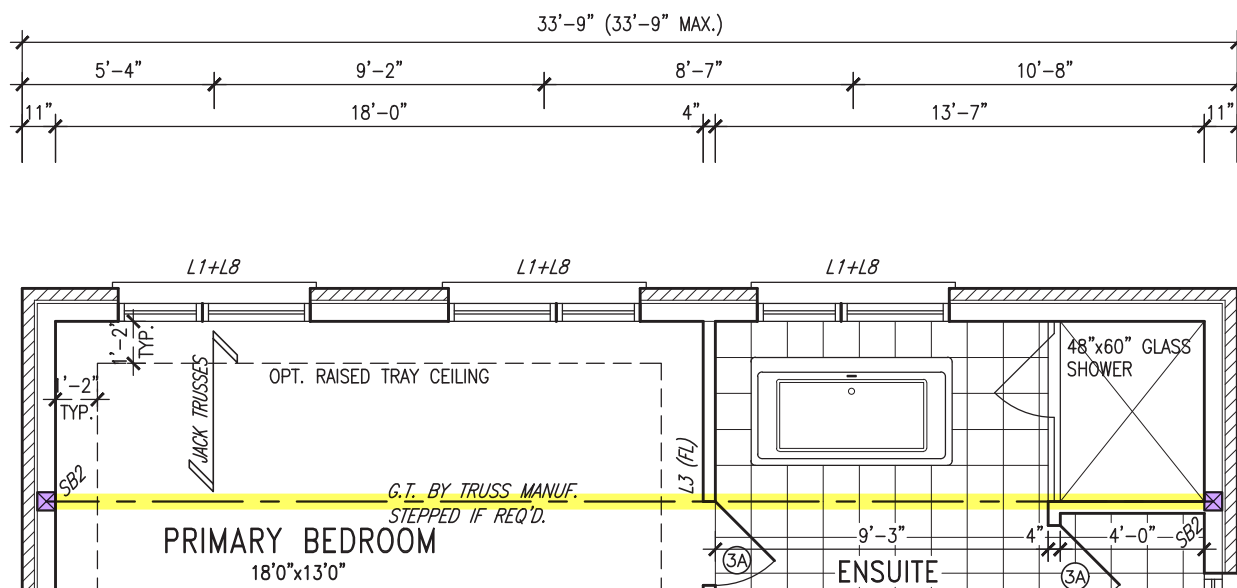
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



MAR 9, 2022

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



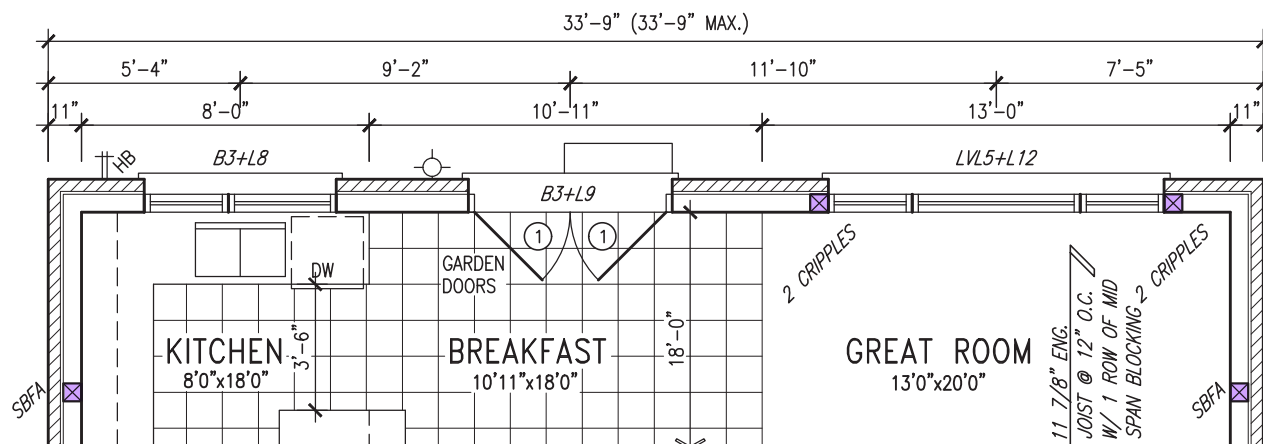
PARTIAL SECOND FLOOR PLAN 'C'
W/ REAR UPGRADE

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).
SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e).
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. GB-NOTE-2020.dwg



PARTIAL GROUND FLOOR PLAN 'C'
W/ REAR UPGRADE

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC DIV. B- TABLE 6.2.3.12

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *W. J. Baptiste* 25591
name signature BCIN

registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
vg3design.com

BAYVIEW WELLINGTON

S42-21

project name	municipality
GREEN VALLEY EAST	BRADFORD, ON.

project no.
16023

date SEPTEMBER 2021 PARTIAL PLANS 'C' W/ REAR UPGRADE

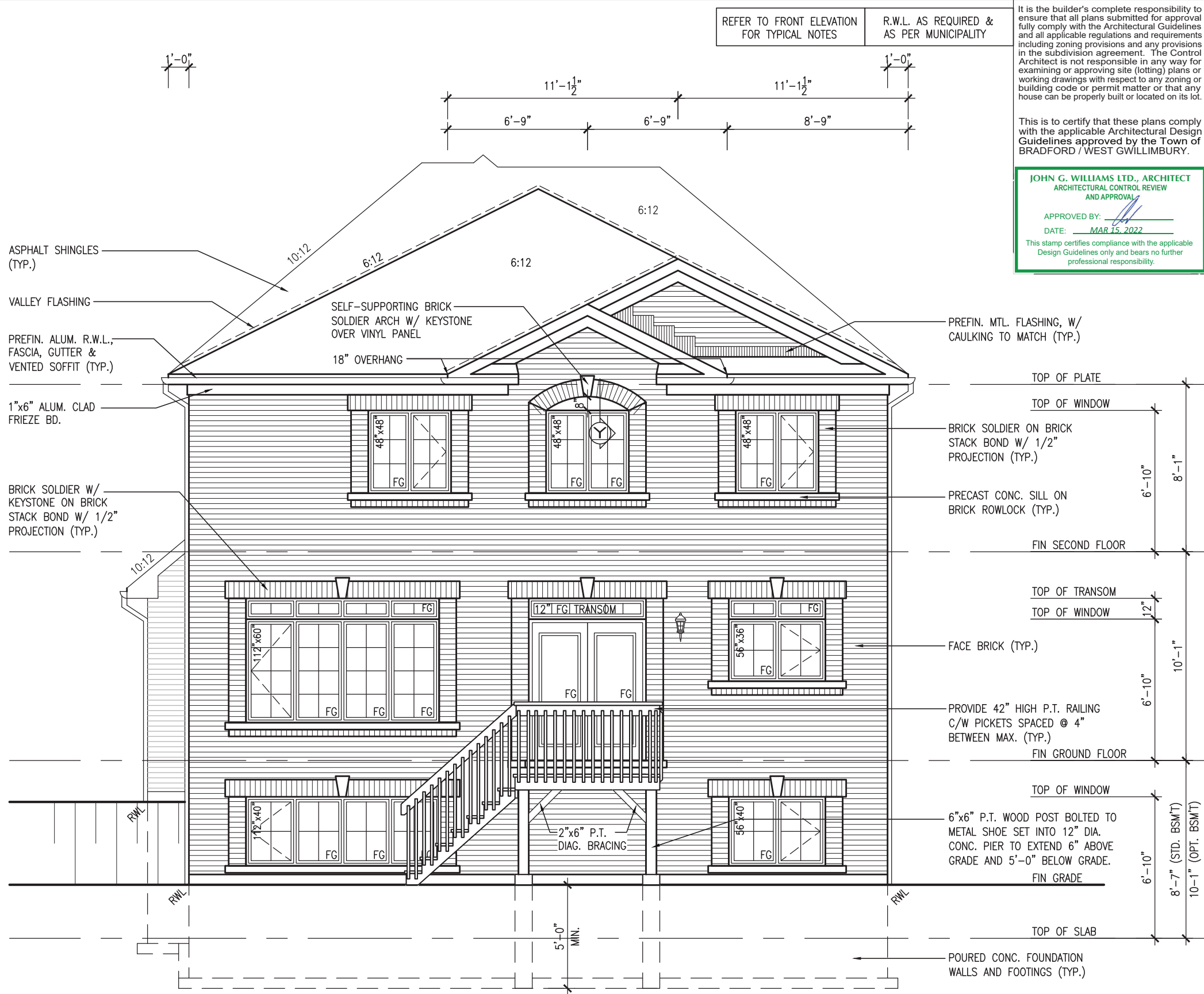
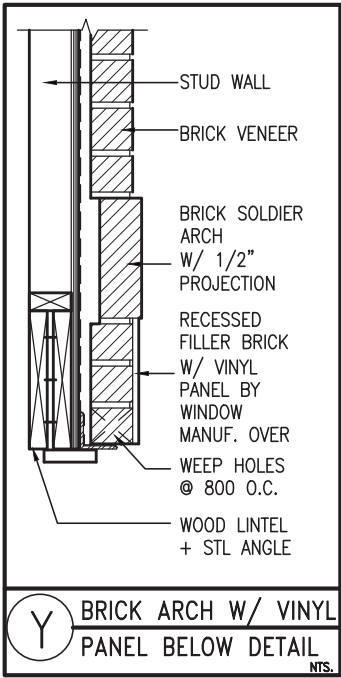
drawing no.

drawn by	checked by	scale	file name
KL	-	3/16" = 1'-0"	16023-S42-2

25

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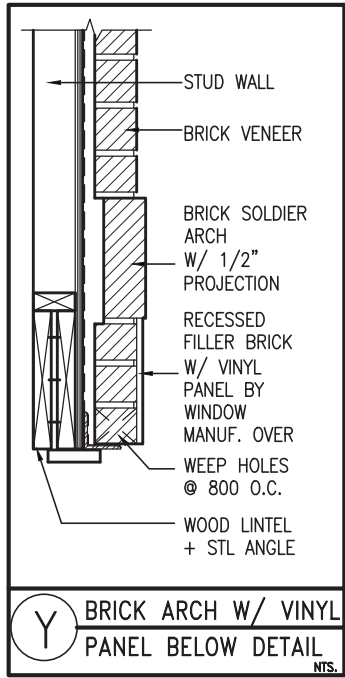
UPGRADED REAR ELEVATION 'A'
W/ W.O.D. (9R OR MORE)

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REVIEWED

BAYVIEW WELLINGTON		S42-21	
GREEN VALLEY EAST		BRADFORD, ON.	
project name	project no.	16023	drawing no.
date	UPGRADED REAR ELEVATION 'A' W/ W.O.D.	16023-S42-21	26
drawn by	checked by	scale	3/16" = 1'-0"
KL	KL	KL	KL
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste [Signature] 25591 BCN	
qualification information		42658	
name		VAS Design Inc.	
registration information		MAR 09-22 RC	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		FEB 24-22 RC	
drawings not to be scaled.		OCT 22-21 KL	
no. description		date	
3 REVISED AS PER ENG COMMENTS		MAR 09-22 RC	
2 REVISED AS PER FLOOR / ROOF LAYOUTS		FEB 24-22 RC	
1 ISSUED FOR CLIENT REVIEW		OCT 22-21 KL	



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

8" PRECAST CONC. ARCH OVER VINYL PANEL ON 8" PRECAST CONC. SURROUND (TYP.)



UPGRADED REAR ELEVATION 'B'
W/ W.O.D. (9R OR MORE)

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 15, 2022

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S42-21		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON.		project no. 16023	drawing no. 27
UPGRADED REAR ELEVATION 'B' W/ W.O.D.		SEPTEMBER 2021		3/16" = 1'-0"		checked by KL		file name 16023-S42-21	
255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		25591		42658		25591		25591	
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3 REVISED AS PER ENG COMMENTS		2		1		1		1	
2 REVISED AS PER FLOOR / ROOF LAYOUTS		1		1		1		1	
1 ISSUED FOR CLIENT REVIEW		1		1		1		1	
no. description		date		date		date		date	

REVIEWED

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

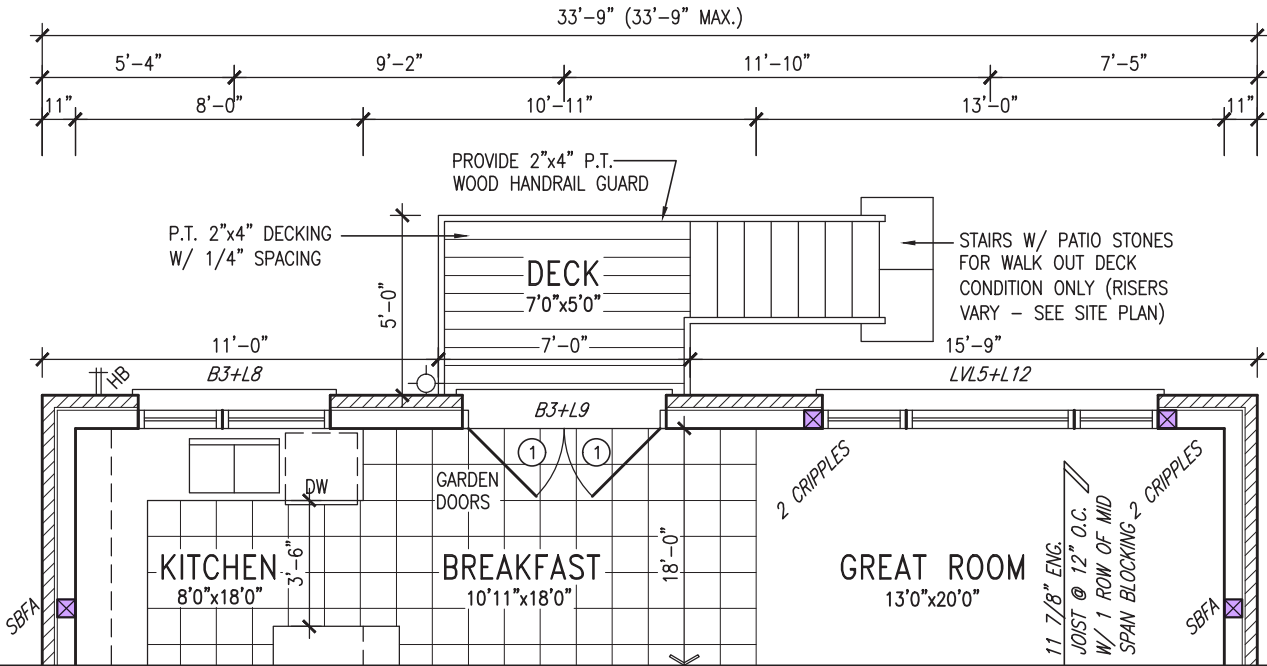
APPROVED BY:
DATE: MAR 15, 2022

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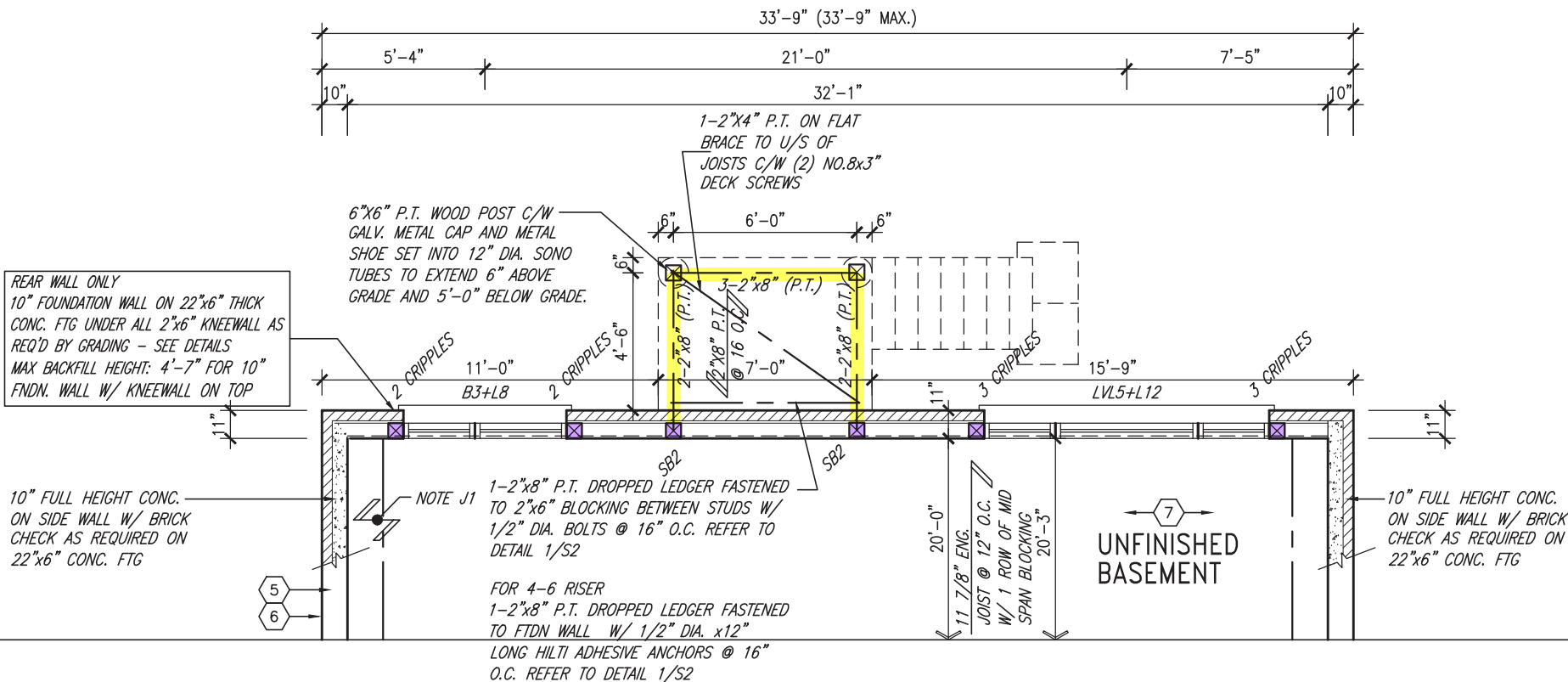


MAR 9, 2022

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN 'C'
W/ REAR UPGRADE & W.O.D. (9R OR MORE)



PARTIAL BASEMENT PLAN 'C'
W/ REAR UPGRADE & W.O.D. (9R OR MORE)

- NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.
- NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.
- NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)
- OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
- KITCHEN EXHAUST. 3.0m
 - DRIVEWAY, PARKING SPACE, ROAD. 1.5m
 - SOLID FUEL APPLIANCE EXHAUST 3.0m
- KIT-EX-NOTE-2020.dwg

9.	REVIEWED		
8.			
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3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1.	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL
no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591
name signature BCIN

registration information
VA3 Design Inc. 42658

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VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

S42-21

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON.

project no.
16023

date
SEPTEMBER 2021

drawn by
KL

checked by
-

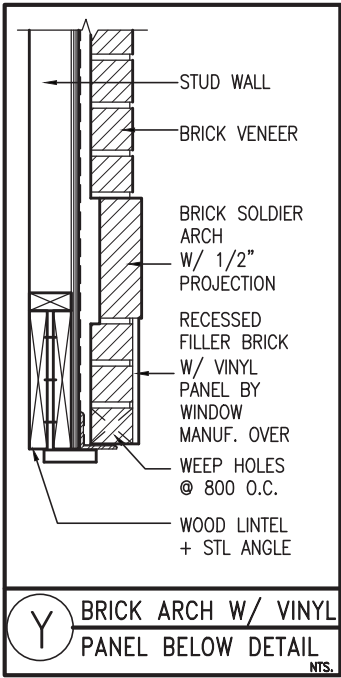
scale
3/16" = 1'-0"

file name
16023-S42-21

drawing no.
29

PARTIAL PLANS 'C' W/ REAR UPGRADE & W.O.D.

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MAR 9, 2022

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING
REFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD.

BRICK SOLDIER W/ KEYSTONE ON BRICK STACK BOND W/ 1/2" PROJECTION (TYP.)

SELF-SUPPORTING BRICK SOLDIER ARCH W/ KEYSTONE OVER VINYL PANEL
18" OVERHANG

REFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)

BRICK SOLDIER ON BRICK STACK BOND W/ 1/2" PROJECTION (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.)

PROVIDE 42" HIGH P.T. RAILING C/W PICKETS SPACED @ 4" BETWEEN MAX. (TYP.)

2"x6" P.T. DIAG. BRACING

6"x6" P.T. WOOD POST BOLTED TO METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

UPGRADED REAR ELEVATION 'A'
W/ W.O.B.

