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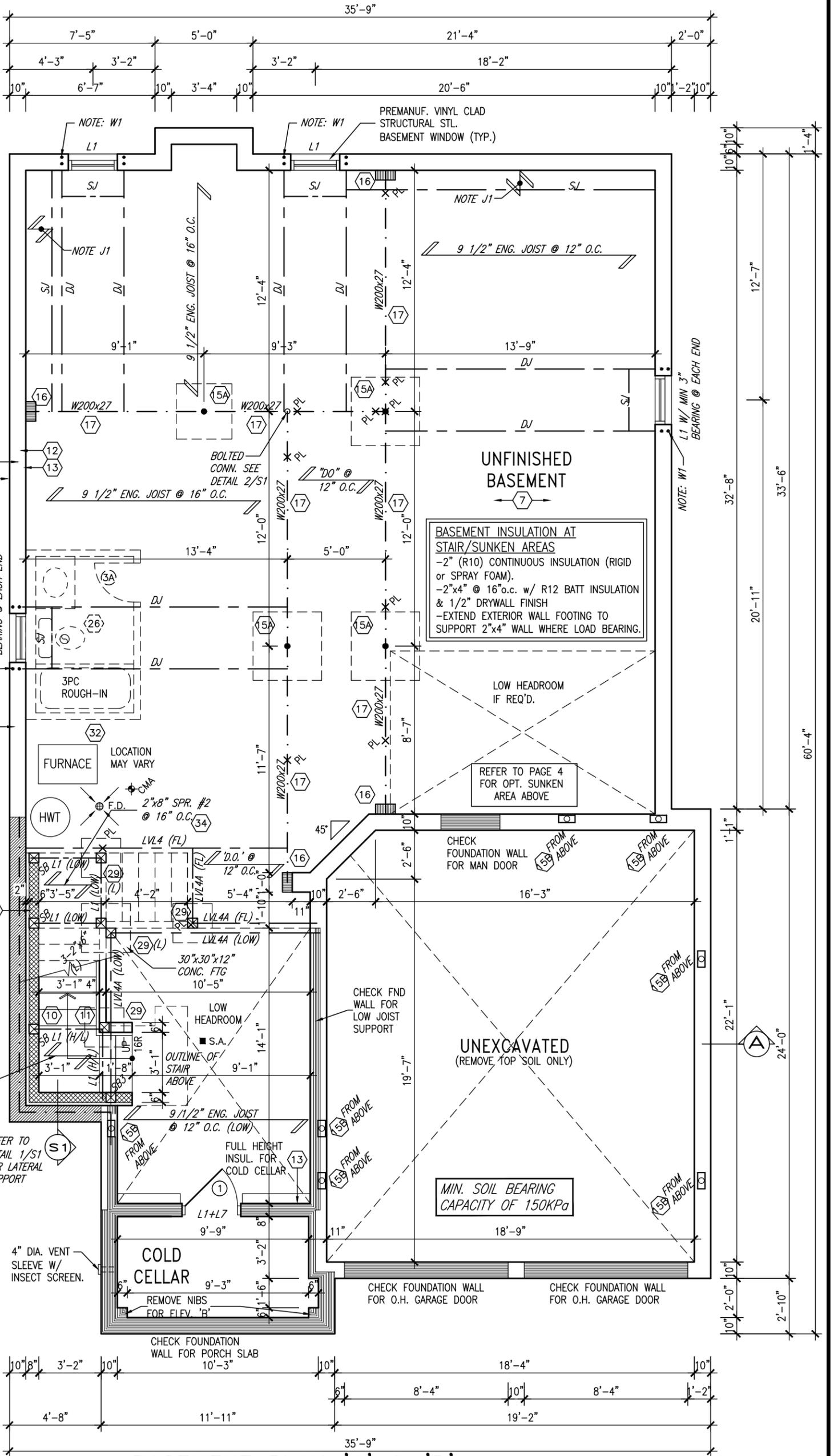
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10' GROUND

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 21, 2022



NOTE W1: PROVIDE 2-15M FULL HEIGHT VERTICAL REBARS EACH SIDE OF OPENING + 2-15M HORIZ. REBARS BELOW AND EXTEND 24" BEYOND OPENING PROVIDE 3" CLEAR COVER FROM SOIL SIDE

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

BASEMENT PLAN 'A' & 'B'
(9'-0" BASEMENT) ELEV. 'C' SIMILAR

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
 name registration information BCIN
VA3 Design Inc. 42658

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VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST** municipality: **BRADFORD, ON.** project no.: **13045**

date: **SEPT 2016** checked by: **BD.BIM** scale: **3/16" = 1'-0"** file name: **16023-S42-17-10GRND** drawing no.: **1A**

BASEMENT PLAN 'A' & 'B'

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10' GROUND

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10'0"	8'0" (96")	8'0" (96")
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER



