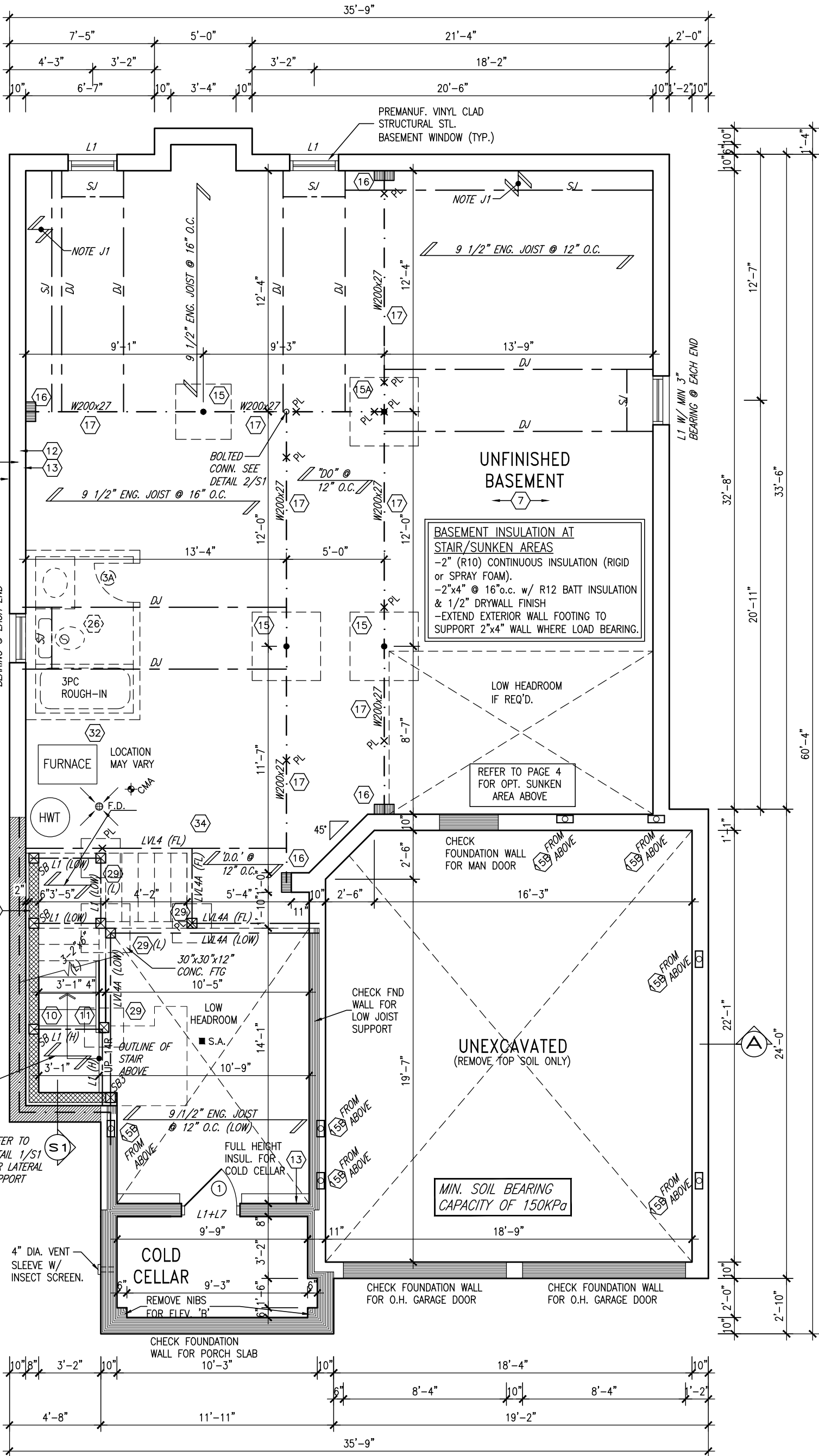


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10' GROUND



BASEMENT PLAN 'A' & 'B'

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

AREA CHART ON PAGE 4

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	
4	10' GROUND FLOOR	JUN 17-21	KL	
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
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VA3 DESIGN

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va3design.com

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST** municipality: **BRADFORD, ON.**

date: **SEPT 2016** drawing no.: **13045**

checked by: **BD.BIM** scale: **3/16" = 1'-0"** file name: **16023-S42-17-10GRND**

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10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 21, 2022

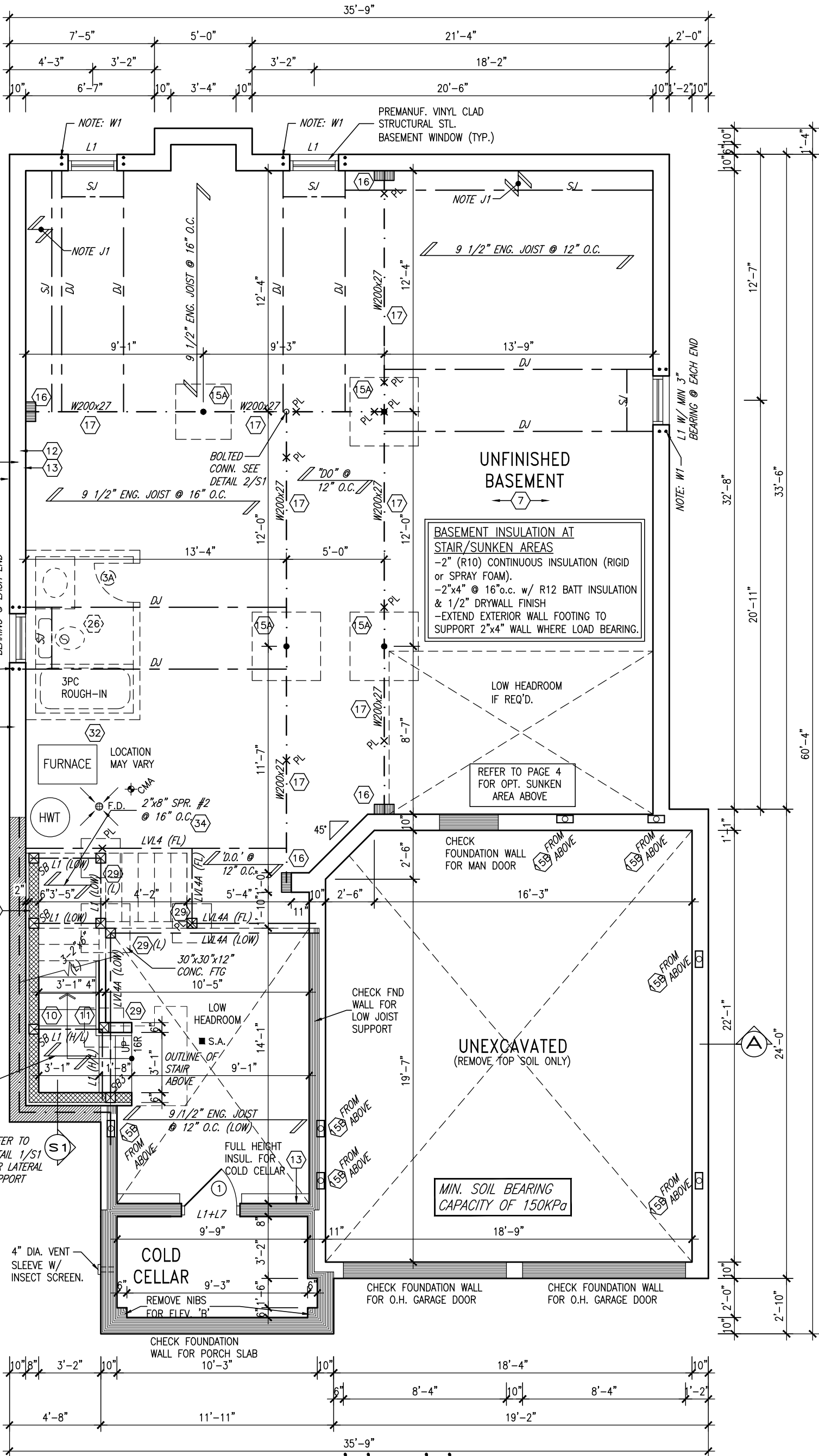
NOTE W1:
PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING
PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
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NOTE:
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BASEMENT PLAN 'A' & 'B'
(9'-0" BASEMENT) ELEV. 'C' SIMILAR

9	.	.	.
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6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
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no.	description	date	by

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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information		42658	
VA3 Design Inc.			
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va3design.com

BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.
date	SEPT 2016	project no.	13045
drawn by	BD.BIM	checked by	scale
			3/16" = 1'-0"
BASEMENT PLAN 'A' & 'B'		file name	16023-S42-17-10GRND
1A			
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10' GROUND

DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER



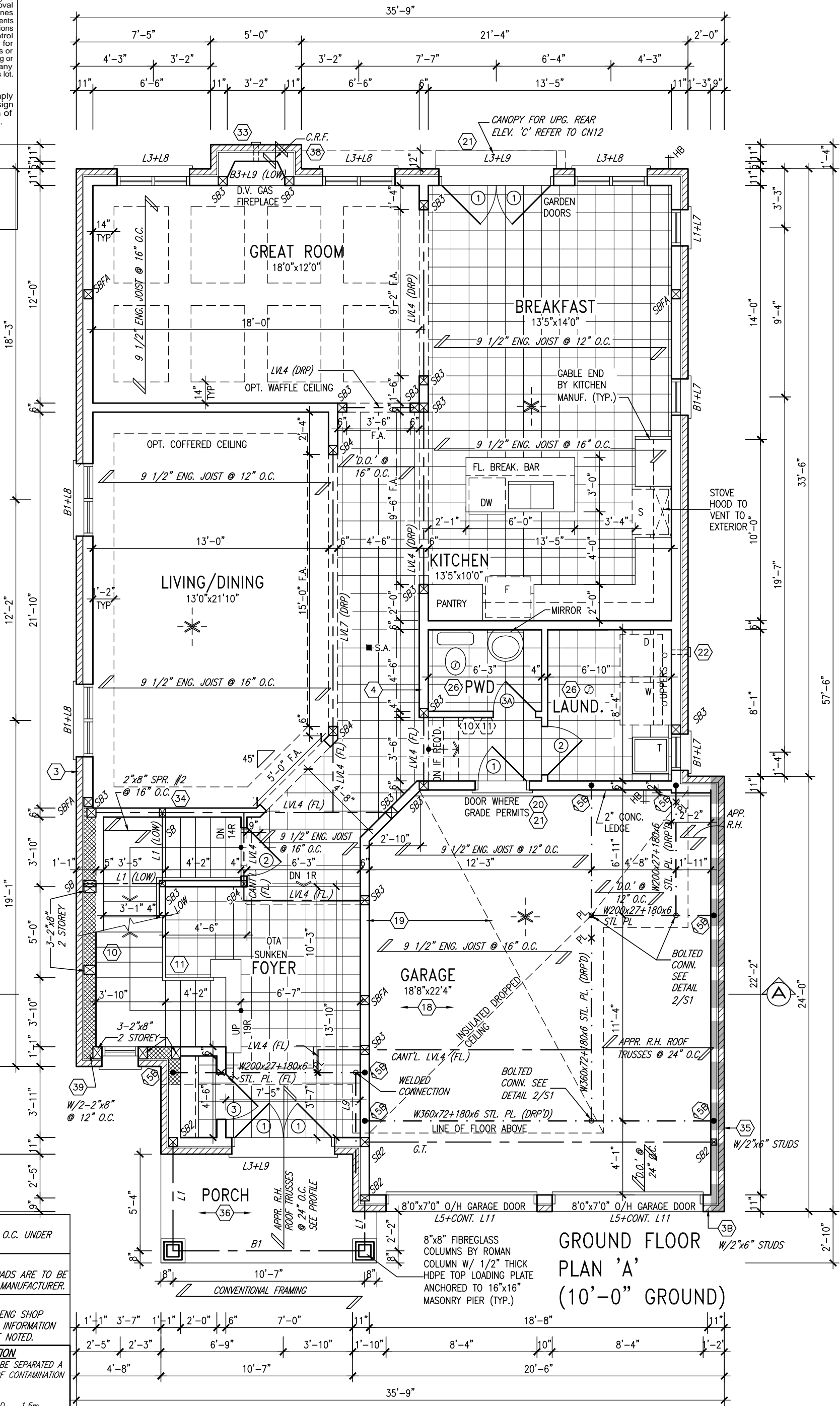
NOTE:
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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



9	.	.	.
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no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591
name
registration information BCIN
VA3 Design Inc. 42658

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VA3 DESIGN

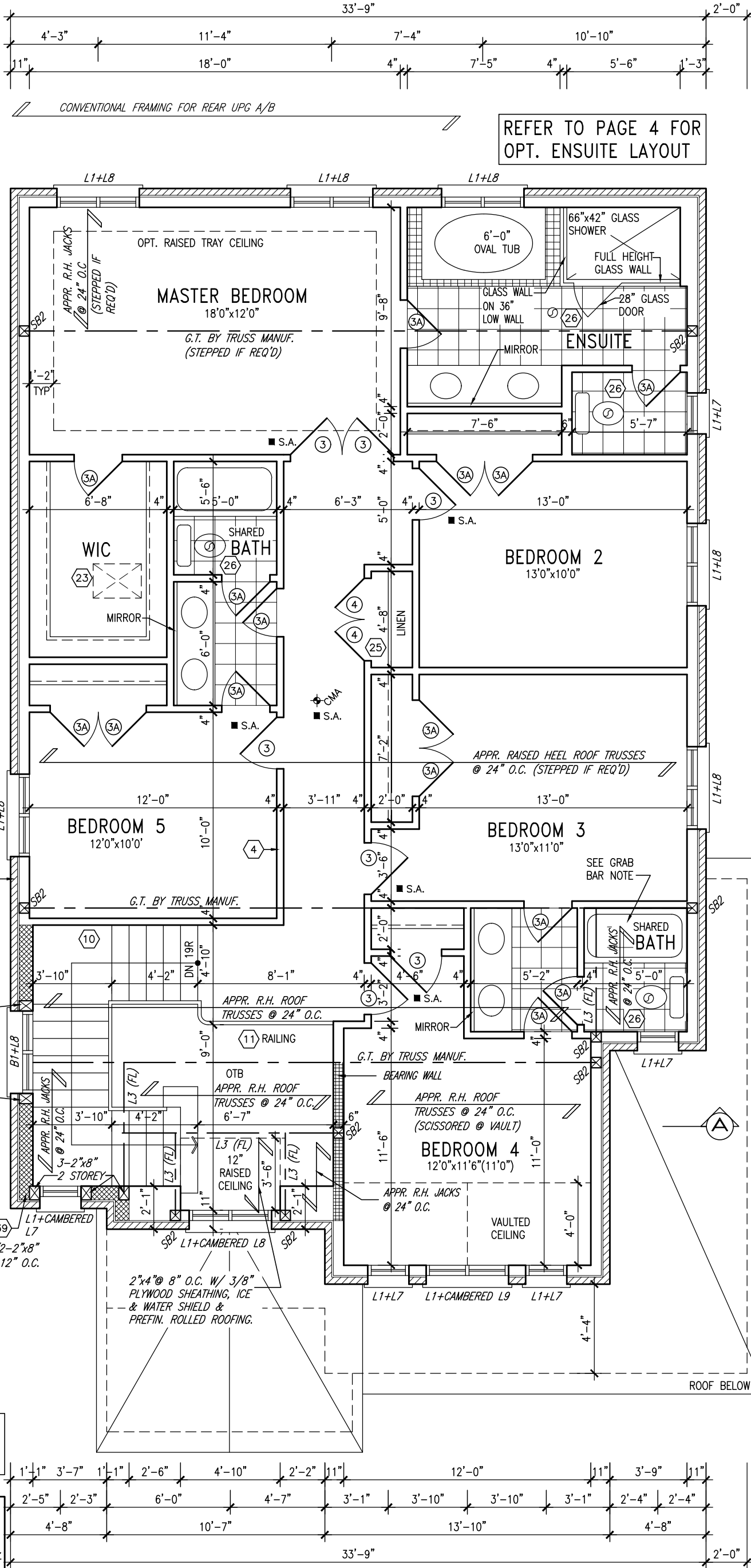
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BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.
date	SEPT 2016	project no.	13045
drawn by	BD.BIM	file name	16023-S42-17-10GRND
checked by	-	scale	3/16" = 1'-0"
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		2	

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10' GROUND



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

9
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name
registration information
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BCIN
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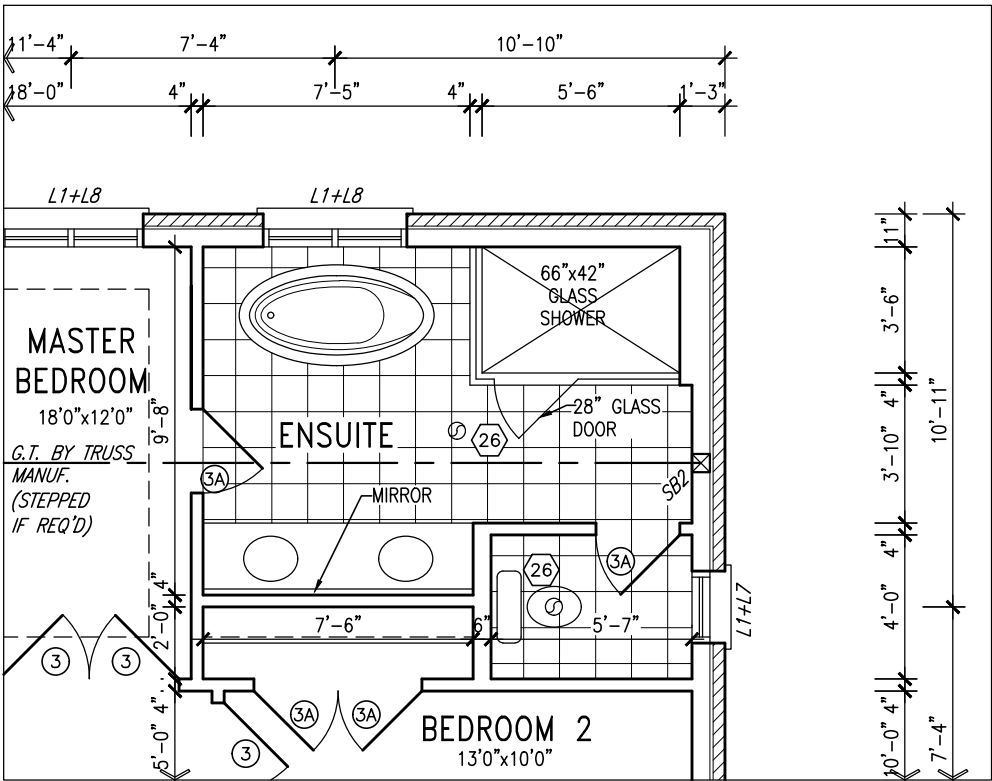
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BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 13045	drawing no. 3
date SEPT 2016	checked by BD.BIM	scale 3/16" = 1'-0"	file name 16023-S42-17-10GRND
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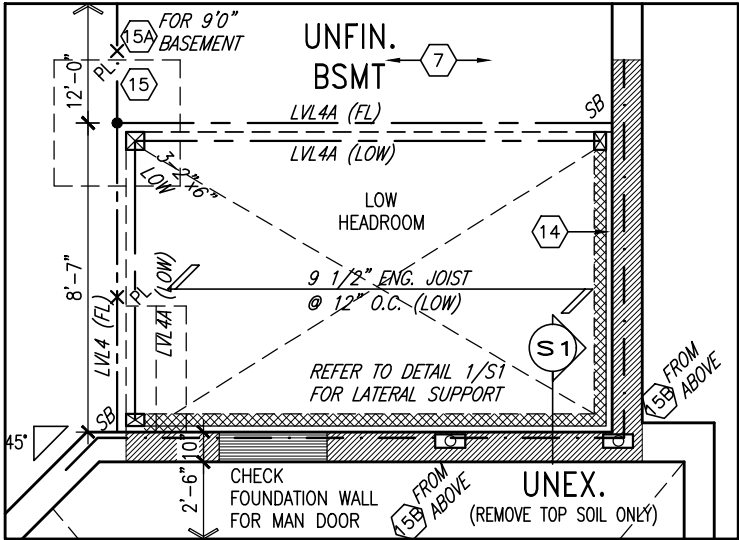
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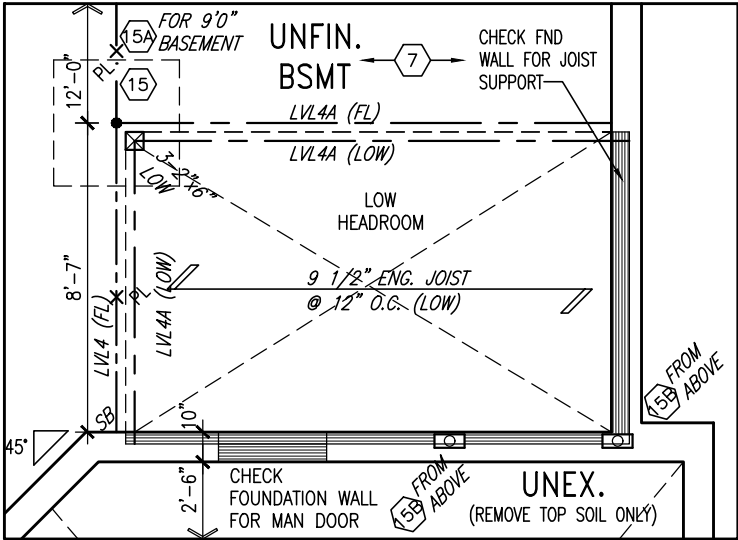
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



PART. OPT. SECOND FLOOR
W/ ALT. ENSUITE LAYOUT
REFER TO STANDARD PLAN FOR STRUCTURE,
DIMENSIONS & CONSTRUCTION NOTES



PART. BSMT PLAN
LAUNDRY SUNKEN >1R



PART. BSMT PLAN
LAUNDRY SUNKEN 1R

NOTE J1: PROVIDE SOLID
BLOCKING @ 24" O.C. WHERE
FLOOR JOISTS ARE PARALLEL
TO FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER
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NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION
AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1468.7 SF	1468.7 SF	1468.7 SF
SECOND FLOOR AREA	1696.2 SF	1694.0 SF	1694.0 SF
SUBTOTAL	3164.9 SF	3162.7 SF	3162.7 SF
DEDUCT ALL OPENINGS	76.2 SF	76.2 SF	77.0 SF
TOTAL NET AREA	3089 SF	3087 SF	3086 SF
	287.0 m2	286.8 m2	286.7 m2
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3089 SF	3087 SF	3086 SF
	287.0 m2	286.8 m2	286.7 m2
COVERAGE W/O PORCH	1924.4 SF	1924.4 SF	1924.4 SF
	178.8 m2	178.8 m2	178.8 m2
COVERAGE W/PORCH	1991.7 SF	1991.7 SF	1995.1 SF
	185.0 m2	185.0 m2	185.3 m2

9	.	.	.
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7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
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4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

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qualification information			
name	Wellington Jno-Baptiste	25591	BCIN
registration information	signature		
VA3 Design Inc.		42658	
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VA3
DESIGN

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BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name		municipality		project no.	
GREEN VALLEY EAST		BRADFORD, ON.		13045	
date		PARTIAL PLANS & AREA CHART			drawing no.
SEPT 2016					
drawn by		checked by		scale	file name
BD.BIM		-		3/16" = 1'-0"	16023-S42-17-10GRND
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APR 21, 2022

NOTE:

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NOTE:

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- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: ROOF FRAMING

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GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

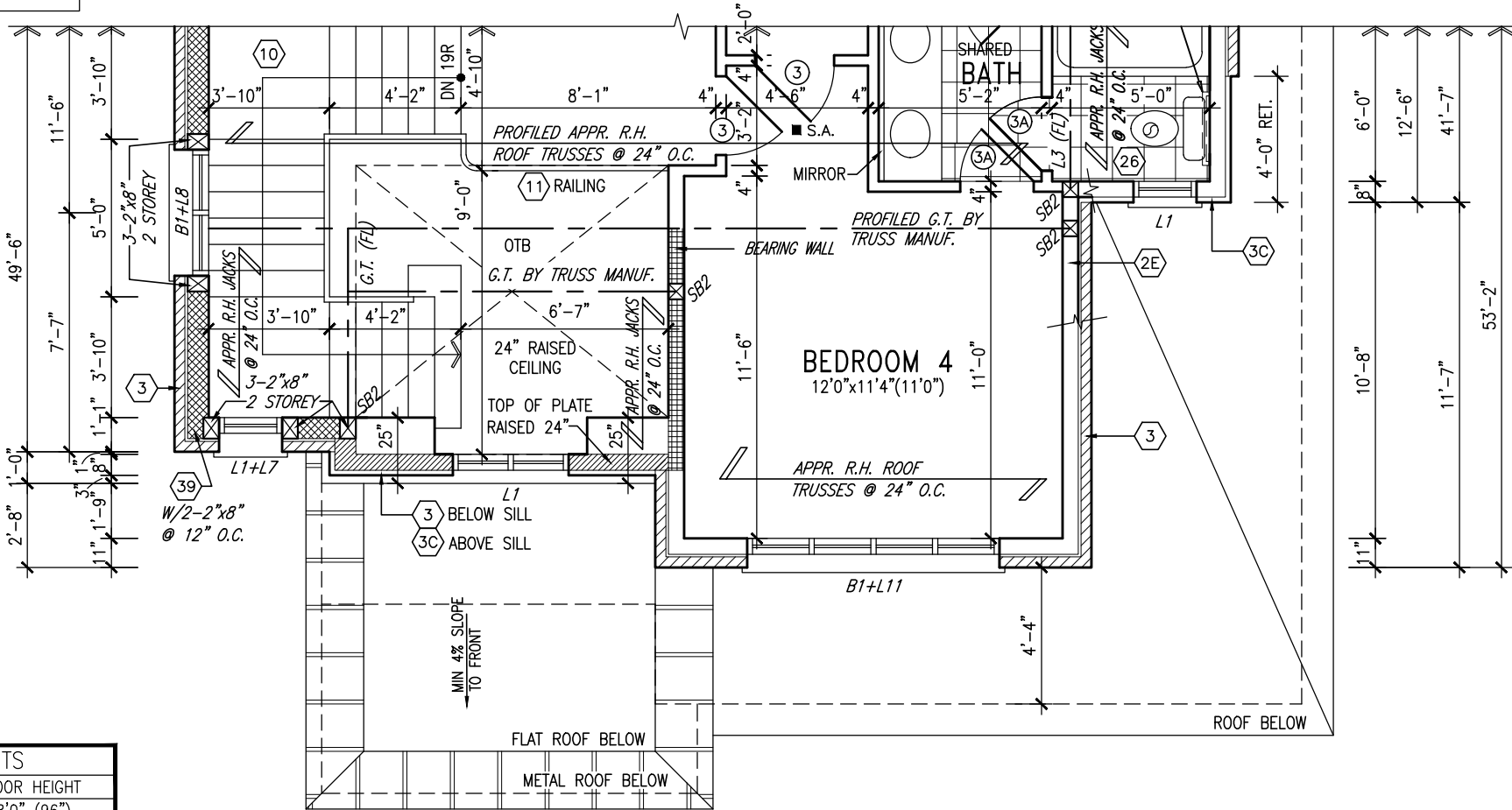
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GB-NOTE-2020.dwg

NOTE:

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

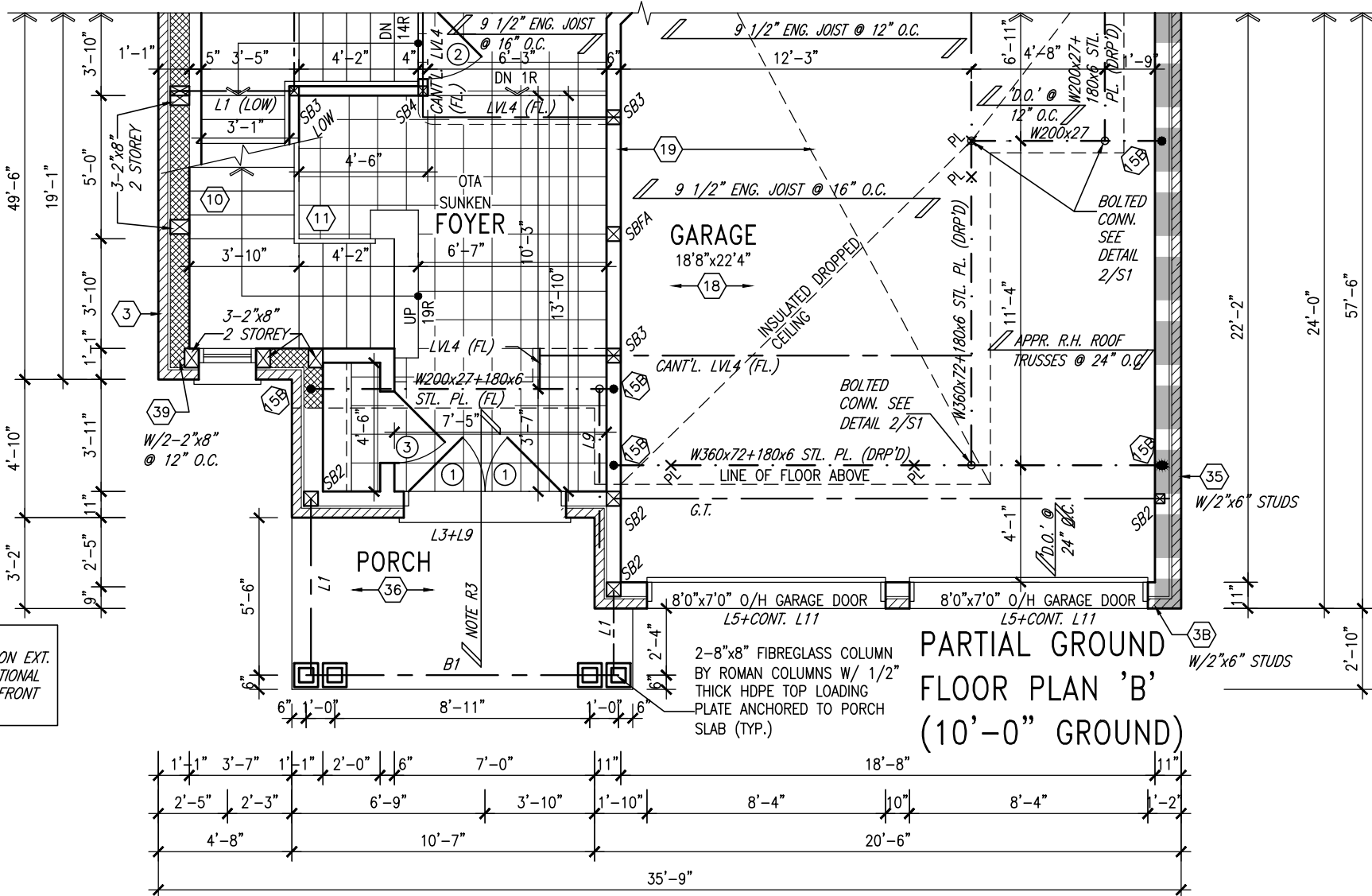
10' GROUND



DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
11'0" or greater	8'0" (96")
10'0"	8'0" (96")
9'0"	6'8" (80")
8'0" or lower	6'8" (80")

CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER

PART. SECOND FLOOR PLAN 'B'



NOTE R3
2 PLY ROOF MEMBRANE ON EXT. SHEATHING OVER CONVENTIONAL FRAMING TOP SLOPE TO FRONT MIN 4% SLOPE

9	.	.	.
8	.	.	.
7	.	.	.
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qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	drawn by	BD.BIM	checked by	scale
					3/16" = 1'-0"
					16023-S42-17-10GRND
					file name
					5

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APR 21, 2022

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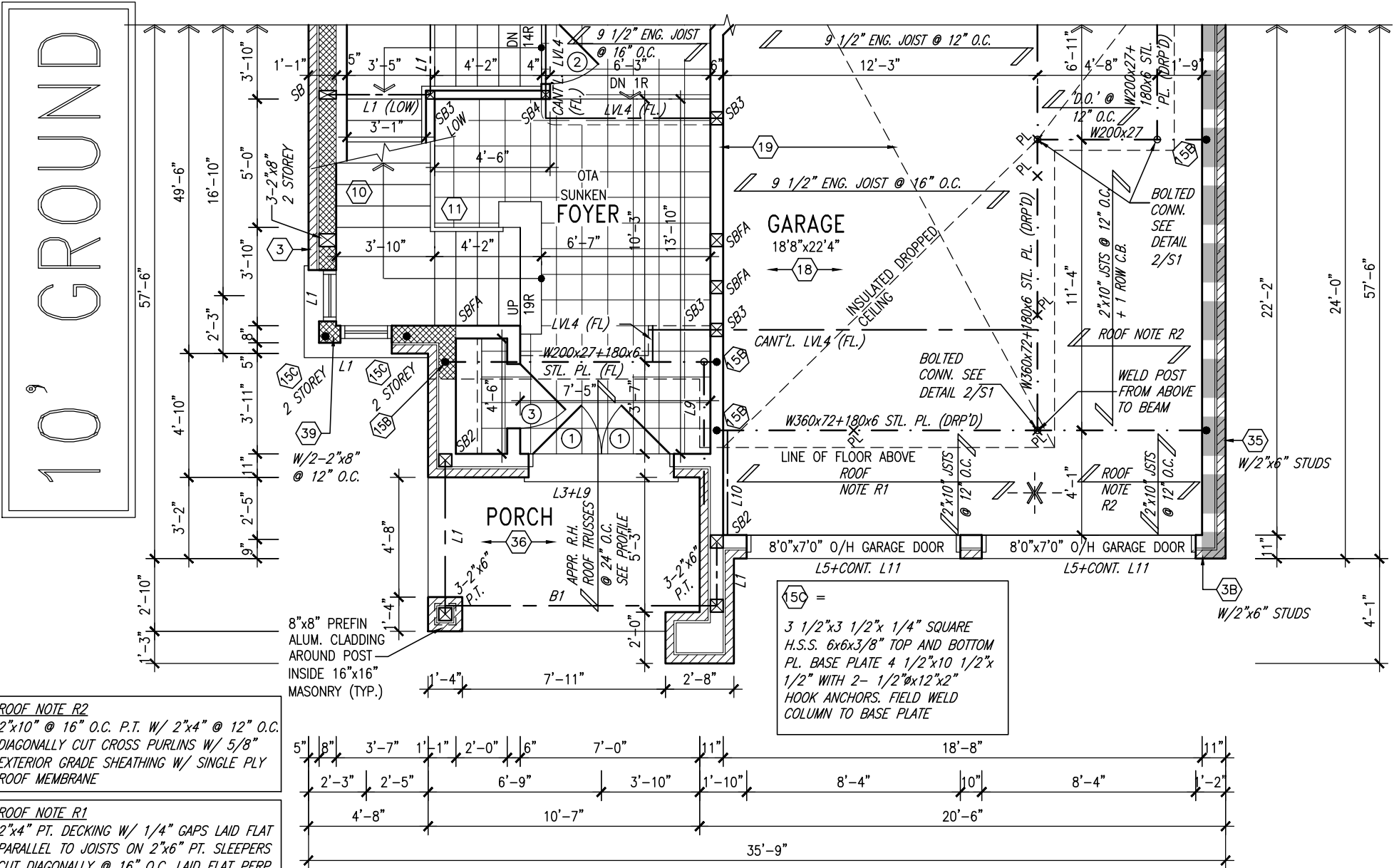
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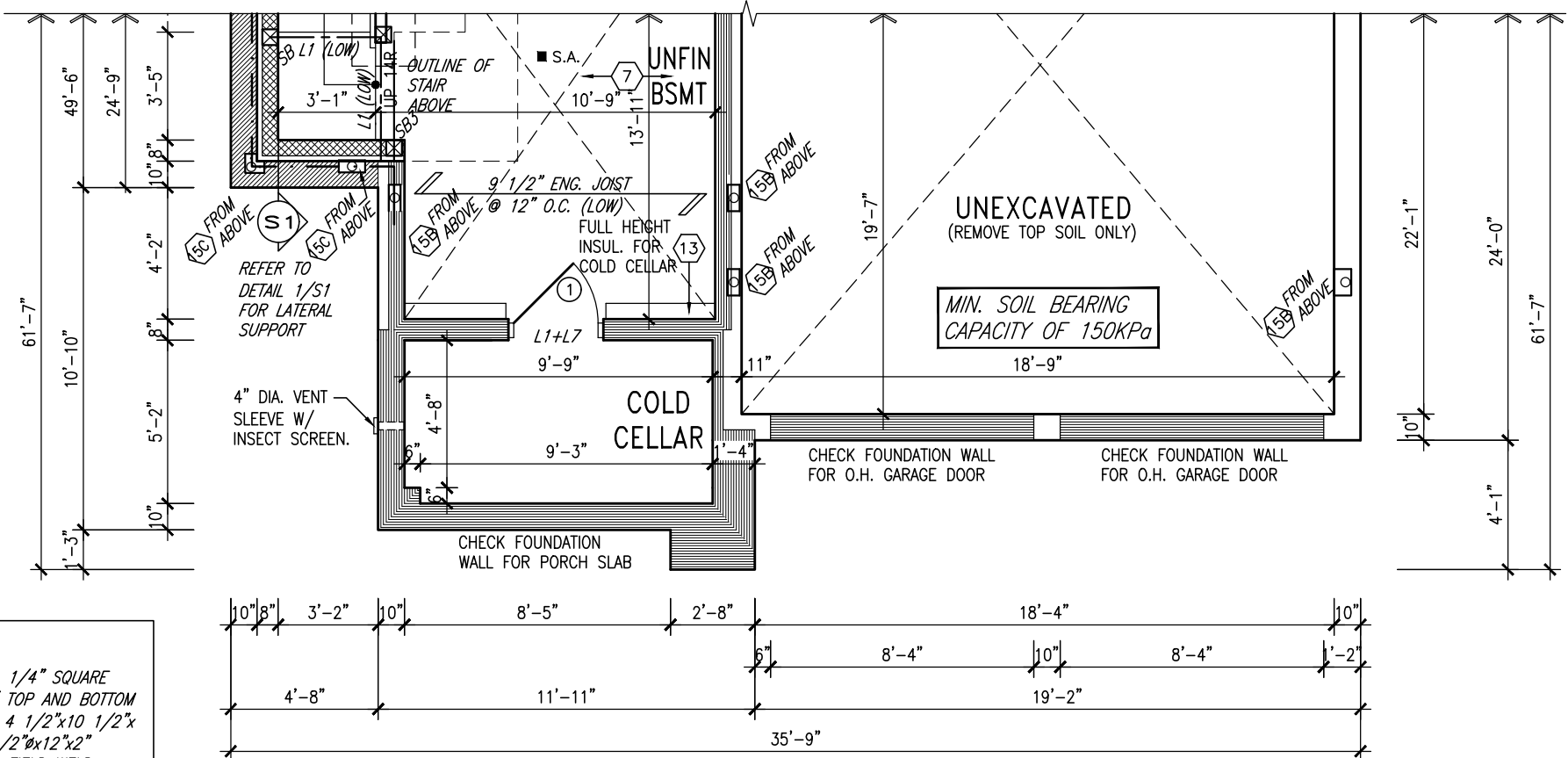
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KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.



PART. GROUND FLOOR PLAN 'C'
(10'-0" GROUND)



PART. BASEMENT PLAN 'C'

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	name
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	registration information
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no.	description	date	by	



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BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	checked by	BD.BIM	scale	3/16" = 1'-0"
file name	16023-S42-17-10GRND	drawing no.	6		

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APR 21, 2022

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NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

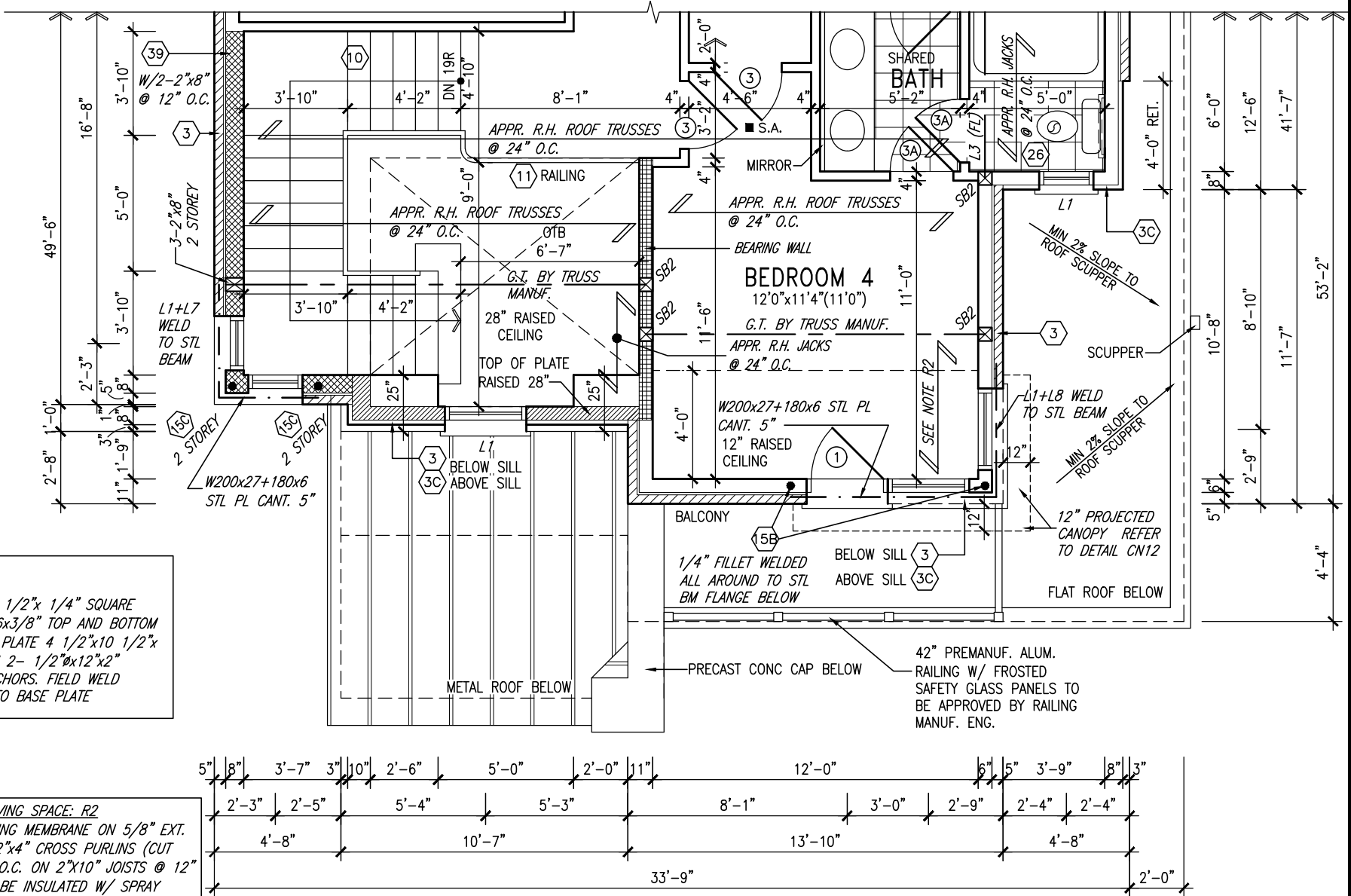
GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.

GB-NOTE-2020.dwg

10' GROUND



FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT. GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12" o.c. FLAT ROOF TO BE INSULATED W/ SPRAY INSULATION (RSI 5.46 (R31)) MIN SLOPE 2:12

PART. SECOND FLOOR PLAN 'C'

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6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information		42658	
VA3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name	GREEN VALLEY EAST	municipality	BRADFORD, ON.	project no.	13045
date	SEPT 2016	checked by	scale	16023-S42-17-10GRND	drawing no.
drawn by	BD.BIM		3/16" = 1'-0"		7
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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APR 21, 2022

VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

PREFIN. MTL. FLASHING
BEHIND STUCCO (TYP.)
FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

8"x8" FIBREGLASS COLUMNS BY
ROMAN COLUMN W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO 16"x16" MASONRY
PIER (TYP.)

FIN GROUND FLOOR

FIN. SUNKEN
FOYER

FIN GRADE

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

FOR REAR
UPGRADE ONLY

FRIEZE BOARD
FOR REAR
UPGRADE ONLY

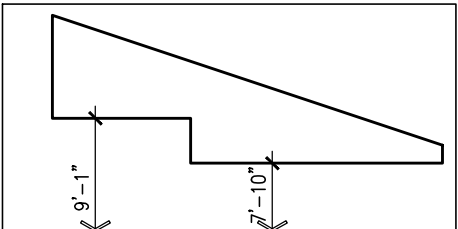
BRICK SOLDIER HEADER W/
1/2" PROJ. (TYP.)

PRECAST CONC. SILL
(TYP.)

WALL AREA 1106.82 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 77.48 SQ. FT.
OPENING PROVIDED 54.82 SQ. FT.(GLASS AREA ONLY)

LEFT SIDE ELEVATION 'A'

10' GROUND



ROOF PROFILE
FOR PORCH
& FOYER

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON.

project no.
13045

date
SEPT 2016

drawing no.
9

LEFT SIDE ELEVATION 'A'

scale
3/16" = 1'-0"

checked by
BD:BM

drawn by
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DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information

Wellington Jno-Baptiste 25591 BCN

name registration information

VA3 Design Inc. 42658

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no. description

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6 REVISED AS PER ENG'S COMMENTS APR 21-22 RC

5 REVISED AS PER FLOOR LAYOUTS APR 06-22 RC

4 10' GROUND FLOOR JUN 17-21 KL

3 ADDED OPT. 9' BASEMENT JUN 17-21 KL

2 REVISED AS PER ENG'S COMMENTS FEB 12-18 RC

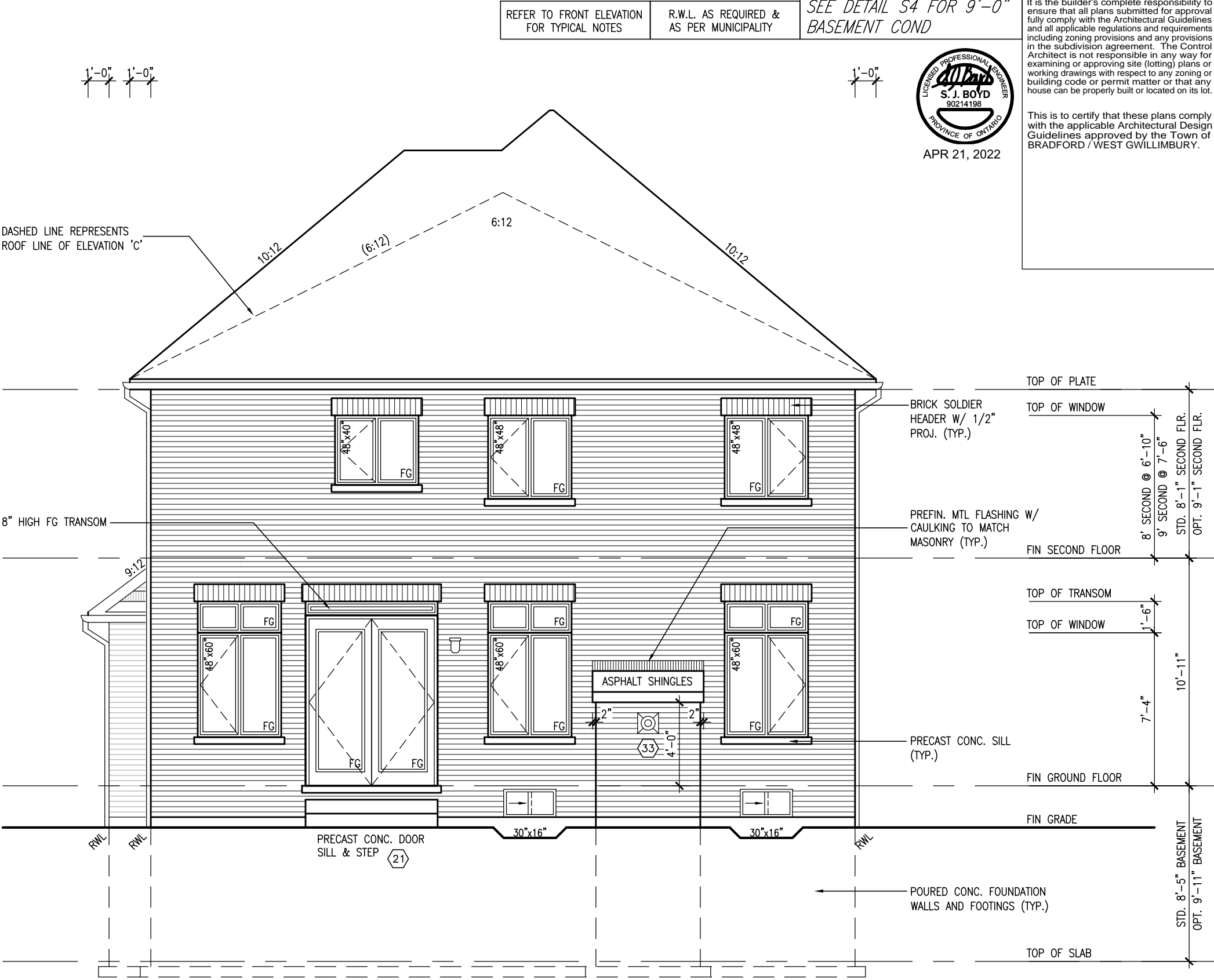
1 REVISED BASEMENT WALLS TO BE 10" OCT 21/16 SB

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.A/A REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3699.88 S.F.	505.61 S.F.	13.67 %
TOTAL SQ. M.	343.73 S.M.	46.97 S.M.	13.67 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B/B REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3695.29 S.F.	498.27 S.F.	13.48 %
TOTAL SQ. M.	343.30 S.M.	46.29 S.M.	13.48 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3721.16 S.F.	525.22 S.F.	14.11 %
TOTAL SQ. M.	345.70 S.M.	48.79 S.M.	14.11 %

10' GROUND



REAR ELEVATION 'A', 'B' & 'C'

S42-17
RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON.

13045

16023-S42-17-10GRND

REAR ELEVATION 'A', 'B' & 'C'

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project no.

13045

project name

GREEN VALLEY EAST

municipality

BRADFORD, ON.

date

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REVISED AS PER ENG'S COMMENTS

APR 21-22

RC

Wellington Jno-Baptiste

25591

BCN

5

REVISED AS PER FLOOR LAYOUTS

APR 06-22

RC

Wellington Jno-Baptiste

25591

BCN

4

10' GROUND FLOOR

JUN 17-21

KL

VA3 Design Inc.

42658

BCN

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ADDED OPT. 9' BASEMENT

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BCN

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REVISED AS PER ENG'S COMMENTS

FEB 12-18

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REVISED BASEMENT WALLS TO BE 10"

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SB

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REFER TO FRONT ELEVATION
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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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S42-17
RIDEAU 17

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON.

project no.
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file name
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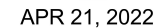


ROOF PLAN 'B'

N.T.S.

10⁹ GROUND

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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project no.
13045

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BRADFORD, ON. municipality

date
SEPT 2016

drawn by
BD.BIM
checked by
—

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DESIGN

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782

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s specifications, related documents and d

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qualification information

Wellington Jho-Baptiste	signature	BCIN
		Z5391

Registration information

FA3 Design Inc. 42658

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6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC

4	10' GROUND FLOOR	JUN 17-21	KI
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1	TO GROUND LEVEL		JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT		JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS		FEB 12-18	RC

2	REVISED AS PER ENG'S COMMENTS	FEB 12/16	KS
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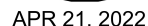
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S42-17
RIDEAU 17

project no.	13045
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drawing no. 13

BAYVIEW WELLINGTON

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DESIGN

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Qualification information

Wellington Jno-Baptiste 25591

name	signature	BCIN
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Registration information

47638 /A3 Design Inc.

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AS PER MUNICIPALITY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

project no.
13045

BRADFORD, ON. municipality

BAYVIEW

project name **GREEN VALLEY EAST**

ing no.

drawing no.

N 'B'

LEVAT

T SIDE

RIC

11

11

11

016

date SEPT

Rd Suite

DE
Consumer

2.	900
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d report an

... on the jo

Verify all dimer

Design

KL	BC
-21	18

	JUN
	FEB

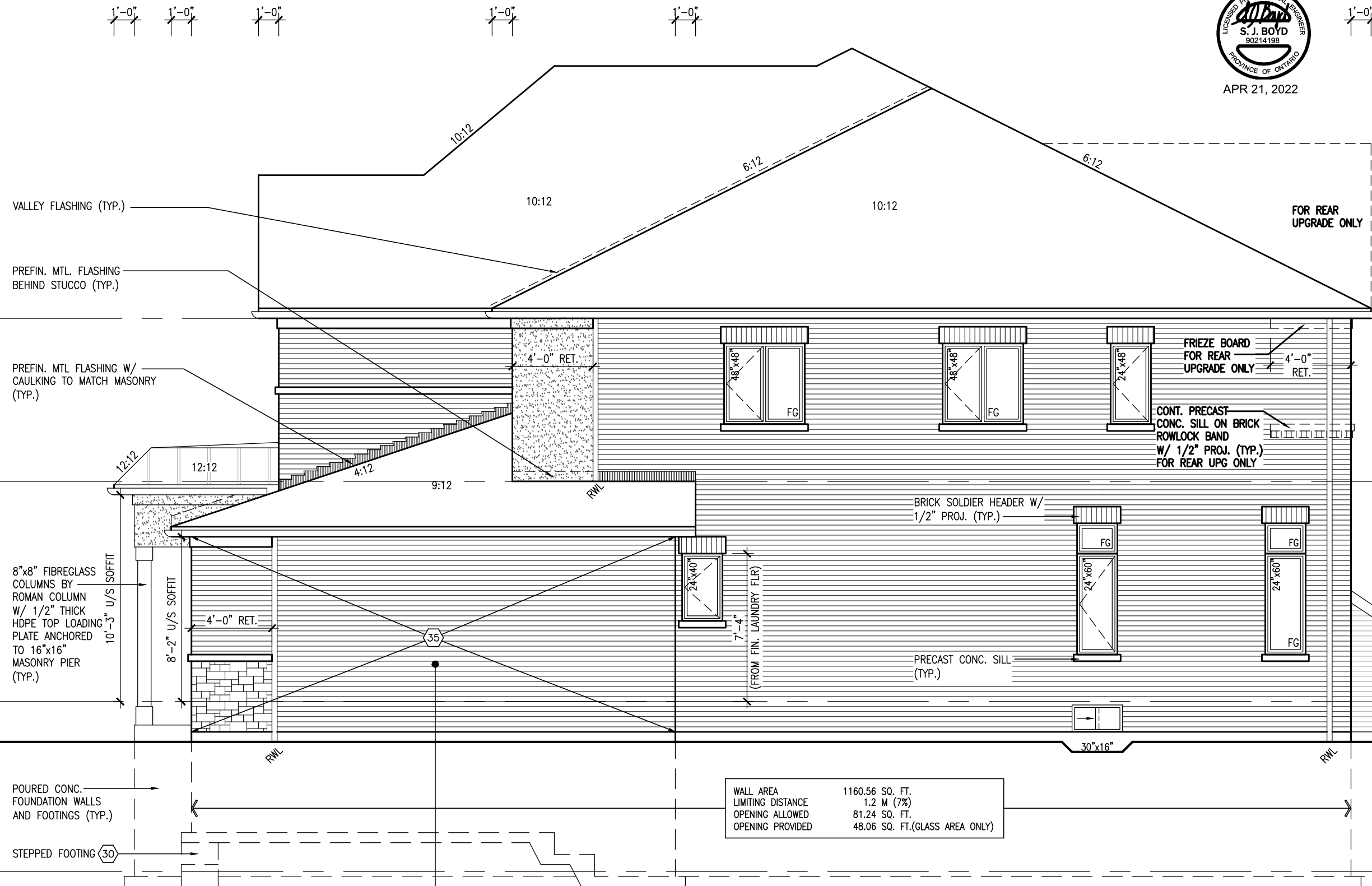
CONTENTS

SEMENT
ING'S CO

OPT. 9'

3	AD
2	RE

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(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 'B'

10⁹ GROUND

WALL AREA	1160.56 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	81.24 SQ. FT.
OPENING PROVIDED	48.06 SQ. FT.(GLASS AREA ONLY)

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

signature
name
registration information
VA3 Design Inc
42658
BCIN

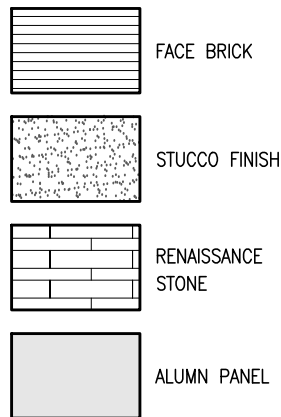
Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

Drawings are not to be scaled.