REVIEWED

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 15, 2022

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S42-21		BAYVIEW WELLINGTON	
project no.	16023	project name	GREEN VALLEY EAST
drawing no.	30	municipality	BRADFORD, ON.
file name	16023-S42-21	date	SEPTEMBER 2021
scale	3/16" = 1'-0"	checked by	KL
drawn by	KL	drawn by	KL


VAS DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1P4
t 416.630.2255 f 416.630.4782
vasdesign.com

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9		name	Wellington Jno-Baptiste
8		registration information	VAS Design Inc.
7		name	Wellington Jno-Baptiste
6		BCIN	25591
5		date	MAR 09-22 RC
4		description	3 REVISED AS PER ENG COMMENTS
3		date	FEB 24-22 RC
2		description	2 REVISED AS PER FLOOR / ROOF LAYOUTS
1		date	OCT 22-21 KL
0		description	1 ISSUED FOR CLIENT REVIEW

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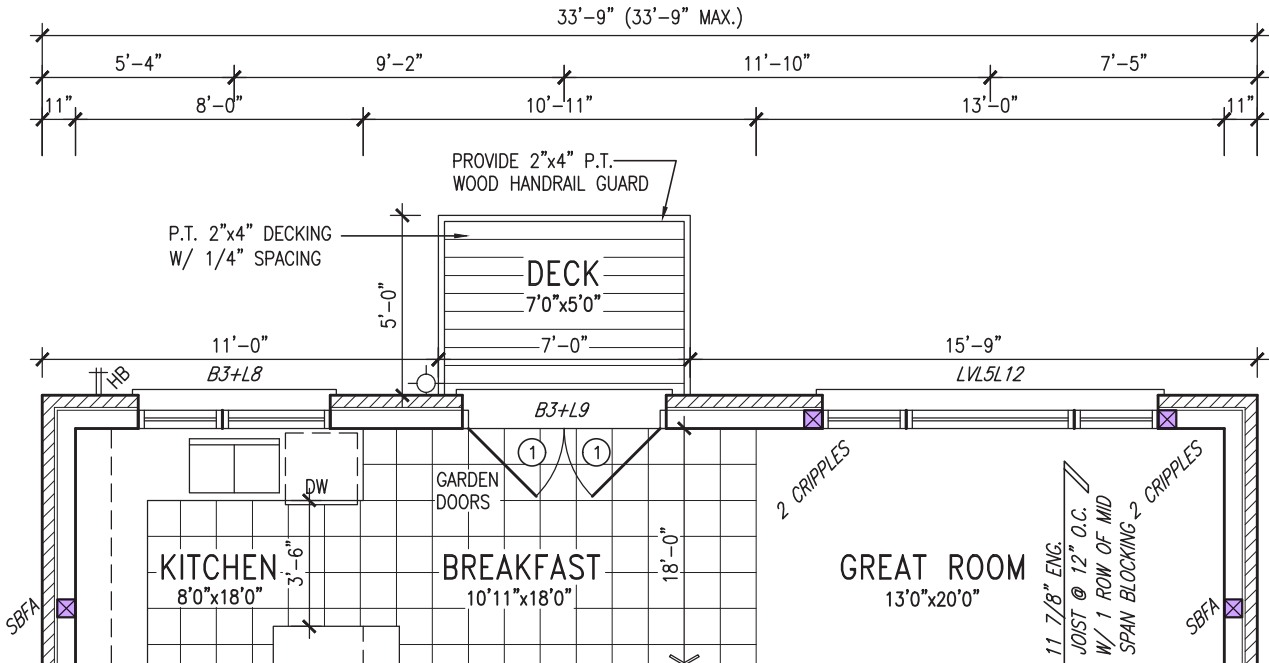
APPROVED BY: 
DATE: MAR 15, 2022

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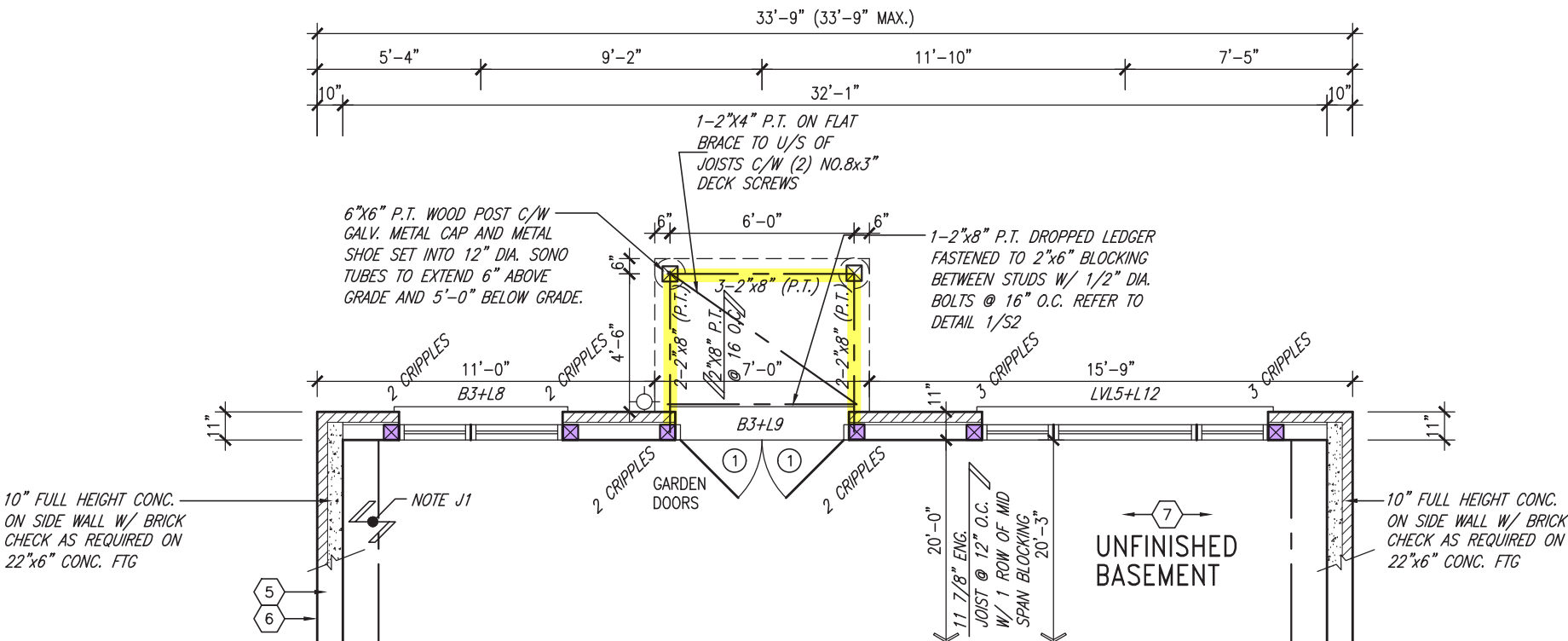


MAR 9, 2022

NOTE:
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COMPLETE CONSTRUCTION NOTES.



PARTIAL GROUND FLOOR PLAN 'C'
W/ REAR UPGRADE & W.O.B.



PARTIAL BASEMENT PLAN 'C'
W/ REAR UPGRADE & W.O.B.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

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- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

9.	REVIEWED				
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3.	REVISED AS PER ENG COMMENTS	MAR 09-22	RC		
2.	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC		
1.	ISSUED FOR CLIENT REVIEW	OCT 22-21	KL		
no.	description	date	by		

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Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
42658

signature
25591
BCIN

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va3design.com

BAYVIEW WELLINGTON

S42-21

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON.

project no.
16023

date
SEPTEMBER 2021

scale
3/16" = 1'-0"

file name
16023-S42-21

drawn by
KL

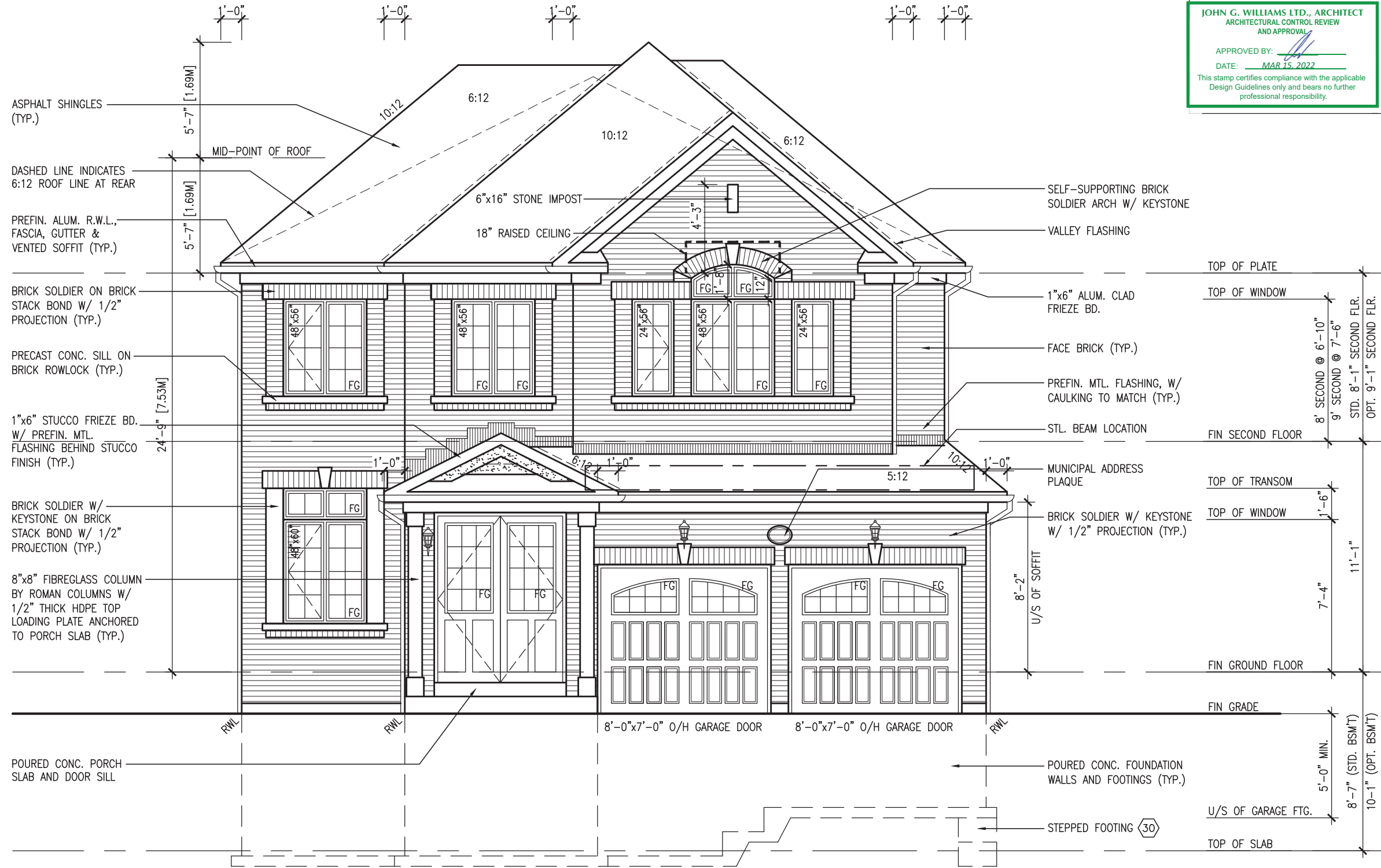
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drawing no.
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10 9 8 7 6 5 4 3 2 1



FRONT ELEVATION 'A'

REVIEWED

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: MAR 15, 2022

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S42-21

BAYVIEW WELLINGTON

16023
wing no.

FRONT ELEVATION 'A'

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LEFT SIDE ELEVATION 'A'

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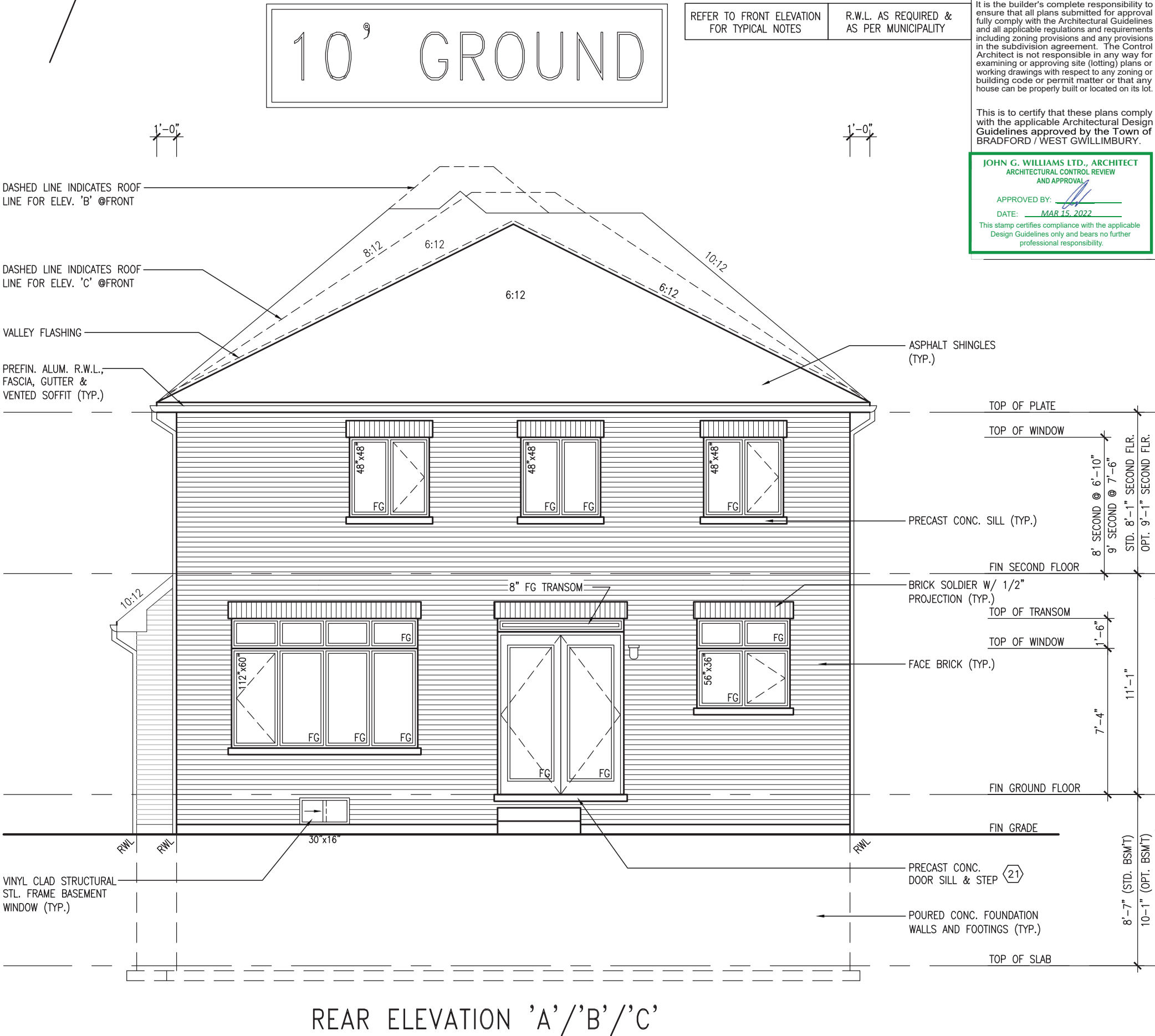
STD. & REAR UPC 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION A W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	721.13 S.F.	182.71 S.F.	25.34 %
	LEFT SIDE	1193.46 S.F.	90.00 S.F.	7.54 %
	RIGHT SIDE	1193.46 S.F.	58.67 S.F.	4.92 %
	REAR	714.37 S.F.	188.94 S.F.	26.45 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.
STD. & REAR UPC 10' GROUND FLOOR	TOTAL SQ. FT.	3822.42 S.F.	520.32 S.F.	13.61 %
	TOTAL SQ. M.	355.11 S.M.	48.34 S.M.	13.61 %

STD. & REAR UPC 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION B W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	721.88 S.F.	149.89 S.F.	20.76 %
	LEFT SIDE	1192.90 S.F.	90.00 S.F.	7.54 %
	RIGHT SIDE	1193.46 S.F.	58.67 S.F.	4.92 %
	REAR	714.37 S.F.	188.94 S.F.	26.45 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.
STD. & REAR UPC 10' GROUND FLOOR	TOTAL SQ. FT.	3822.61 S.F.	487.50 S.F.	12.75 %
	TOTAL SQ. M.	355.13 S.M.	45.29 S.M.	12.75 %

STD. & REAR UPC 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	733.50 S.F.	199.28 S.F.	27.17 %
	LEFT SIDE	1192.90 S.F.	90.00 S.F.	7.54 %
	RIGHT SIDE	1193.42 S.F.	58.67 S.F.	4.92 %
	REAR	714.37 S.F.	188.94 S.F.	26.45 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.
STD. & REAR UPC 10' GROUND FLOOR	TOTAL SQ. FT.	3834.19 S.F.	536.89 S.F.	14.00 %
	TOTAL SQ. M.	356.20 S.M.	49.88 S.M.	14.00 %



MAR 9, 2022



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: MAR 15, 2022

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qualification information			
Wellington Jno-Baptiste		25591	
name		BCIN	
registration information		42658	
VA3 Design Inc.			
MAR 09-22 RC			
FEB 24-22 RC			
NOV 26-21 VA3			
date		by	
3 REVISED AS PER ENG. COMMENTS			
2 REVISED AS PER FLOOR / ROOF LAYOUTS			
1 ISSUED FOR CLIENT REVIEW			
no. description			

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
project name		project no.	
GREEN VALLEY EAST		16023	
BRADFORD, ON.		drawing no.	
date		file name	
SEPTEMBER 2021		16023-S42-21	
checked by		scale	
KL		3/16" = 1'-0"	
drawn by		checked by	
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REVIEWED

10' GROUND



MAR 9, 2022

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

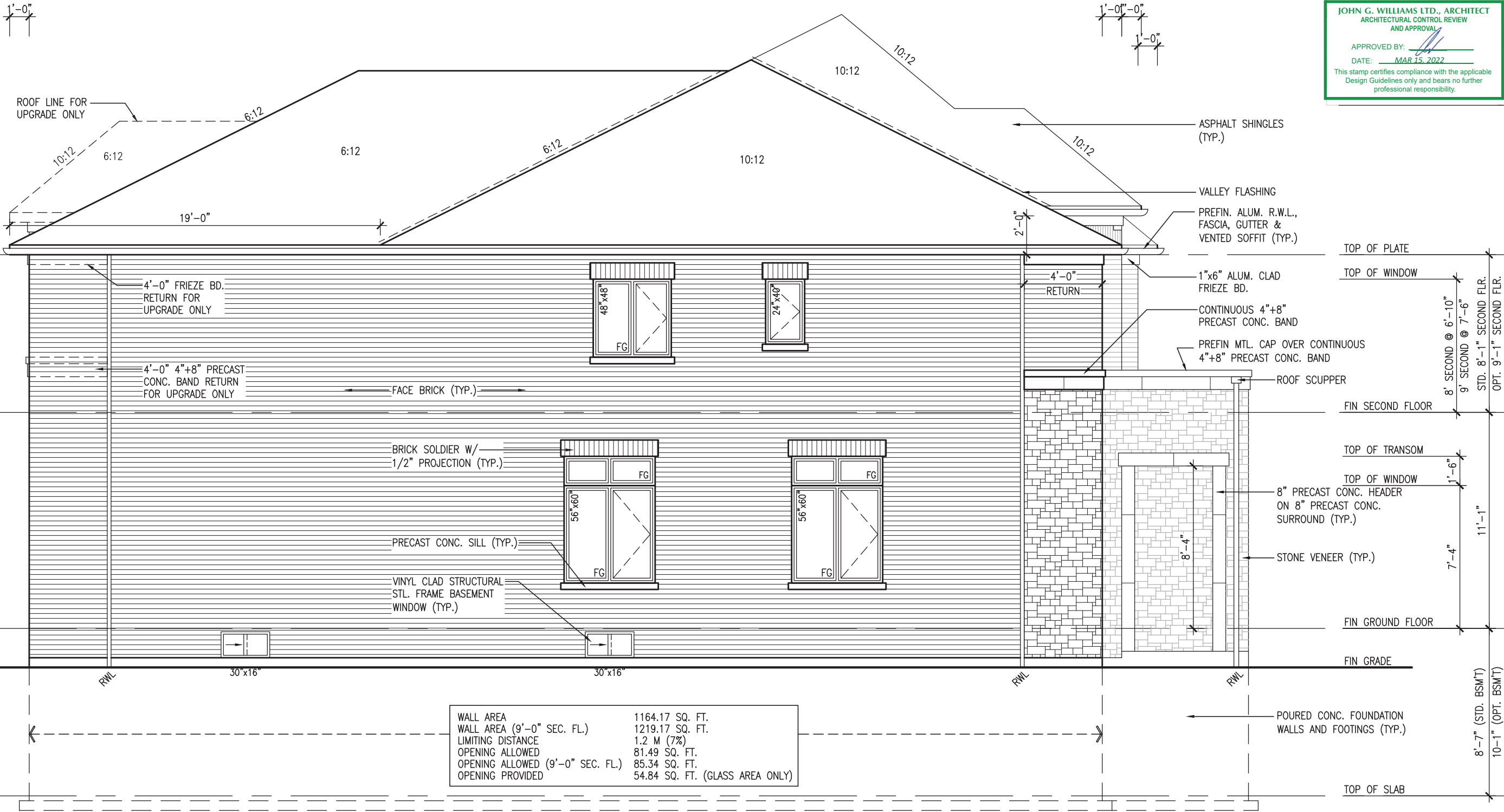
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

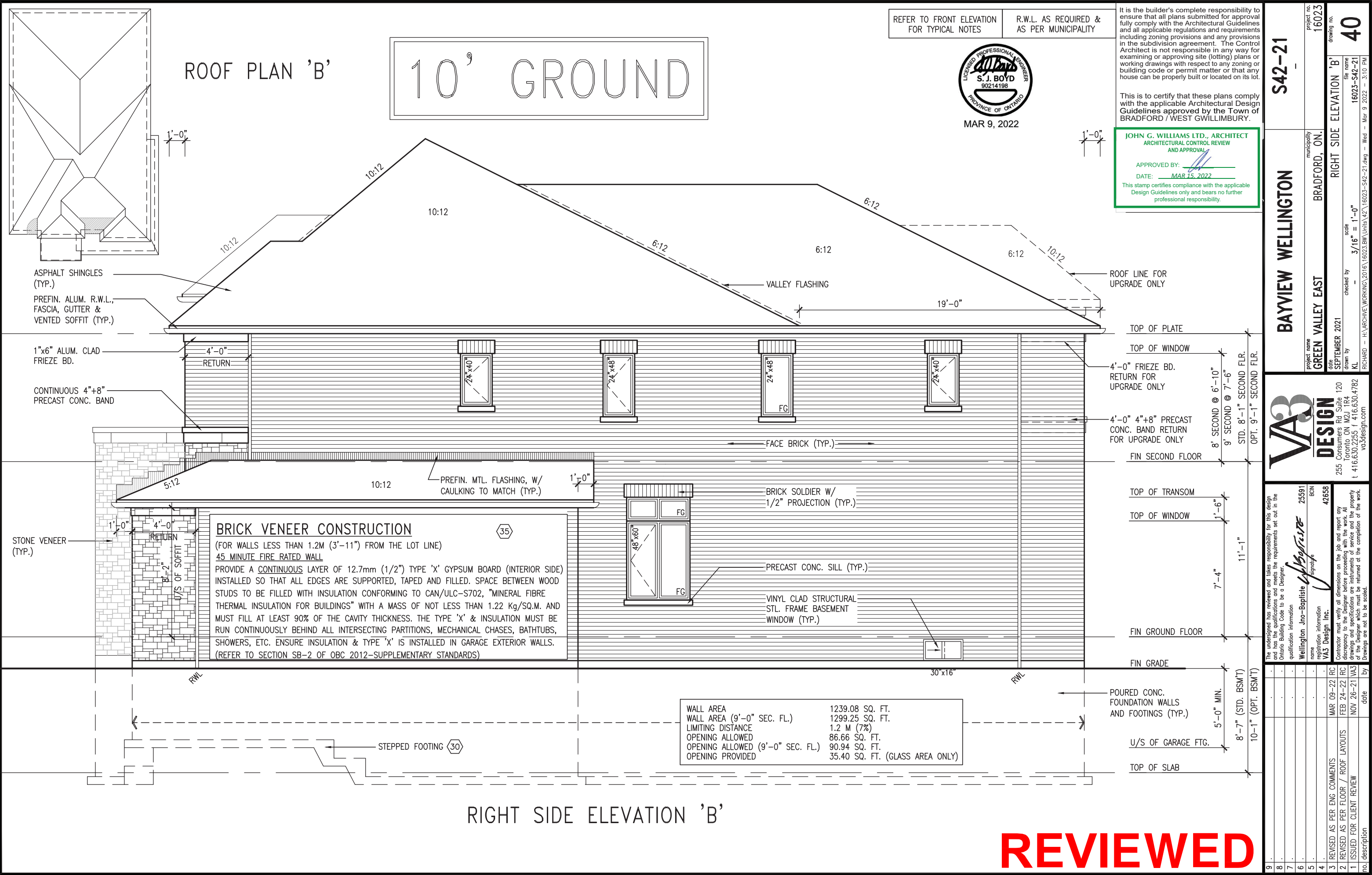


WALL AREA	1164.17 SQ. FT.
WALL AREA (9'-0" SEC. FL.)	1219.17 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	81.49 SQ. FT.
OPENING ALLOWED (9'-0" SEC. FL.)	85.34 SQ. FT.
OPENING PROVIDED	54.84 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

REVIEWED

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		V3	
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3	REVISED AS PER ENG. COMMENTS	MAR 09-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
no. description		date	by
Wellington Jno-Baptiste		25591	BCIN
name		42658	
qualification information		VAS Design Inc.	
signature			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vodesign.com	
project name		project no.	
GREEN VALLEY EAST		16023	
municipality		drawing no.	
BRADFORD, ON.		39	
date		LEFT SIDE ELEVATION 'B'	
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10⁹ GROUND

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY



MAR 9. 2022

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

S42-21

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ON.	