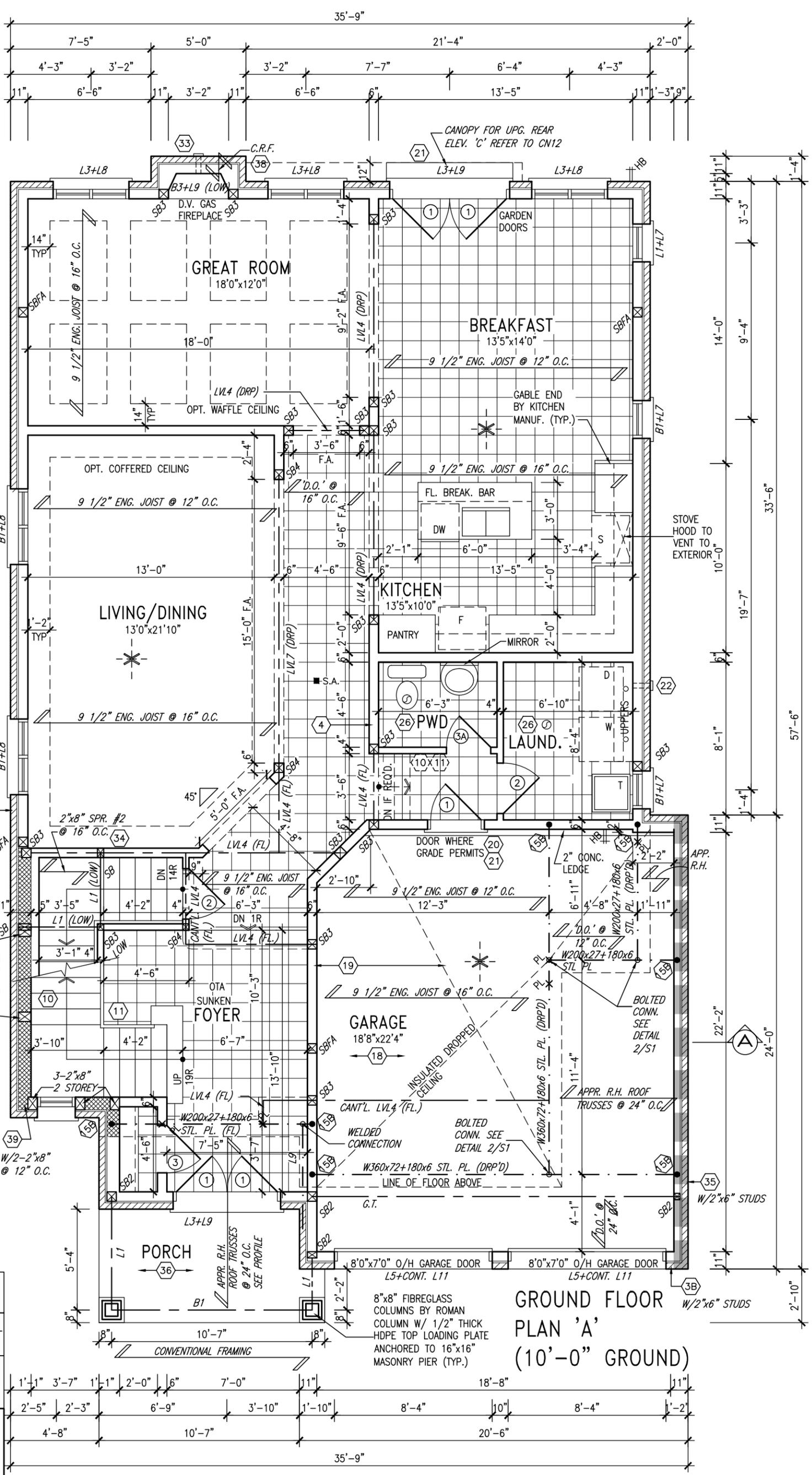
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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m



GROUND FLOOR PLAN 'A' (10'-0" GROUND)

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
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BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST municipality: BRADFORD, ON. project no.: 13045

date: SEPT 2016 drawing no.: 2

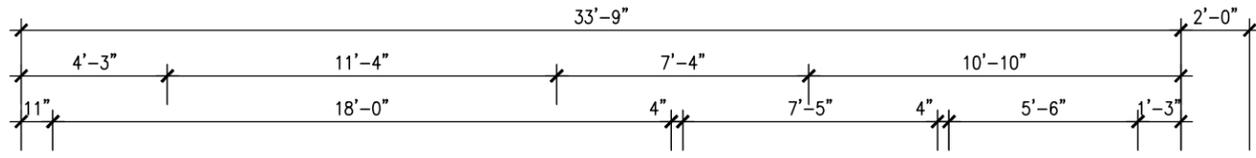
drawn by: BD.BIM checked by: scale: 3/16" = 1'-0" file name: 16023-S42-17-10GRND