All draw:

ROOF PLAN 'C'
N.T.S.



APR 21, 2022

ADD ICE+ WATER SHIELD ON TOP AND
INSIDE WALLS OF PARAPET WALLS

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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S42-17
RIDEAU 17

BAYVIEW WELLINGTON

A

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qualification information

Wellington Jno-Baptiste *Jno-Baptiste* 25591

name	signature	BCIN
registration information		
VA3 Design Inc.		426558

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All drawings

III. *drawings, modifications, related documents and designs are the copyright property of VIZ DESIGN* Board production of this property in whole or in part is strictly prohibited without VIZ DESIGN's written permission

10⁹ GROUND

FRONT ELEVATION 'C'

Diagram illustrating the vertical dimensions of a building facade, showing the relationship between various levels and heights.

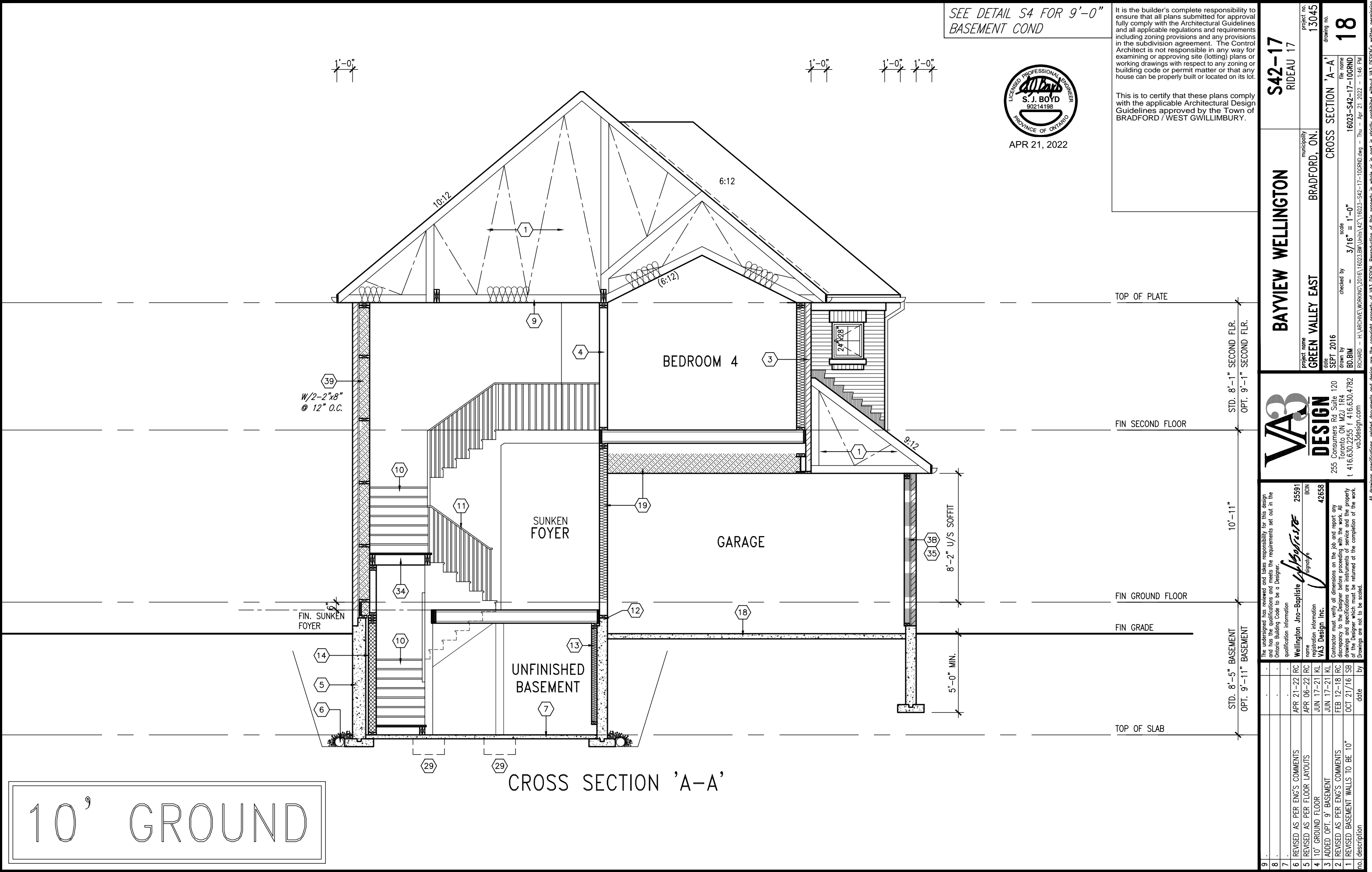
Key levels and dimensions shown:

- TOP OF PLATE** (Top reference line)
- TOP OF WINDOW** (Second floor window top)
- FIN SECOND FLOOR** (Second floor finish line)
- FIN GROUND FLOOR** (Ground floor finish line)
- FIN GRADE** (Ground level finish line)
- U/S OF FTG. MIN.** (Underneath of footing minimum)
- TOP OF SLAB** (Slab top reference line)

Vertical dimensions and options:

- From **FIN SECOND FLOOR** to **FIN GROUND FLOOR**:
 - 8' SECOND @ 6'-10"
 - 9' SECOND @ 7'-6"
 - STD. 8'-11" SECOND FLR.
 - OPT. 9'-1" SECOND FLR.
- From **FIN GROUND FLOOR** to **FIN GRADE**:
 - 10'-11"
- From **FIN GRADE** to **U/S OF FTG. MIN.**:
 - 5'-0"
- From **U/S OF FTG. MIN.** to **TOP OF SLAB**:
 - 5'-0"

A diagram showing a stepped profile. The vertical height of the first step is labeled $9'-1''$. The horizontal distance of the second step is labeled $7'-10''$.



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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION

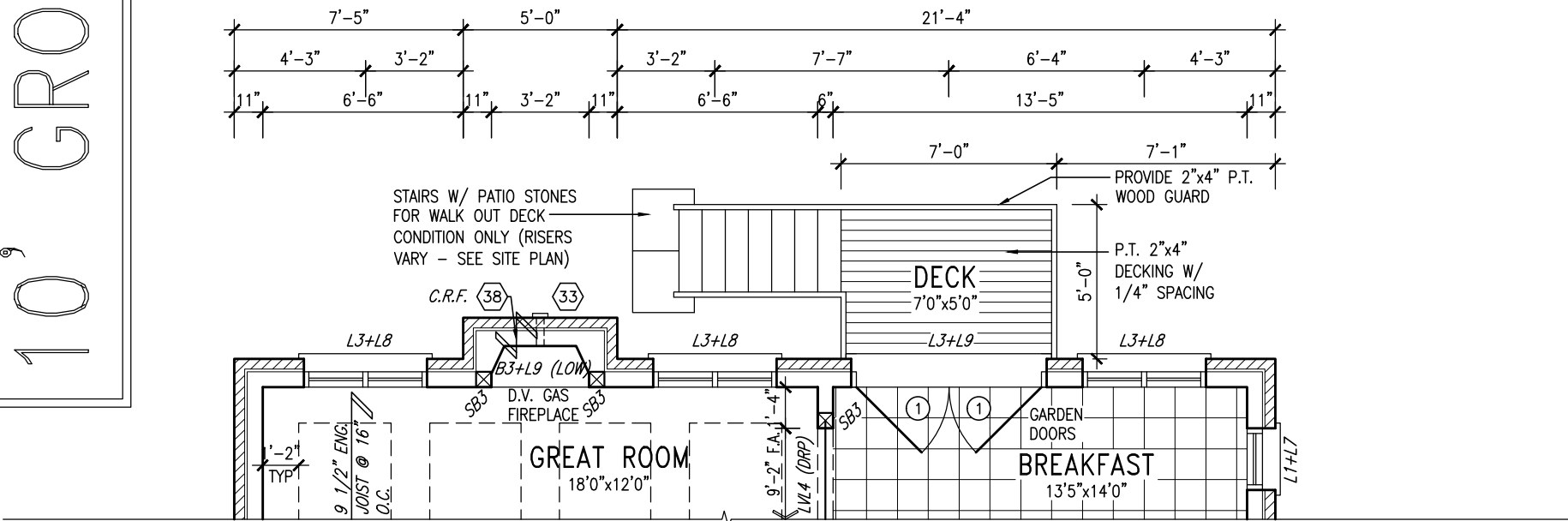
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

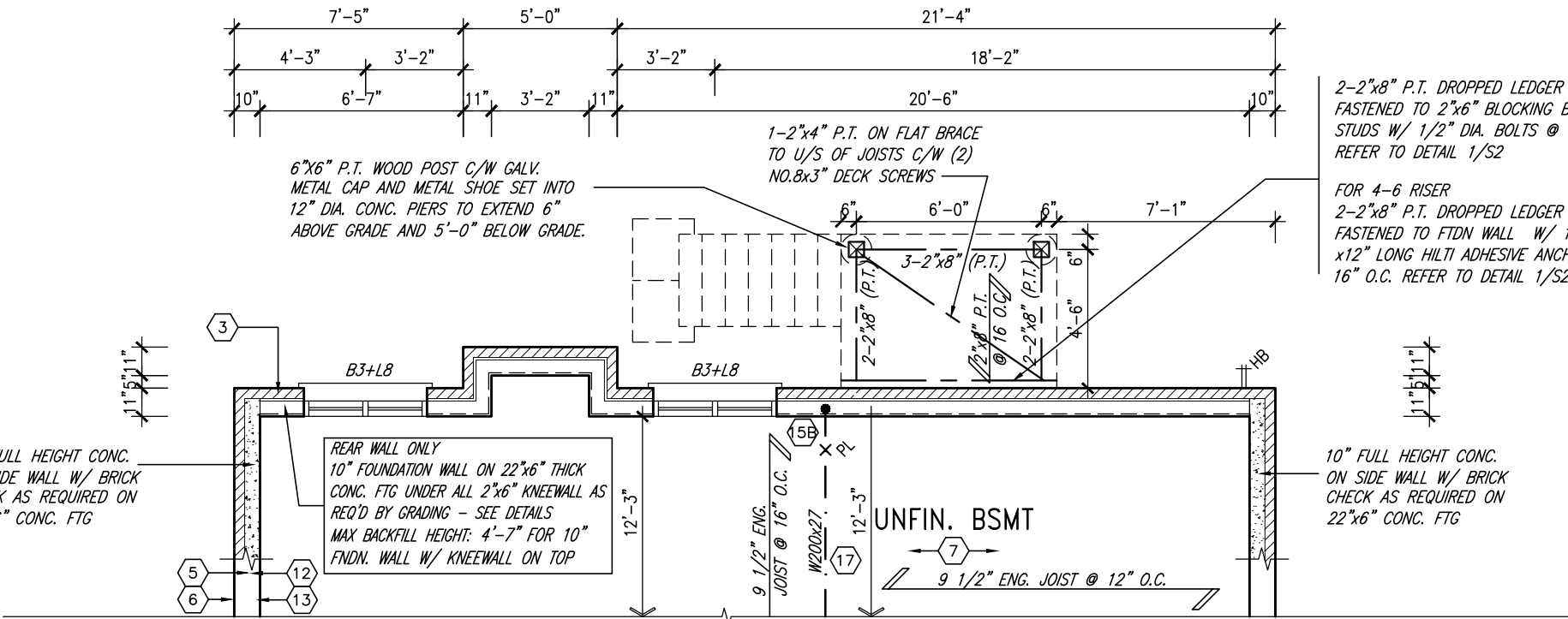
10' GROUND



PART. GRND FLOOR PLAN
W.O.D. CONDITION



APR 21, 2022



PART. BASEMENT PLAN
W.O.D. CONDITION

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5.	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4.	10' GROUND FLOOR	JUN 17-21	KL
3.	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST municipality: BRADFORD, ON.

date: SEPT 2016

drawn by: BD.BIM checked by: scale: 3/16" = 1'-0"

file name: 16023-S42-17-10GRND

project no.: 13045

drawing no.: 19

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM

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NOTE J1: PROVIDE SOLID
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FLOOR JOISTS ARE PARALLEL
TO FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.










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ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

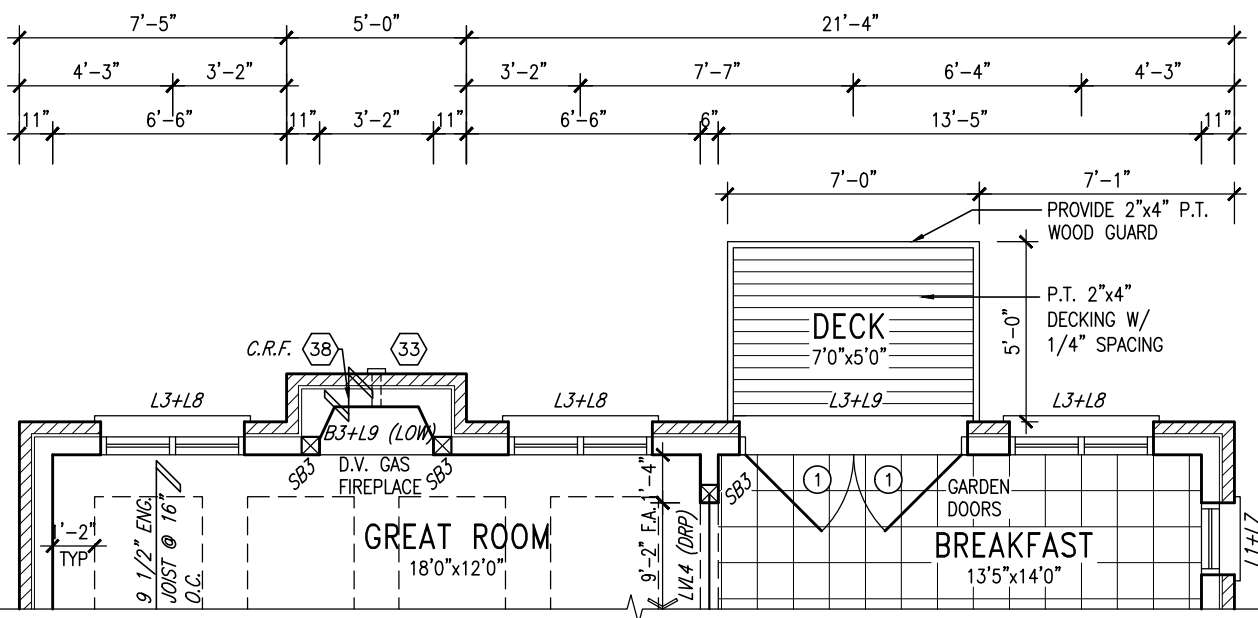
NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION
AND DETAILS, UNLESS OTHERWISE NOTED.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC. DIV. B- TABLE 6.2.3.12.

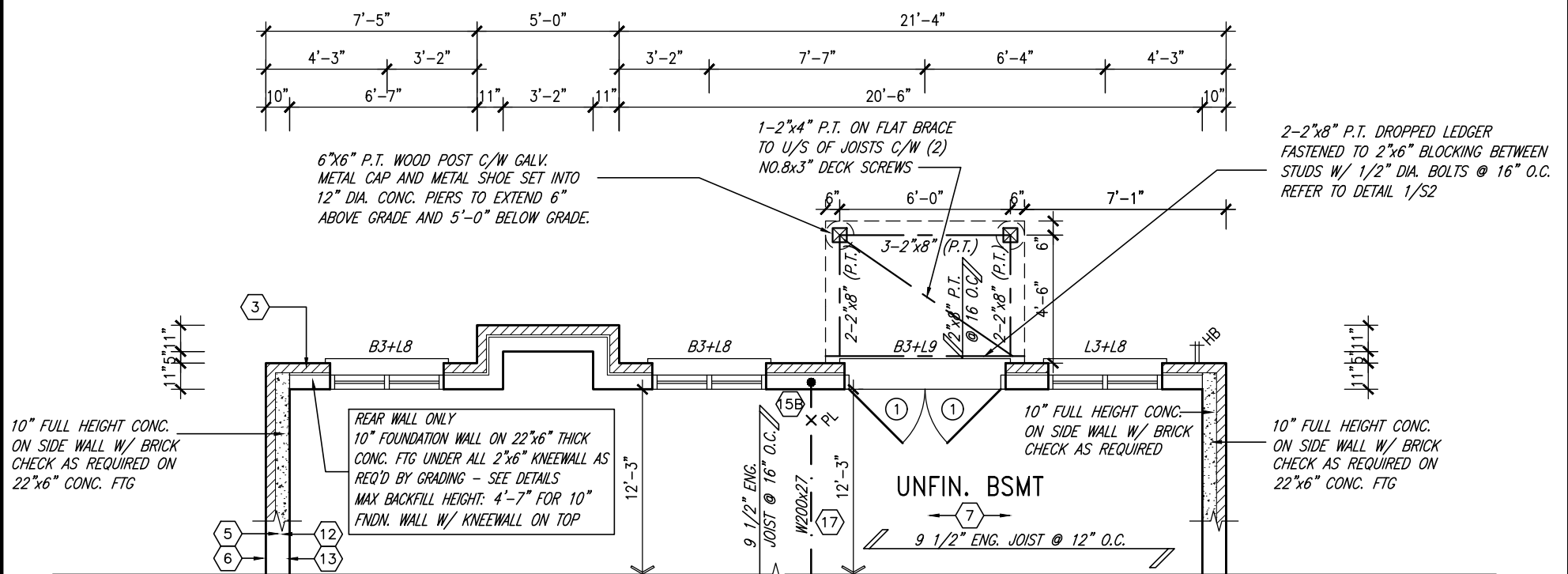
- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.




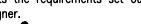
PART. GRND FLOOR PLAN
W.O.B. CONDITION



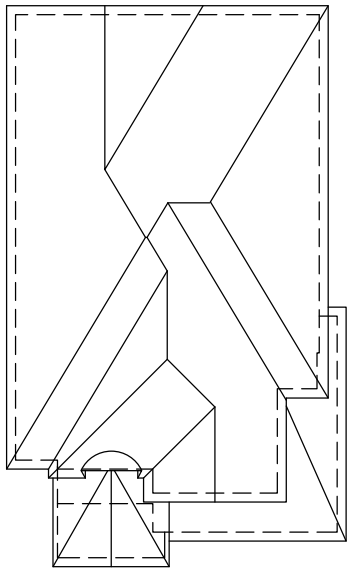
PART. BASEMENT PLAN
W.O.B. CONDITION



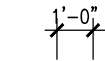
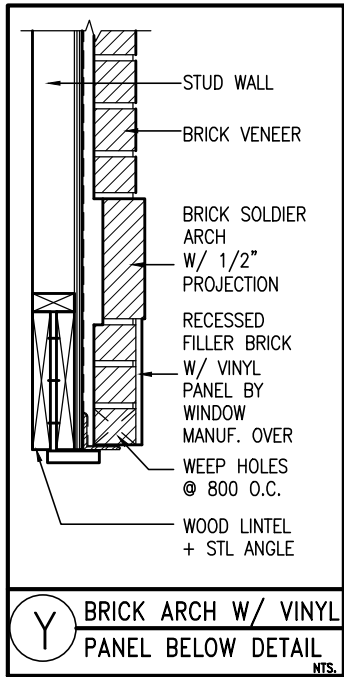
APR 21, 2022

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	S42-17 RIDEAU 17	
8.	.	.					
7.	.	.					
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	Wellington Jno-Baptiste  25591	project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 13045
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	name Wellington Jno-Baptiste			
4	10' GROUND FLOOR	JUN 17-21	KL	registration information VA3 Design Inc. 42658			
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL		date SEPT 2016	PARTIAL PLANS - W.O.B. CONDITION	drawing no. 21
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB				
no.	description	date	by		checked by BD.BIM	scale 3/16" = 1'-0"	file name 16023-S42-17-10GRND
					RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM		

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ROOF PLAN 'A'
N.T.S.



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

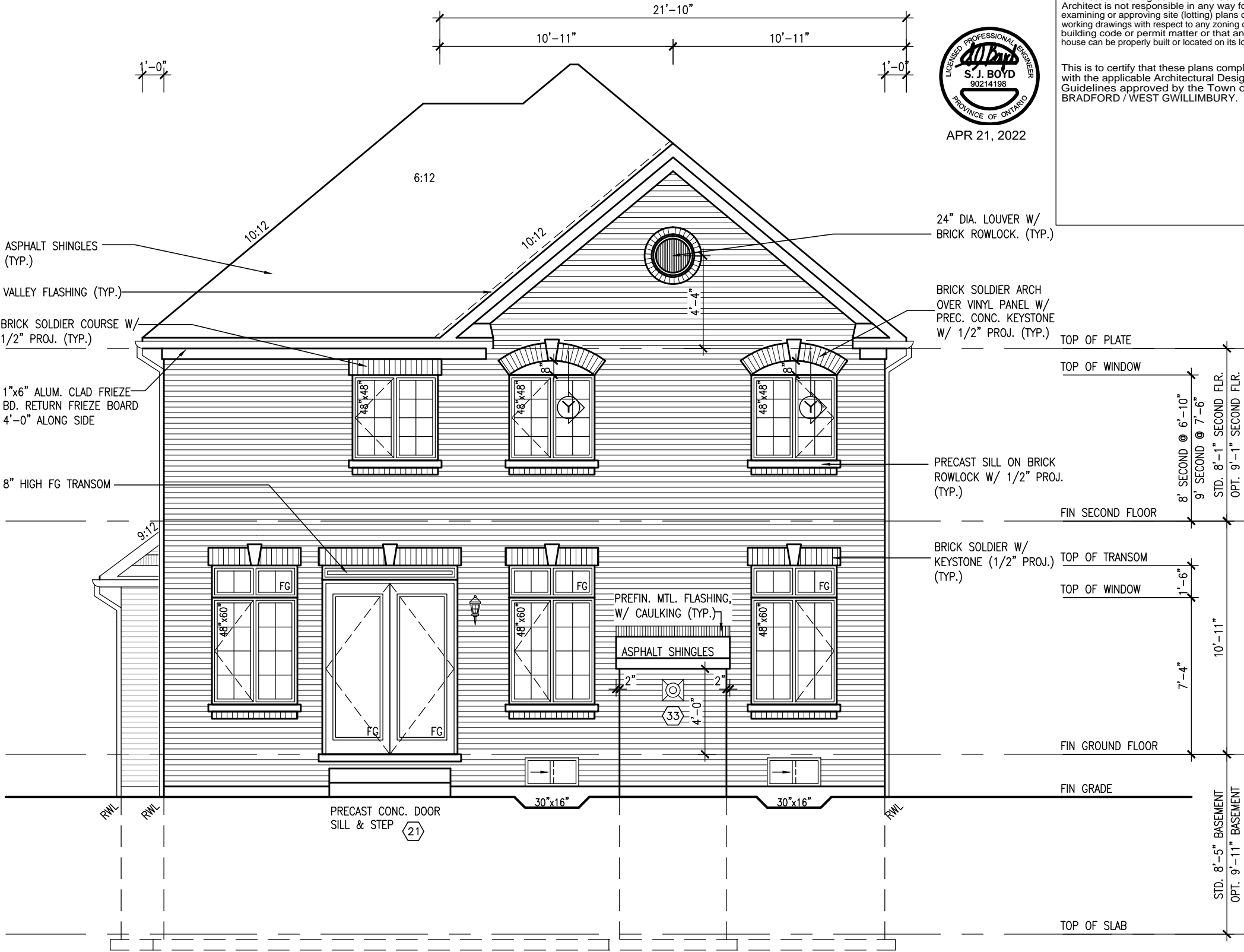
SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 21, 2022


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REAR UPGRADE ELEVATION 'A'

10' GROUND

9 .		.		APR 21-22 RC		25591		 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
8 .		.		APR 06-22 RC		BCIN			
7 .		.		JUN 17-21 KL		42658			
6		REVISED AS PER ENG'S COMMENTS		APR 21-22 RC		25591			
5		REVISED AS PER FLOOR LAYOUTS		APR 06-22 RC					
4		10' GROUND FLOOR		JUN 17-21 KL					
3		ADDED OPT. 9' BASEMENT		JUN 17-21 KL					
2		REVISED AS PER ENG'S COMMENTS		FEB 12-18 RC					
1		REVISED BASEMENT WALLS TO BE 10"		OCT 21/16 SB					
no.		description		date		by			
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REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

1'-0"

9'-9 1/2"

19'-7"

9'-9 1/2"

1'-0"

APR 21, 2022

LICENCED PROFESSIONAL ENGINEER

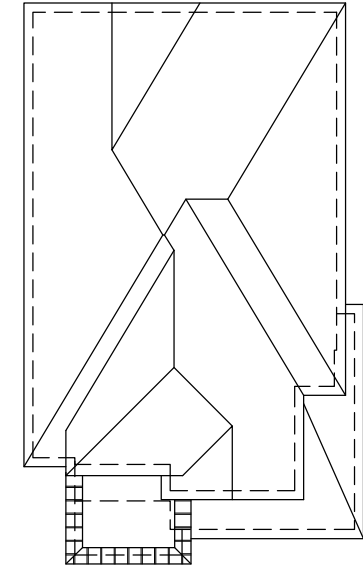
S. J. BOYD

90214198

PROVINCE OF ONTARIO

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ROOF PLAN 'B'
N.T.S.

- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- BRICK SOLDIER COURSE W/
1/2" PROJ. (TYP.)
- 1"x6" ALUM. CLAD FRIEZE
BD. RETURN FRIEZE BOARD
4'-0" ALONG SIDE
- 8" HIGH FG TRANSOM

- 6"x16" STUCCO IMPOST
- 1"x6" STUCCO FRIEZE BD
(TYP.)
- STUCCO FINISH (TYP.)
- PREFIN. MTL. FLASHING
BEHIND STUCCO (TYP.)

CONT. PRECAST CONC. SILL
ON BRICK ROWLOCK BAND
W/ 1/2" PROJ. (TYP.)