	DATE	DRAWING NO.
SEPTEMBER 2021	FRONT ELEVATION 'C'	drawing no.
drawn by	checked by	file name
		11

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 Title: RICHARD

VA3

DESIGN

DESIGN 120
5 Consumers Rd Suite 120
Toronto, ON M2J 1P4

6.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25591
signature BCIN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All registration information
/A3 Design Inc. 42658

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

REVIEWED

10' GROUND



WALL AREA	1185.33 SQ. FT.
WALL AREA (9'-0" SEC. FL.)	1241.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	82.97 SQ. FT.
OPENING ALLOWED (9'-0" SEC. FL.)	86.89 SQ. FT.
OPENING PROVIDED	57.24 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY



MAR 9, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

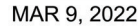
BAYVIEW WELLINGTON		S42-21	
project name	GREEN VALLEY EAST	project no.	16023
municipality	BRADFORD, ON.	drawing no.	42
date	SEPTEMBER 2021	LEFT SIDE ELEVATION 'C'	
checked by	KL	scale	3/16" = 1'-0"
drawn by	KL	file name	16023-S42-21
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All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591 BCN			
name registration information VAS Design Inc. 42658			
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3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
no.	description	date	by

REVIEWED


10⁹ GROUND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APPROVED BY: 
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S42-21

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ON.	
date	drawing no.
	BRAD. SIDE ELEVATION 301

RIGHT SIDE ELEVATION C
 file name
 16023-S42-21
 checked by
 -
 scale
 $\frac{3}{16}'' = 1'-0''$
 drawn by
 KL
 RICHARD ~ H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg ~ Wed ~ Mar 9 2022 ~ 3:10 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	BCIN	25591
registration information			
WA3 Design Inc.			42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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7	.	.	.

6	.		.	.	DC
5	.		.	.	
4	.		.	.	
3	DESIGNED AS PER ENC COMMENTS				

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC

1

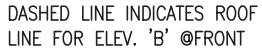
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REVIEWED

STD & DEAP LDC 10' CBOND ELOOB

CTD & DEAP 11DC 10' CBOBND FLOOB

CTD & BEAB IIRC 10' CBOUND E1 00B



DASHED LINE INDICATES ROOF
LINE FOR ELEV. 'C' @FRONT

VALLEY FLASHING -

PREFIN. ALUM. R.W.L.,-
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

MAR 9, 2022

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

project name	BAYVIEW WELLINGTON		S42-21
project no.	GREEN VALLEY EAST		16023
date	SEPTEMBER 2021	MUNICIPALITY	
drawn by	KL	BRADFORD, ON.	
checked by	—		
scale	3/16" = 1'-0"		
file name	16023-S42-21		
drawing no.	45		

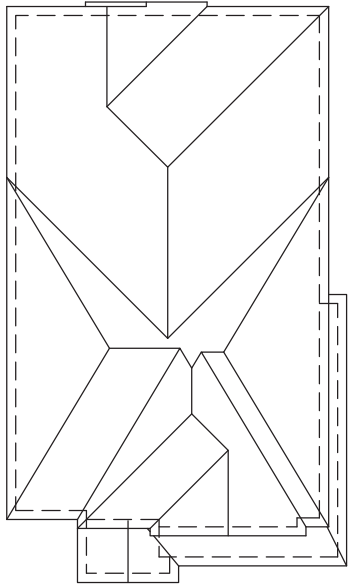
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste</p> <p>name</p> <p>registration information</p> <p>CVAC3 Design Inc.</p> <p>signature</p> <p>25591</p> <p>BCIN</p> <p>42658</p>	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>
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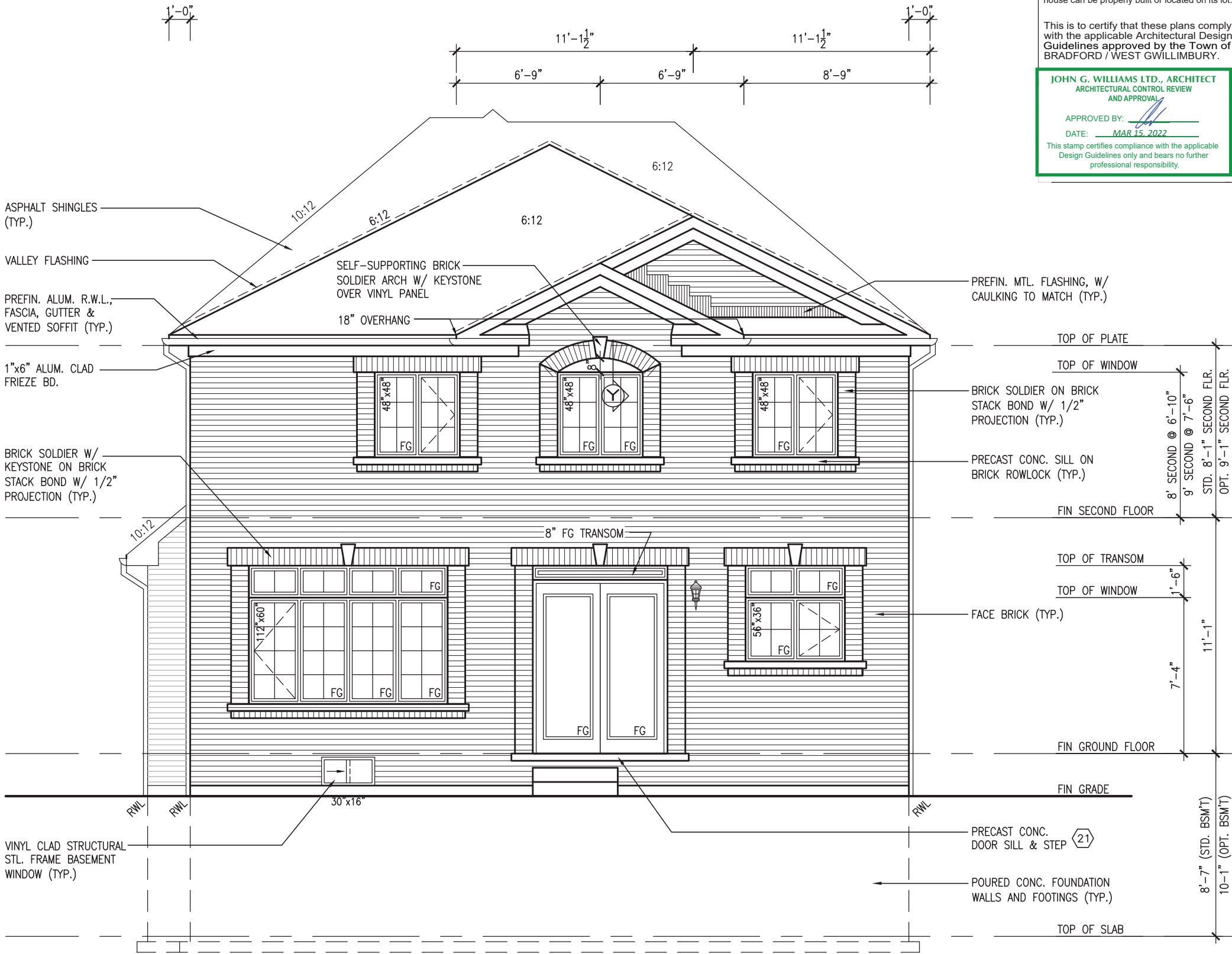
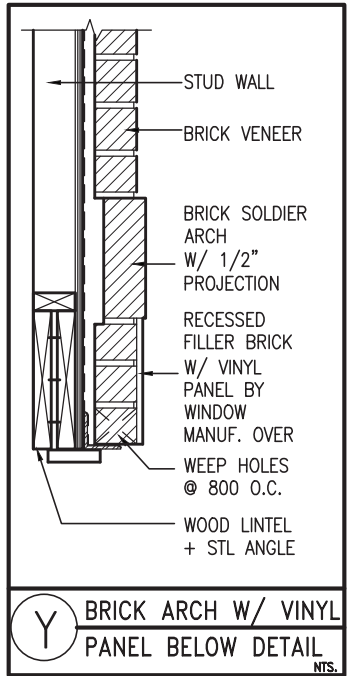
no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VA3
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
4			
5			
6			
7			
8			
9			

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REAR ELEVATION 'A'/'B'/'C' W/ W.O.B. **REVIEWED**



ROOF PLAN 'A'
W/ REAR UPG.



10' GROUND

UPGRADED REAR ELEVATION 'A'

REVIEWED

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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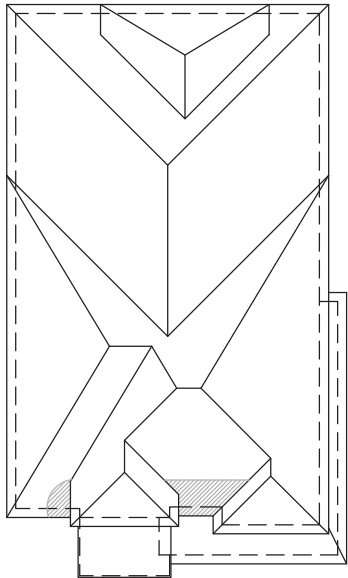
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

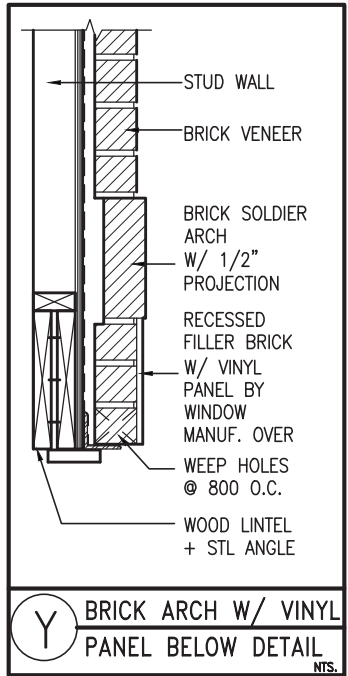
APPROVED BY: [Signature]
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BAYVIEW WELLINGTON		S42-21	
GREEN VALLEY EAST		BRADFORD, ON.	
project name	project no.	16023	drawing no.
date	16023-S42-21	16023	46
checked by	scale	3/16" = 1'-0"	drawn by
SEPTEMBER 2021	KL		
UPGRADED REAR ELEVATION 'A'			
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.			
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL			
APPROVED BY: [Signature] DATE: MAR 15, 2022			
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591 BCN			
name registration information VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED AS PER ENG COMMENTS	MAR 09-22 RC	date
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22 RC	by
1	ISSUED FOR CLIENT REVIEW	NOV 26-21 VAS	description



ROOF PLAN 'B'
W/ REAR UPG.



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



ASPHALT SHINGLES (TYP.)

VALLEY FLASHING

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

8" PRECAST CONC. ARCH OVER VINYL PANEL ON 8" PRECAST CONC. STACKS (TYP.)

VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYP.)



UPGRADED REAR ELEVATION 'B'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

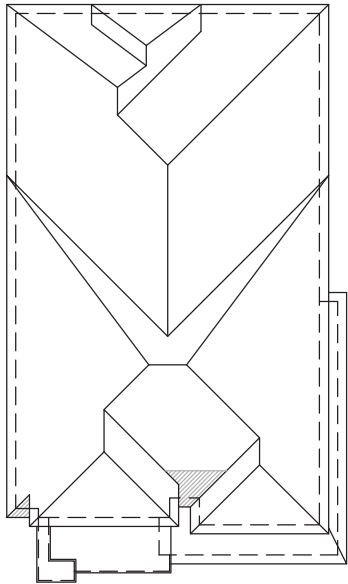
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

S42-21		BAYVIEW WELLINGTON	
project no.	16023	project name	GREEN VALLEY EAST
drawing no.	47	municipality	BRADFORD, ON.
file name	16023-S42-21	date	SEPTEMBER 2021
scale	3/16" = 1'-0"	checked by	KL
drawn by	KL	drawn by	KL
RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM			
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VAS DESIGN		255 Consumers Rd. Suite 120	
Toronto, ON M2J 1P4		t 416.630.2255 f 416.630.4782	
vasdesign.com		BCIN 25591	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		name	
Wellington Jno-Baptiste		registration information	
VAS Design Inc.		BCIN 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		name	
MAR 09-22 RC		date	
FEB 24-22 RC		description	
NOV 26-21 VAS		10'-1" (STD. BSM'T)	
1 ISSUED FOR CLIENT REVIEW		8'-7" (STD. BSM'T)	
		10'-1" (OPT. BSM'T)	
		11'-1"	
		7'-4"	
		1'-6"	
		8' SECOND @ 6'-10"	
		9' SECOND @ 7'-6"	
		STD. 8'-1" SECOND FLR.	
		OPT. 9'-1" SECOND FLR.	
		8" PRECAST CONC. ARCH OVER VINYL PANEL ON 8" PRECAST CONC. STACKS (TYP.)	
		CONTINUOUS 4"x8" PRECAST CONC. BAND	
		FIN SECOND FLOOR	
		8" FG TRANSOM	
		FACE BRICK (TYP.)	
		PRECAST CONC. SILL (TYP.)	
		FIN GROUND FLOOR	
		PRECAST CONC. DOOR SILL & STEP (21)	
		POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)	
		TOP OF SLAB	

REVIEWED



ROOF PLAN 'C'
W/ REAR UPG.



STD. & REAR UPG 10' GROUND FLOOR

STD. & REAR UPG 10' GROUND FLOOR

10' GROUND

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 EL C W/ REAR UPG.W/8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	733.50 S.F.	199.28 S.F.	27.17 %
LEFT SIDE	1192.90 S.F.	90.00 S.F.	7.54 %
RIGHT SIDE	1193.42 S.F.	58.67 S.F.	4.92 %
REAR	714.37 S.F.	207.50 S.F.	29.05 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3834.19 S.F.	555.45 S.F.	14.49 %
TOTAL SQ. M.	356.20 S.M.	51.60 S.M.	14.49 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-21 EL. C WOD W/ REAR UPG. W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	733.50 S.F.	199.28 S.F.	27.17 %
LEFT SIDE	1192.90 S.F.	90.00 S.F.	7.54 %
RIGHT SIDE	1193.42 S.F.	58.67 S.F.	4.92 %
REAR	849.37 S.F.	253.05 S.F.	29.79 %
*OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3969.19 S.F.	601.00 S.F.	15.14 %
TOTAL SQ. M.	368.75 S.M.	55.83 S.M.	15.14 %



UPGRADED REAR ELEVATION 'C'

REVIEWED

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]

DATE: MAR 15, 2022

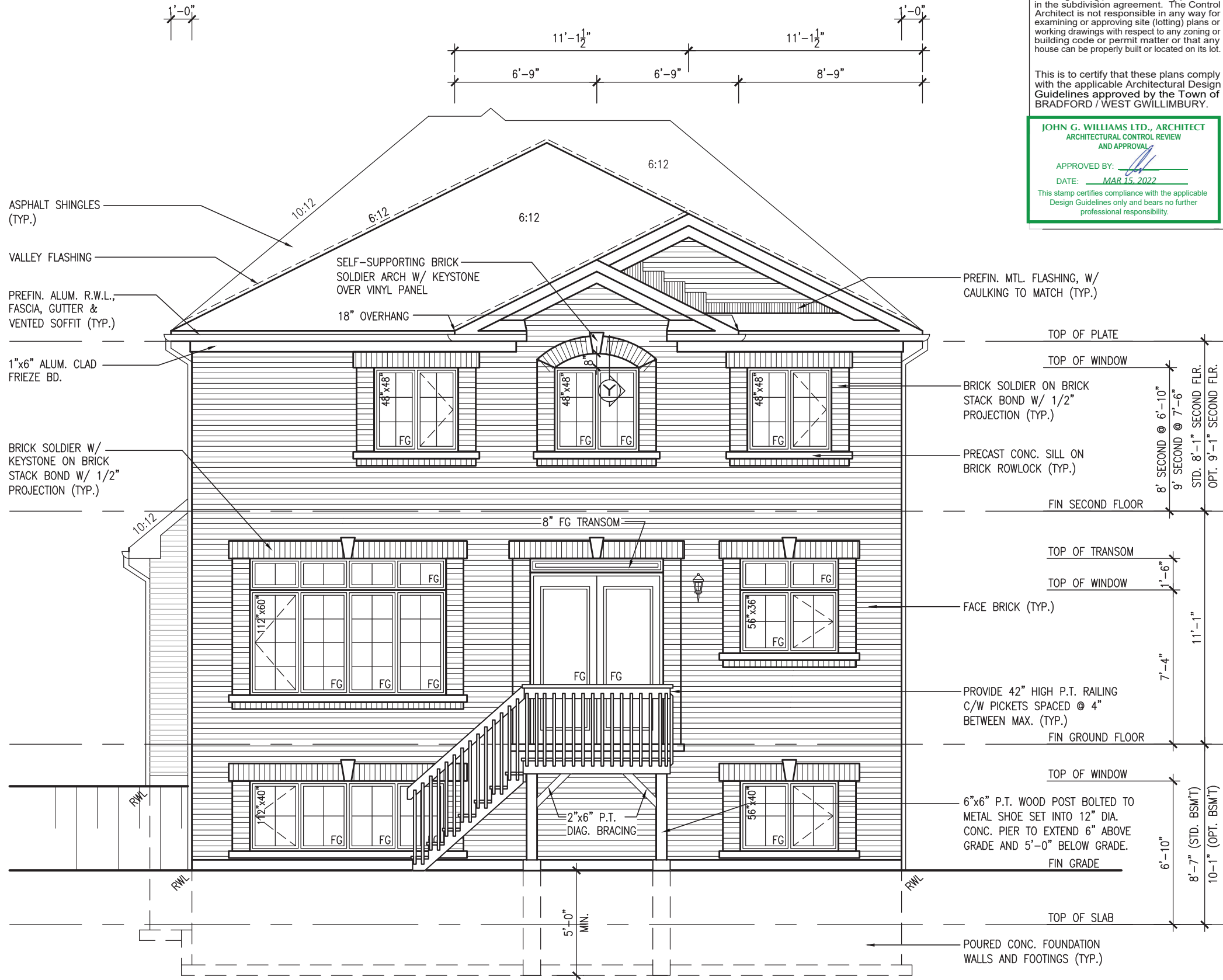
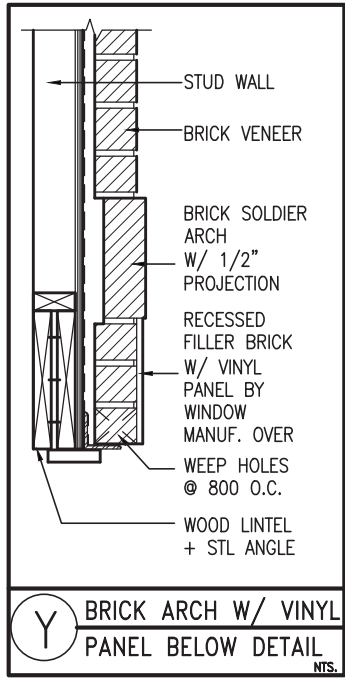
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S42-21	
BAYVIEW WELLINGTON	
GREEN VALLEY EAST	BRADFORD, ON.
project no.	16023
drawing no.	48
date	SEPTEMBER 2021
checked by	KL
drawn by	KL
scale	3/16" = 1'-0"
file name	16023-S42-21

VAS DESIGN	25591 BCN
255 Consumers Rd Suite 120	42658
Toronto, ON M2J 1P4	
t 416.630.2255 f 416.630.4782	
vo3design.com	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste	25591 BCN
name	42658
registration information	
VAS Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

no.	description	date	by
3	REVISED AS PER ENG COMMENTS	MAR 09-22	RC
2	REVISED AS PER FLOOR / ROOF LAYOUTS	FEB 24-22	RC
1	ISSUED FOR CLIENT REVIEW	NOV 26-21	VAS



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

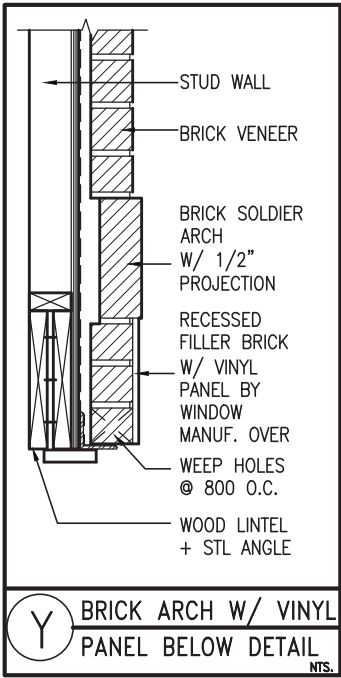
DATE: MAR 15, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

project name		municipality		project no.	
GREEN VALLEY EAST		BRADFORD, ON.		16023	
date		UPGRADED REAR ELEVATION 'A' W/ W.O.D.		drawing no.	
SEPTEMBER 2021		scale		49	
drawn by		3/16" = 1'-0"		file name	
KL		-		16023-S42-21	
checked by		-		RICHARD - H:\ARCHIVE WORKING\16023\16023.BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:10 PM	

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REVIEWED



MAR 9, 2022

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING

REFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.