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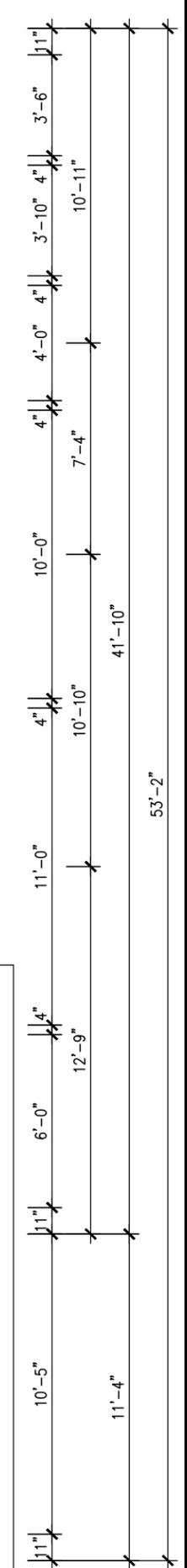
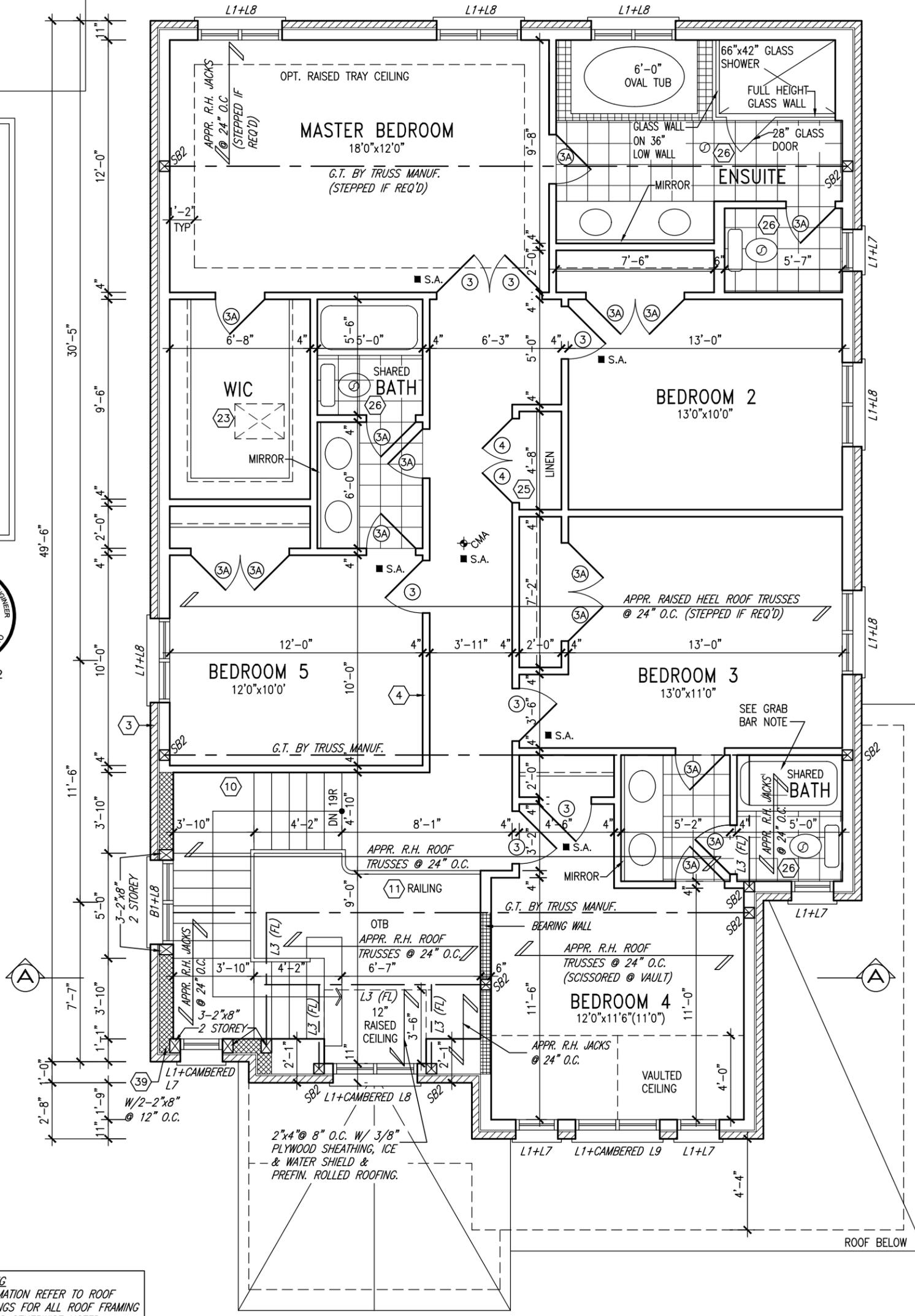
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10' GROUND



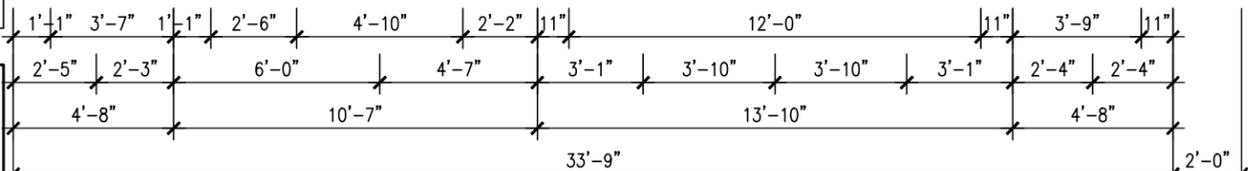
CONVENTIONAL FRAMING FOR REAR UPG A/B

REFER TO PAGE 4 FOR OPT. ENSUITE LAYOUT



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
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SECOND FLOOR PLAN 'A'