- TOP OF PLATE
- TOP OF WINDOW
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- 7'-4"
- 10'-11"
- FIN GROUND FLOOR
- FIN GRADE
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT
- TOP OF SLAB

- 9:12
- RWL
- RWL
- PRECAST CONC. DOOR
SILL & STEP (21)
- 30"x16"
- 30"x16"
- RWL

- PREFIN. MTL. FLASHING,
W/ CAULKING (TYP.)
- ASPHALT SHINGLES
- 2"
- 4'-0"
- 2"
- 33

REAR UPGRADE ELEVATION 'B'

10' GROUND

S42-17

RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON.

ELEVATION 'B' REAR UPGRADE

project no.

13045

drawing no.

24

project name

16023-S42-17-10GRND

scale

3/16" = 1'-0"

checked by

BD:BM

date

SEPT 2016

down by

BD:BM

file name

16023-S42-17-10GRND.dwg

date

Thu - Apr 21 2022 - 1:46 PM

25591

BCIN

42658

Wellington Jno-Baptiste

signature

name

Wellington Jno-Baptiste

registration information

VAS Design Inc.

date

APR 21-22 RC

description

6 REVISED AS PER ENG'S COMMENTS

date

APR 06-22 RC

description

5 REVISED AS PER FLOOR LAYOUTS

date

JUN 17-21 KL

description

4 10' GROUND FLOOR

date

JUN 17-21 KL

description

3 ADDED OPT. 9' BASEMENT

date

FEB 12-18 RC

description

2 REVISED AS PER ENG'S COMMENTS

date

OCT 21/16 SB

description

1 REVISED BASEMENT WALLS TO BE 10"

no.

9

8

7

6

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2

1

description

9

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3

2

1



<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S42-17'C W/8' 2ND & REAR UPG	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	708.75 S.F.	182.61 S.F.	25.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3721.16 S.F.	521.89 S.F.	14.02 %
TOTAL SQ. M.	345.70 S.M.	48.48 S.M.	14.02 %



REAR UPGRADE ELEVATION 'C'

10⁹ GROUND

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



APR 21, 2022

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Diagram illustrating vertical dimensions and levels:

- TOP OF PLATE
- TOP OF WINDOW
- 8' SECOND @ 6'-10"
- 9' SECOND @ 7'-6"
- STD. 8'-1" SECOND FLR.
- OPT. 9'-1" SECOND FLR.
- FIN SECOND FLOOR
- TOP OF WINDOW
- 8'-10"
- 10'-11"
- FIN GROUND FLOOR
- FIN GRADE
- STD. 8'-5" BASEMENT
- OPT. 9'-11" BASEMENT
- TOP OF SLAB

S42-17
RIDEAU 17

project no.
13045

drawing no. 25

BAYVIEW WELLINGTON

BRADFORD, ON. municipality

ELEVATION '2'

1'-0"

V3

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information

Wellington Jno-Baptiste	signature	BCIN
		25591

registration information

VA3 Design Inc. 42658

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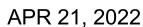
drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

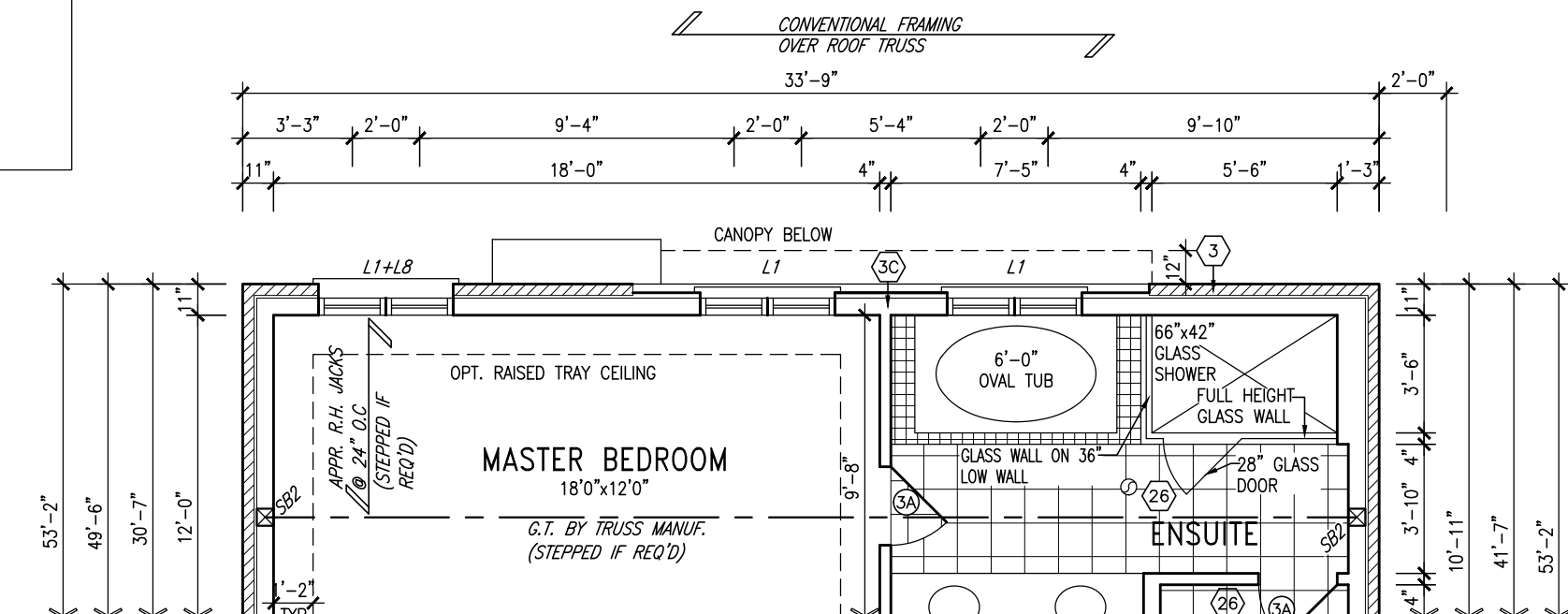
3 All drawings

9	.								
8	.								
7	.								
6	REVISED AS PER ENG'S COMMENTS						APR 21-22	RC	
5	REVISED AS PER FLOOR LAYOUTS						APR 06-22	RC	
4	10' GROUND FLOOR						JUN 17-21	KL	
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10	description						date	by	

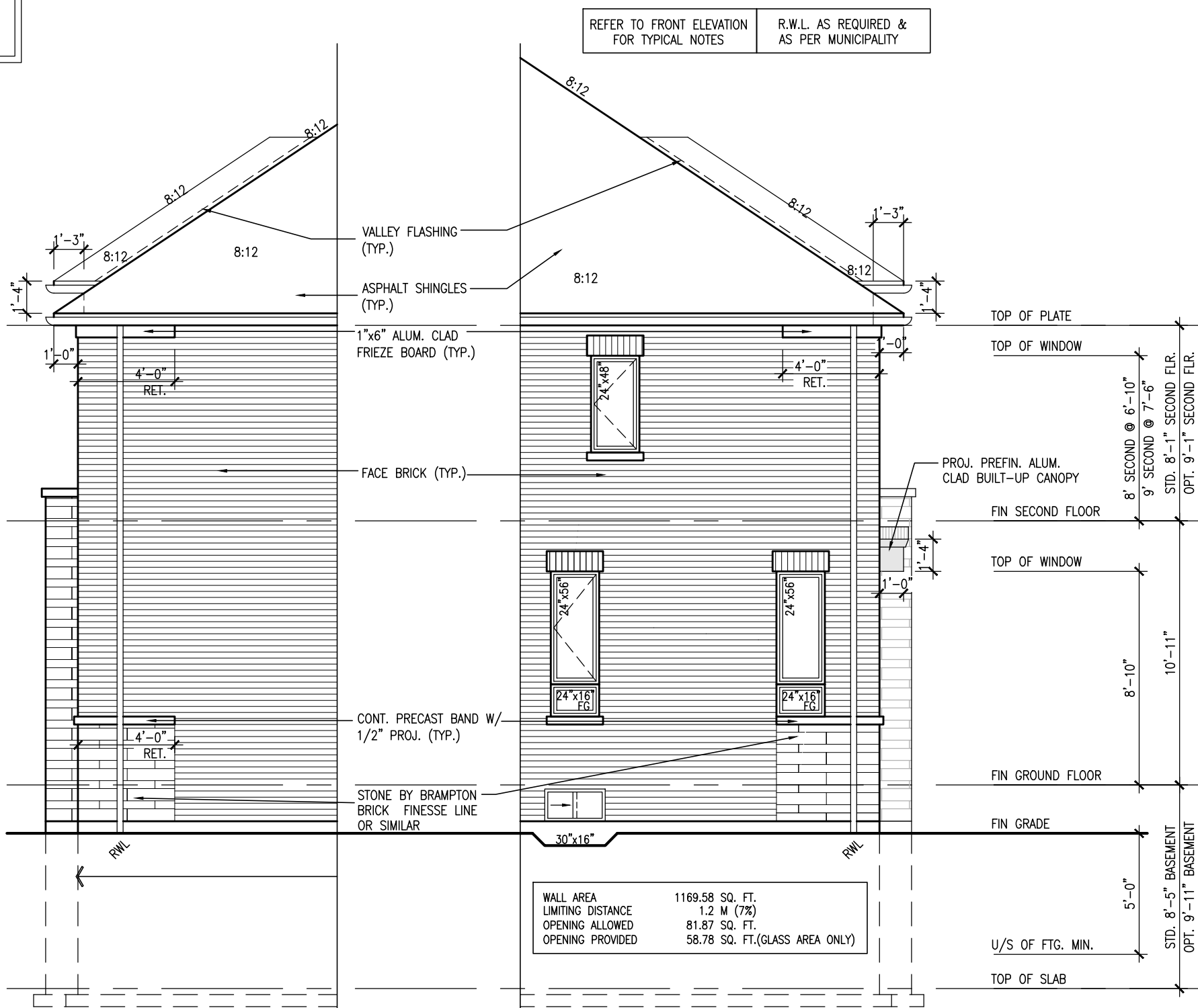
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NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



PARTIAL SECOND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE



PARTIAL LEFT SIDE ELEV. | 'C'
W/ REAR UPGRADE

PARTIAL RIGHT SIDE ELEV 'C'
W/ REAR UPGRADE

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div><div>Wellington Jno-Baptiste</div><div></div><div>25591</div></div> <div><div>name</div><div>signature</div><div>BCIN</div></div> <div>registration information</div> <div><div>VA3 Design Inc.</div><div>42658</div></div>	<div>VA3</div> <div>DESIGN</div> <div>255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>		<div>BAYVIEW WELLINGTON</div> <div>project name</div> <div>GREEN VALLEY EAST</div> <div>municipality</div> <div>BRADFORD, ON.</div> <div>project no.</div> <div>13045</div>	
8	.	.	.		<div>date</div> <div>SEPT 2016</div> <div>ELEV 'C' REAR UPG SEC FL PLAN AND SIDE ELEV</div> <div>drawing no.</div> <div>26</div>			
7	.	.	.		<div>drawn by</div> <div>checked by</div> <div>scale</div> <div>file name</div> <div>BD.BIM</div> <div>-</div> <div>3/16" = 1'-0"</div> <div>16023-S42-17-10GRND</div>			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC		<div>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM</div>			
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC					
4	10' GROUND FLOOR	JUN 17-21	KL					
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL					
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC					
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB					
no.	description	date	by					

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH
W/ 1/2" PROJECTION

RECESSED
FILLER BRICK
W/ VINYL
PANEL BY
MANUF. OVER

WEEP HOLES
@ 800 O.C.

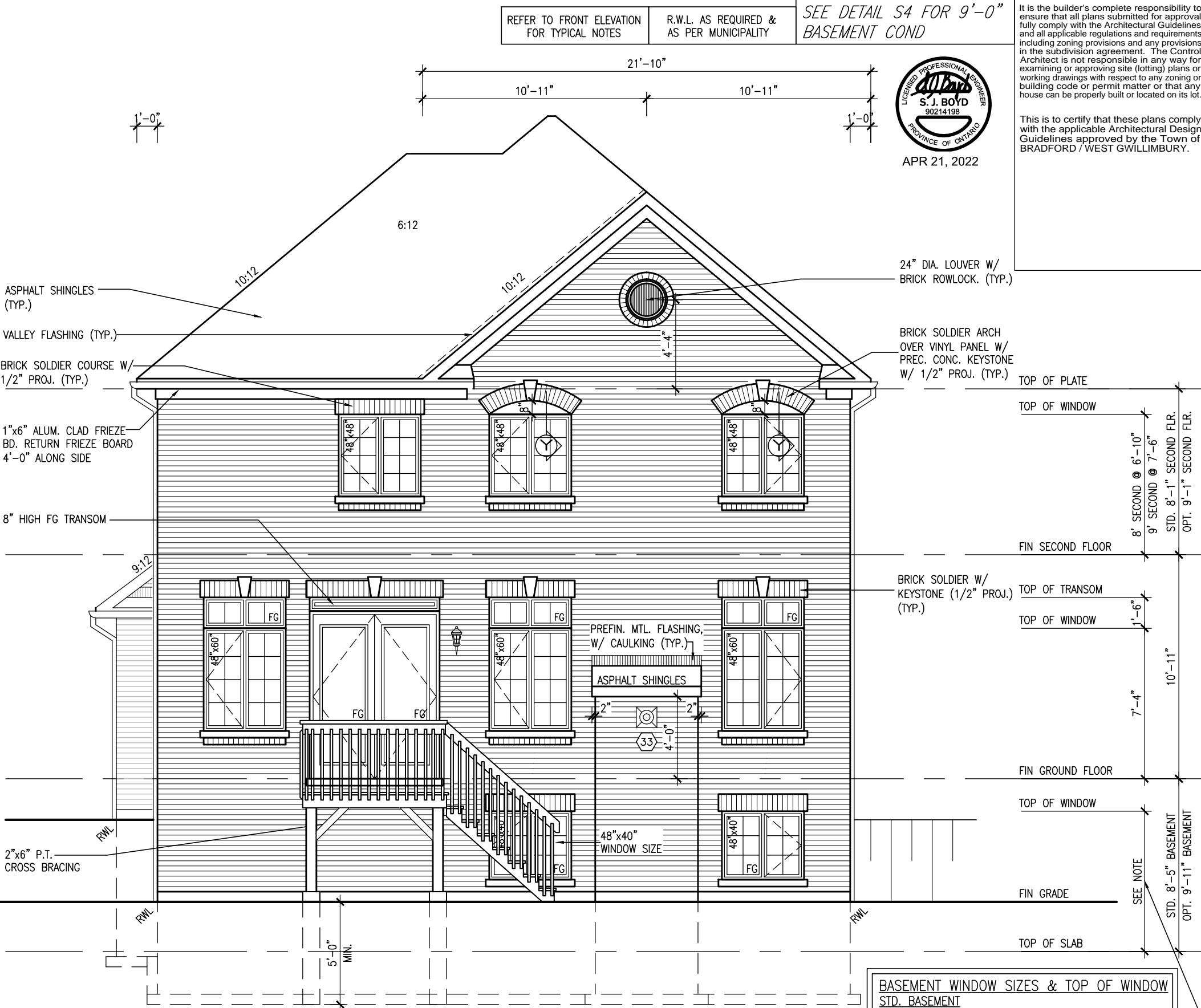
WOOD LINTEL
+ STL ANGLE

Y

BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

NTS

10' GROUND



BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	
- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS	
OPT. 9'-0" BASEMENT	
- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW	
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW	

LICENSED PROFESSIONAL ENGINEER

S. J. BOYD

90214198

PROVINCE OF ONTARIO

APR 21, 2022

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S42-17

RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

13045

project name

BRADFORD, ON.

date

SEPT 2016

drawn by

BD-BIM

checked by

-

scale

3/16" = 1'-0"

file name

16023-S42-17-10GRND

drawing no.

27

16023-S42-17-10GRND

ELEVATION 'A' REAR UPGRADE W.O.D.

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

vo3design.com

9

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no.

description

date

by

REVISIONS

APR 21-22 RC

APR 06-22 RC

JUN 17-21 KL

JUN 17-21 KL

FEB 12-18 RC

OCT 21/16 SB

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3

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REVISED AS PER ENG'S COMMENTS

REVISED AS PER FLOOR LAYOUTS

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

25591

42658

25591

42658

25591

42658

BCIN

KL

KL

KL

KL

KL

Wellington Jno-Baptiste

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

signature

signature

signature

signature

signature

signature

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qualification information

25591

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no.

description

date

by

REVISIONS

APR 21-22 RC

APR 06-22 RC

JUN 17-21 KL

JUN 17-21 KL

FEB 12-18 RC

OCT 21/16 SB

6

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REVISED AS PER ENG'S COMMENTS

REVISED AS PER FLOOR LAYOUTS

10' GROUND FLOOR

ADDED OPT. 9' BASEMENT

REVISED AS PER ENG'S COMMENTS

REVISED BASEMENT WALLS TO BE 10"

25591

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BCIN

KL

KL

KL

KL

KL

Wellington Jno-Baptiste

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

VA3 Design Inc.

signature

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signature

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R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

APR 21, 2022

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S42-17
RIDEAU 17

project no.
13045

BRADFORD, ON. municipality

project name
GREEN VALLEY EAST

signature	BCIN
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name
registration information

APR 21-22	RC
APR 06-22	RC
JUN 17-21	KI

6	REVISED AS PER ENG'S COMMENTS
5	REVISED AS PER FLOOR LAYOUTS
4	10' GROUND FLOOR

ing no.

TION 'B' REAR U

date
SEPT 2016

DESIGN
255 Consumers Rd Suite 120

42658

VA3 Design Inc.

KL	17-21	JUN
KL	17-21	JUN
RC	12-18	FEB

4	TO GROUND FLOOR
3	ADDED OPT. 9' BASEMENT
2	REVISED AS PER ENG'S COMMENTS

8

16
S42-17-10CPND duc - Thi

	drawn by	checked by
	RICHARD - H:\ARCHIVE\WORKING\2016\	-
	BBD.BIM	

Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

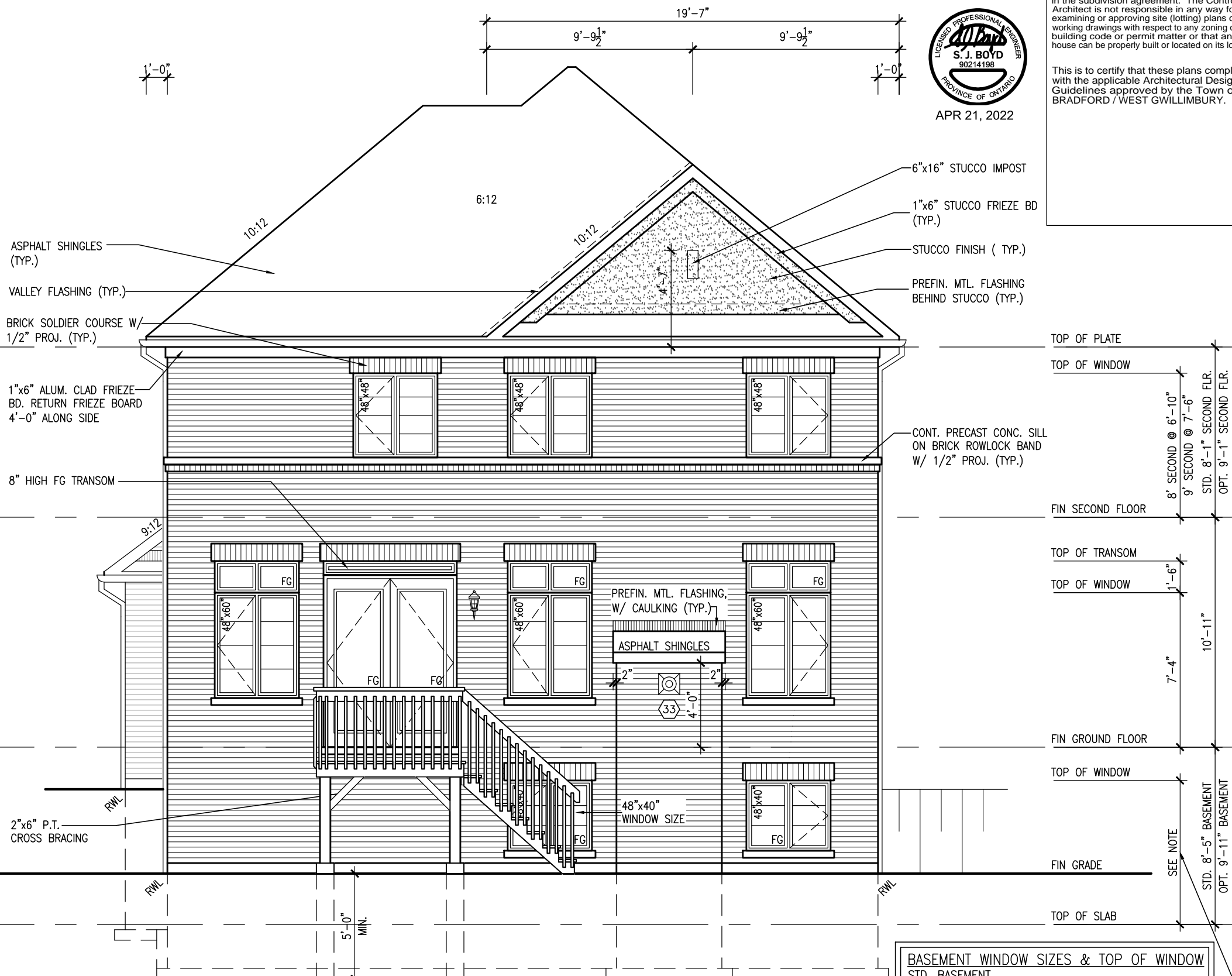
proceeding with the work. All instruments of service and the property returned at the completion of the work.

discrepancy to the Designer's drawings and specifications of the Designer which may be drawings are not to be

LEB 12 18	NO
OCT 21/16	SB
date	by

2	REVISED AS PER ENO'S COMMENTS
1	REVISED BASEMENT WALLS TO BE 10
no	description

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REAR UPGRADE ELEVATION 'B' W.O.D.

10⁹ GROUND

BASEMENT WINDOW SIZES & TOP OF WINDOW
STD. BASEMENT
 - 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL
 FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT
 - 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4"
 TOP OF WINDOW
 - 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @
 6'-10" TOP OF WINDOW

STUD WALL

BRICK VENEER

BRICK SOLDIER ARCH
W/ 1/2" PROJECTION

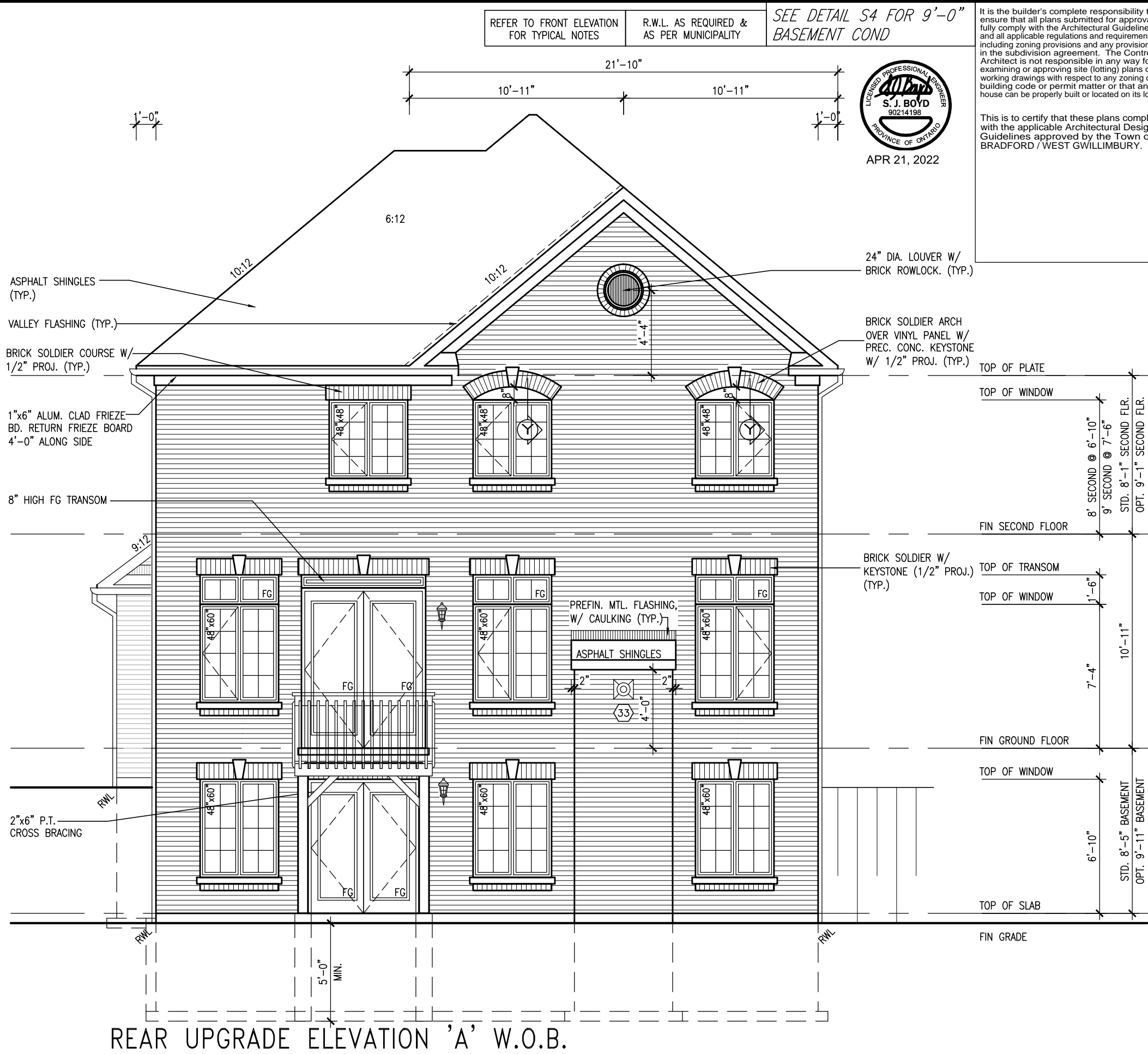
RECESSED
FILLER BRICK
W/ VINYL
PANEL BY
MANUF. OVER

WEEP HOLES
@ 800 O.C.

WOOD LINTEL
+ STL ANGLE

Y

BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS.



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

S. J. BOYD

90214198

PROVINCE OF ONTARIO

APR 21, 2022

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S42-17

RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON.

ELEVATION 'A' REAR UPGRADE W.O.B.

project no. 13045

drawing no. 30

date SEPT 2016

checked by BD-BIM

scale 3/16" = 1'-0"

16023-S42-17-10GRND

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VAD

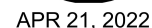
DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vao3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591 BCN	
qualification information		signature	
6	REVISED AS PER ENG'S COMMENTS	APR 21-22 RC	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22 RC	RC
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3	ADDED OPT. 9' BASEMENT	JUN 17-21 KL	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	SB
no.	description	date	by

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SEE DETAIL S4 FOR 9'-0"
BASEMENT COND



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project no.	13045
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BRADFORD, ON. municipality

BAYVIEW

project name
GREEN VALLEY EAST

side

SEPT 2016

DRM

ELEVATION 'B' REAR UPGRADE

scale

3/16" = 1'-0"

checked by

DRM

file name

16023-S42-17-10GRND

16023-BW Units 42' - 16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 1:46 PM

drawing no.