BRICK SOLDIER W/ KEYSTONE ON BRICK STACK BOND W/ 1/2" PROJECTION (TYP.)

SELF-SUPPORTING BRICK SOLDIER ARCH W/ KEYSTONE OVER VINYL PANEL

18" OVERHANG

REFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)

BRICK SOLDIER ON BRICK STACK BOND W/ 1/2" PROJECTION (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.)

PROVIDE 42" HIGH P.T. RAILING C/W PICKETS SPACED @ 4" BETWEEN MAX. (TYP.)

2"x6" P.T. DIAG. BRACING

6"x6" P.T. WOOD POST BOLTED TO METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAR 15, 2022

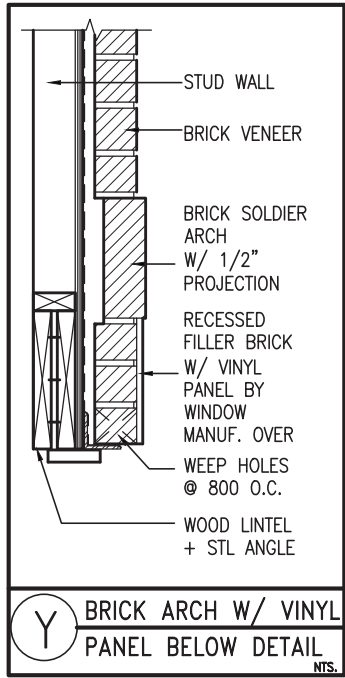
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10' GROUND

UPGRADED REAR ELEVATION 'A' W/ W.O.B.

REVIEWED

		S42-21	
BAYVIEW WELLINGTON			
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.
project no.	16023		
date	SEPTEMBER 2021	UPGRADED REAR ELEVATION 'A' W/ W.O.B.	drawing no.
drawn by	KL	checked by	file name
		scale	16023-S42-21
		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE WORKING\2016\16023-BW\Units\42\16023-S42-21.dwg - Wed - Mar 9 2022 - 3:10 PM			
VA3 DESIGN			
255 Consumers Rd, Suite 120			
Toronto, ON M2J 1R4			
t 416.630.2255 f 416.630.4782			
va3designs.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591			
name BCIN			
signature			
registration information			
VA3 Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
MAR 09-22 RC			
FEB 24-22 RC			
NOV 26-21 VA3			
description			
3 REVISED AS PER ENG COMMENTS			
2 REVISED AS PER FLOOR / ROOF LAYOUTS			
1 ISSUED FOR CLIENT REVIEW			
date by			



- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD.
- 8" PRECAST CONC. ARCH OVER VINYL PANEL ON 8" PRECAST CONC. SURROUND (TYP.)



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

- TOP OF PLATE
- TOP OF WINDOW
- 8" PRECAST CONC. HEADER ON 8" PRECAST CONC. SURROUND (TYP.)
- CONTINUOUS 4"x8" PRECAST CONC. BAND
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- FACE BRICK (TYP.)
- PRECAST CONC. SILL (TYP.)
- PROVIDE 42" HIGH P.T. RAILING C/W PICKETS SPACED @ 4" BETWEEN MAX. (TYP.)
- FIN GROUND FLOOR
- TOP OF WINDOW
- 2"x6" P.T. DIAG. BRACING
- 6"x6" P.T. WOOD POST BOLTED TO METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.
- TOP OF SLAB
- FIN GRADE
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

S42-21		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON.		16023		53	
project no.		project name		municipality		date		drawing no.		file name	
16023		UPGRADED REAR ELEVATION 'B' W/ W.O.B.		BRADFORD, ON.		SEPTEMBER 2021		16023-S42-21		16023-S42-21	
checked by		checked by		checked by		checked by		checked by		checked by	
KL		KL		KL		KL		KL		KL	
scale		scale		scale		scale		scale		scale	
3/16" = 1'-0"		3/16" = 1'-0"		3/16" = 1'-0"		3/16" = 1'-0"		3/16" = 1'-0"		3/16" = 1'-0"	
RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste		Wellington Jno-Baptiste	
25591		25591		25591		25591		25591		25591	
BCIN		BCIN		BCIN		BCIN		BCIN		BCIN	
42658		42658		42658		42658		42658		42658	
MAR 09-22 RC		MAR 09-22 RC		MAR 09-22 RC		MAR 09-22 RC		MAR 09-22 RC		MAR 09-22 RC	
FEB 24-22 RC		FEB 24-22 RC		FEB 24-22 RC		FEB 24-22 RC		FEB 24-22 RC		FEB 24-22 RC	
NOV 26-21 VAS		NOV 26-21 VAS		NOV 26-21 VAS		NOV 26-21 VAS		NOV 26-21 VAS		NOV 26-21 VAS	
ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW		ISSUED FOR CLIENT REVIEW	
no. description		no. description		no. description		no. description		no. description		no. description	
3 REVISED AS PER ENG COMMENTS		3 REVISED AS PER ENG COMMENTS		3 REVISED AS PER ENG COMMENTS		3 REVISED AS PER ENG COMMENTS		3 REVISED AS PER ENG COMMENTS		3 REVISED AS PER ENG COMMENTS	
2 REVISED AS PER FLOOR / ROOF LAYOUTS		2 REVISED AS PER FLOOR / ROOF LAYOUTS		2 REVISED AS PER FLOOR / ROOF LAYOUTS		2 REVISED AS PER FLOOR / ROOF LAYOUTS		2 REVISED AS PER FLOOR / ROOF LAYOUTS		2 REVISED AS PER FLOOR / ROOF LAYOUTS	
1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW		1 ISSUED FOR CLIENT REVIEW	

REVIEWED

STD. & REAR UPG 10' GROUND FLOOR & 9' BASEMENT	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEV. C WOB W/ REAR UPG. W/8' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	733.50 S.F.	199.28 S.F.	27.17 %
	LEFT SIDE	1192.90 S.F.	90.00 S.F.	7.54 %
	RIGHT SIDE	1193.42 S.F.	58.67 S.F.	4.92 %
	REAR	970.31 S.F.	316.20 S.F.	32.59 %
*OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.00 S.F.	
TOTAL SQ. FT.		4090.13 S.F.	664.15 S.F.	16.24 %
TOTAL SQ. M.		379.98 S.M.	61.70 S.M.	16.24 %



MAR 9, 2022



UPGRADED REAR ELEVATION 'C' W/ W.O.B.

REVIEWED

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAR 15, 2022
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BAYVIEW WELLINGTON		S42-21	
GREEN VALLEY EAST		UPGRADED REAR ELEVATION 'C' W/ W.O.B.	
project name		project no. 16023	
municipality		drawing no. 54	
BRADFORD, ON.		file name 16023-S42-21	
date SEPTEMBER 2021		scale 3/16" = 1'-0"	
drawn by KL		checked by	
RICHARD -- H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-21.dwg -- Wed -- Mar 9 2022 -- 3:10 PM		no. description	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		9 .	
qualification information		8 .	
Wellington Jno-Baptiste		7 .	
name		6 .	
registration information		5 .	
VAS Design Inc.		4 .	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		3 .	
MAR 09-22 RC		2 .	
FEB 24-22 RC		1 .	
NOV 26-21 VAS		1 .	
ISSUED FOR CLIENT REVIEW		1 .	
date		1 .	

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION A W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	754.88 S.F.	182.71 S.F.	24.20 %
	LEFT SIDE	1250.29 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	748.12 S.F.	188.94 S.F.	25.26 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4003.58 S.F.	520.32 S.F.	13.00 %
	TOTAL SQ. M.	371.94 S.M.	48.34 S.M.	13.00 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION B W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	755.63 S.F.	149.89 S.F.	19.84 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	748.12 S.F.	188.94 S.F.	25.26 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4003.78 S.F.	487.50 S.F.	12.18 %
	TOTAL SQ. M.	371.96 S.M.	45.29 S.M.	12.18 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEVATION C W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	748.12 S.F.	188.94 S.F.	25.26 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4015.37 S.F.	536.89 S.F.	13.37 %
	TOTAL SQ. M.	373.04 S.M.	49.88 S.M.	13.37 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL C W/ REAR UPG.W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	748.12 S.F.	202.06 S.F.	27.01 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4015.37 S.F.	550.01 S.F.	13.70 %
	TOTAL SQ. M.	373.04 S.M.	51.10 S.M.	13.70 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL A WOD W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	754.88 S.F.	182.71 S.F.	24.20 %
	LEFT SIDE	1250.29 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	883.12 S.F.	226.39 S.F.	25.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4138.58 S.F.	557.77 S.F.	13.48 %
	TOTAL SQ. M.	384.48 S.M.	51.82 S.M.	13.48 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL B WOD W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	755.63 S.F.	149.89 S.F.	19.84 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	883.12 S.F.	226.39 S.F.	25.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4138.78 S.F.	524.95 S.F.	12.68 %
	TOTAL SQ. M.	384.50 S.M.	48.77 S.M.	12.68 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL C WOD W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	182.71 S.F.	23.81 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	883.12 S.F.	226.39 S.F.	25.64 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4150.37 S.F.	557.77 S.F.	13.44 %
	TOTAL SQ. M.	385.58 S.M.	51.82 S.M.	13.44 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL C WOD W/ REAR UPG. W/ 9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	883.12 S.F.	247.61 S.F.	28.04 %
	*OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4150.37 S.F.	595.56 S.F.	14.35 %
	TOTAL SQ. M.	385.58 S.M.	55.33 S.M.	14.35 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL A WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	754.88 S.F.	182.71 S.F.	24.20 %
	LEFT SIDE	1250.29 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	970.31 S.F.	288.43 S.F.	29.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4225.77 S.F.	619.81 S.F.	14.67 %
	TOTAL SQ. M.	392.58 S.M.	57.58 S.M.	14.67 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL B WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	755.63 S.F.	149.89 S.F.	19.84 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	970.31 S.F.	288.43 S.F.	29.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4225.97 S.F.	586.99 S.F.	13.89 %
	TOTAL SQ. M.	392.60 S.M.	54.53 S.M.	13.89 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 EL C WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	970.31 S.F.	288.43 S.F.	29.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4237.56 S.F.	636.38 S.F.	15.02 %
	TOTAL SQ. M.	393.68 S.M.	59.12 S.M.	15.02 %

STD. & REAR UPG 10' GROUND FLOOR	UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
	S42-21 ELEV. C WOB W/ REAR UPG. W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	970.31 S.F.	310.76 S.F.	32.03 %
	*OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4237.56 S.F.	658.71 S.F.	15.54 %
	TOTAL SQ. M.	393.68 S.M.	61.20 S.M.	15.54 %

9' SECOND FLOOR

REVIEWED

BAYVIEW WELLINGTON				S42-21			
GREEN VALLEY EAST				BRADFORD, ON.			
project name				project no.			
date				drawing no.			
checked by				file name			
drawn by				16023-S42-21			
scale				3/16" = 1'-0"			
checked by				16023-S42-21			
drawn by				16023-S42-21			
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checked by				16023-S42-21			
drawn by				16023-S42-21			
scale				3/16" = 1'-0"			

SECOND FLOOR & 9th BASEMENT

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STD. & REAR UPC 10' GROUND FLOOR & 9' BASEMENT	S42-21 EL. A WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	754.88 S.F.	182.71 S.F.	24.20 %
	LEFT SIDE	1250.29 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	1004.06 S.F.	288.43 S.F.	28.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4259.52 S.F.	619.81 S.F.	14.55 %
TOTAL SQ. M.	395.72 S.M.	57.58 S.M.	14.55 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STD. & REAR UPG 10' GROUND FLOOR & 9' BASEMENT	S42-21 EL B WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	755.63 S.F.	149.89 S.F.	19.84 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.29 S.F.	58.67 S.F.	4.69 %
	REAR	1004.06 S.F.	288.43 S.F.	28.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4259.72 S.F.	586.99 S.F.	13.78 %
	TOTAL SQ. M.	395.74 S.M.	54.53 S.M.	13.78 %

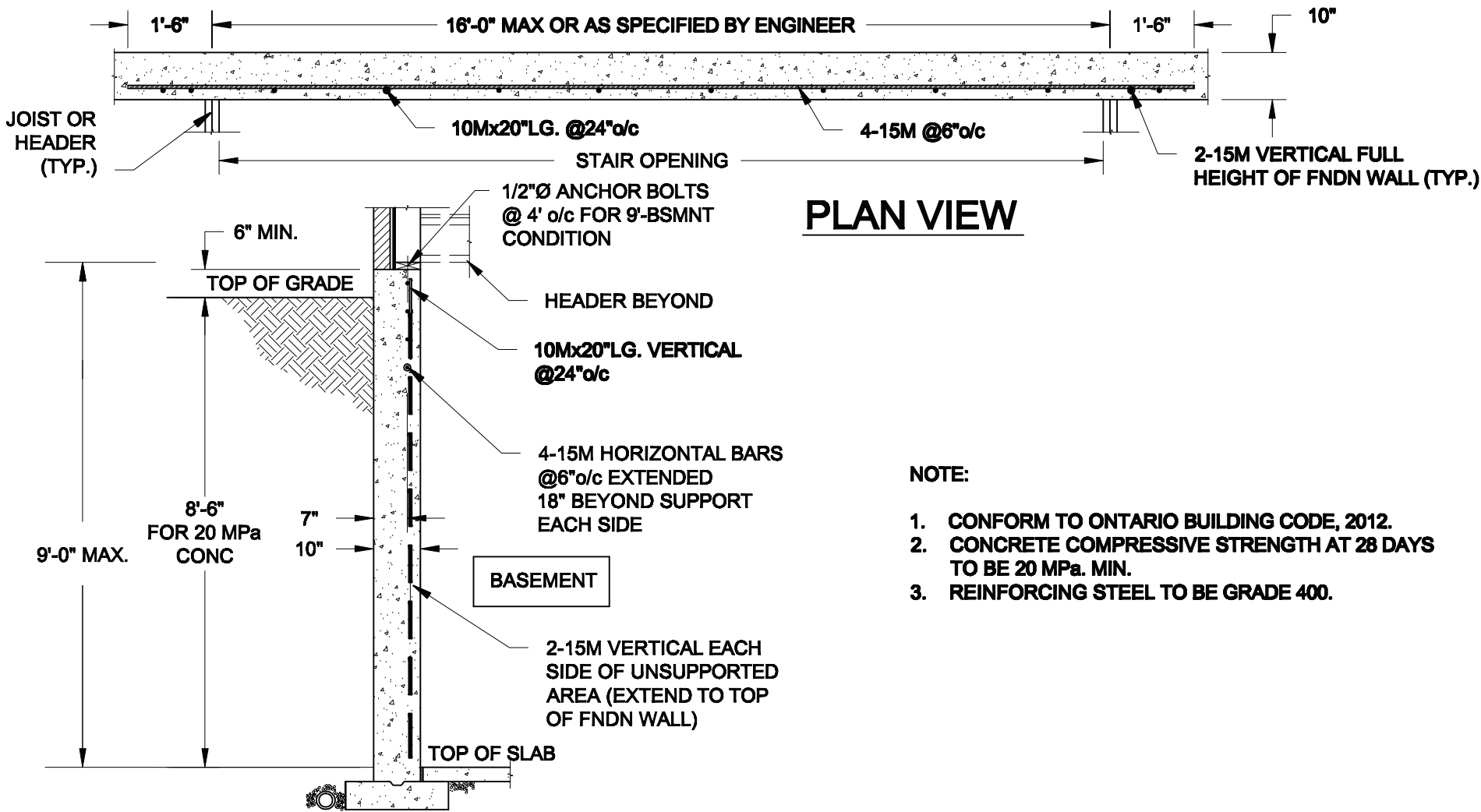
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STD. & REAR UPG 10' GROUND FLOOR & 9' BASEMENT	S42-21 EL C WOB W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	1004.06 S.F.	288.43 S.F.	28.73 %
	* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4271.31 S.F.	636.38 S.F.	14.90 %
	TOTAL SQ. M.	396.81 S.M.	59.12 S.M.	14.90 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
STD. & REAR UPG 10' GROUND FLOOR & 9' BASEMENT	S42-21 ELEV. C WOB W/ REAR UPG. W/9' SECOND	ENERGY EFFICIENCY – OBC SB12		
	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
	FRONT	767.25 S.F.	199.28 S.F.	25.97 %
	LEFT SIDE	1249.74 S.F.	90.00 S.F.	7.20 %
	RIGHT SIDE	1250.26 S.F.	58.67 S.F.	4.69 %
	REAR	1004.06 S.F.	310.76 S.F.	30.95 %
	*OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
	TOTAL SQ. FT.	4271.31 S.F.	658.71 S.F.	15.42 %
	TOTAL SQ. M.	396.81 S.M.	61.20 S.M.	15.42 %

REVIEWED

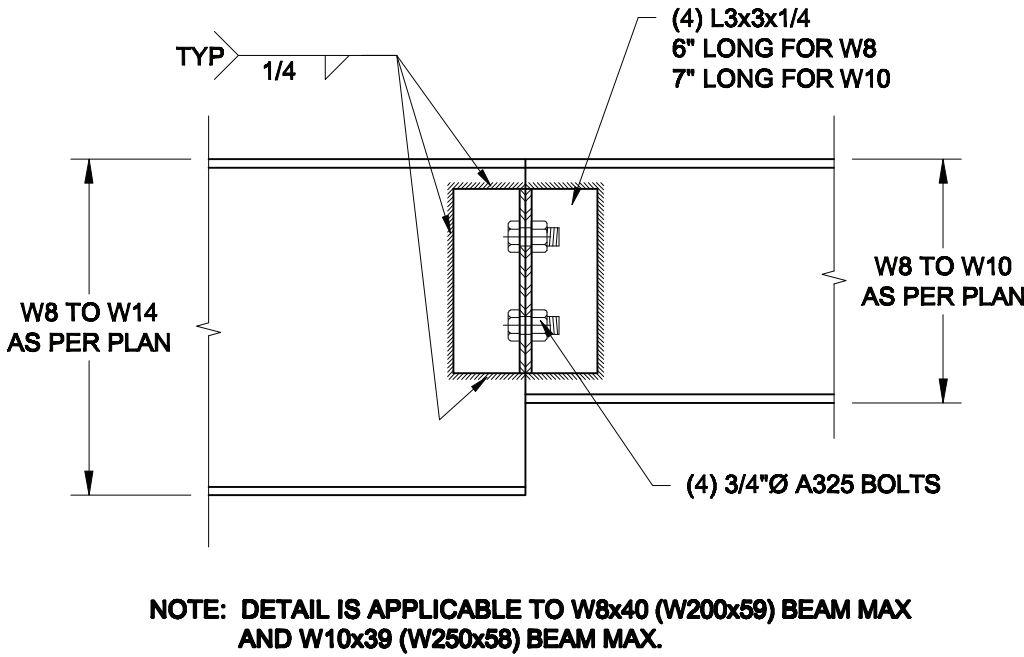
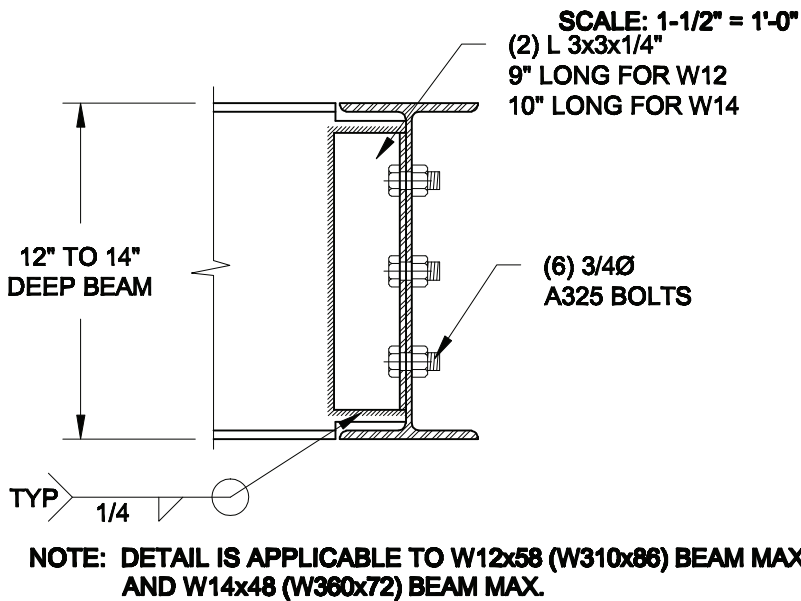
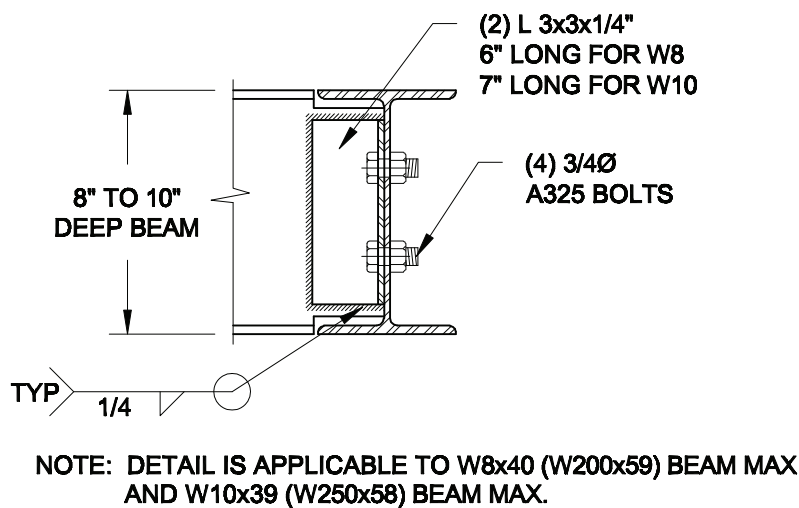
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1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2 STEEL BEAM CONNECTION DETAILS