9
8
7
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	
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BAYVIEW WELLINGTON

project name GREEN VALLEY EAST municipality BRADFORD, ON.

date SEPT 2016 checked by scale 3/16" = 1'-0"

drawn by BD.BIM

S42-17
RIDEAU 17

project no. 13045

SECOND FLOOR PLAN 'A'

drawing no. 3

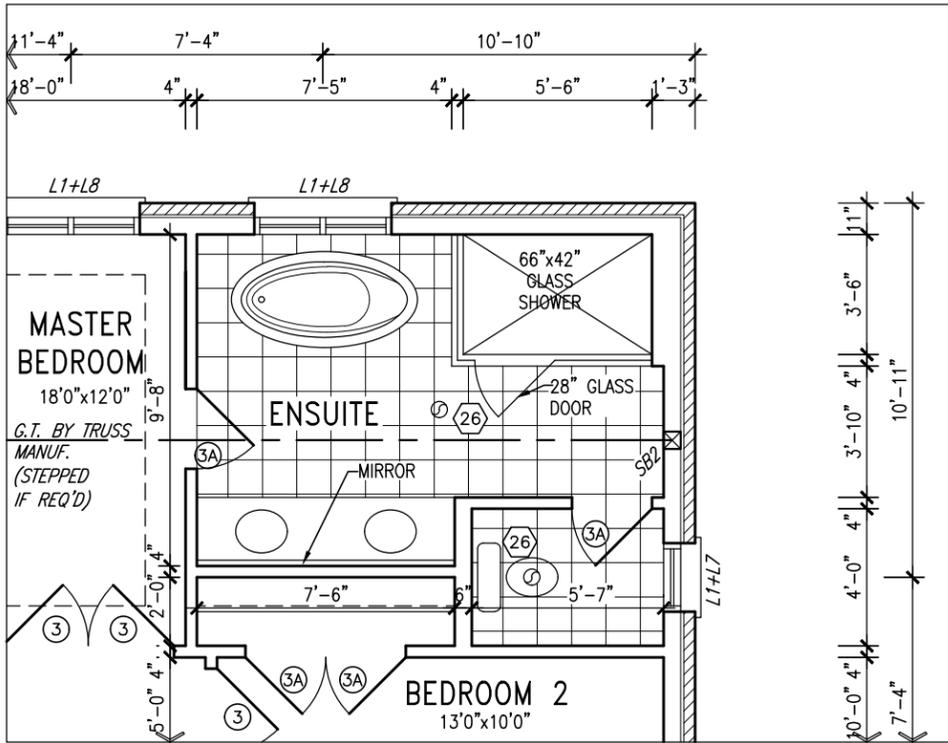
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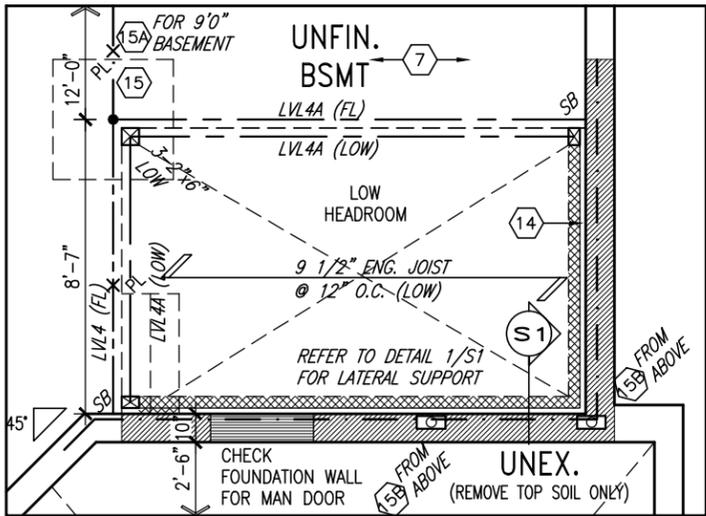
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NOTE:
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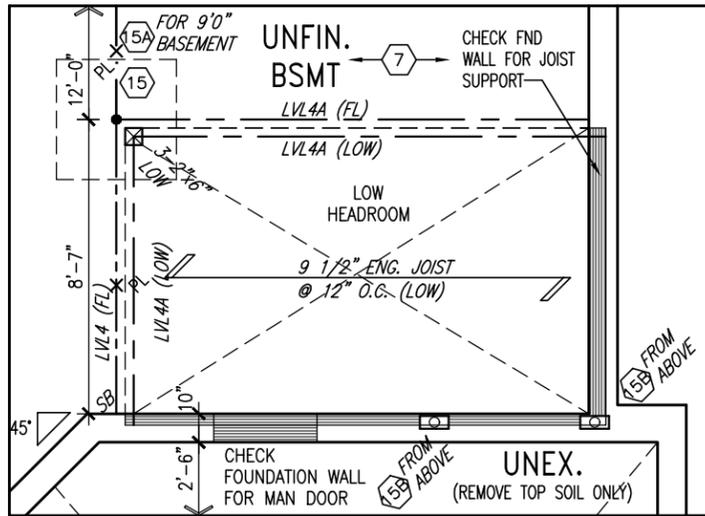