31

V3

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

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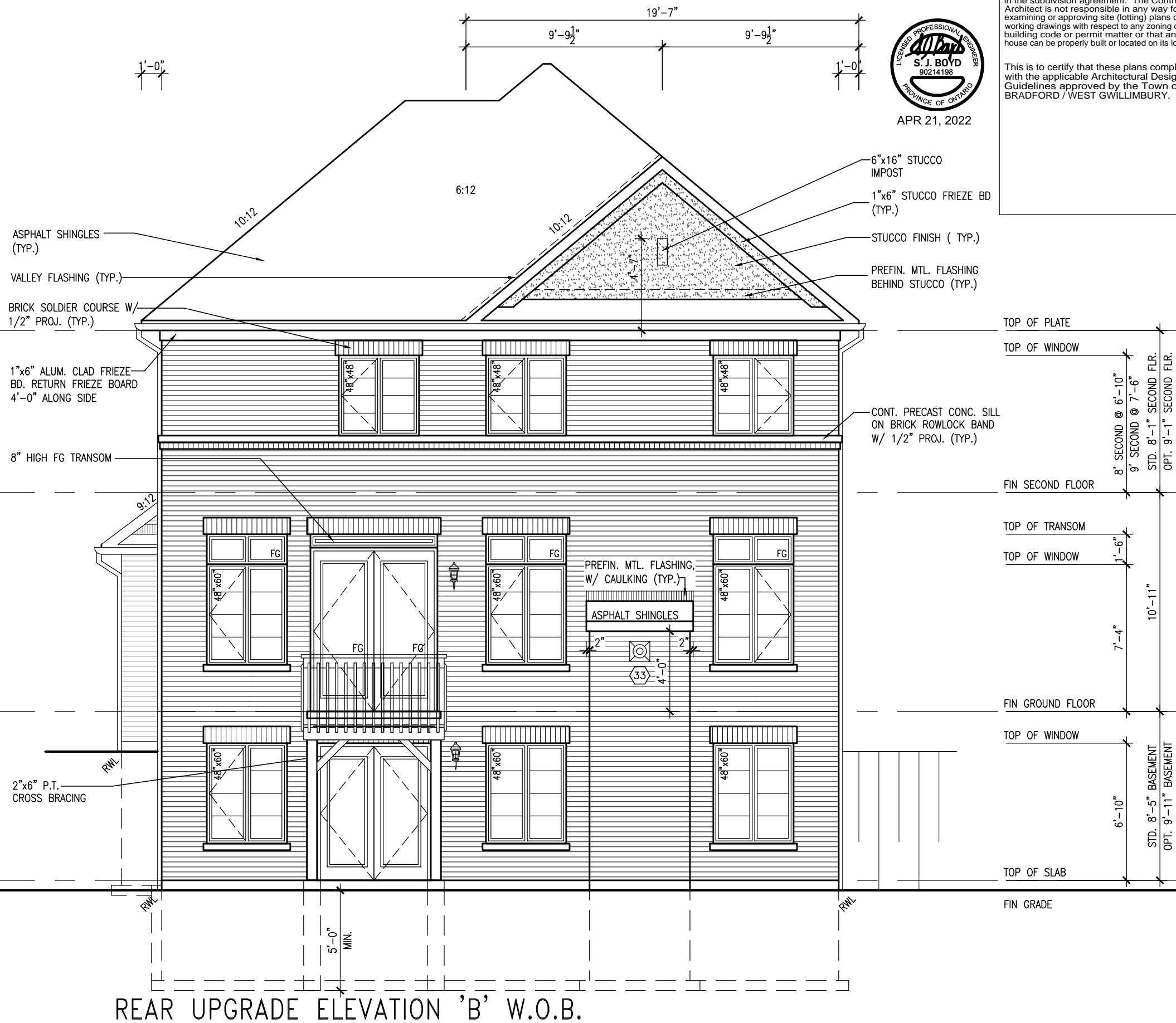
Wellington Jho-Baptiste	signature	BCIN
	registration information	Z5391

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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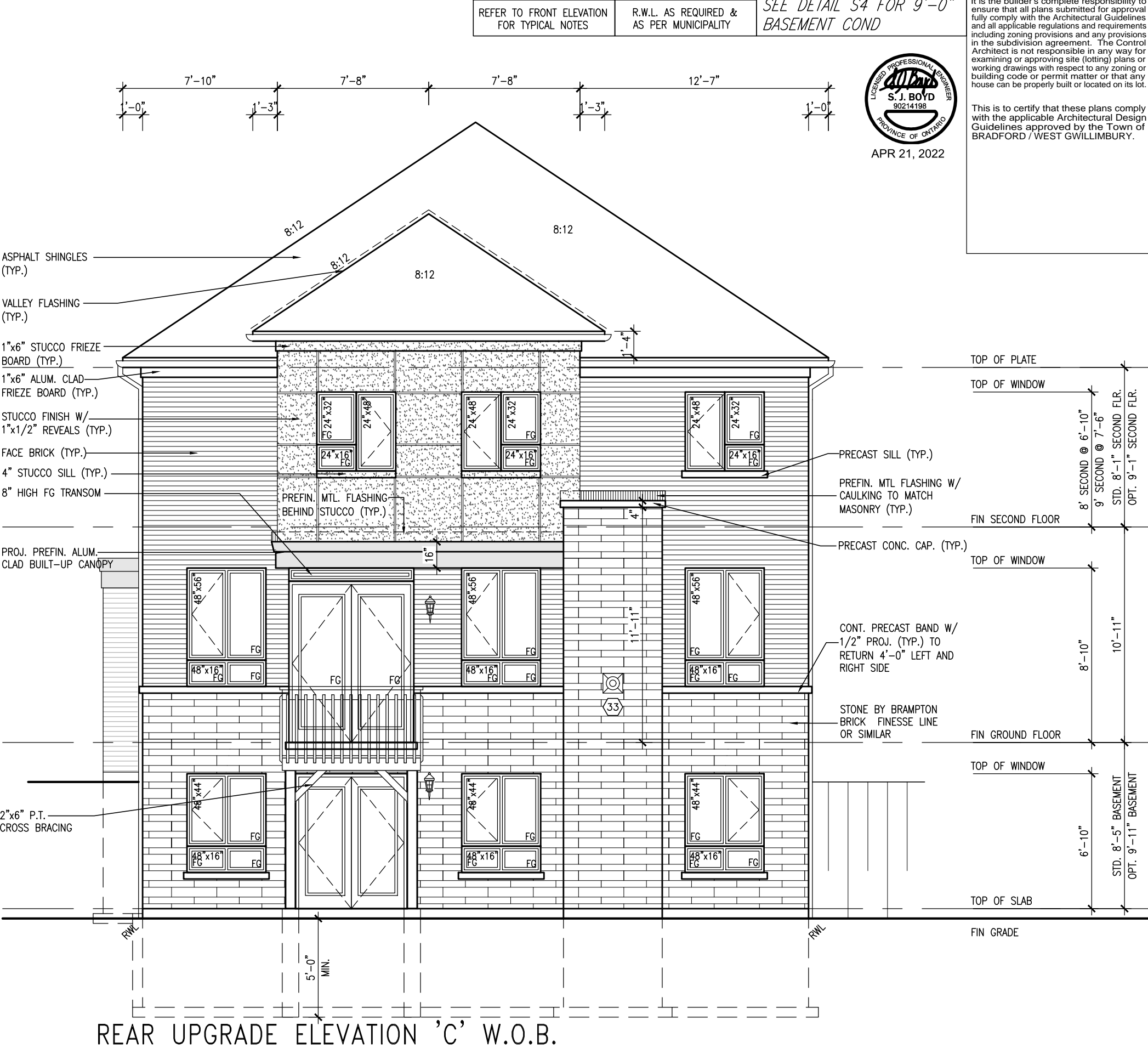


10⁹ GROUND

REAR UPGRADE ELEVATION 'B' W.O.B.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17'C WOB W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	942.19 S.F.	274.67 S.F.	29.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3954.60 S.F.	613.95 S.F.	15.52 %
TOTAL SQ. M.	367.39 S.M.	57.04 S.M.	15.52 %

10' GROUND



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY



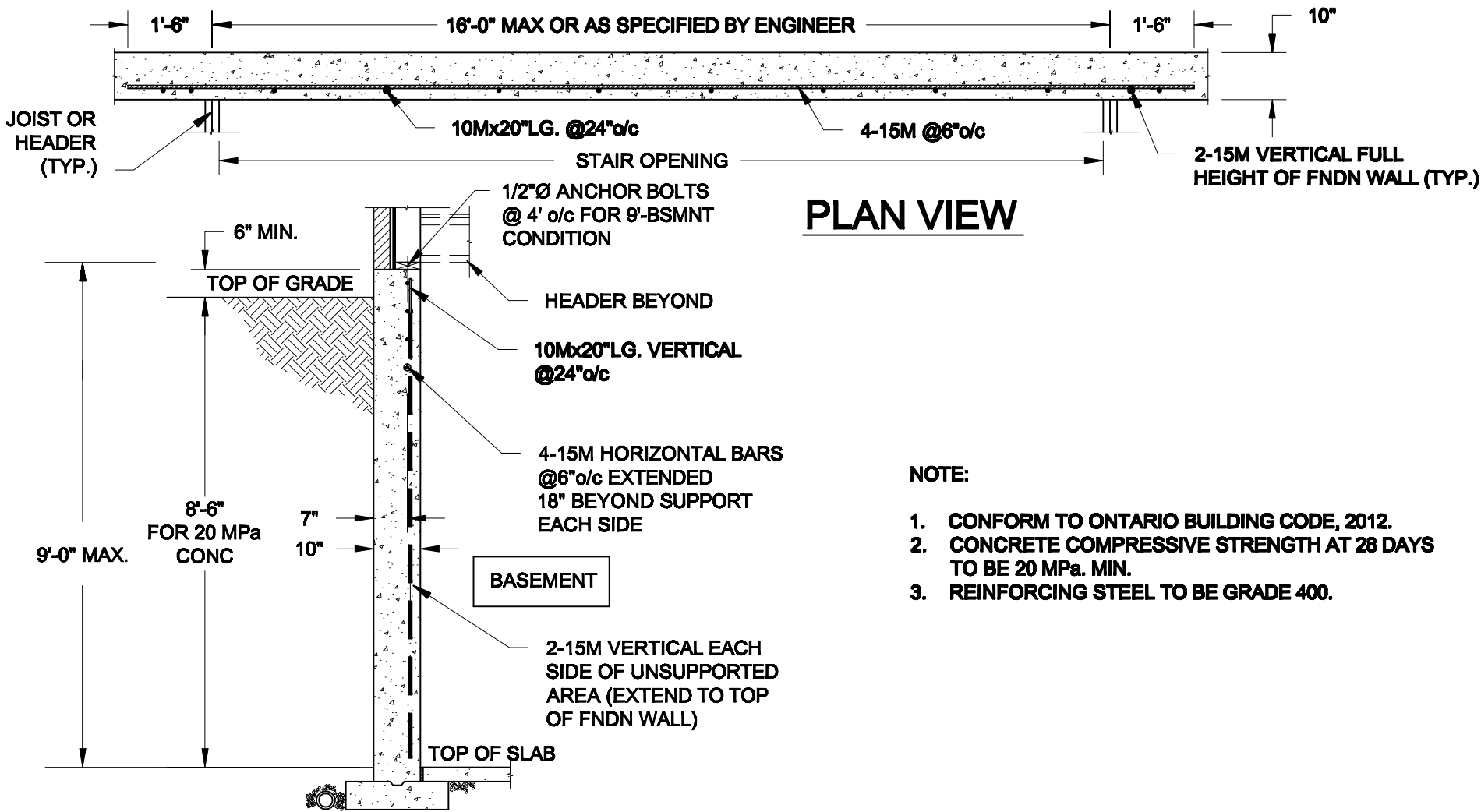
APR 21, 2022

SEE DETAIL S4 FOR 9'-0"
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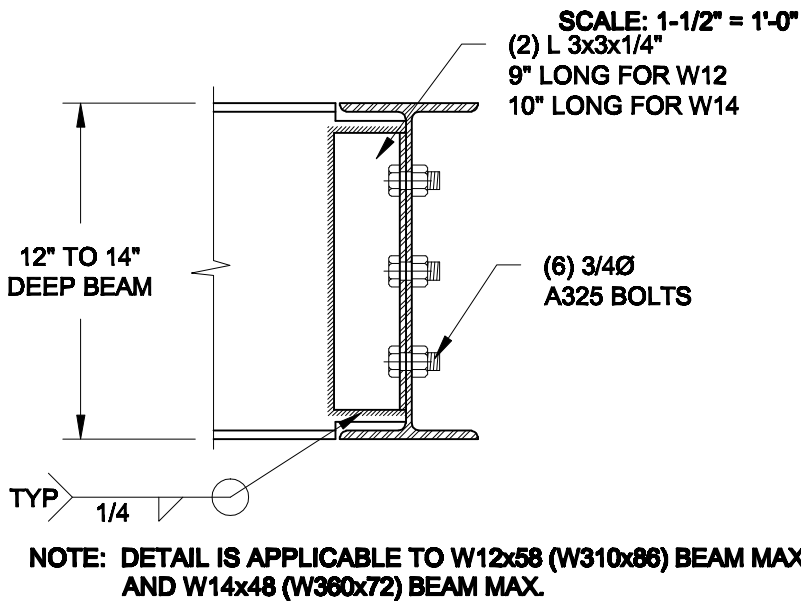
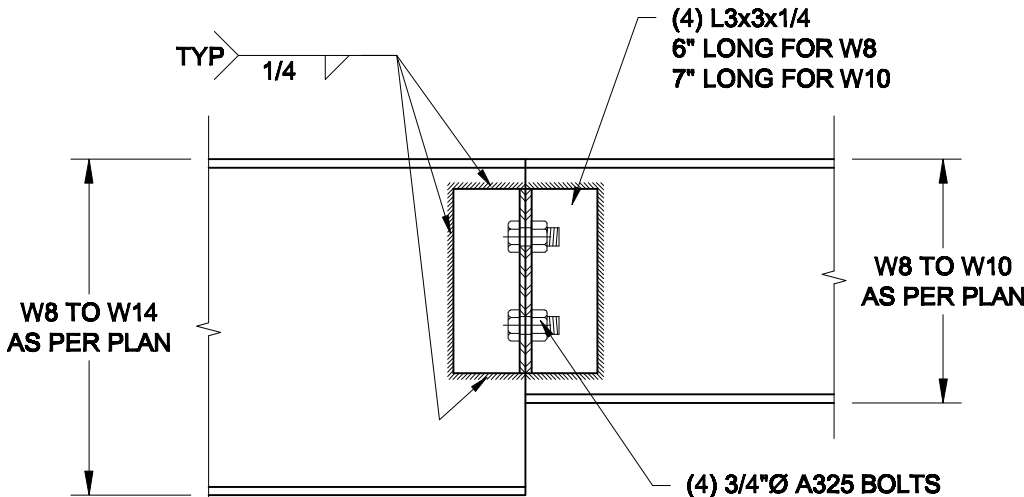
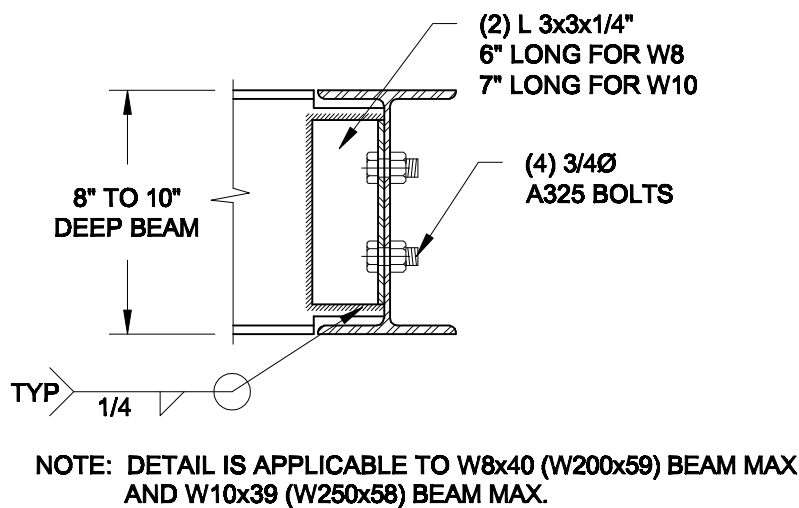
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

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1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2 STEEL BEAM CONNECTION DETAILS

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



FEB 17, 2022

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

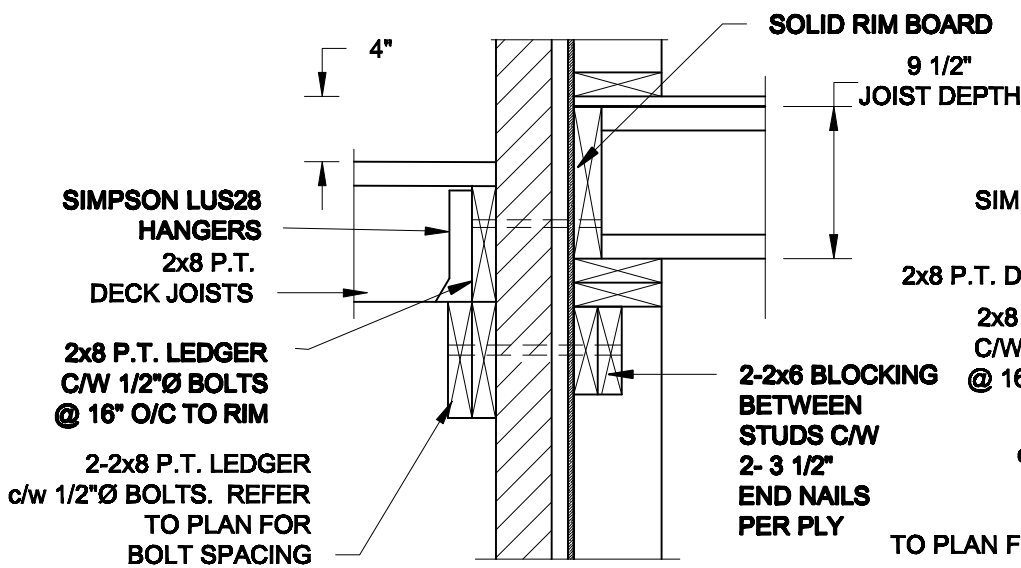
Project No.:

21-038

Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH



1A
S2

DECK FASTENING DETAIL

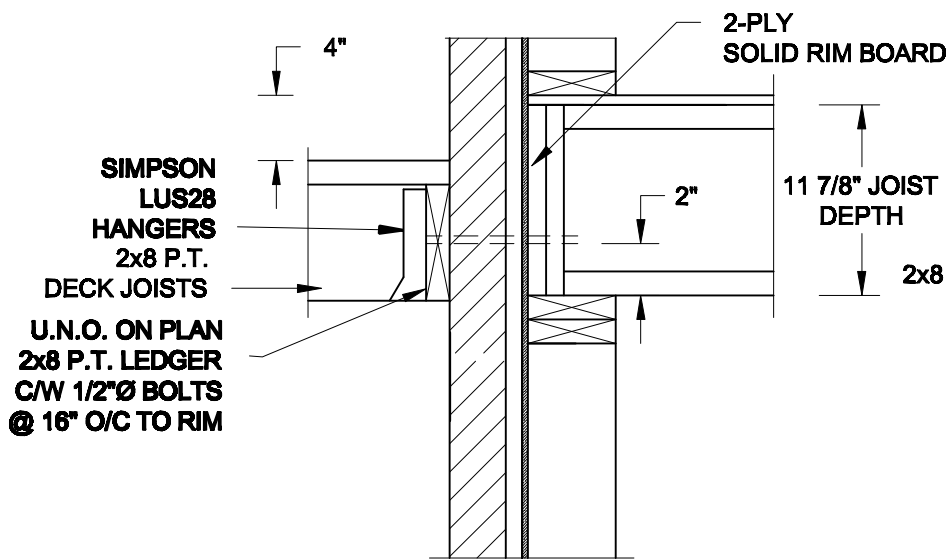
SCALE: 1" = 1'-0"

1B
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

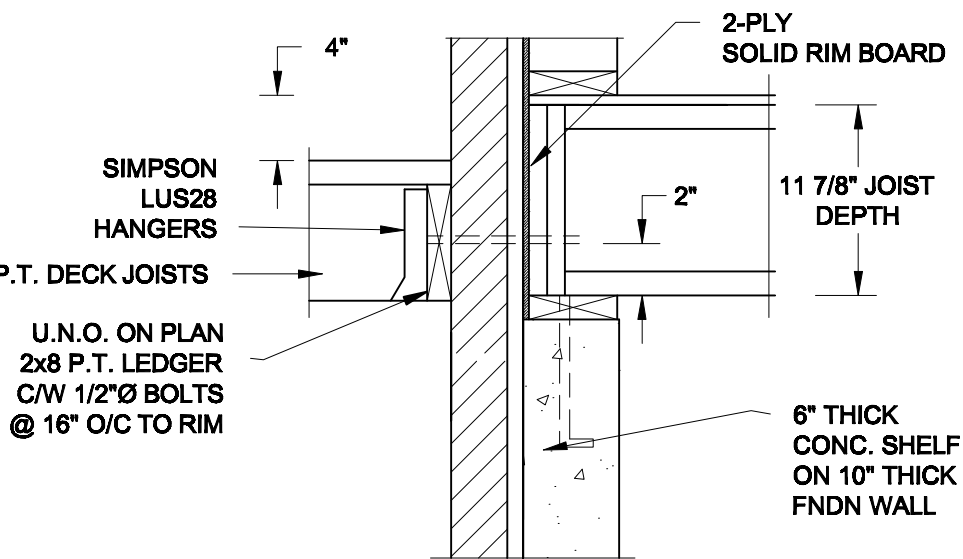
FOR 11 7/8" JOIST DEPTH



1C
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"



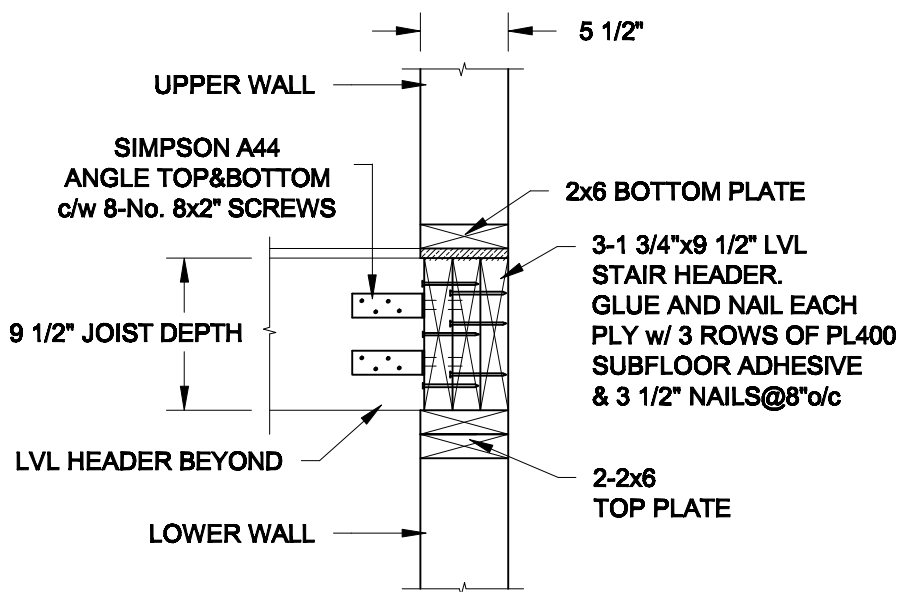
1D
S2

DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH

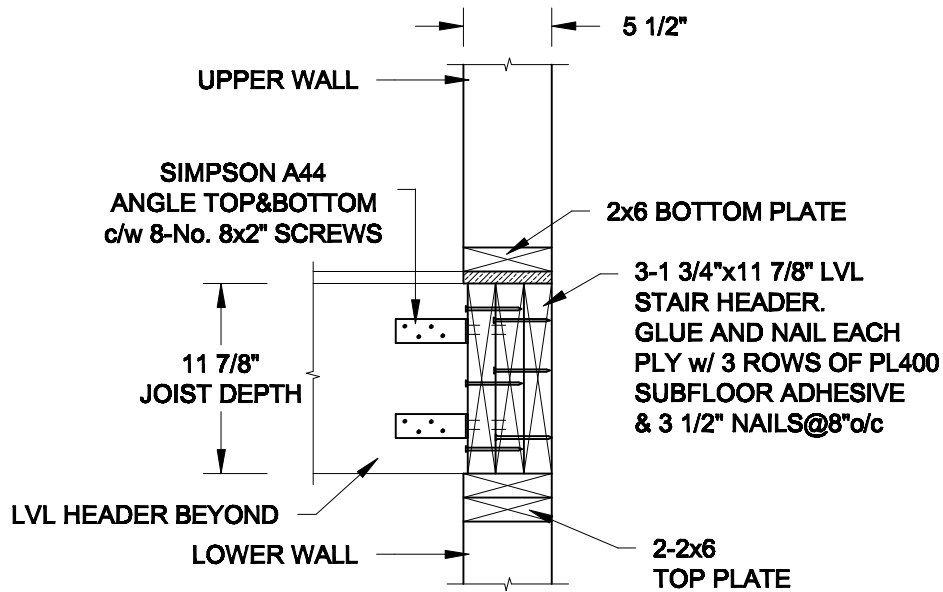


2A
S2

STAIR HEADER

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B
S2

STAIR HEADER

SCALE: 1" = 1'-0"

Scale:
AS NOTED

Date:
MAR-15-2021

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
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Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