Scale:
AS NOTED

Date:
FEB-17-2022

Drawn:
SC

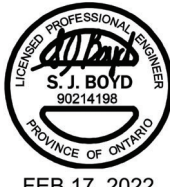
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SJB

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Engineer's Seal



FEB 17, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

TYPICAL STRUCTURAL DETAILS

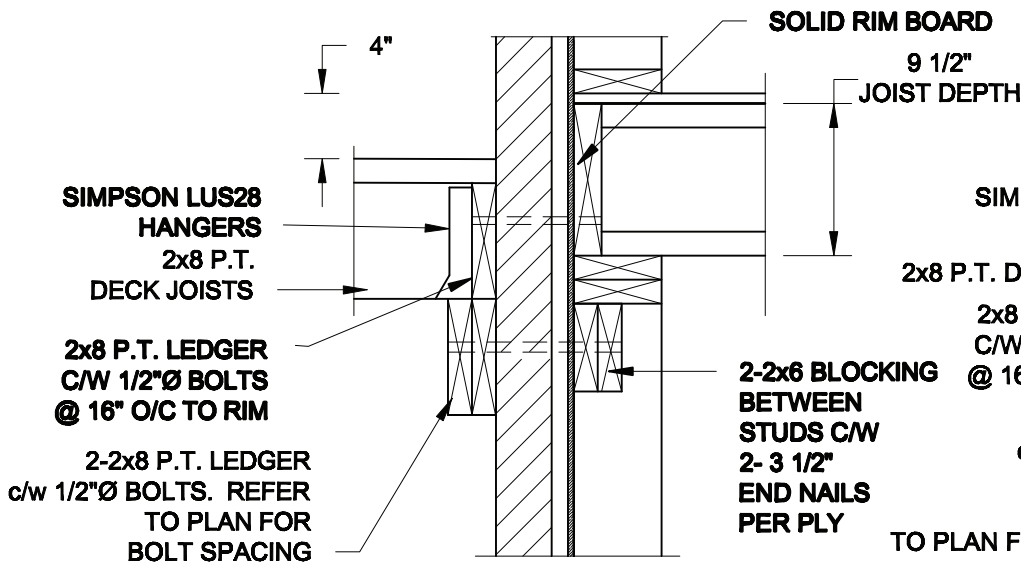
Project No.:

21-038

Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH



1A
S2

DECK FASTENING DETAIL

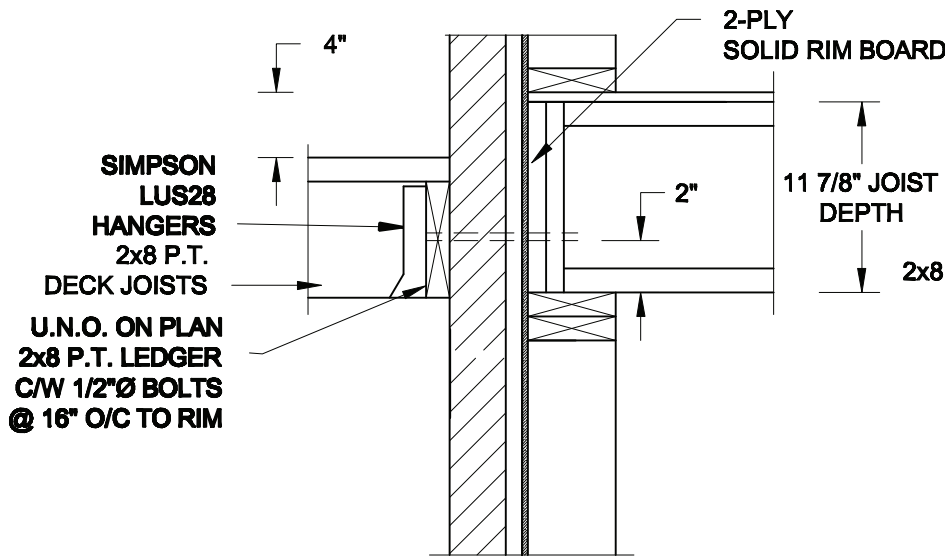
SCALE: 1" = 1'-0"

1B
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

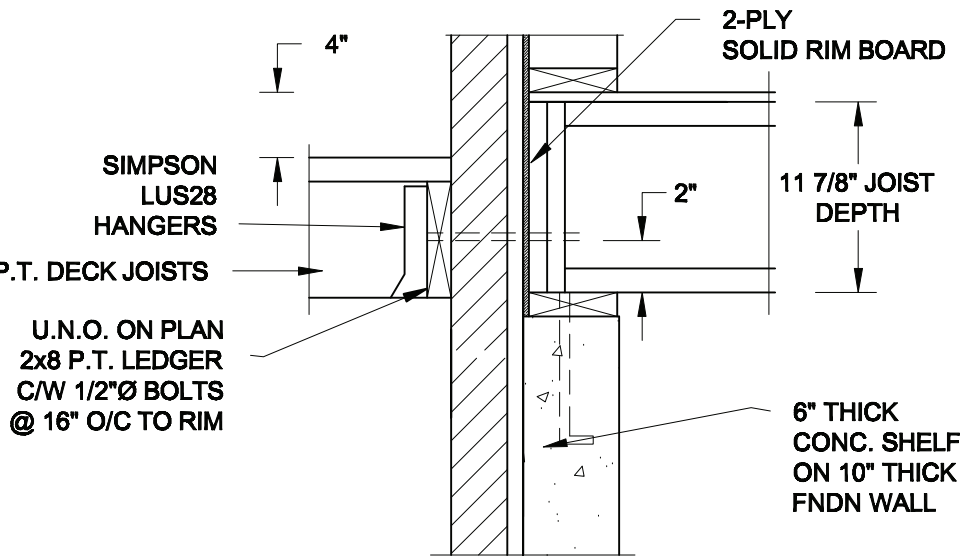
FOR 11 7/8" JOIST DEPTH



1C
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



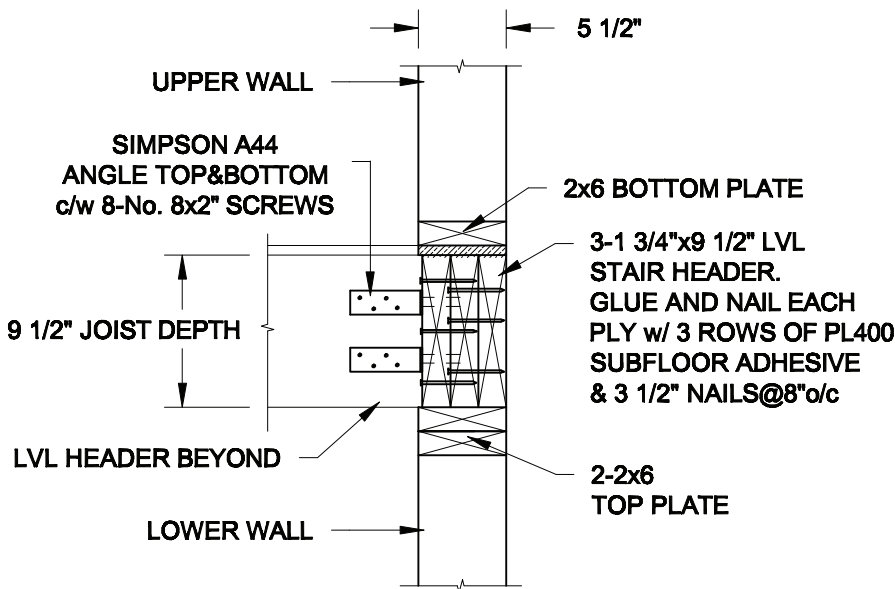
1D
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH

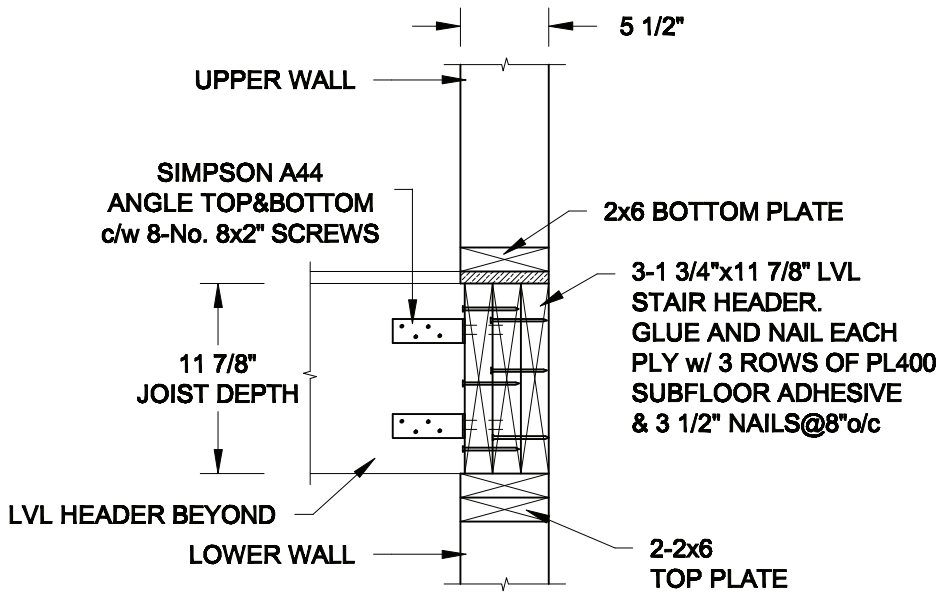


2A
S2

STAIR HEADER

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2

STAIR HEADER

SCALE: 1" = 1'-0"

Scale:

AS NOTED

Date:

MAR-15-2021

Drawn:

SC

Checked:

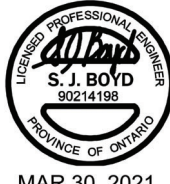
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Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

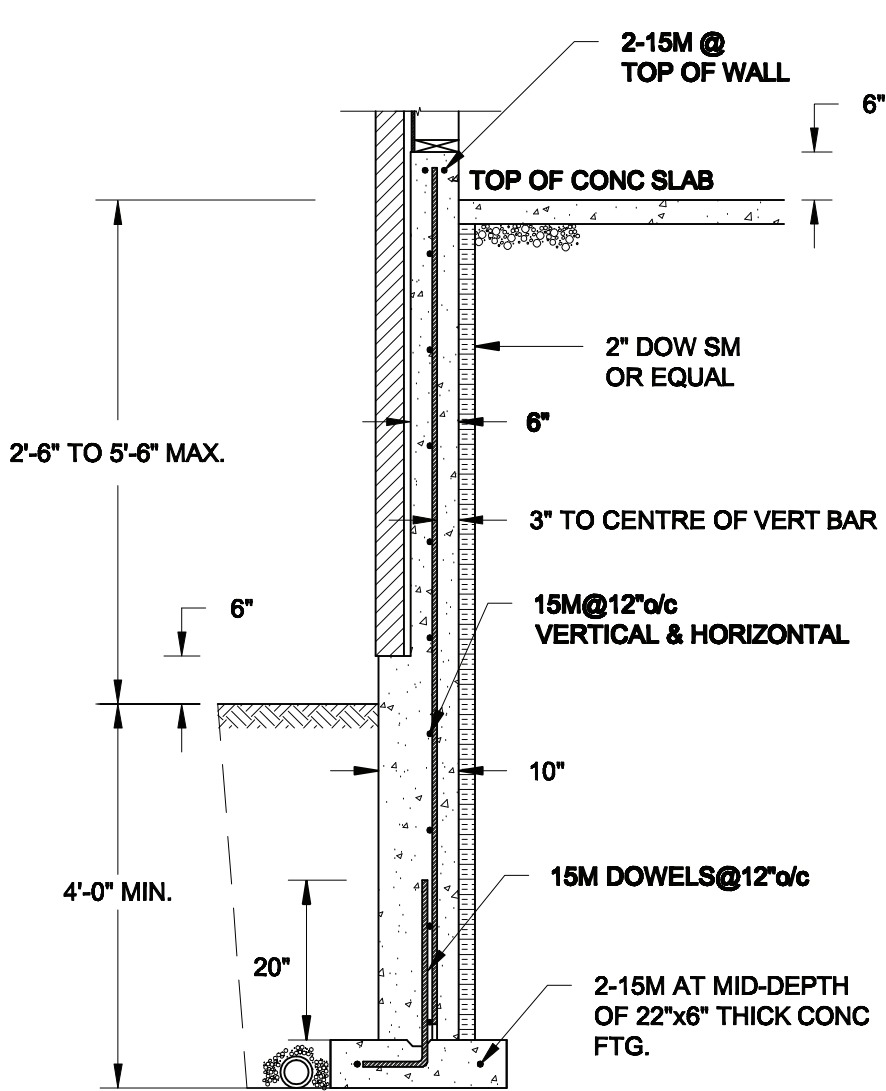
TYPICAL STRUCTURAL DETAILS

Project No.:

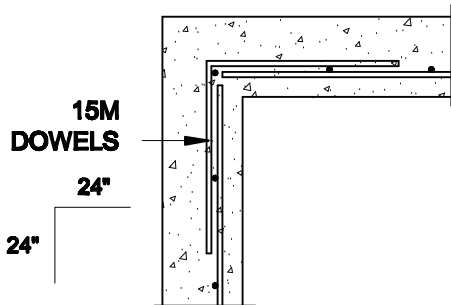
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Drawing No.:

S2



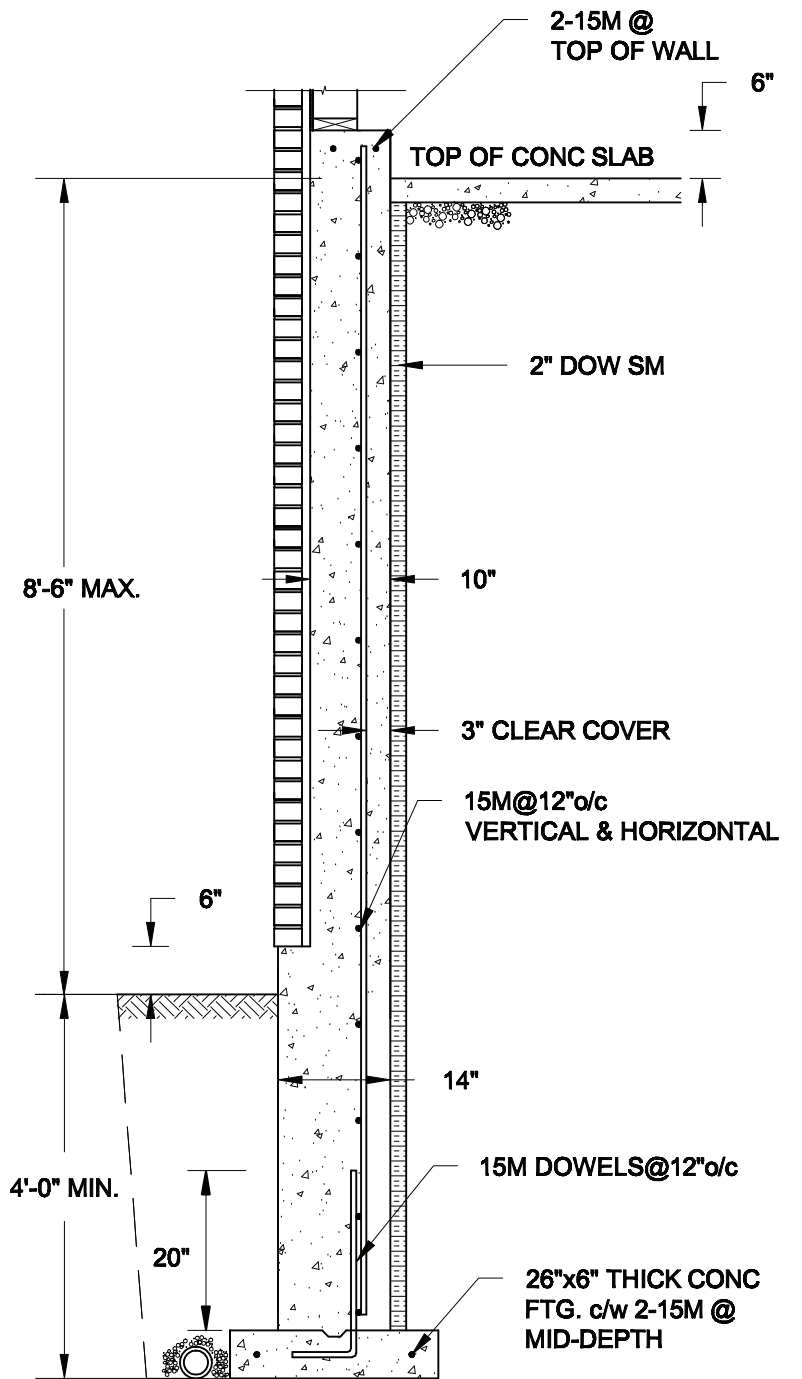
1A
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



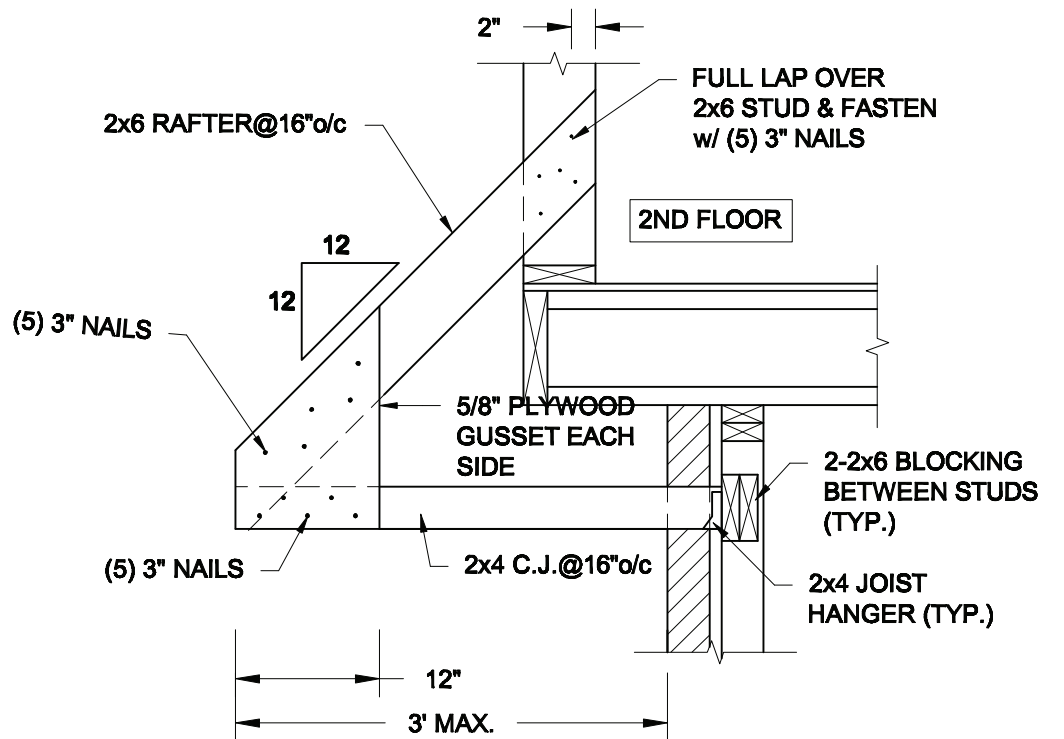
1C
S3 **PLAN VIEW AT CORNER**
SCALE: 1/2" = 1' - 0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



1B
S3 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1' - 0"