**PART. OPT. SECOND FLOOR
W/ ALT. ENSUITE LAYOUT**
REFER TO STANDARD PLAN FOR STRUCTURE,
DIMENSIONS & CONSTRUCTION NOTES

10' GROUND



**PART. BSMT PLAN
LAUNDRY SUNKEN >1R**



**PART. BSMT PLAN
LAUNDRY SUNKEN 1R**

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NOTE: ROOF FRAMING ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1468.7 SF	1468.7 SF	1468.7 SF
SECOND FLOOR AREA	1696.2 SF	1694.0 SF	1694.0 SF
SUBTOTAL	3164.9 SF	3162.7 SF	3162.7 SF
DEDUCT ALL OPENINGS	76.2 SF	76.2 SF	77.0 SF
TOTAL NET AREA	3089 SF	3087 SF	3086 SF
	287.0 m ²	286.8 m ²	286.7 m ²
FINISHED BSMT AREA	0 SF	0 SF	0 SF
TOTAL NET AREA W/ FIN BSMT	3089 SF	3087 SF	3086 SF
	287.0 m ²	286.8 m ²	286.7 m ²
COVERAGE W/O PORCH	1924.4 SF	1924.4 SF	1924.4 SF
	178.8 m ²	178.8 m ²	178.8 m ²
COVERAGE W/PORCH	1991.7 SF	1991.7 SF	1995.1 SF
	185.0 m ²	185.0 m ²	185.3 m ²

no.	description	date	by
9	.	.	.
8	.	.	.
7	.	.	.
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BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST municipality: BRADFORD, ON. project no.: 13045

date: SEPT 2016 PARTIAL PLANS & AREA CHART drawing no.: 4

drawn by: BD.BIM checked by: scale: 3/16" = 1'-0" file name: 16023-S42-17-10GRND

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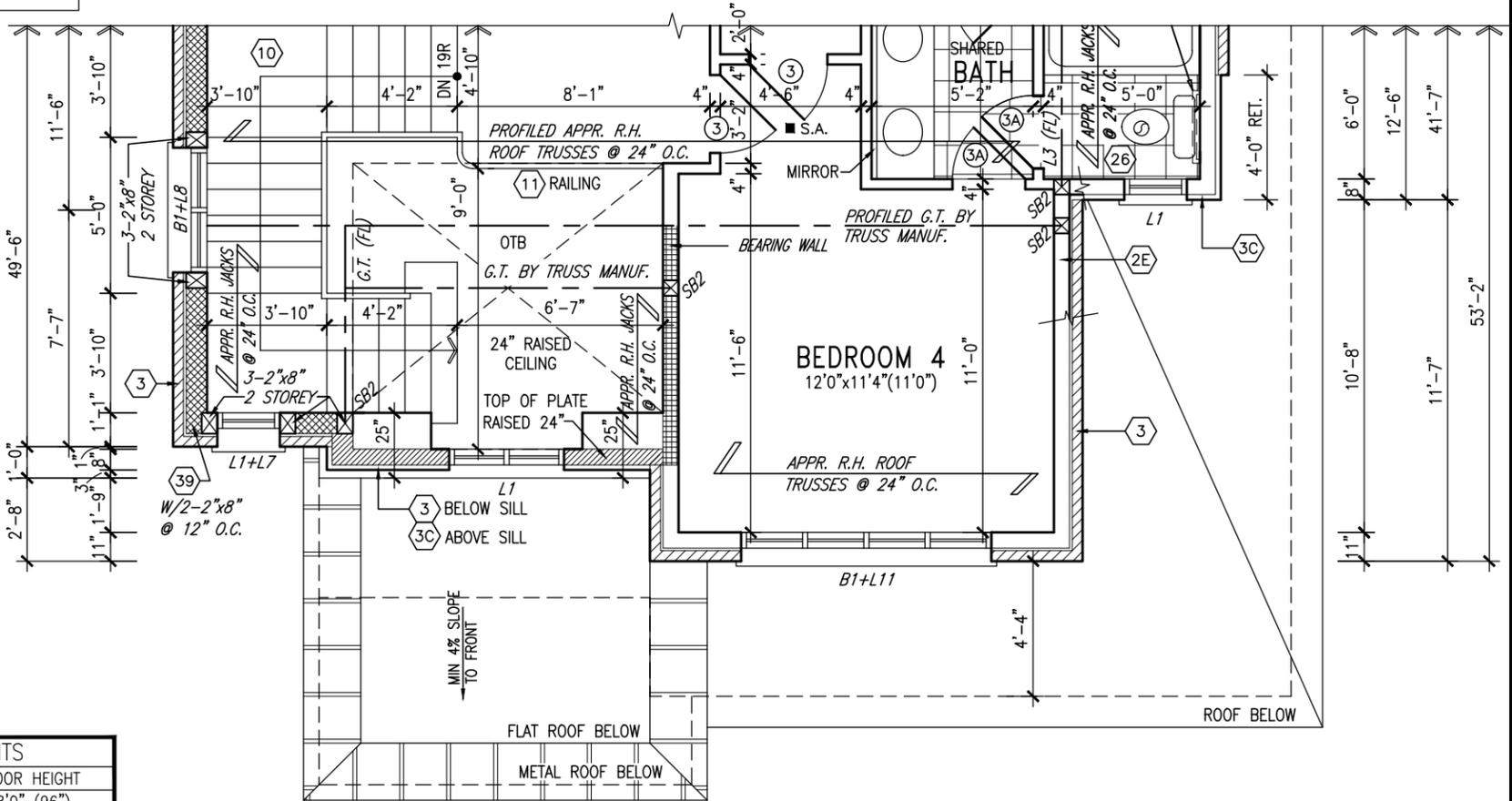
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KIT-EX-NOTE-2020.dwg