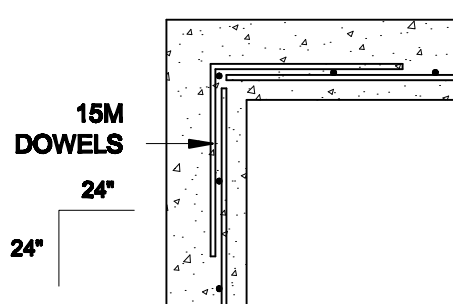
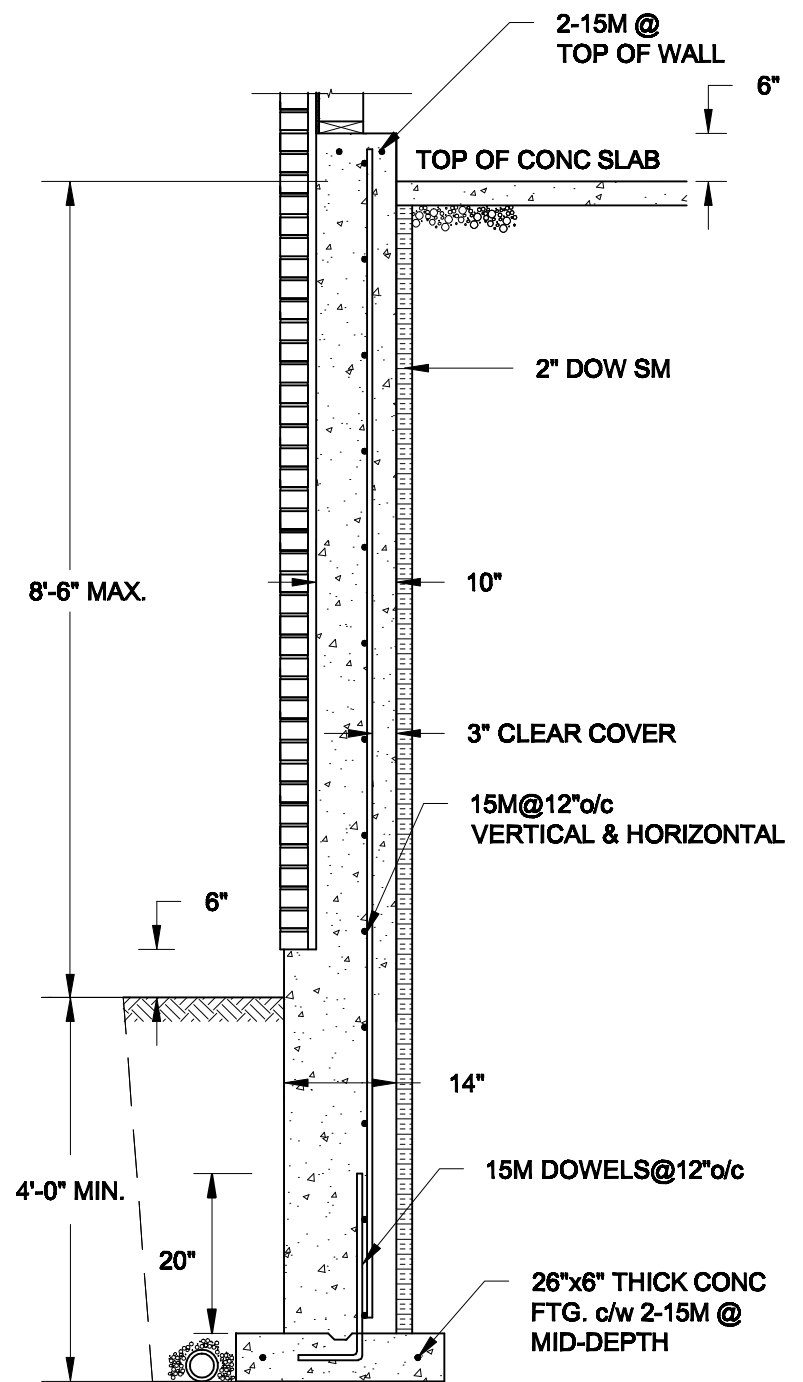
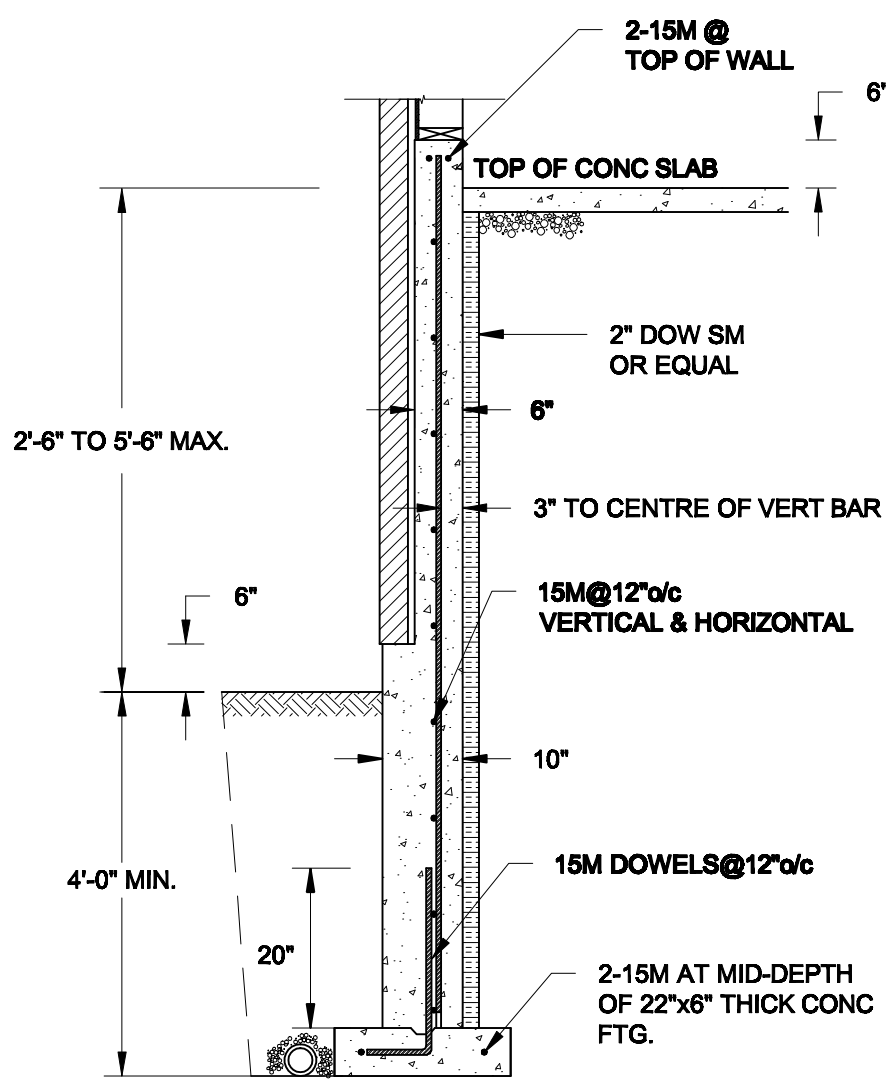
TYPICAL STRUCTURAL DETAILS

Project No.:

21-038

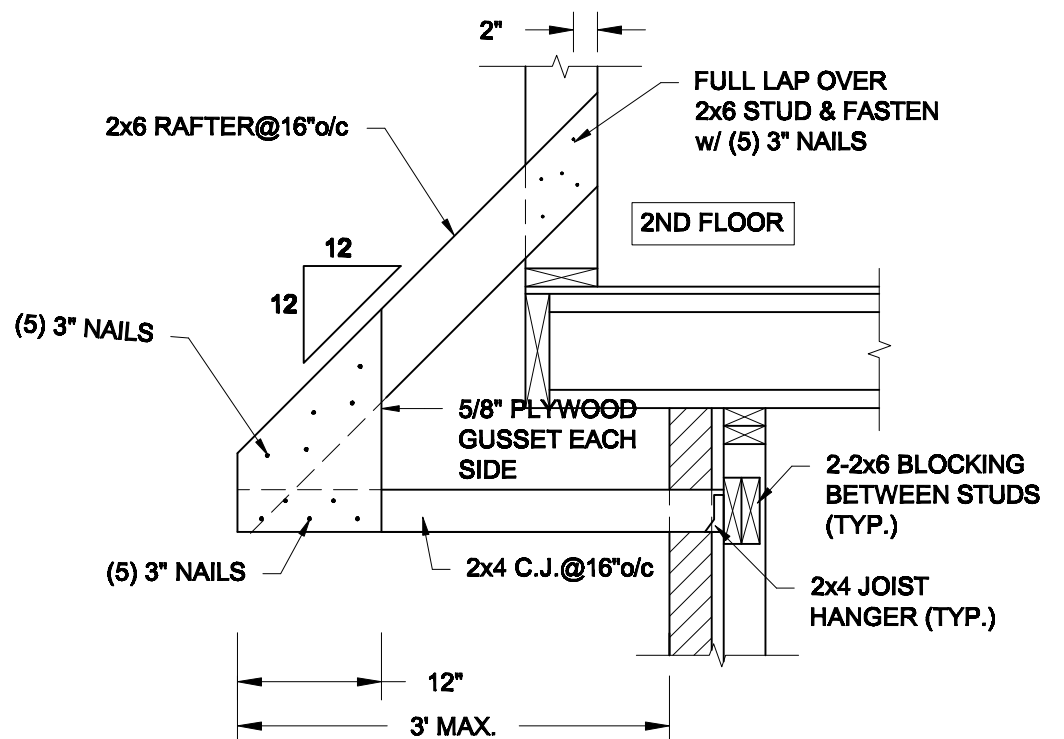
Drawing No.:

S2



NOTES:

- 1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.**
- 2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.**
- 3. REINFORCING STEEL TO BE GRADE 400.**
- 4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.**
- 5. PROVIDE 3" COVER TO SOIL MINIMUM.**
- 6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.**



Scale:
AS NOTED

Date:
FEB-24-2022

Drawn:	Checked:
SC	SJB

QUAILE ENGINEERING LTD.



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Engineer's Seat:



FEB 24, 2022

Project:

**BAYVIEW WILLINGTON HOMES - GREEN VALLEY ESTATES - SINGLE
BRADFORD, ONTARIO**

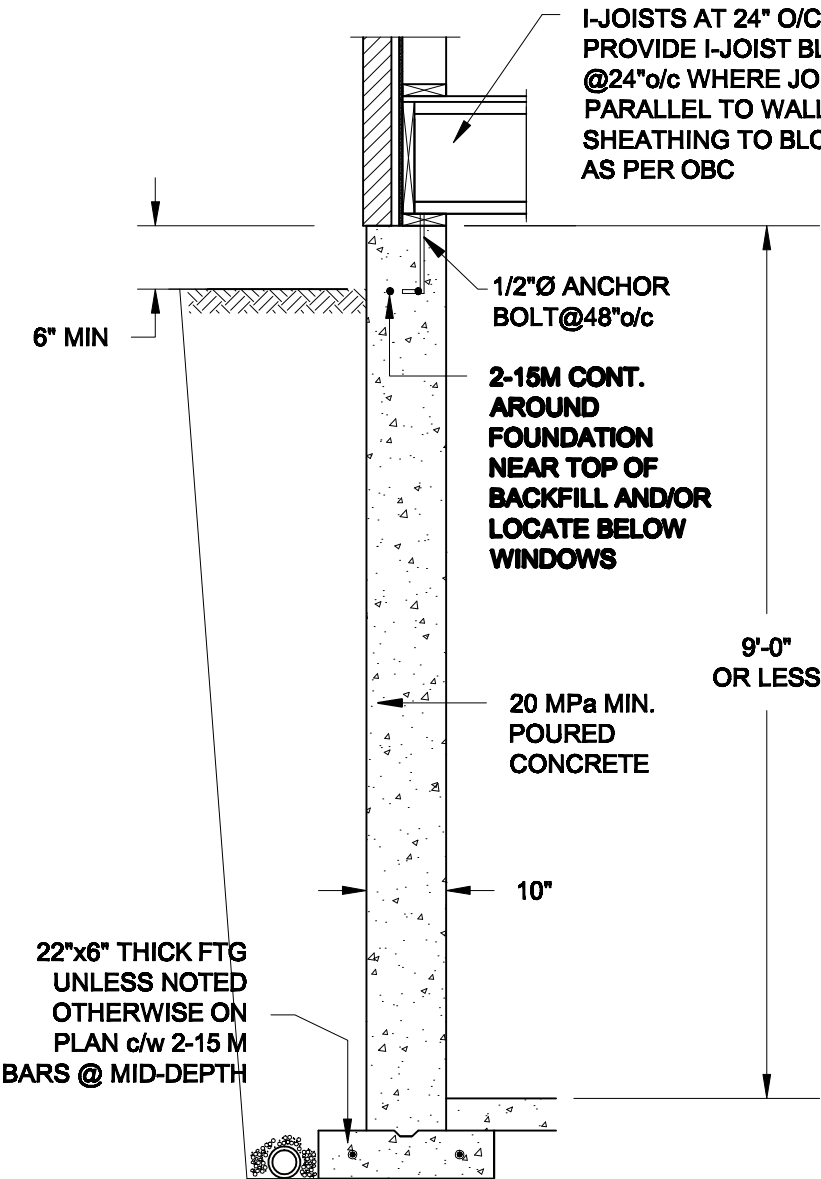
TYPICAL STRUCTURAL DETAILS

Project No.:

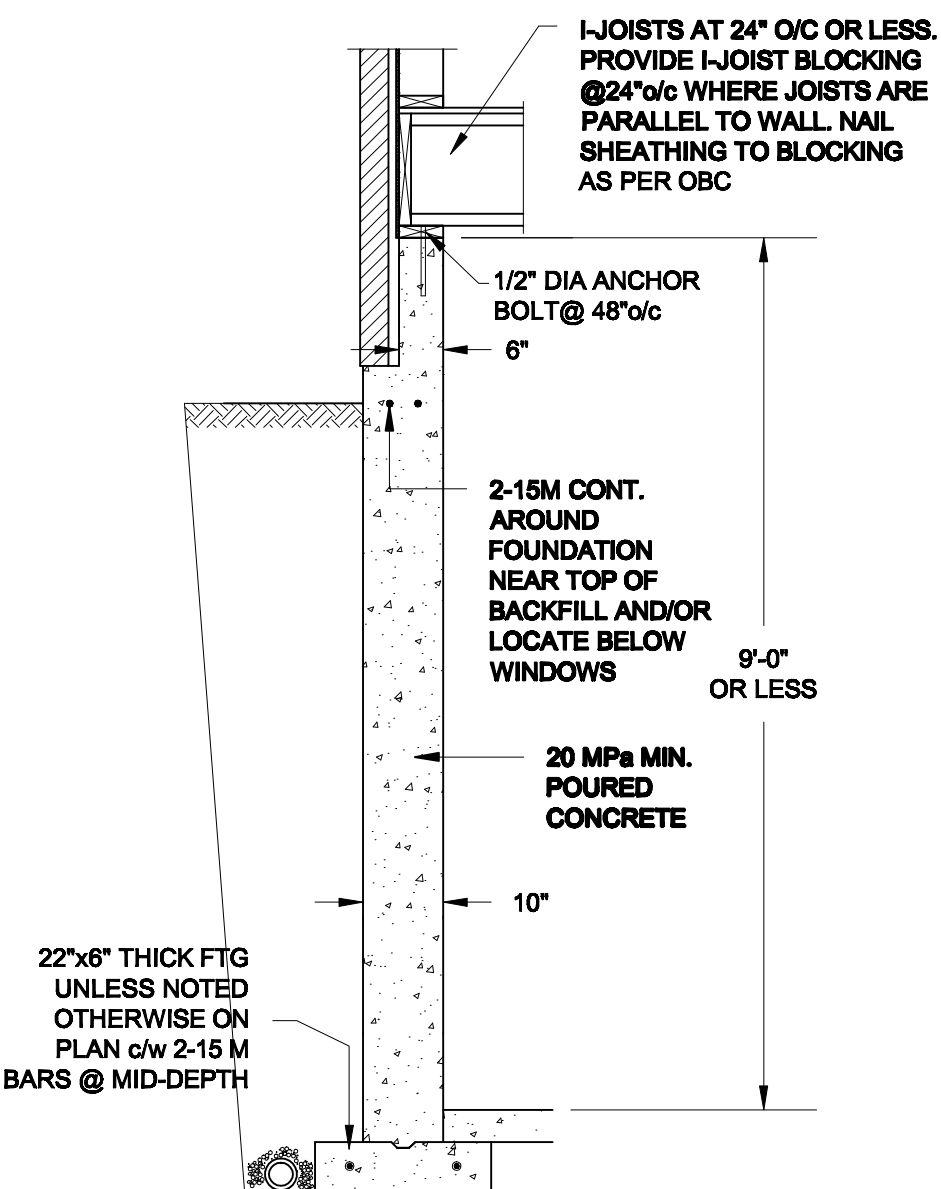
21-038

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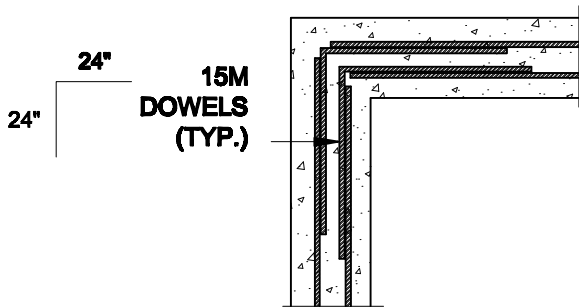
S3



1A
S4 **FOUNDATION WALL**
SCALE: 1/2" = 1'-0"



1B
S4 **DROPPED VENEER**
SCALE: 1/2" = 1'-0"





1C
S4 **TYP. PLAN VIEW AT CORNER**
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD 90214198 PROVINCE OF ONTARIO MAR 30, 2021	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO	
Date: MAR-15-2021				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 21-038	Drawing No.: S4

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. MASONRY TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS:

250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED | W/ MASONRY VENEER | W/ SIDING ONLY

1	18" WIDE x 6" DEEP	18" WIDE x 6" DEEP
2	22" WIDE x 6" DEEP	22" WIDE x 6" DEEP
3	28" WIDE x 9" DEEP	22" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT	545x175 (22"x7")
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6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b). 9.16.4.5.(1). 9.25.3.3.(15)

80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- (PRIVATE STAIRS)

UNIFORM RISE 5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE	= 200 (7-7/8")
MIN. RUN	= 255 (10") (NOSING TO NOSING)
MAX. TREAD	= RUN + 25 (1")
MAX. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
RAIL @ LANDING	= 900 (2'-11")
RAIL @ STAIR	= 865 (2'-10") TO 1070 (3'-6")
MIN. STAIR WIDTH	= 860 (2'-10")

FOR CURVED STAIRS (TAPERED TREADS)
MIN. RUN AT INNER RADIUS = 150 (6")
MIN. RUN AT 300 (12") = 255 (10")

11. HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

12. INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

13. EXTERIOR GUARDS -OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

14. SILL PLATE - OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

15. BASEMENT INSULATION (SB-12-3.1.1.7). 9.25.2.3. 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

16. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

17. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

18. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

19. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

20. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

21. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

22. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

23. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

24. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

25. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

26. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.1.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

27. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HAATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

28. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

29. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

30. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

31. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

32. OR

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.(2).

33. RESERVED

34. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

35. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

36. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 4x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

37. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-8 TABLE 6.2.3.12..

38. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

39. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.-). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

40. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

41. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

42. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

43. CONVENTIONAL ROOF FRAMING (2.0Kpg. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6).
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS
DOOR & WINDOW MANUFACTURER/ SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-8 9.6.1.3.

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8. 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. DIV. 8- 9.5.2.3 & DETAIL PROVIDED.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

7) ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-8 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR. UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN.. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4-9 1/2- 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT

EXHAUST FAN TO EXTERIOR

DUPLEX OUTLET (12" ABOVE SURFACE)

DUPLEX OUTLET (HEIGHT A.F.F)

WEATHERPROOF DUPLEX OUTLET

GFI DUPLEX OUTLET (HEIGHT A.F.F)

POT LIGHT

HEAVY DUTY OUTLET (220 volt)

LIGHT FIXTURE (PULL CHAIN)

LIGHT FIXTURE (CEILING MOUNTED)

SWITCH

LIGHT FIXTURE (WALL MOUNTED)

FLOOR DRAIN

HOSE BIB (NON-FREEZE)

SJ SINGLE JOIST

P.T. PRESSURE TREATED LUMBER

DJ DOUBLE JOIST

G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

TJ TRIPLE JOIST

LVL LAMINATED VENEER LUMBER

POINT LOAD FROM ABOVE

FLAT ARCH

FLAT ARCH

CURVED ARCH

M.C. MEDICINE CABINET (RECESSED)

DOUBLE VOLUME WALL. SEE NOTE 39

CONCRETE BLOCK WALL

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

SOLID WOOD BEARING TO MATCH FROM ABOVE

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6")TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL.

REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)

- WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12")o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR)

PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

UPDATED

ONT. REG. 332/12-2012 OBC
Amendment O. Reg. 88/19
Includes amendments effective Jan. 1, 2022

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

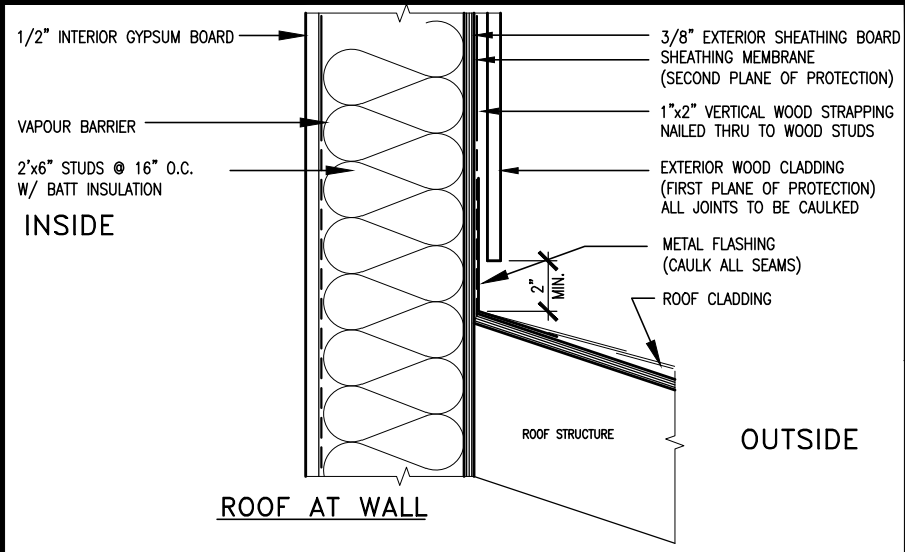
L7	89 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4"L)
L8	89 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16"L)
L9	102 x 89 x 7.9L (4" x 3-1/2" x 5/16"L)
L10	127 x 89 x 7.9L (5" x 3-1/2" x 5/16"L)
L11	152 x 89 x 10.0L (6" x 3-1/2" x 3/8"L)
L12	152 x 102 x 11.0L (6"x 4" x 7/16"L)
L13	178 x 102 x 13.0L (7"x 4" x 1/2"L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

DOOR SCHEDULE

1	EXTERIOR DOOR	2'-8" WIDE INSULATED MIN. RSI 0.7 (R4)
1A	EXTERIOR DOOR	2'-10" WIDE INSULATED MIN. RSI 0.7 (R4)
1B	EXTERIOR DOOR	3'-0" WIDE INSULATED MIN. RSI 0.7 (R4)
1C	EXTERIOR DOOR	3'-2" WIDE INSULATED MIN. RSI 0.7 (R4)
2A	EXTERIOR DOOR	2'-8" wide 20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DEVICE. INSULATED MIN. RSI 0.7 (R4)
2	INTERIOR DOOR	2'-8" WIDE
2B	INTERIOR DOOR (COLD CELLAR)	2'-8" WIDE (WEATHERSTRIPPING INSTALLED)
2C	INTERIOR DOOR	3'-0" WIDE
3	INTERIOR DOOR	2'-6" WIDE
3A	INTERIOR DOOR	2'-4"



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

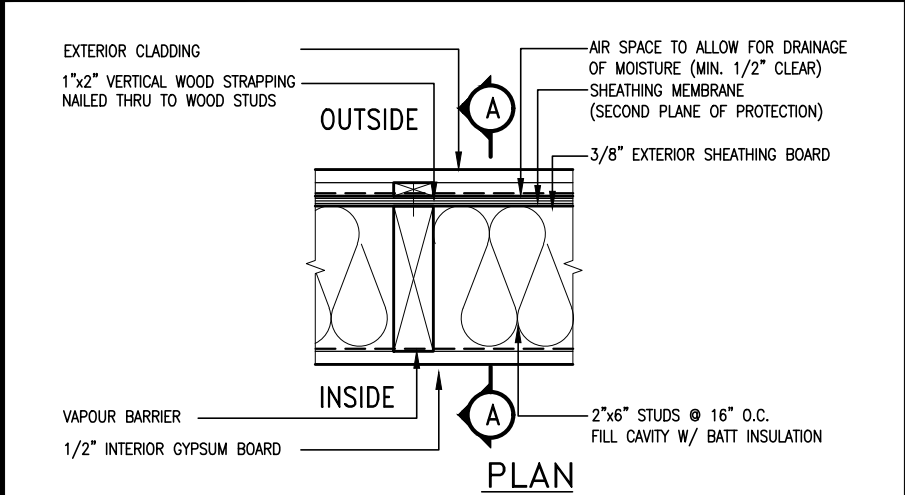
NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

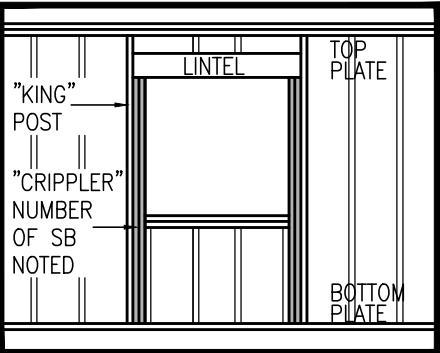
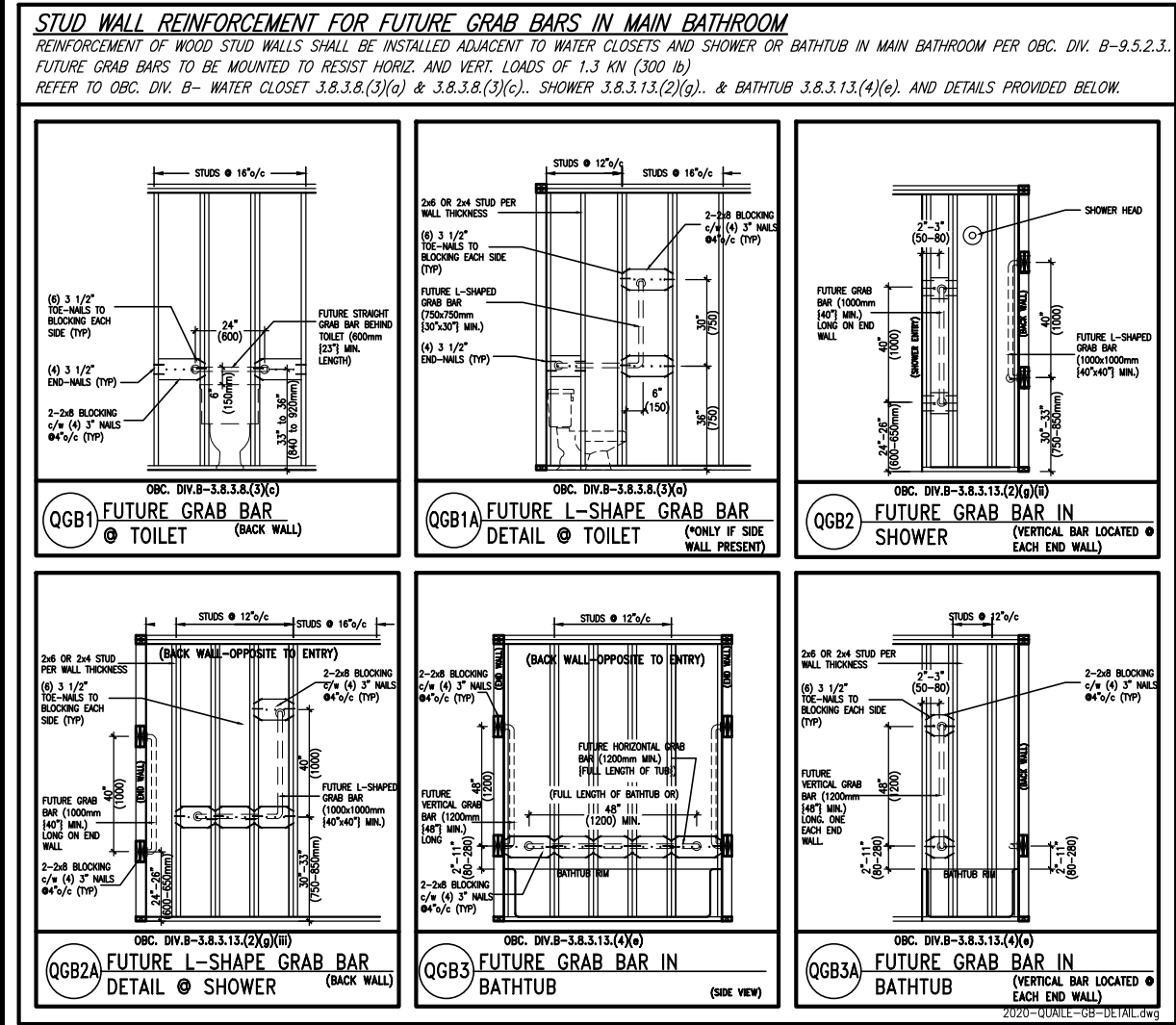
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