2
S3 **CANOPY ROOF OVER GARAGE**
SCALE: 3/4" = 1' - 0"

Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:
SC

Checked:
SJB

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FEB 24, 2022

Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO**

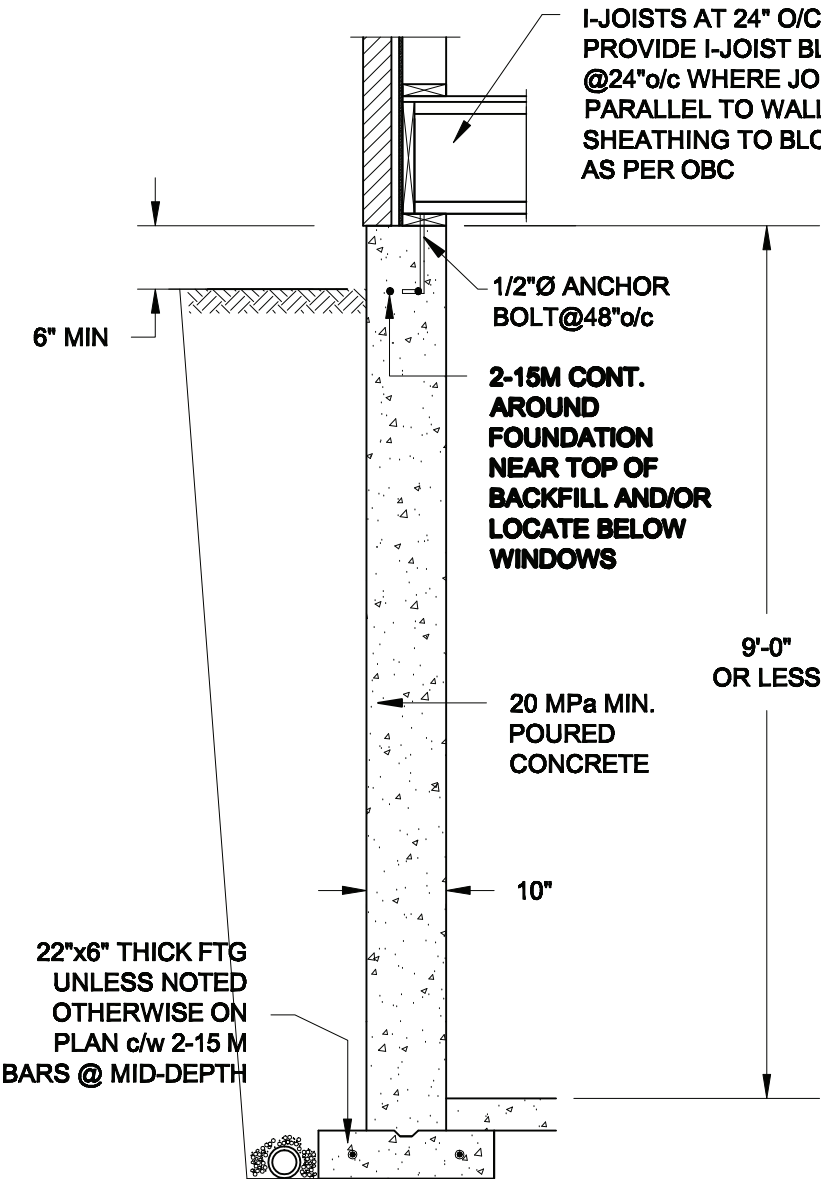
TYPICAL STRUCTURAL DETAILS

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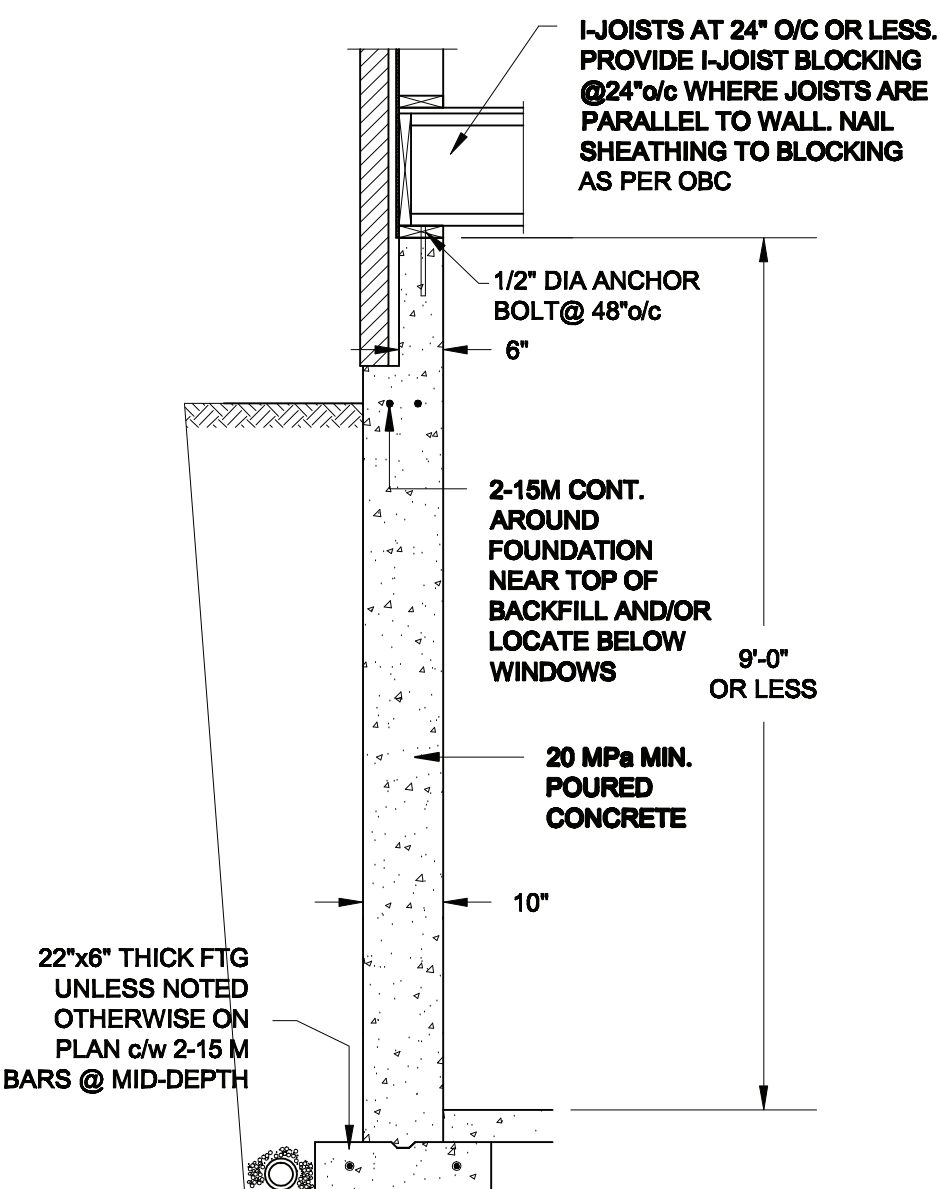
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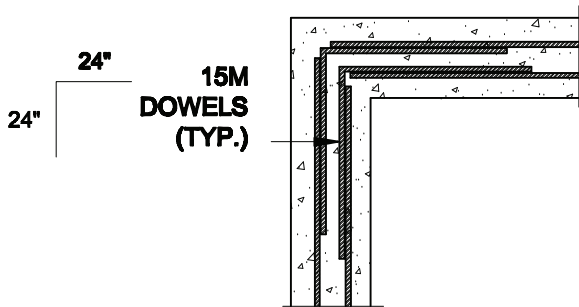
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		<div>QUAILE ENGINEERING LTD.</div> <div></div> <div>38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com</div>	<div>Engineer's Seal:</div> <div></div> <div>MAR 30, 2021</div>		<div>Project:</div> <div>BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO</div>	
Date: MAR-16-2021			TYPICAL STRUCTURAL DETAILS			
Drawn: SC	Checked: SJB		Project No.: 21-038		Drawing No.: S4	

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C.. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C.. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3C. STUCCO WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C.. RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STORES SUPPORTED |W/ MASONRY VENEER |W/ SIDING ONLY

118" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 9" DEEP

18" WIDE x 6" DEEP

22" WIDE x 6" DEEP

28" WIDE x 6" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").

-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT

545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6 (1)(b). 9.16.4.5 (1). 9.25.3.3 (15)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- (PRIVATE STAIRS)

5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS

-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7'-7/8")

MIN. RUN = 255 (10') (NOSING TO NOSING)

MAX. TREAD = RUN + 25 (1")

MAX. NOSING = 25 (1")

MIN. HEADROOM = 1950 (6'-5")

RAIL @ LANDING = 900 (2'-11")

RAIL @ STAIR = 865 (2'-10") TO 1070 (3'-6")

MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)

MIN. RUN AT INNER RADIUS = 150 (6")

MIN. RUN AT 300 (12") = 255 (10')

11. HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS -OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE -OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C.. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL.

USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7). 9.25.2.3. 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C.. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2KN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STL. TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL.

SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2. 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8(7) & 6.2.4.11.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2x9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-8 TABLE 6.2.3.12..

33. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.-). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN.

RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.-

AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6).

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS

DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-8 9.6.1.3.

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. 8-9.5.2.3 & DETAIL PROVIDED.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

7) ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-8 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950fb MIN.. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4" 9 1/2" 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9-23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT

DUPLEX OUTLET (12" ABOVE SURFACE)

WEATHERPROOF DUPLEX OUTLET

POT LIGHT

LIGHT FIXTURE (PULL CHAIN)

SWITCH

FLOOR DRAIN

SINGLE JOIST

DOUBLE JOIST

TRIPLE JOIST

LAMINATED VENEER LUMBER

POINT LOAD FROM ABOVE

FLAT ARCH

CURVED ARCH

M.C.C.

MEDICINE CABINET (RECESSED)

DOUBLE VOLUME WALL. SEE NOTE 39

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

EXHAUST FAN TO EXTERIOR

DUPLEX OUTLET (HEIGHT A.F.F)

GFI DUPLEX OUTLET (HEIGHT A.F.F)

HEAVY DUTY OUTLET (220 volt)

LIGHT FIXTURE (CEILING MOUNTED)

LIGHT FIXTURE (WALL MOUNTED)

HOSE BIB (NON-FREEZE)

P.T. PRESSURE TREATED LUMBER

G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL.

REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)

- WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12")o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR)

PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

UPDATED

ONT. REG. 332/12-2012 OBC
Amendment O, Reg. 88/19
Includes amendments effective Jan. 1, 2022

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L12/38 x 184 (2/2" x 8") SPR.#2

B13/38 x 184 (3/2" x 8") SPR.#2

B24/38 x 184 (4/2" x 8") SPR.#2

B75/38 x 184 (5/2" x 8") SPR.#2

L32/38 x 235 (2/2" x 10") SPR.#2

B33/38 x 235 (3/2" x 10") SPR.#2

B44/38 x 235 (4/2" x 10") SPR.#2

L52/38 x 286 (2/2" x 12") SPR.#2

B53/38 x 286 (3/2" x 12") SPR.#2

B64/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L789 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4"L)

L889 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L)

L9102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L)

L10127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L)

L11152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L)

L12152 x 102 x 11.0L (6"x 4" x 7/16"L)

L13178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A1-1 3/4"x7 1/4" (1-45x184)

LVL12-1 3/4"x7 1/4" (2-45x184)

LVL23-1 3/4"x7 1/4" (3-45x184)

LVL34-1 3/4"x7 1/4" (4-45x184)

LVL4A1-1 3/4"x9 1/2" (1-45x240)

LVL42-1 3/4"x9 1/2" (2-45x240)

LVL53-1 3/4"x9 1/2" (3-45x240)

LVL5A4-1 3/4"x9 1/2" (4-45x240)

LVL6A1-1 3/4"x11 7/8" (1-45x300)

LVL62-1 3/4"x11 7/8" (2-45x300)

LVL73-1 3/4"x11 7/8" (3-45x300)

LVL84-1 3/4"x11 7/8" (4-45x300)

DOOR SCHEDULE

1EXTERIOR DOOR2'-8" WIDE INSULATED MIN. RSI 0.7 (R4)

1AEXTERIOR DOOR2'-10" WIDE INSULATED MIN. RSI 0.7 (R4)

1BEXTERIOR DOOR3'-0" WIDE INSULATED MIN. RSI 0.7 (R4)

1CEXTERIOR DOOR3'-2" WIDE INSULATED MIN. RSI 0.7 (R4)

2AEXTERIOR DOOR2'-8" wide 20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DEVICE. INSULATED MIN. RSI 0.7 (R4)

2INTERIOR DOOR2'-8" WIDE

2BINTERIOR DOOR2'-8" WIDE (WEATHERSTRIPPING INSTALLED)

2CINTERIOR DOOR3'-0" WIDE

3INTERIOR DOOR2'-6" WIDE

3AINTERIOR DOOR2'-4" WIDE

4INTERIOR DOOR2'-0" WIDE

4AINTERIOR DOOR2'-2" WIDE

5INTERIOR DOOR1'-6" WIDE

REFER TO ARCHITECTURAL DRAWINGS FOR DOOR HEIGHTS

MECHANICAL SYMBOLS

HEAT PIPE

PLUMBING (TOILET)

PLUMBING (BATH, SINK, SHOWER)

WARM AIR

RETURN AIR DUCT

SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

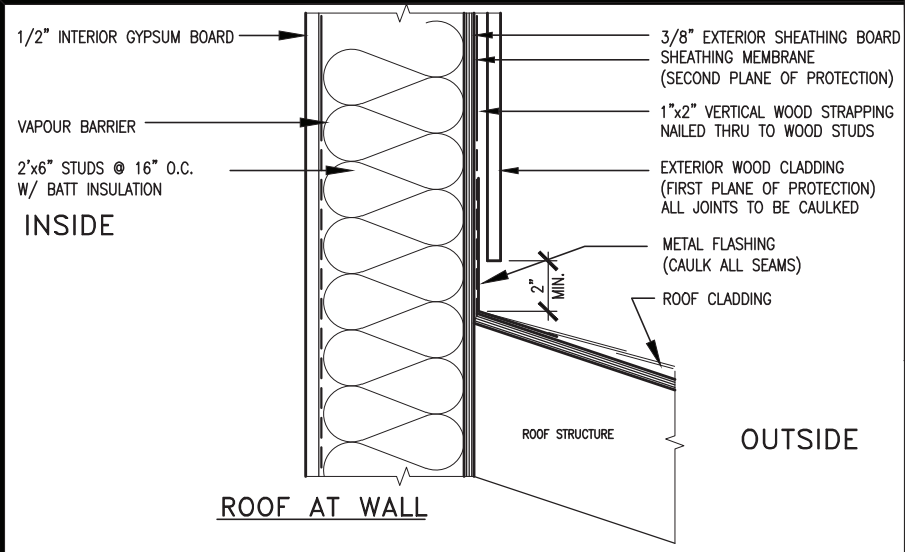
REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL.

The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

2022

VA3 REFERENCE NUMBER

A1



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

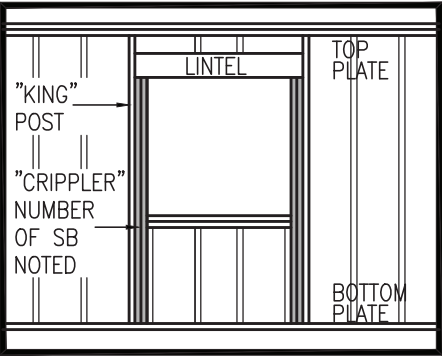
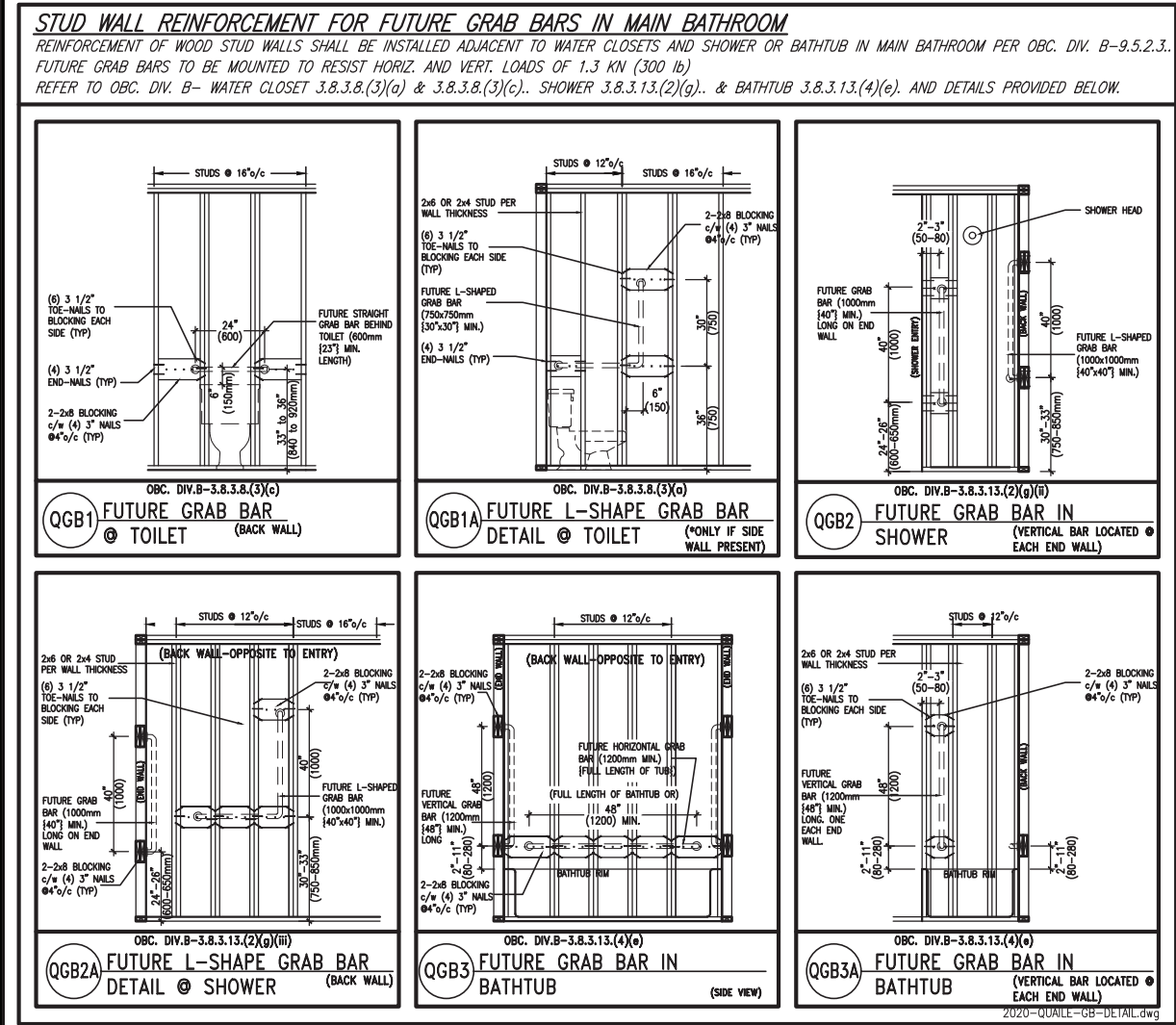
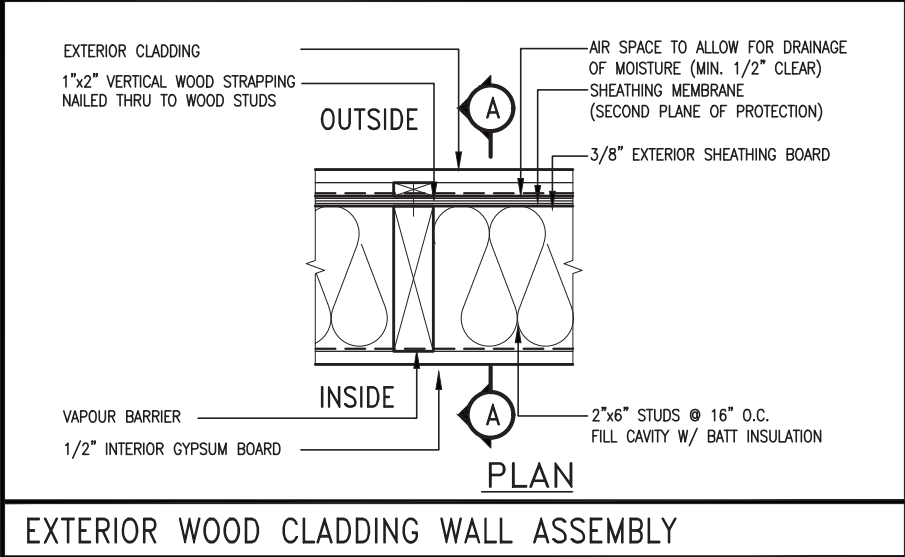
2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

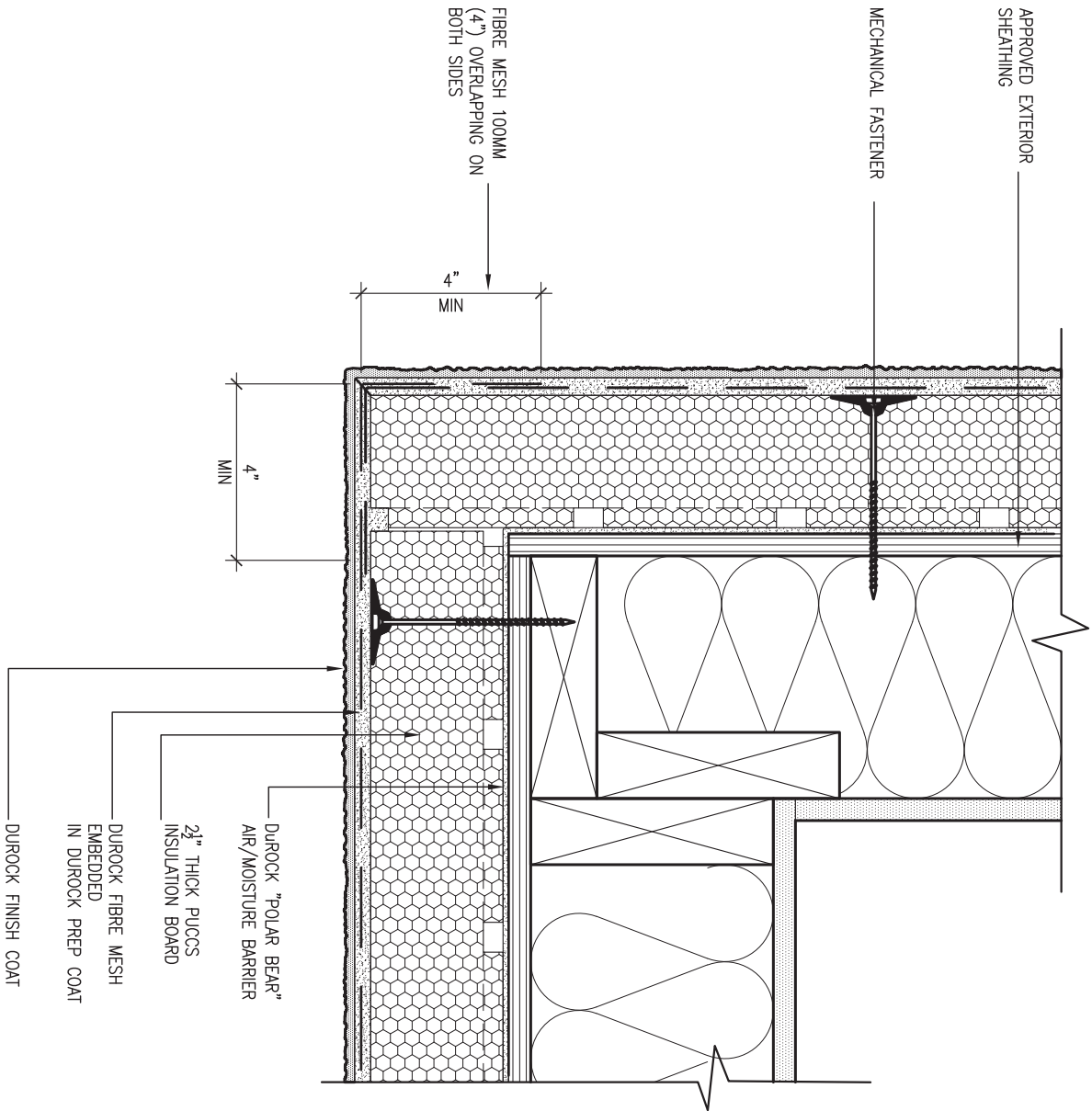


9	REVIEW				
8					
7					
6					
5					
4	UPDATE TO 2022	JAN 11-22	RC		
3	UPDATE TO 2020	FEB 24-20	RC		
2	UPDATE TO 2018	JAN 11-18	RC		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