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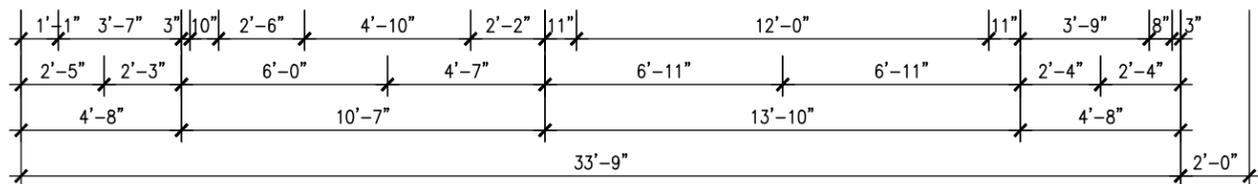
NOTE:
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10' GROUND

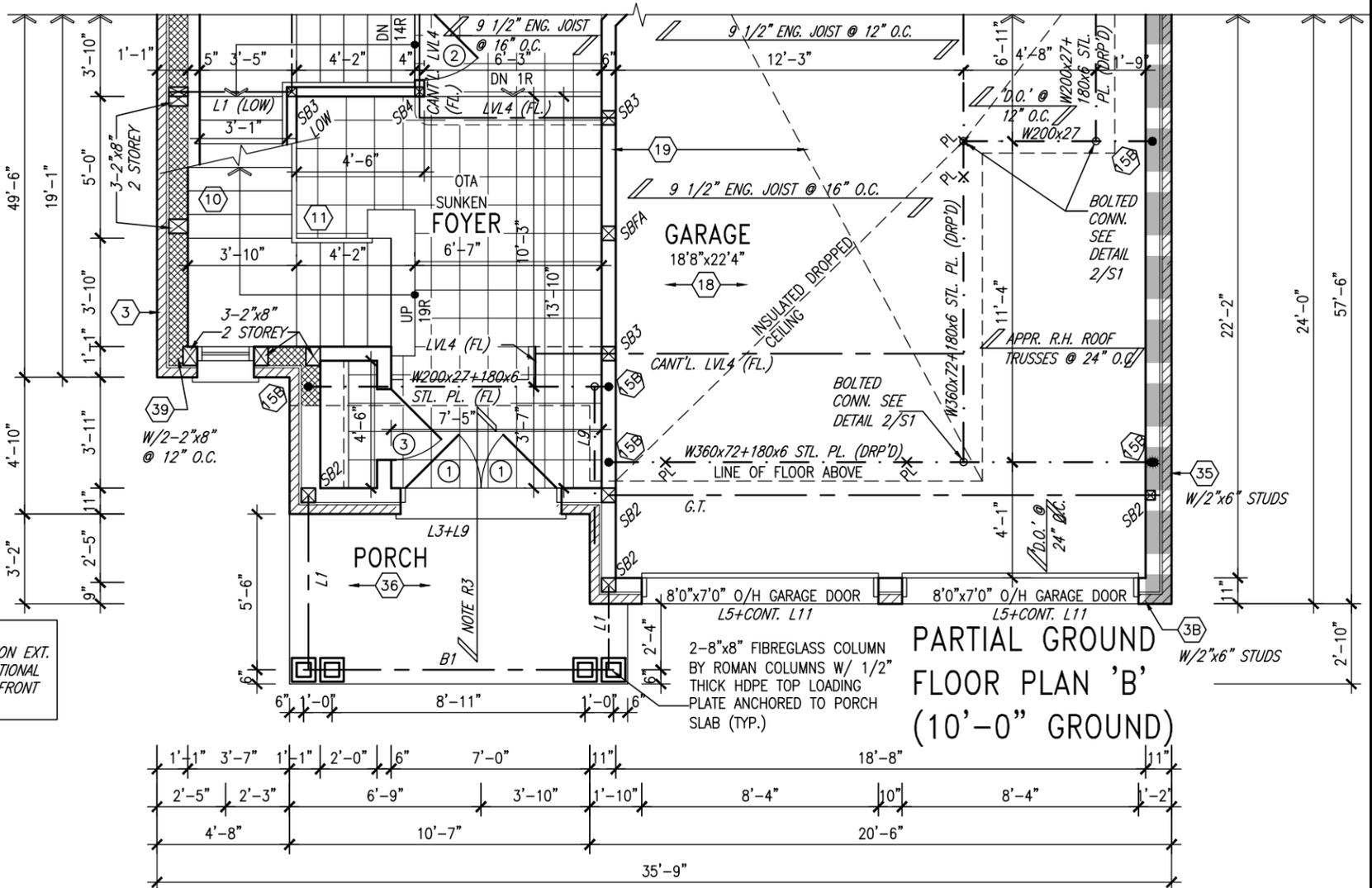


DOOR HEIGHTS	
CEILING HEIGHT	DOOR HEIGHT
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER



PART. SECOND FLOOR PLAN 'B'



NOTE R3
2 PLY ROOF MEMBRANE ON EXT. SHEATHING OVER CONVENTIONAL FRAMING TOP SLOPE TO FRONT MIN 4% SLOPE

no.	description	date	by
9			
8			
7			
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BAYVIEW WELLINGTON **S42-17**
 RIDEAU 17
 project name: GREEN VALLEY EAST municipality: BRADFORD, ON. project no.: 13045
 date: SEPT 2016 drawing no.: 5
 drawn by: BD.BIM checked by: scale: 3/16" = 1'-0" file name: 16023-S42-17-10GRND
 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:45 PM