EXTERIOR WOOD CLADDING WALL ASSEMBLY



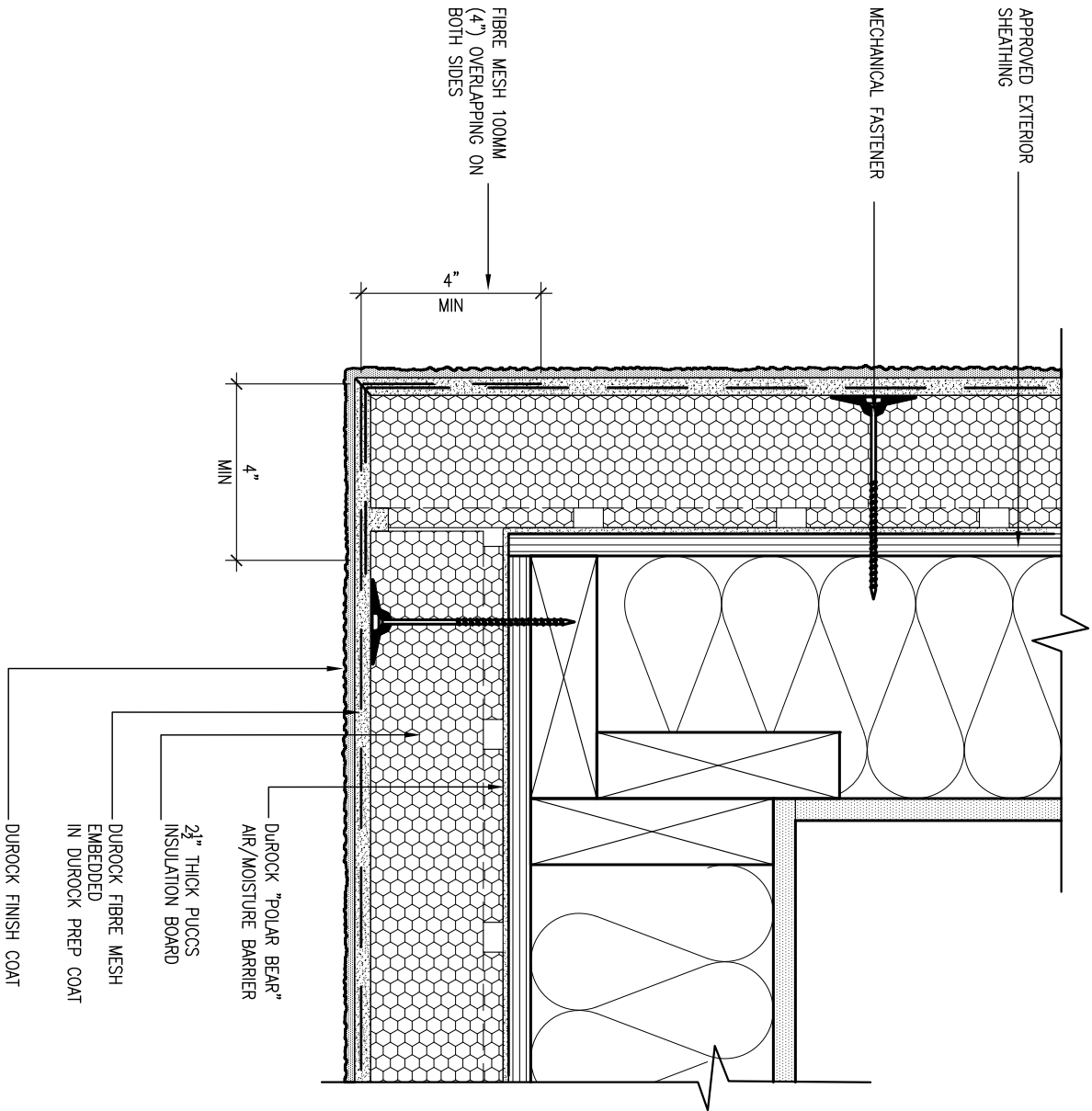
"CRIPPLE" DETAIL



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
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BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY EAST			project no. 16023	
municipality BRADFORD				
date MAY 2016			drawing no.	
CONSTRUCTION NOTES				
drawn by RC		checked by —		scale 3/16" = 1'-0"
		file name 16023-CN-2022-A1		CN2
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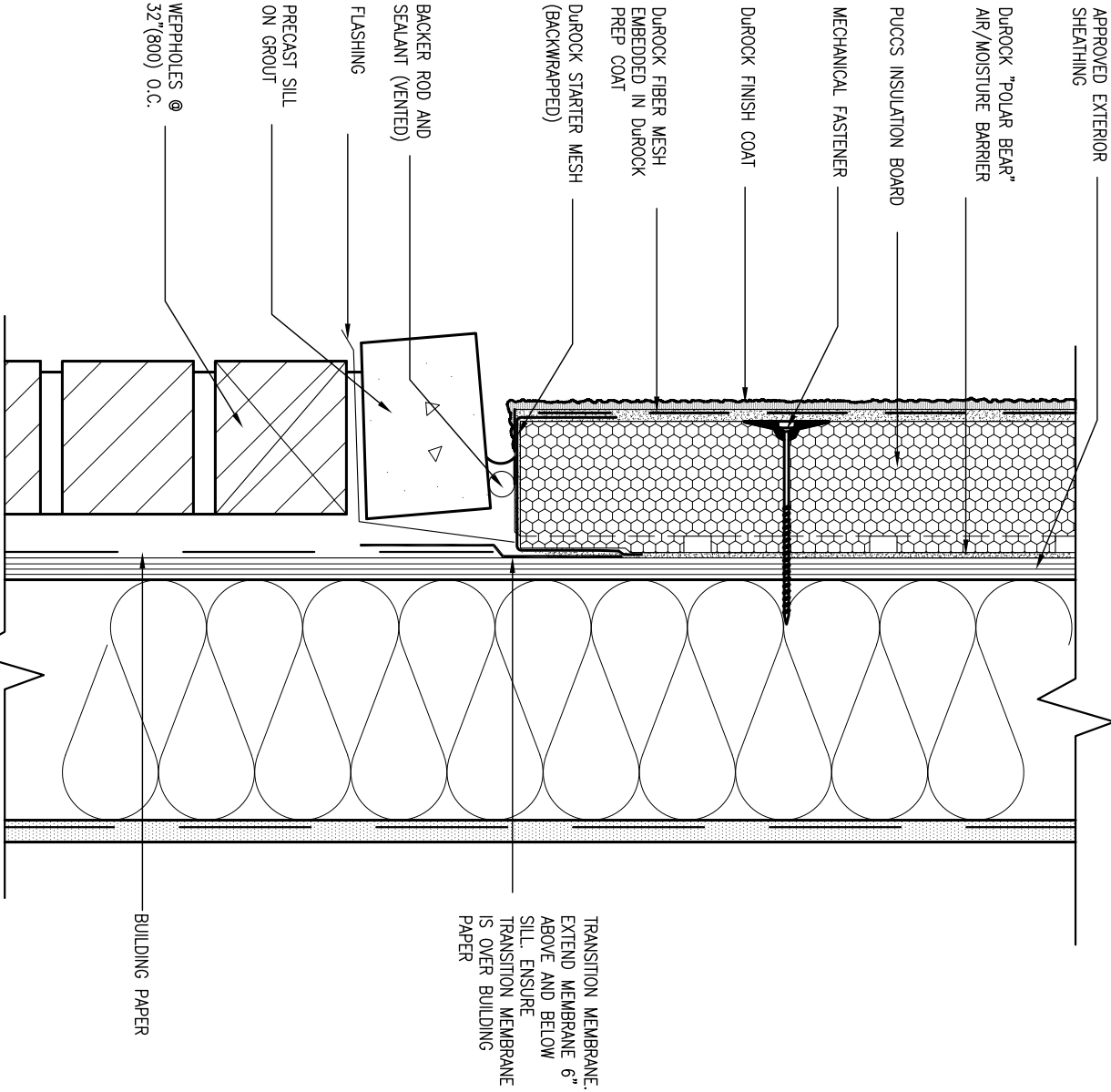


5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

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8 .			qualification information		
7 .			Wellington Jno-Baptiste 25591		
6 .			signature		
5 .			BCIN		
4 UPDATE TO 2022			42658		
3 UPDATE TO 2020			JAN 11-22 RC		
2 UPDATE TO 2018			FEB 24-20 RC		
1 ISSUE FOR CLIENT REVIEW			JAN 11-18 RC		
no, description			AUG 04-17 RC		
			date by		

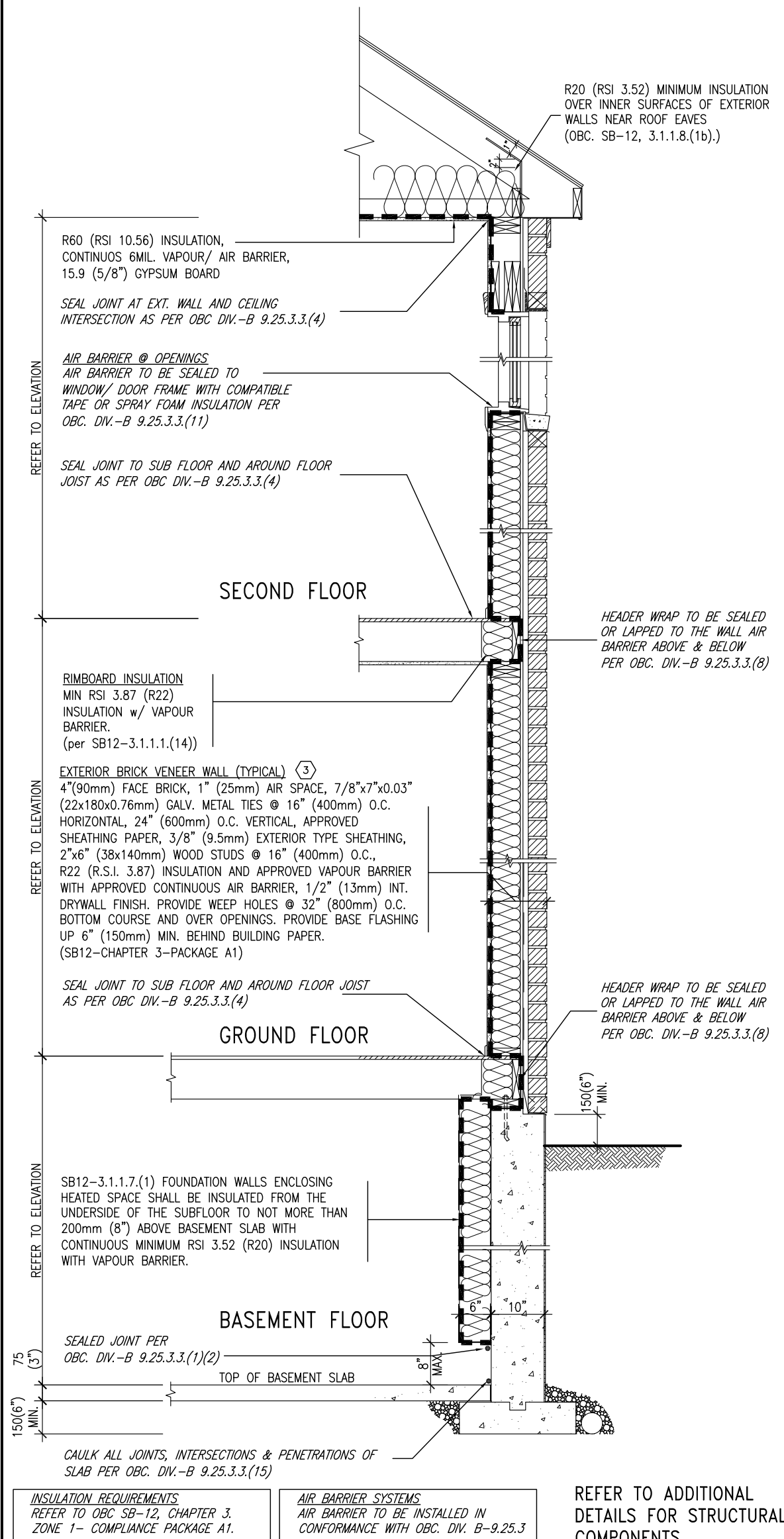
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
name	25591
registration information	BCIN
VA3 Design Inc.	42658
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BAYVIEW WELLINGTON	
project name	municipality
GREEN VALLEY EAST	BRADFORD
date	CONSTRUCTION NOTES
MAY 2016	file name
drawn by	16023-CN-2022-A1
RC	CN5
checked by	scale
-	3/16" = 1'-0"
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CONST NOTE	
-	
project no.	16023
drawing no.	CN5

SB12-COMPLIANCE PACKAGE 'A1'

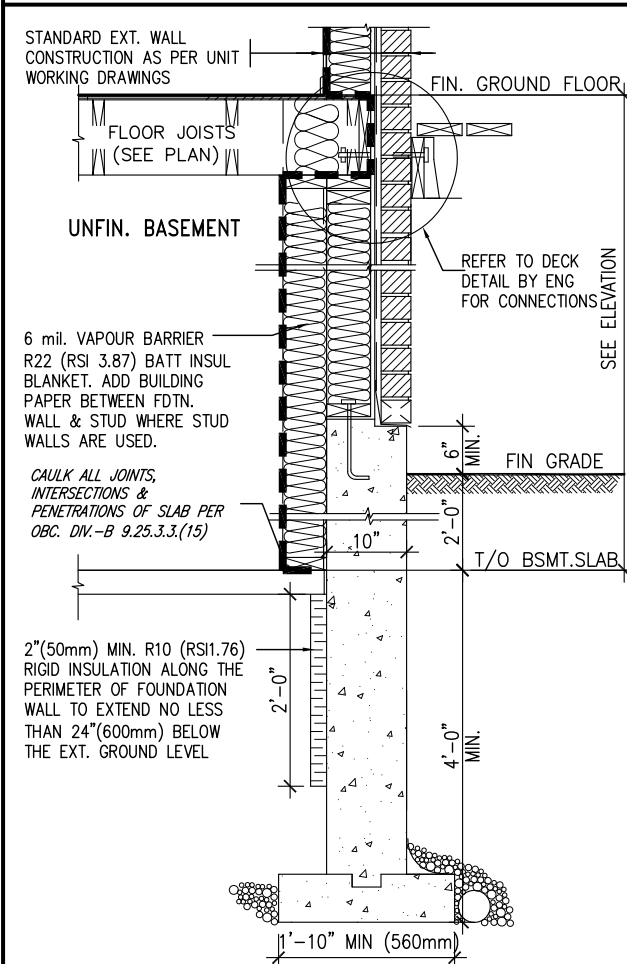


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV		
Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



SECTION AT W.O.D/W.O.B.

9	.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>Wellington Jno-Baptiste <i>J. Baptiste</i> 25591</div> <div>name signature BCIN</div> <div>registration information VA3 Design Inc. 42658</div>
8	.	.	.	
7	.	.	.	
6	.	.	.	
5	.	.	.	
4	UPDATE TO 2022	JAN 11-22	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3

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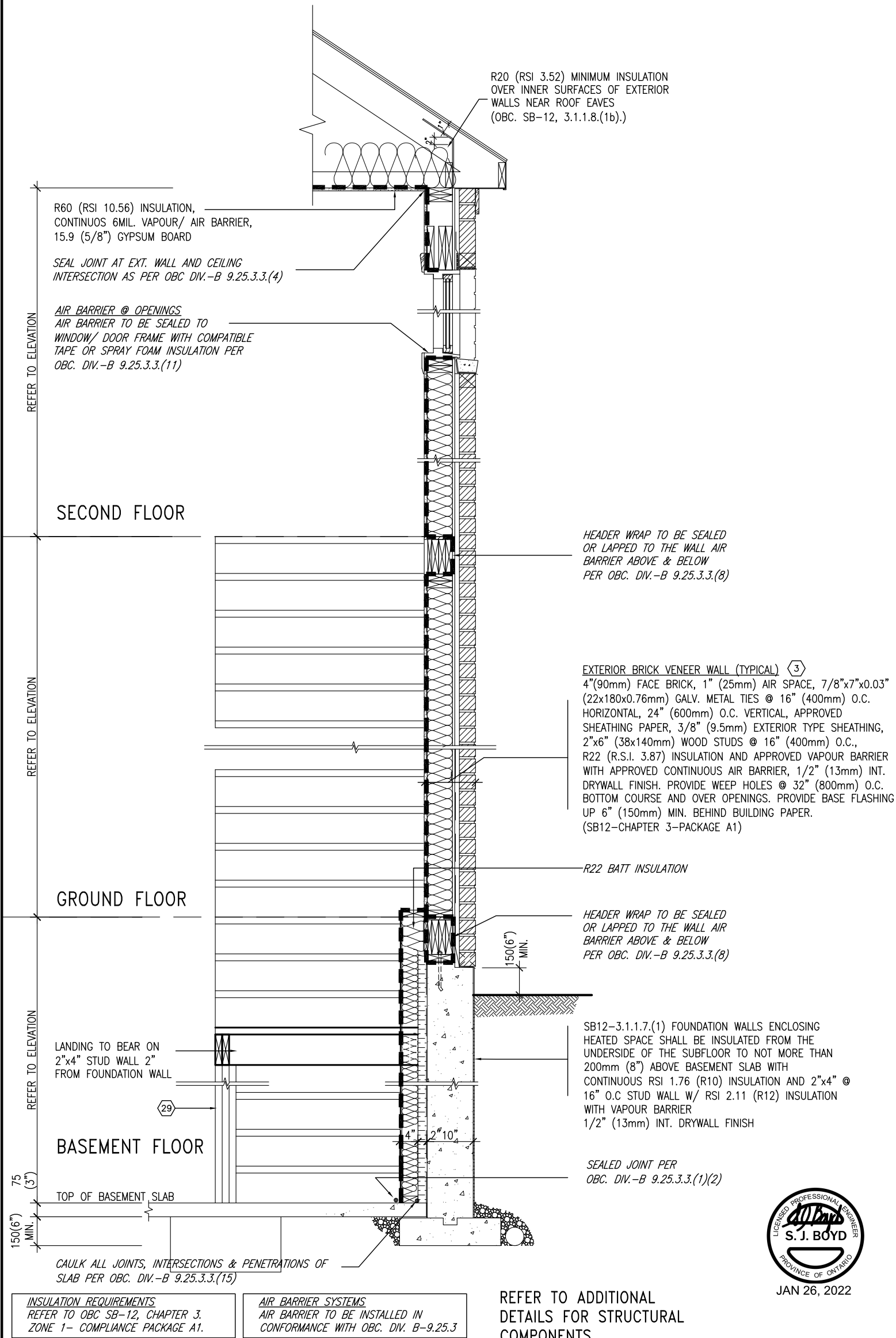
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project name GREEN VALLEY EAST		municipality BRADFORD	
date MAY 2016		project no. 16023	
drawing no.		drawing no.	
drawn by RC		checked by -	
scale 3/16" = 1'-0"		file name 16023-CN-2022-A1	
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CONSTRUCTION NOTES

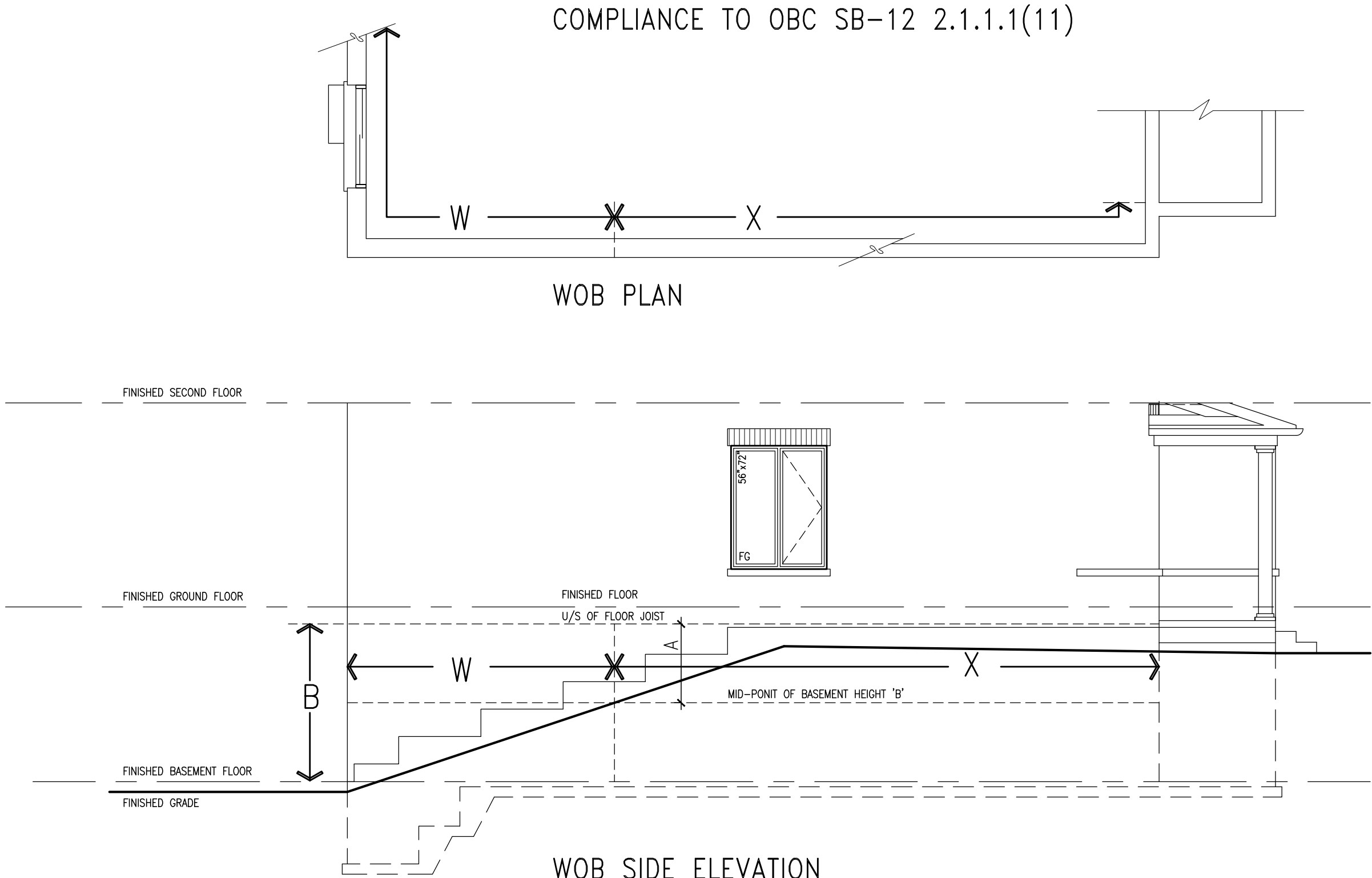
CN6

SB12-COMPLIANCE PACKAGE 'A1'



EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			VA3 DESIGN			BAYVIEW WELLINGTON			CONST NOTE		
8			Wellington Jno-Baptiste			25591			project name			project no.		
7			signature			BCIN			GREEN VALLEY EAST			16023		
6			VA3 Design Inc.			42658			municipality			BRADFORD		
5			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			255 Consumers Rd Suite 120			date			MAY 2016		
4			255 Consumers Rd Suite 120			Toronto ON M2J 1R4			drawn by			RC		
3			t 416.630.2255 f 416.630.4782			va3design.com			checked by			scale		
2			3/16" = 1'-0"			16023-CN-2022-A1			file name			CN7		
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no.			description			date			by					



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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qualification information

Wellington Jno-Baptiste 25591 BCIN

name

registration information

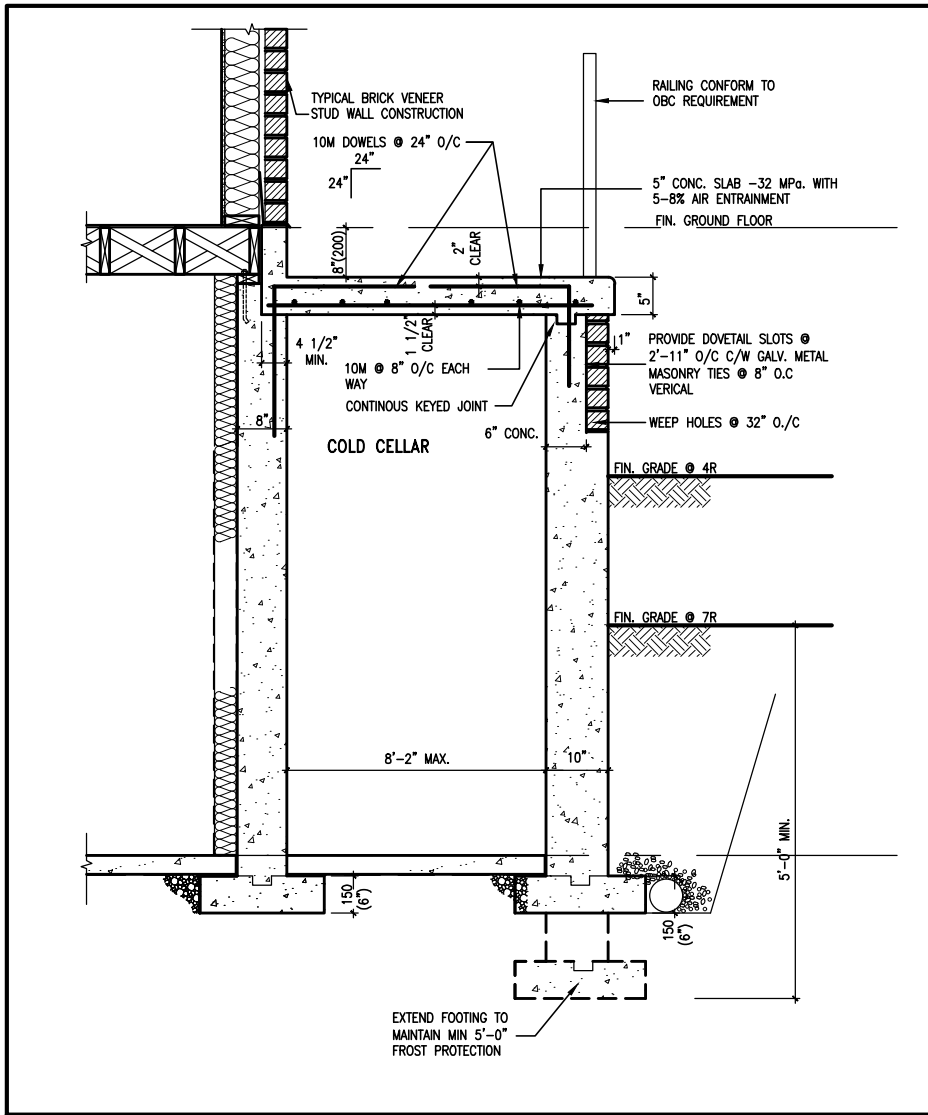
VAS Design Inc. 42658

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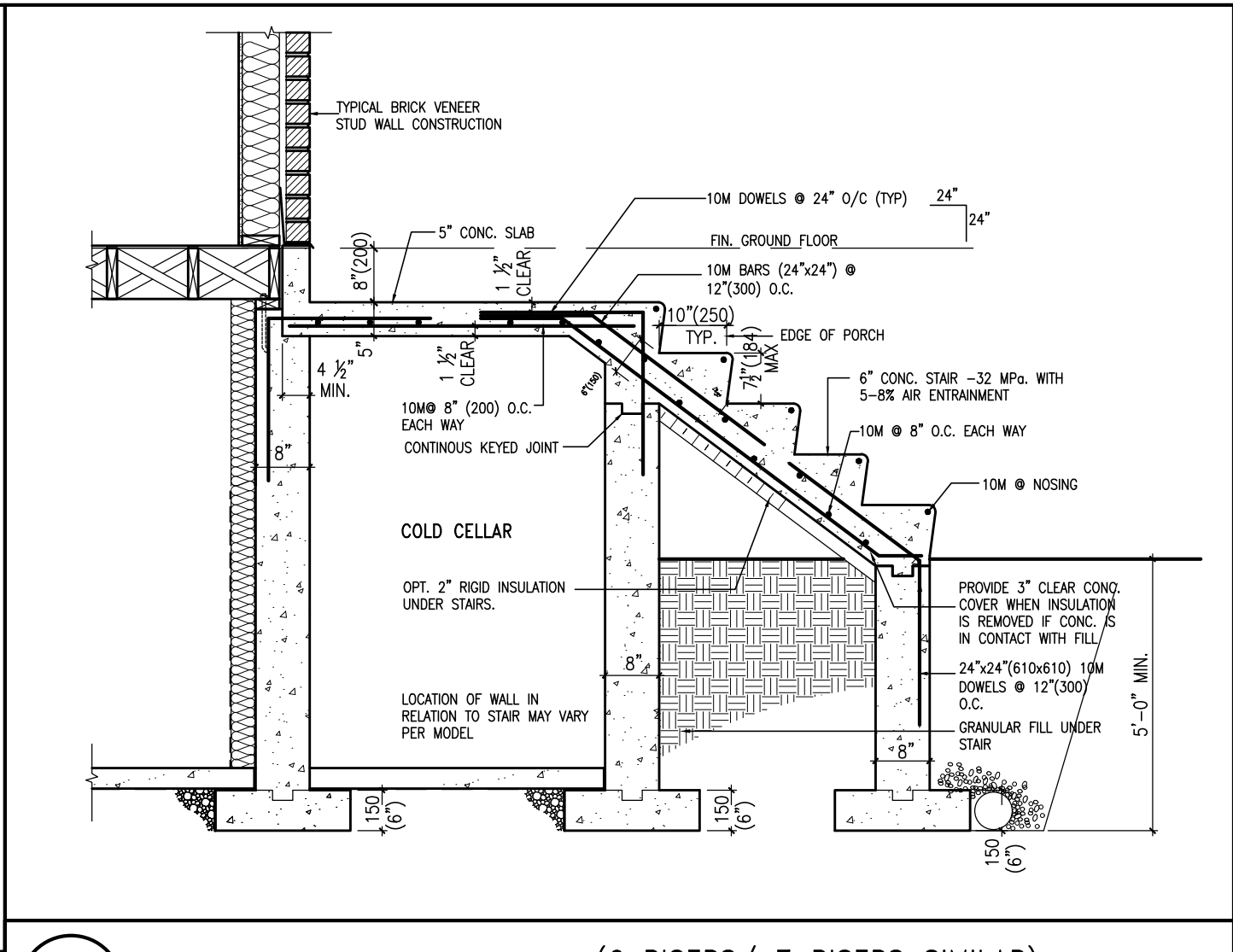
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name	municipality	project no.	drawing no.
BAYVIEW WELLINGTON	BRADFORD	16023	CN8
date	drawn by	checked by	scale
MAY 2016	RC	-	3/16" = 1'-0"
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X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