VA3 DESIGN

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BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY EAST			municipality BRADFORD	
date MAY 2016			project no. 16023	
drawing no.			drawing no.	
drawn by RC			checked by —	
scale 3/16" = 1'-0"			file name 16023-CN-2022-A1	
CONSTRUCTION NOTES			CN2	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:05 PM				

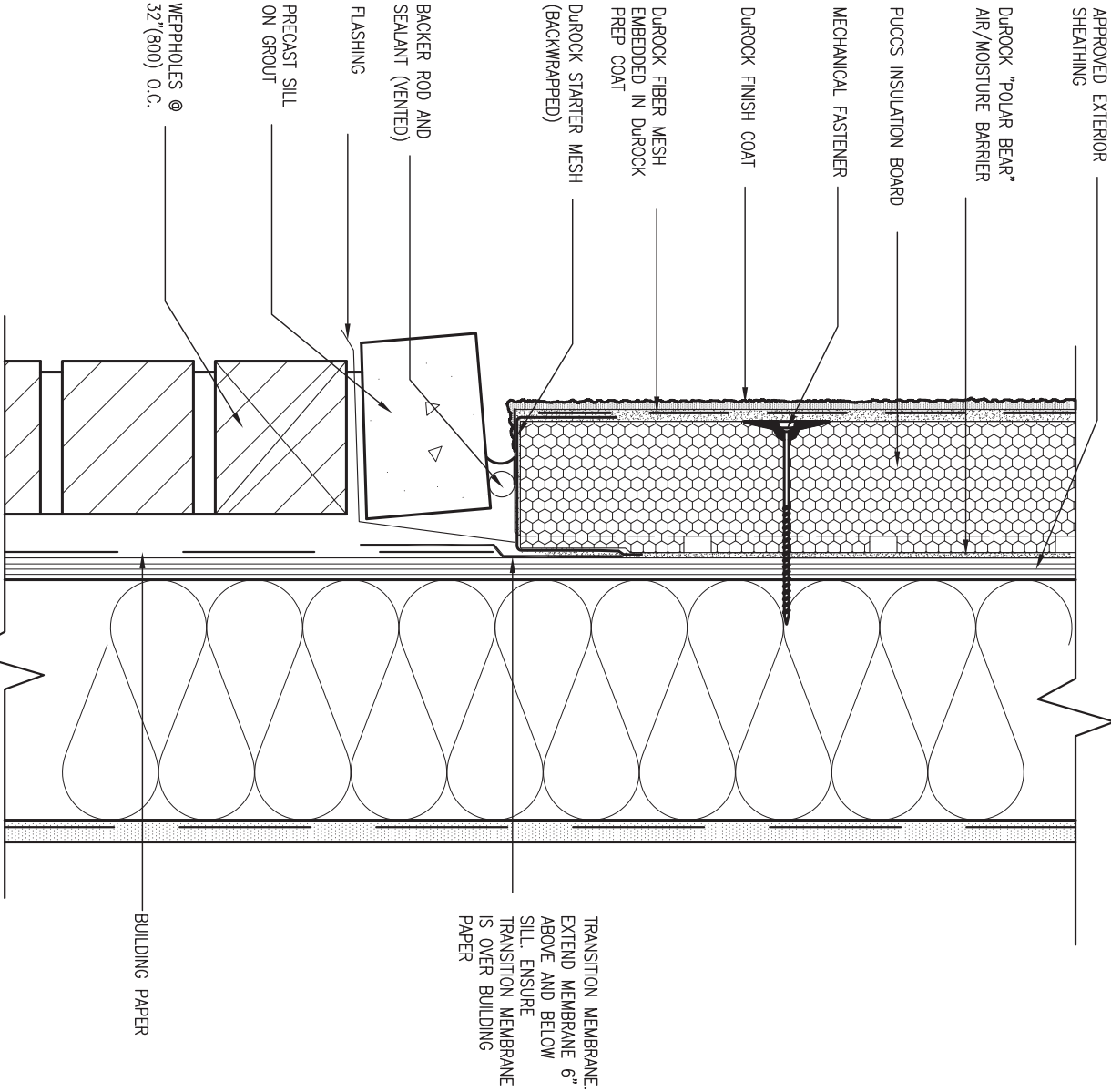


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

REVIEW

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	Qualification information
7	.	.	.	Wellington One-Baptiste
6	.	.	.	signature
5	.	.	.	25591 BCIN
4	UPDATE TO 2022	JAN 11-22	RC	42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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DESIGN

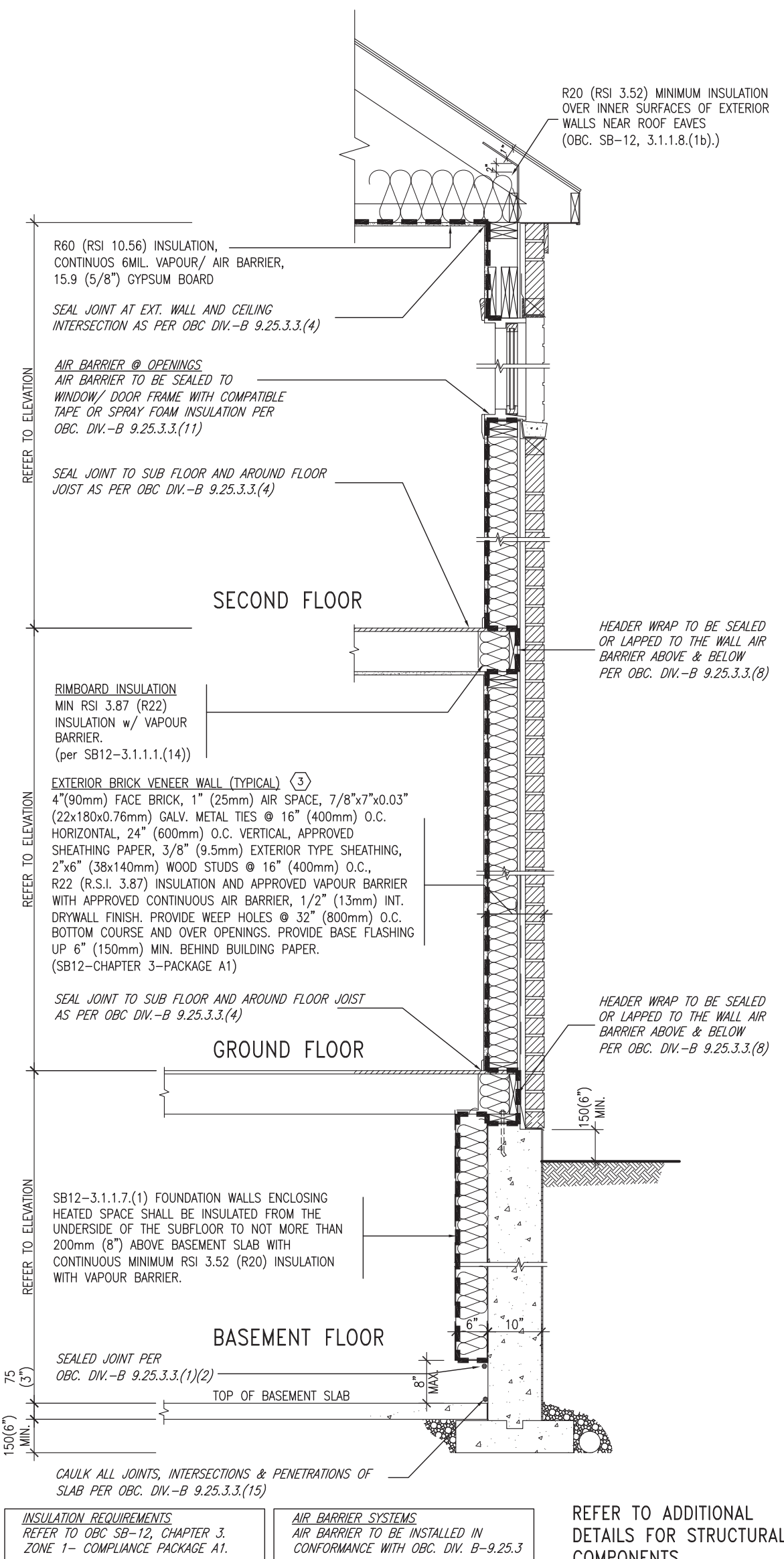
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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	scale	file name	CN5
drawn by	RC	-	3/16" = 1'-0"	16023-CN-2022-A1	
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SB12-COMPLIANCE PACKAGE 'A1'



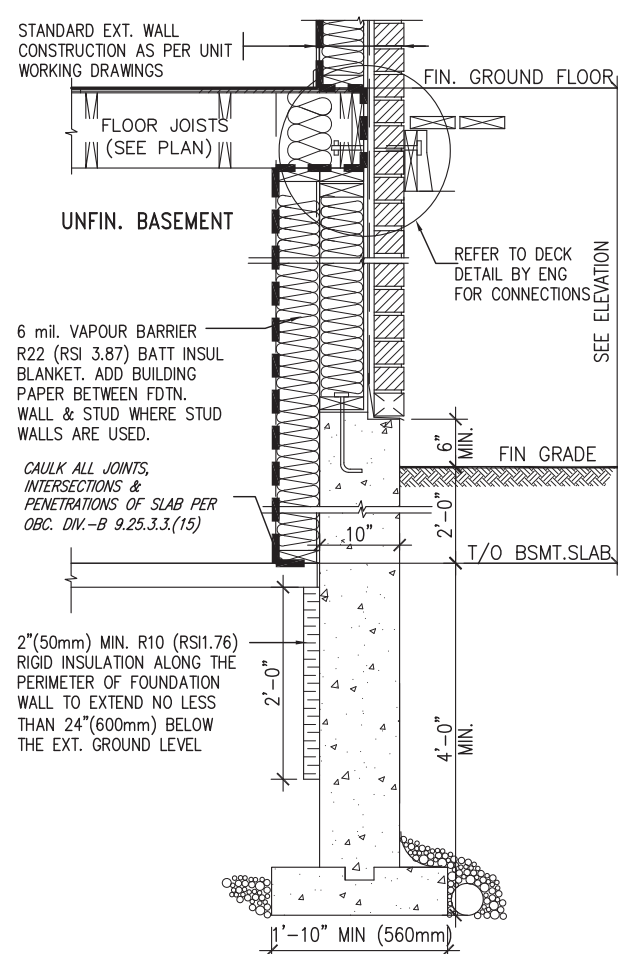
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1)

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12–3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



* REVISED—FEB 2017

SECTION AT W.O.D/W.O.B.

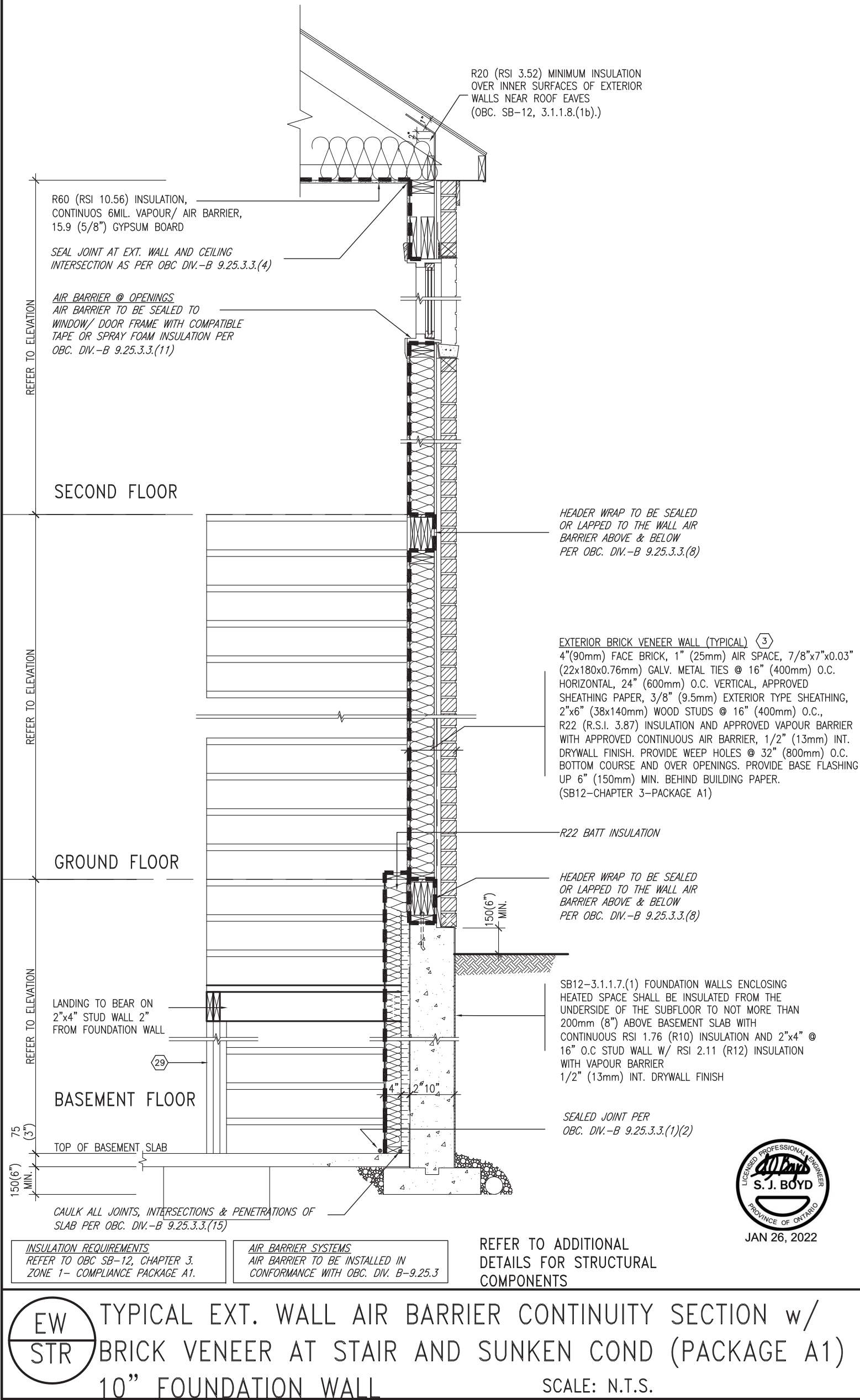
9	REVIEWED				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					qualification information
7					Wellington Jno-Baptiste
6					signature
5					25591
4	UPDATE TO 2022	JAN 11-22	RC		name
3	UPDATE TO 2020	FEB 24-20	RC		registration information
2	UPDATE TO 2018	JAN 11-18	RC		VA3 Design Inc.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		42658
no.	description	date	by		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST		municipality BRADFORD	project no. 16023
date MAY 2016		CONSTRUCTION NOTES	
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
drawing no.		CN6	
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SB12-COMPLIANCE PACKAGE 'A1'



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8	.	.	.	qualification information
7	.	.	.	Wellington One-Baptiste
6	.	.	.	signature
5	.	.	.	25591 BCIN
4	UPDATE TO 2022	JAN 11-22	RC	name registration information
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

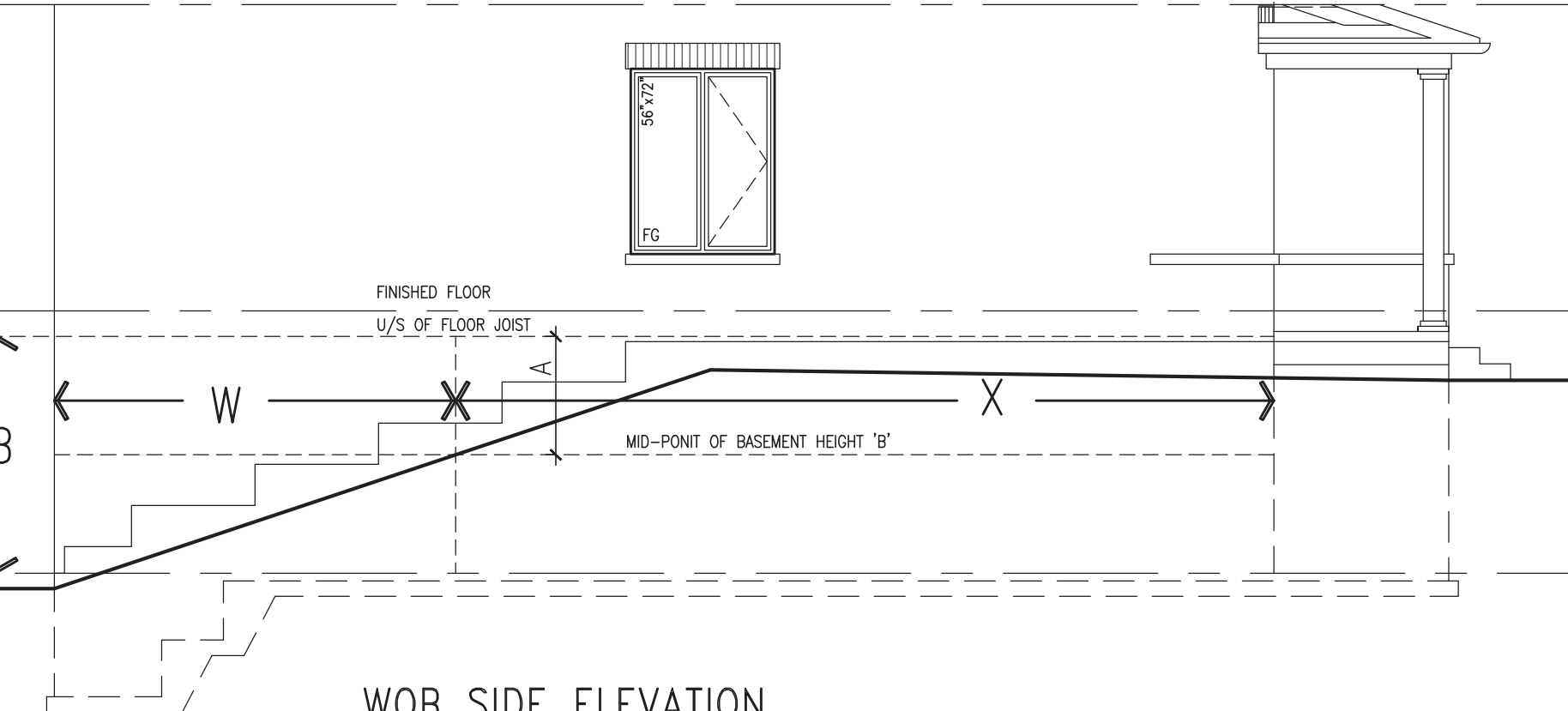
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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	-
scale	3/16" = 1'-0"	file name	16023-CN-2022-A1
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		drawing no.	
		CN7	

[illegible]

WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"