no.	description	date	by
9			
8			
7			
6			
5			
4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
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qualification information
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VAS Design Inc. 42658
 name
 registration information
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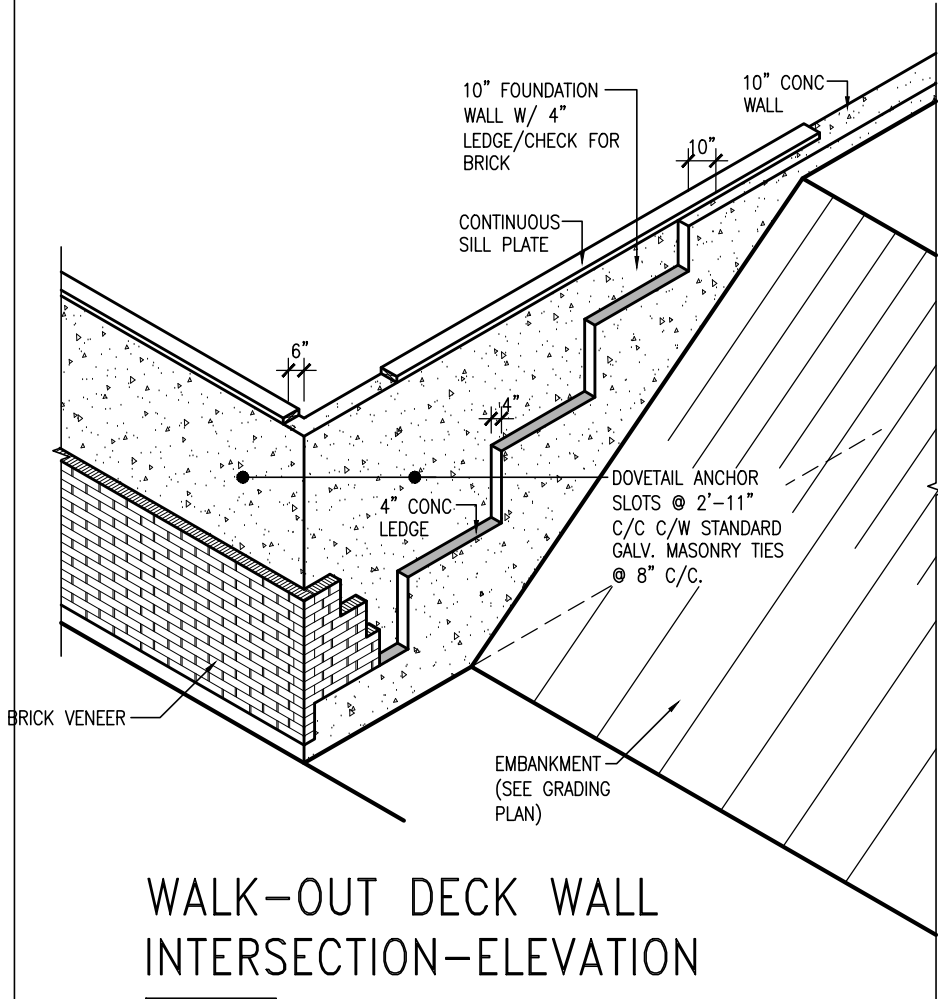
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 Toronto, ON M2J 1P4
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project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD	16023	CN9
date	checked by	scale	checked by
MAY 2016	RC	3/16" = 1'-0"	RC
CONSTRUCTION NOTES			
file name 16023-CN-2022-A1			
date 16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:06 PM			

BAYVIEW WELLINGTON

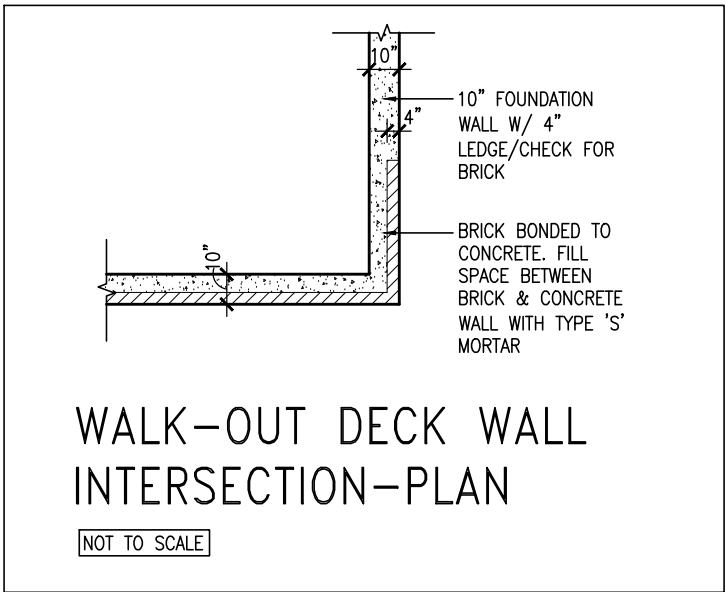
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WALK-OUT DECK WALL
INTERSECTION-ELEVATION

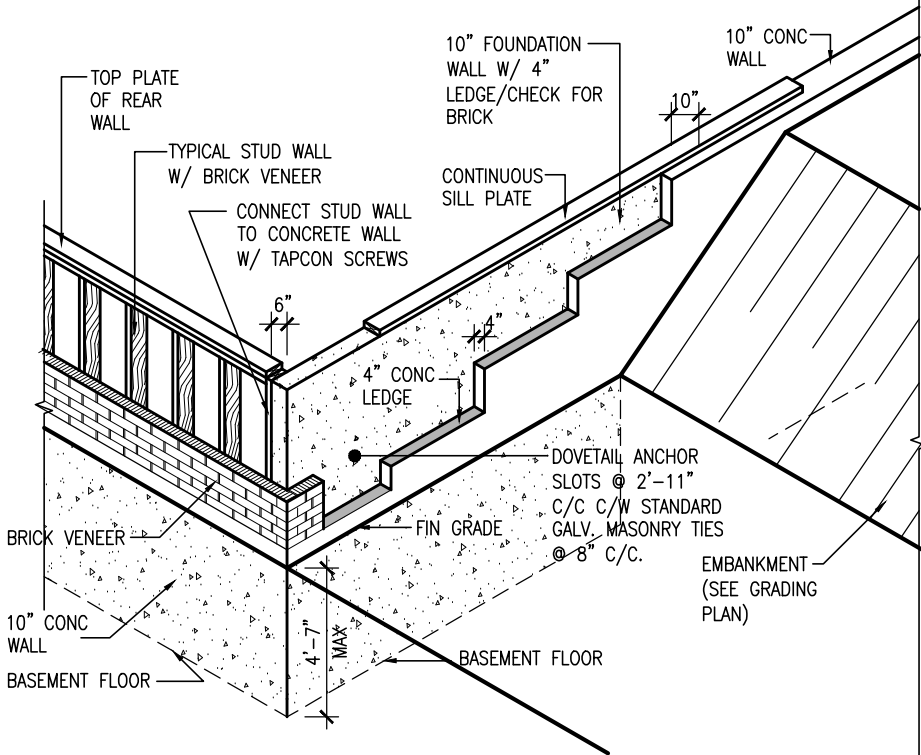
NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-PLAN

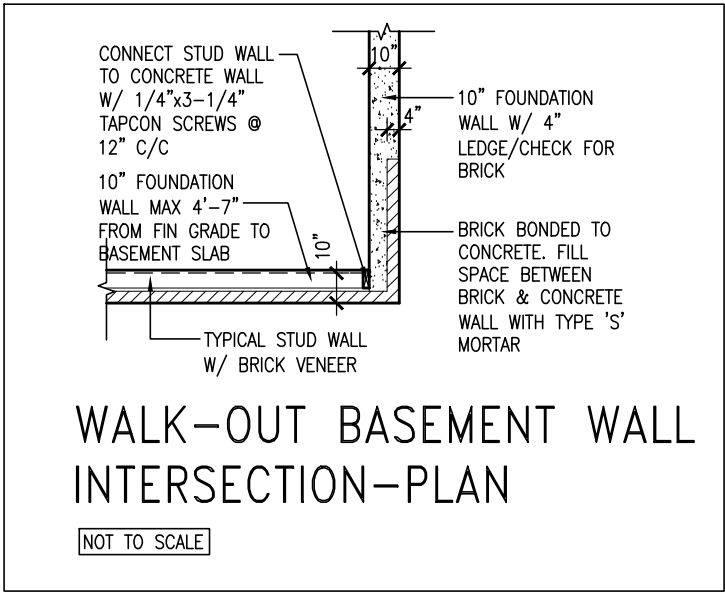
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	UPDATE TO 2022	JAN 11-22	RC
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qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

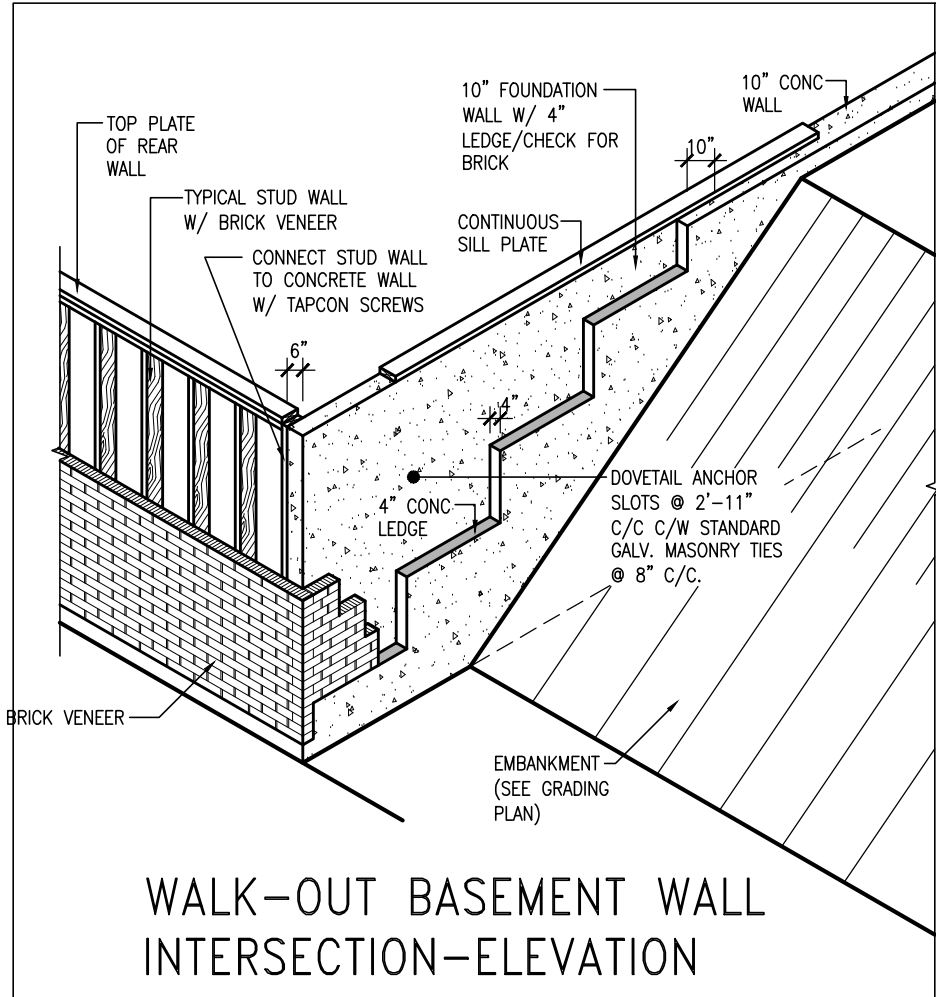
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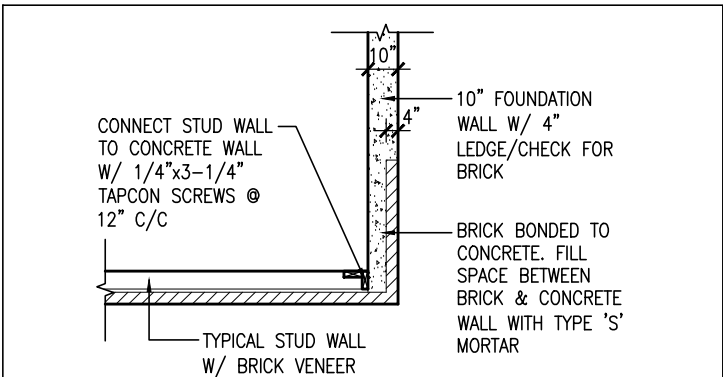
CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	scale	3/16" = 1'-0"	file name
drawn by	RC				16023-CN-2022-A1
CONSTRUCTION NOTES					CN10
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WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

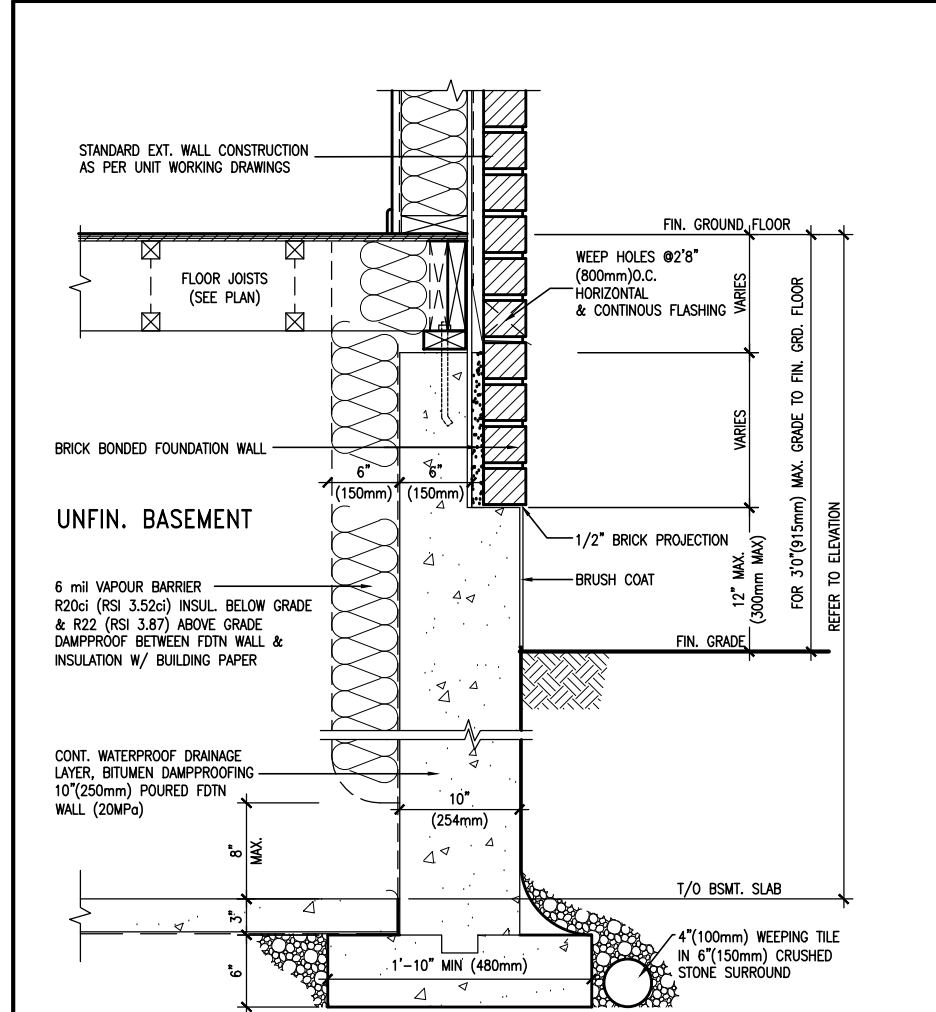
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

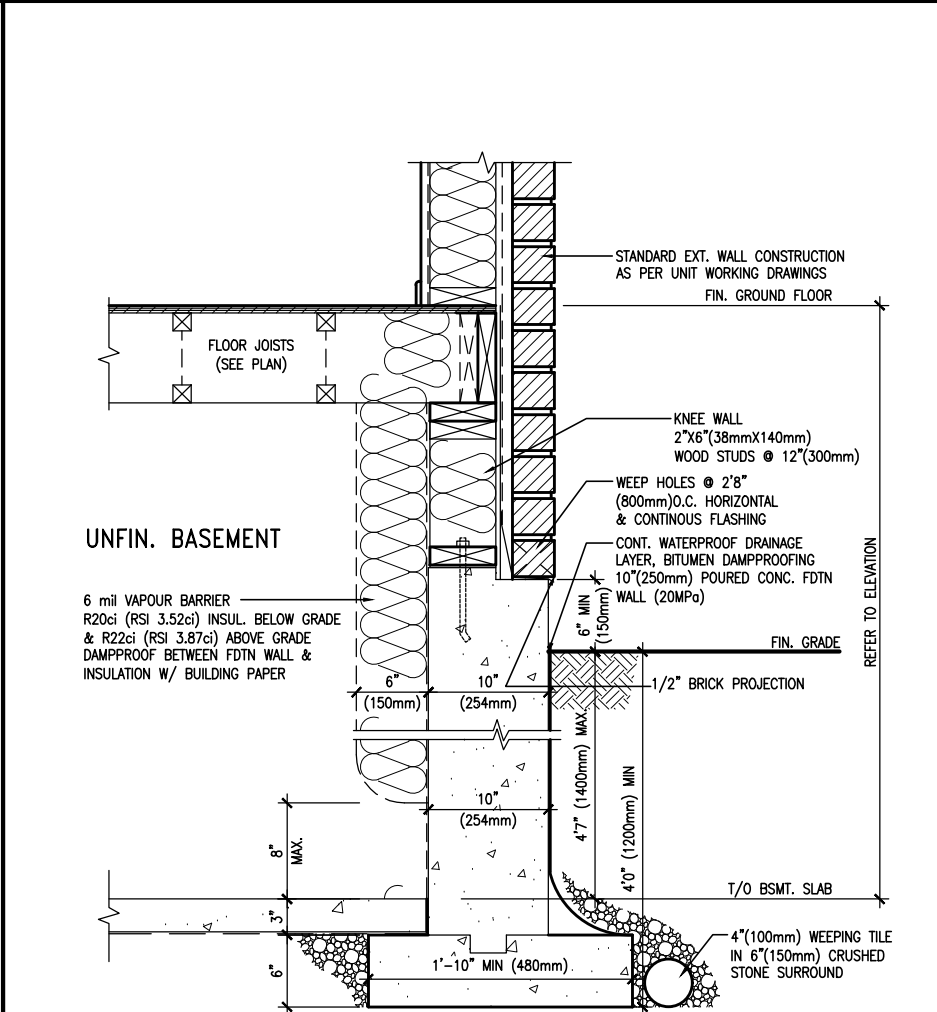
(10" FOUNDATION WALL)



EW3.06x
PKG A1

WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
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PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

TYPICAL BRICK VENEER
WALL CONSTRUCTION

HEATED SPACE

ENG. FLOOR JOIST

SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

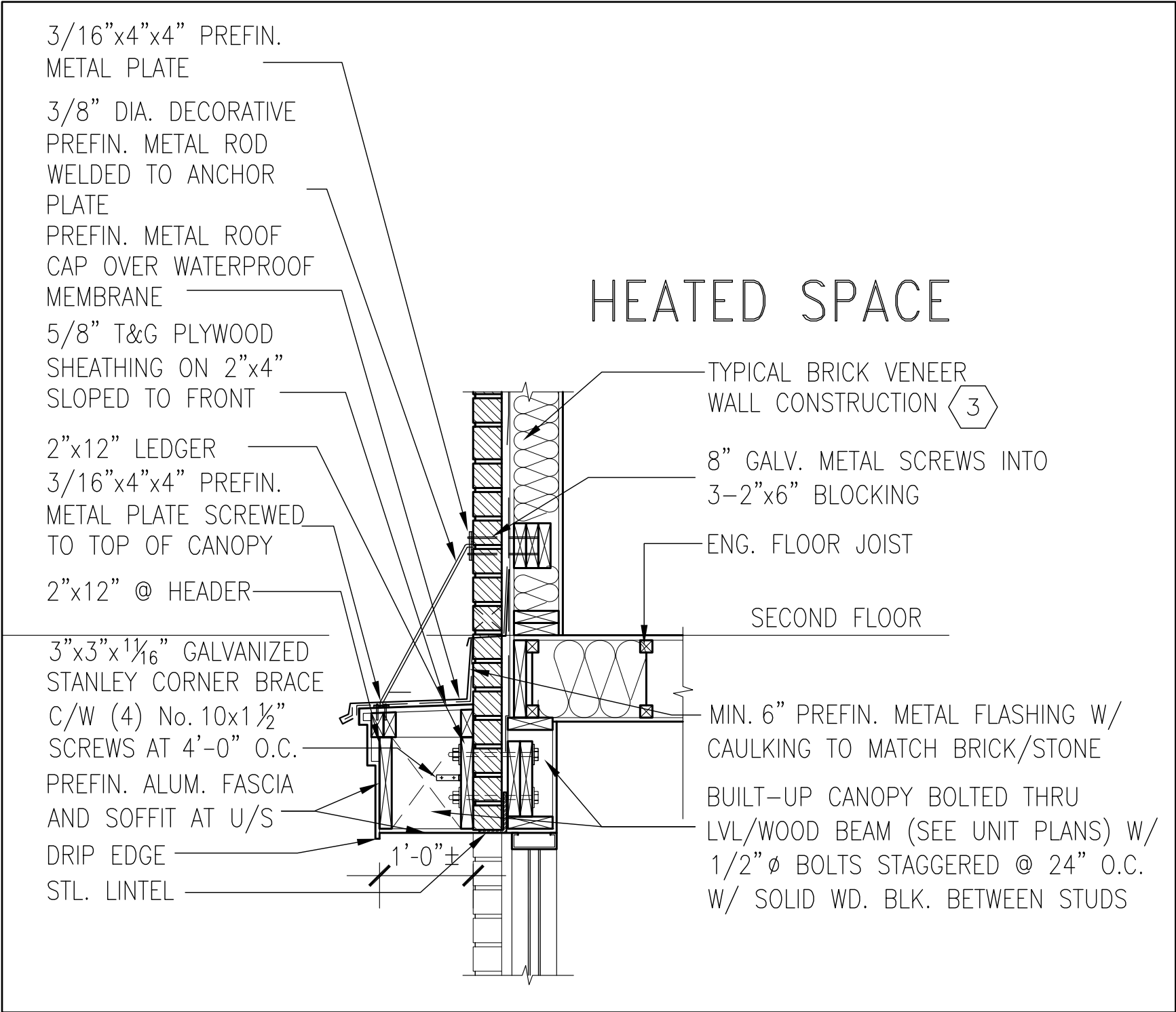
CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	BAYVIEW WELLINGTON		CONST NOTE	
8	-	-	-	qualification information		project name		project no.	
7	-	-	-	Wellington Jno-Baptiste		GREEN VALLEY EAST		16023	
6	-	-	-	signature		municipality		BRADFORD	
5	-	-	-	name registration information VA3 Design Inc.		date MAY 2016		CONSTRUCTION NOTES	
4	UPDATE TO 2022	JAN 11-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	drawn by RC		drawing no. CN12		
3	UPDATE TO 2020	FEB 24-20	RC		checked by -		file name 16023-CN-2022-A1		
2	UPDATE TO 2018	JAN 11-18	RC		scale 3/16" = 1'-0"				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				
no.	description	date	by						



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



9	-	-	-	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>name registration information</div> <div>VA3 Design Inc. 42658</div>	<div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div></div>	<div>BAYVIEW WELLINGTON</div>	<div>CONST NOTE</div>			
8	-	-	-							
7	-	-	-							
6	-	-	-							
5	-	-	-							
4	UPDATE TO 2022	JAN 11-22	RC			project name	municipality	project no.		
3	UPDATE TO 2020	FEB 24-20	RC			GREEN VALLEY EAST	BRADFORD	16023		
2	UPDATE TO 2018	JAN 11-18	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>		date	CONSTRUCTION NOTES		drawing no.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by			drawn by	checked by	scale	file name	CN13
						RC	-	3/16" = 1'-0"	16023-CN-2022-A1	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM										

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE

SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

1

CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste 25591</div> <div>name signature BCIN</div> <div>registration information</div> <div>VA3 Design Inc. 42658</div>	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120</div><div>Toronto ON M2J 1R4</div><div>t 416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.			project name		municipality	project no.
7	.	.			GREEN VALLEY EAST		BRADFORD	16023
6	.	.			date		CONSTRUCTION NOTES	
5	.	.			MAY 2016		drawing no.	
4	UPDATE TO 2022	JAN 11-22	RC	drawn by	checked by	scale	file name	
3	UPDATE TO 2020	FEB 24-20	RC	RC	-	3/16" = 1'-0"	16023-CN-2022-A1	
2	UPDATE TO 2018	JAN 11-18	RC	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM				CN14
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by					