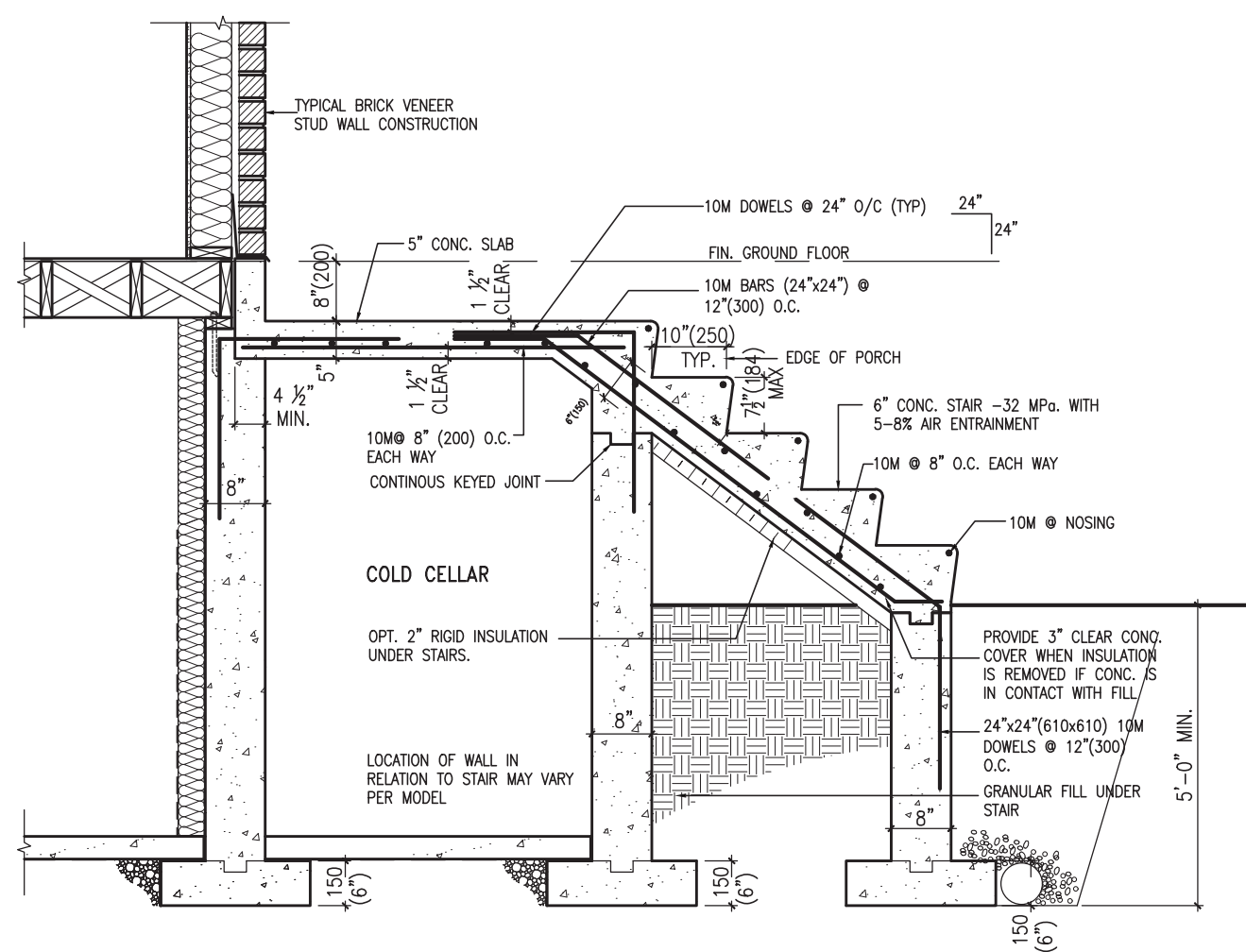
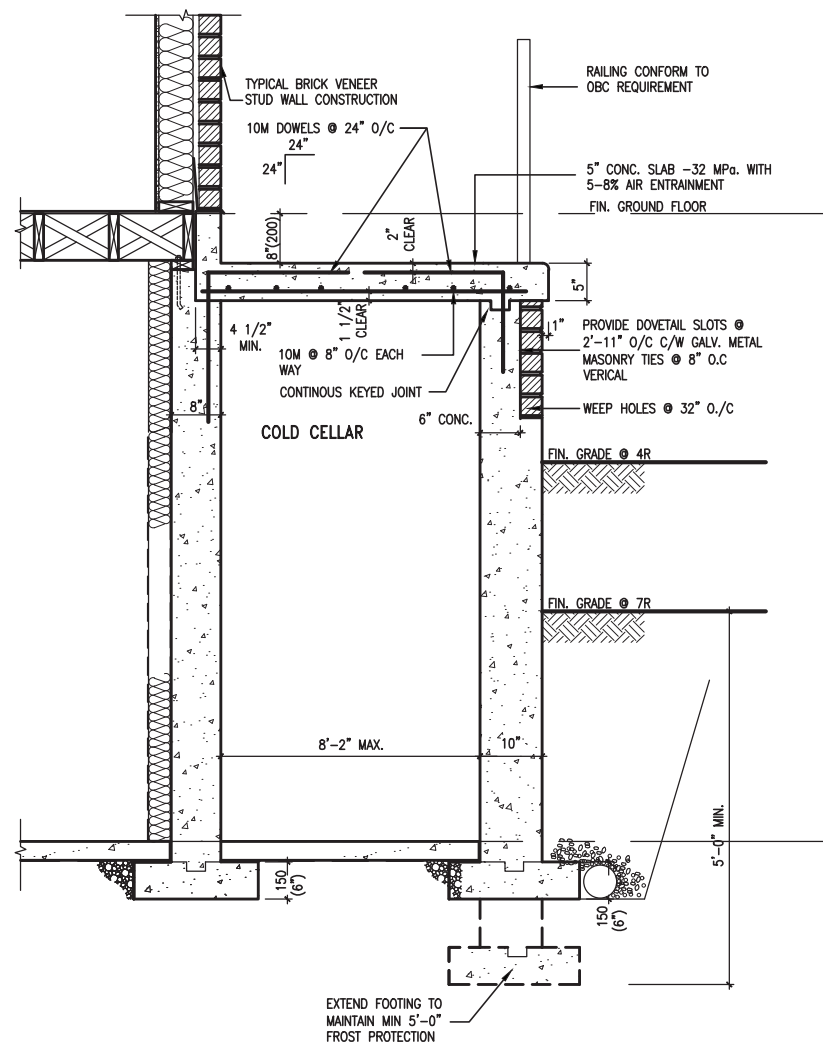
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A



REVIEWED

[illegible]



X1

 x_2

 JAN 26, 2022

REVIEWED

CONST NOTE

BAYVIEW WELLINGTON

project no.	16023
-------------	-------

BRADFORD
municipality

project name
GREEN VALLEY EAST

Wellington Jno-Baptiste	signature	BCIN	25591
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JAN 11	.		.
33			.

6	.
5	.
4	UPDATE TO 2022

CONSTRUCTION NOTES

1

date
MAY 2016

DESIGN

MA3 Design Inc.	42658
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JAN 11-22	RC
FEB 24-20	RC

4	UPDATE TO 2022
3	UPDATE TO 2020

file name	16023-CN-2022-A1
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scale
 $3/16" = 1'-0"$

drawn by	checked by
RC	-

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discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

JAN 11-18	RC
AUG 04-17	RC

2	UPDATE TO 2018
1	ISSUE FOR CLIENT

[illegible]



NOT TO SCALE

(10" FOUNDATION WALL)

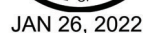
WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



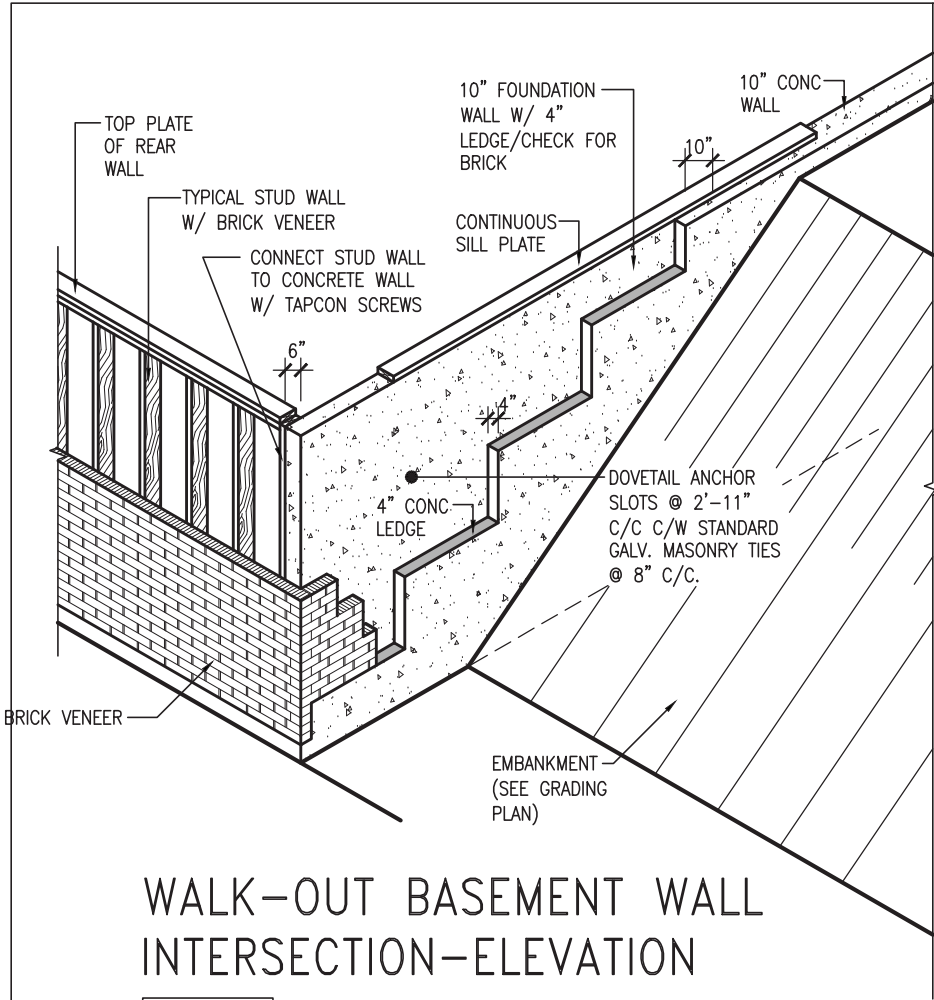
NOT TO SCALE

(10" FOUNDATION WALL)



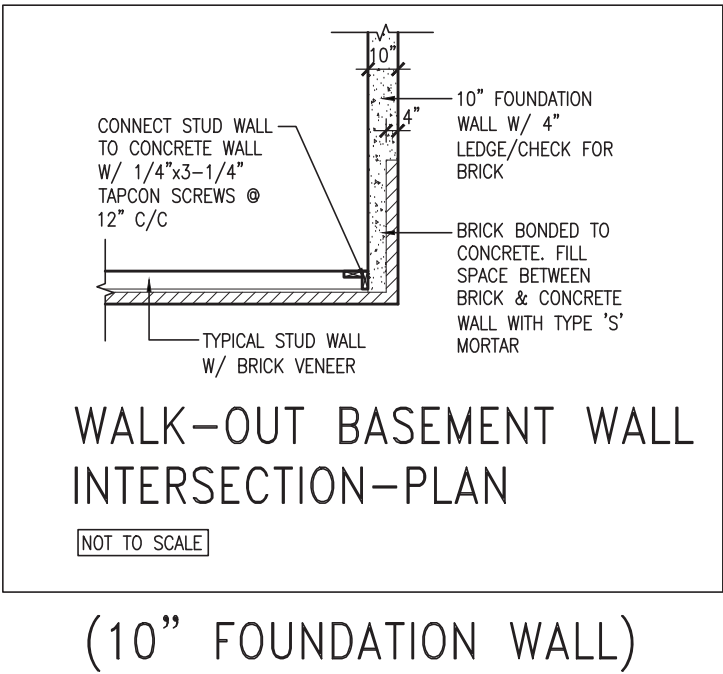
9	REVIEWED			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		CONST NOTE	
8				qualification information							
7				Wellington Jno-Baptiste		25591		project name		project no.	
6				name		BCIN		GREEN VALLEY EAST		16023	
5				registration information		VA3 Design Inc.		municipality		BRADFORD	
4	UPDATE TO 2022			JAN 11-22	RC	42658		date		CONSTRUCTION NOTES	
3	UPDATE TO 2020			FEB 24-20	RC			MAY 2016		drawing no.	
2	UPDATE TO 2018			JAN 11-18	RC			drawn by		file name	
1	ISSUE FOR CLIENT REVIEW			AUG 04-17	RC			checked by		scale	
no.	description			date	by			RC		3/16" = 1'-0"	
						Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		16023-CN-2022-A1	
								RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM		CN10	

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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

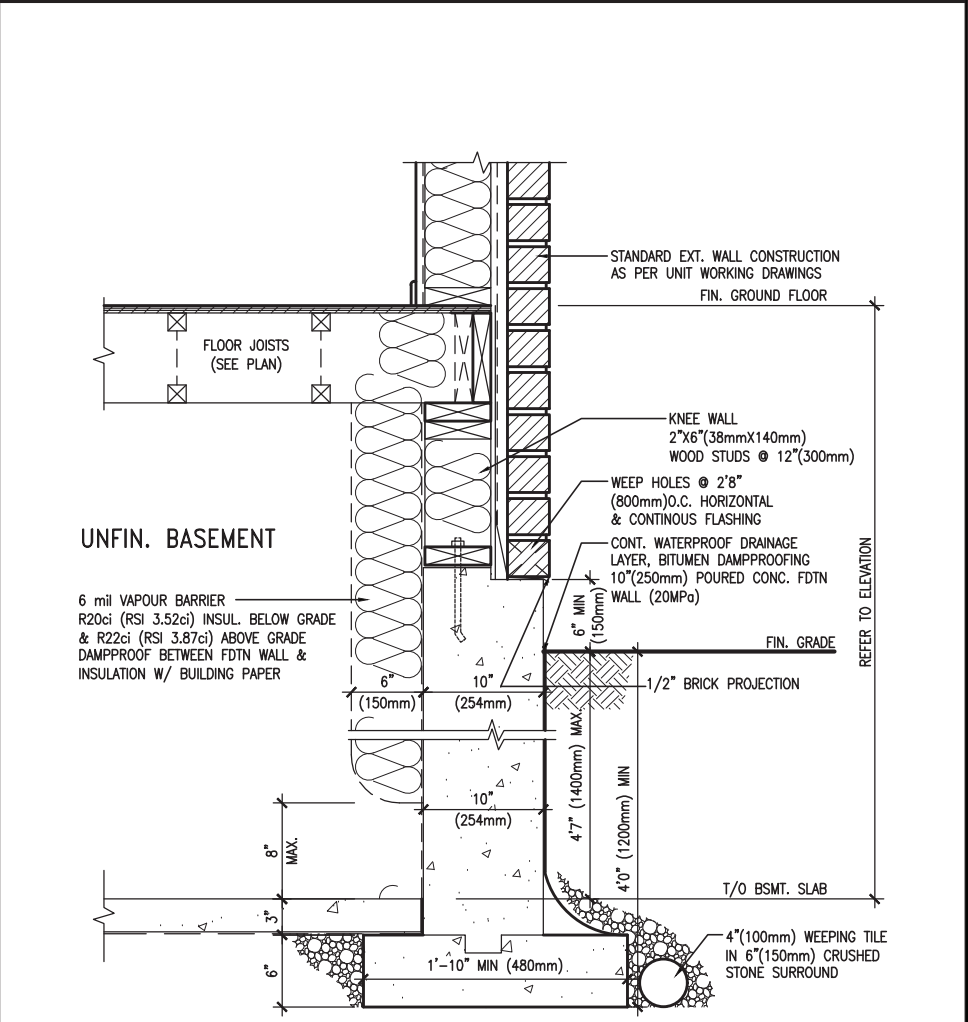
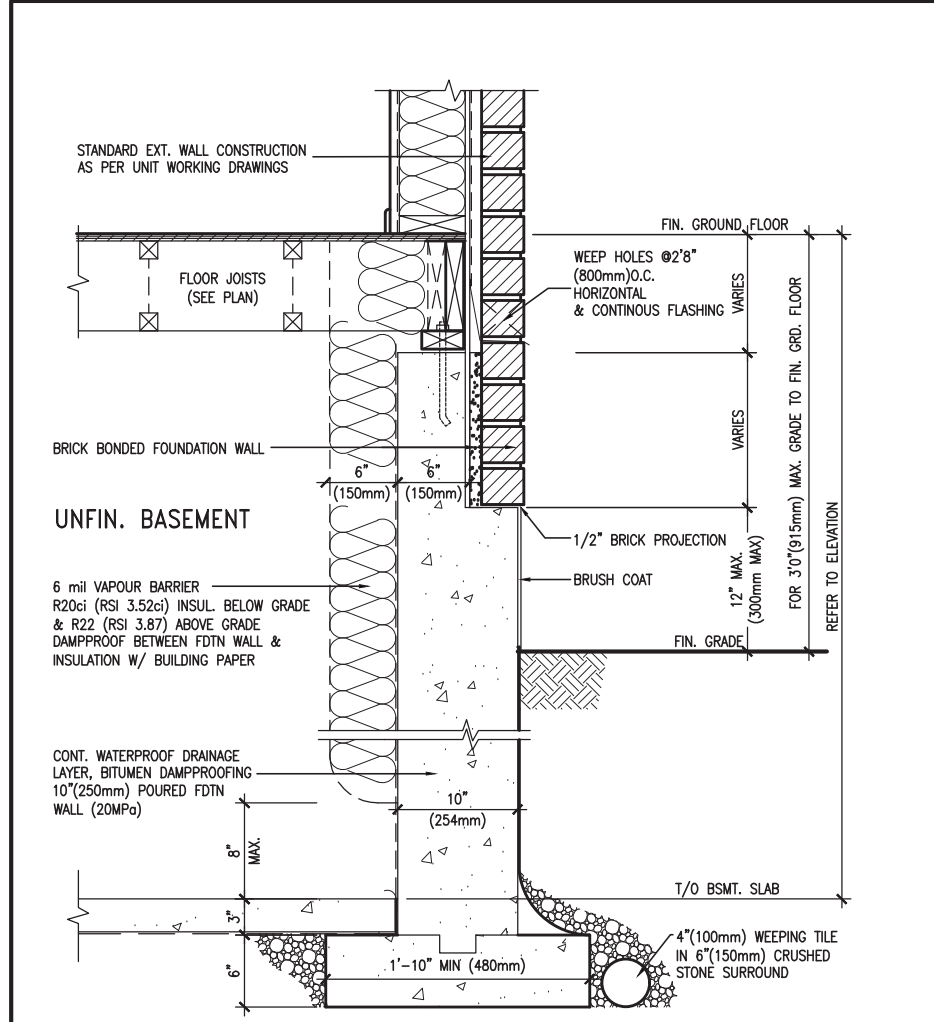
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.

EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



9	REVIEW
8	
7	
6	
5	
4	UPDATE TO 2022
3	UPDATE TO 2020
2	UPDATE TO 2018
1	ISSUE FOR CLIENT REVIEW
no.	description

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qualification information		
Wellington Jno-Baptiste	signature	25591
name	BCIN	
registration information		42658
VA3 Design Inc.		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
no.	description	date by

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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
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PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

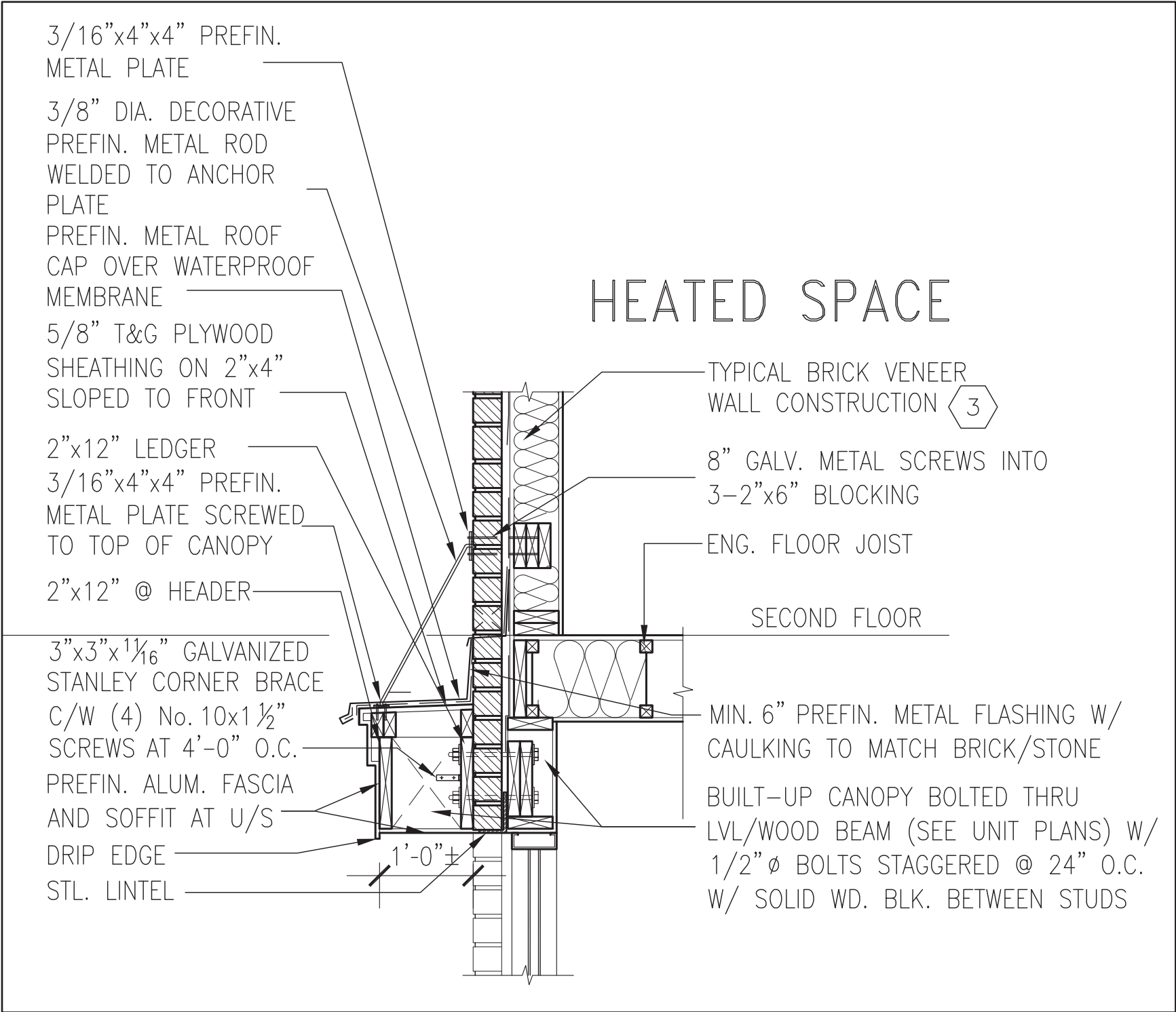
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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8				qualification information				project name		project no.		
7				Wellington Uno-Baptiste				GREEN VALLEY EAST		16023		
6				name registration information				municipality		drawing no.		
5				VA3 Design Inc.				BRADFORD		CN12		
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date		MAY 2016		CONSTRUCTION NOTES		
3	UPDATE TO 2020	FEB 24-20	RC	255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		checked by		scale		file name		
2	UPDATE TO 2018	JAN 11-18	RC			RC		3/16" = 1'-0"		16023-CN-2022-A1		
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC									
no.	description		date	by								
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1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



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UPDATE TO 2020			FEB 24-20			RC			date			MAY 2016		
UPDATE TO 2018			JAN 11-18			RC			drawn by			checked by		
ISSUE FOR CLIENT REVIEW			AUG 04-17			RC			scale			3/16" = 1'-0"		
no. description			date			by			CONSTRUCTION NOTES			file name		
									16023-CN-2022-A1			drawing no.		
									CN13					
									RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM					

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/ 5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



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8			qualification information		
7			Wellington Uno-Baptiste		
6			name	signature	25591
5			registration information	BCIN	
4			VA3 Design Inc.	42658	
3			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
2			date	by	
1			ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.			description		
9			UPDATE TO 2022		
8			JAN 11-22	RC	
7			UPDATE TO 2020	FEB 24-20	RC
6			UPDATE TO 2018	JAN 11-18	RC
5			ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
4			no.	description	
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1			BAYVIEW WELLINGTON		
9			project name	municipality	project no.
8			GREEN VALLEY EAST	BRADFORD	16023
7			date	checked by	scale
6			MAY 2016	RC	3/16" = 1'-0"
5			CONSTRUCTION NOTES		
4			16023-CN-2022-A1		
3			drawing no.		
2			CN14		
1			CONST NOTE		
9			-		
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4			CONST NOTE		
3			-		
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