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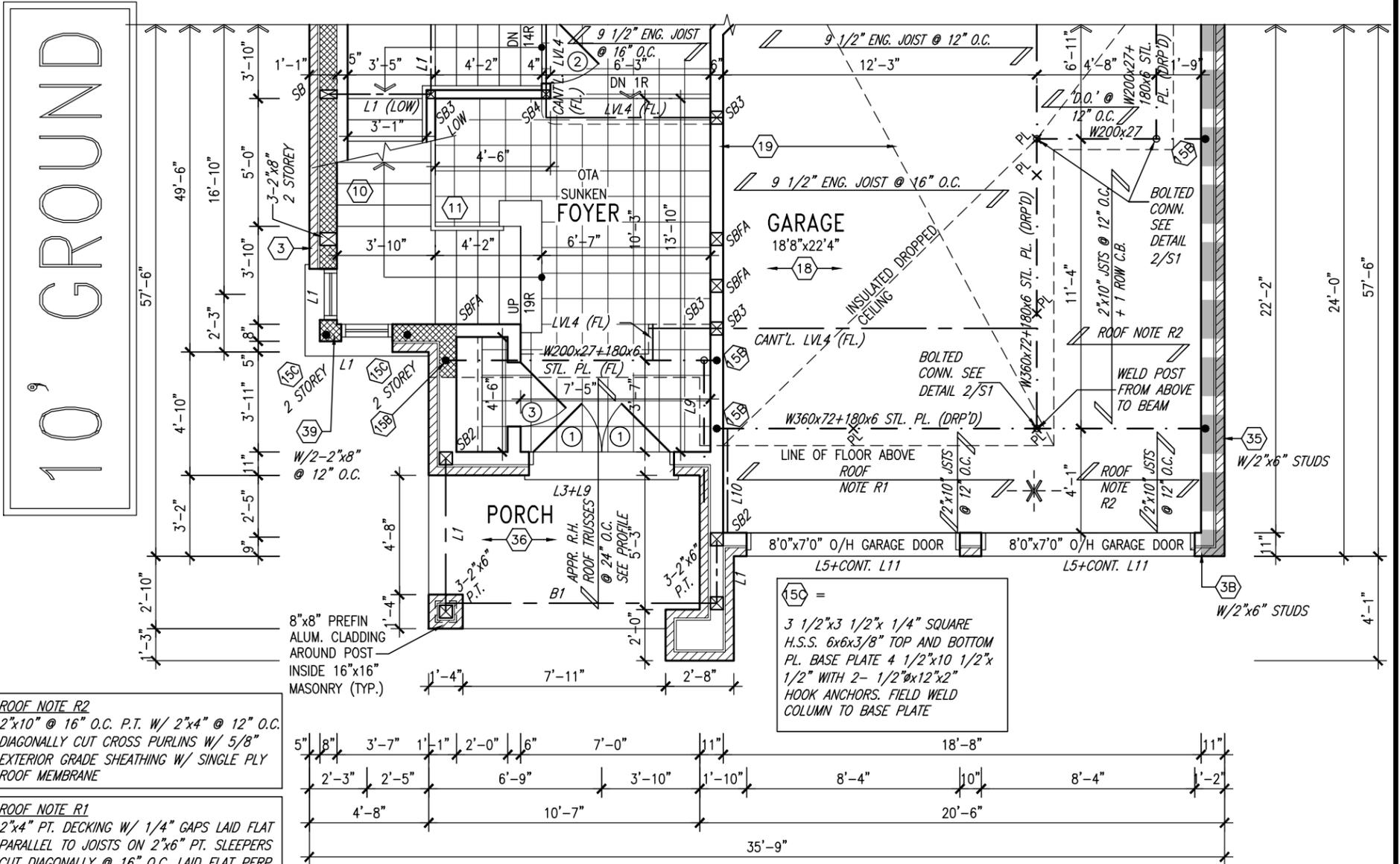
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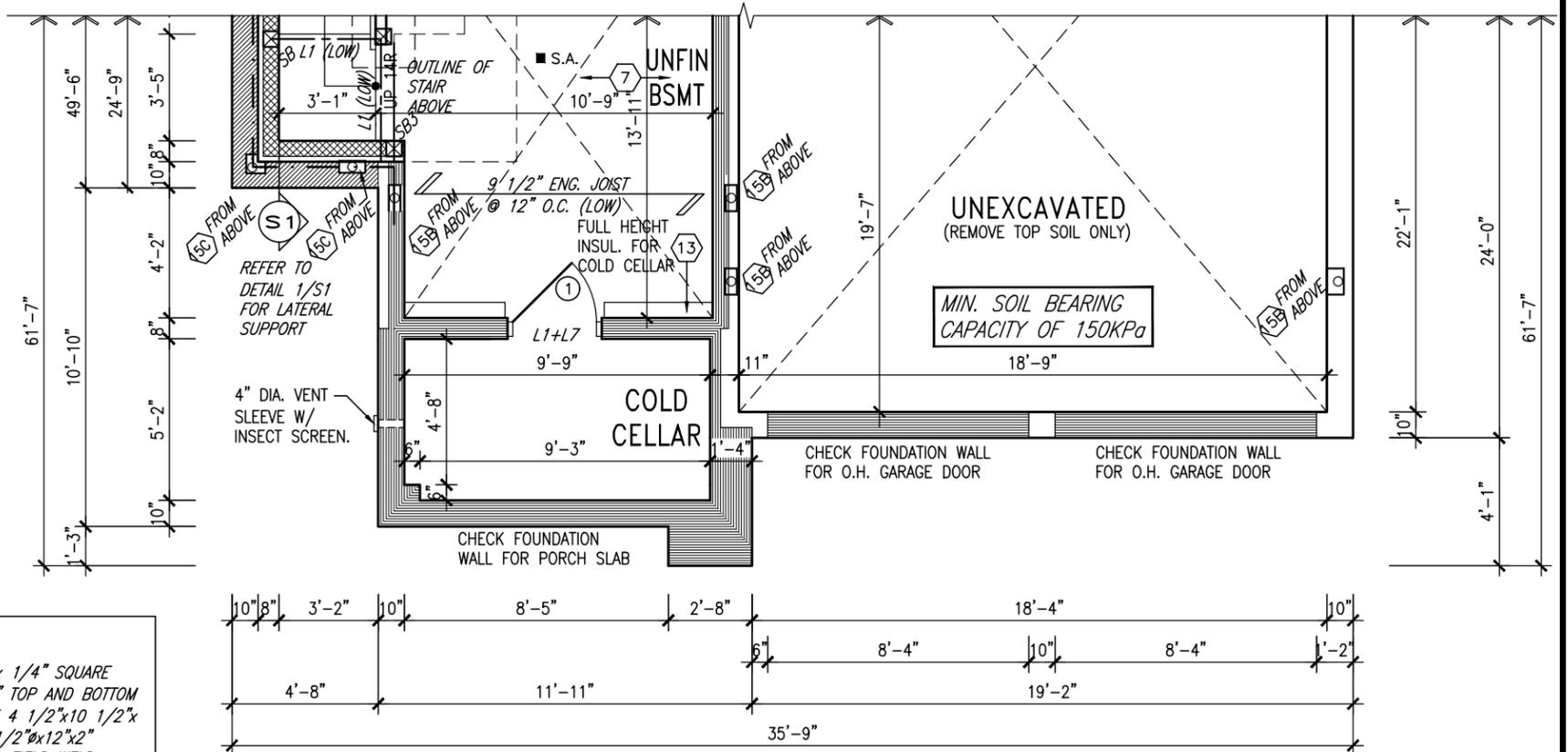
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CONTRACTOR TO CONFIRM HEIGHTS WITH BUILDER



PART. GROUND FLOOR PLAN 'C'
(10'-0" GROUND)



PART. BASEMENT PLAN 'C'

no.	description	date	by
9			
8			
7			
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 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name: **GREEN VALLEY EAST** municipality: **BRADFORD, ON.** project no.: **13045**

date: **SEPT 2016** checked by: **BD.BIM** scale: **3/16" = 1'-0"** file name: **PARTIAL PLANS ELEV. 'C'** drawing no.: **6**

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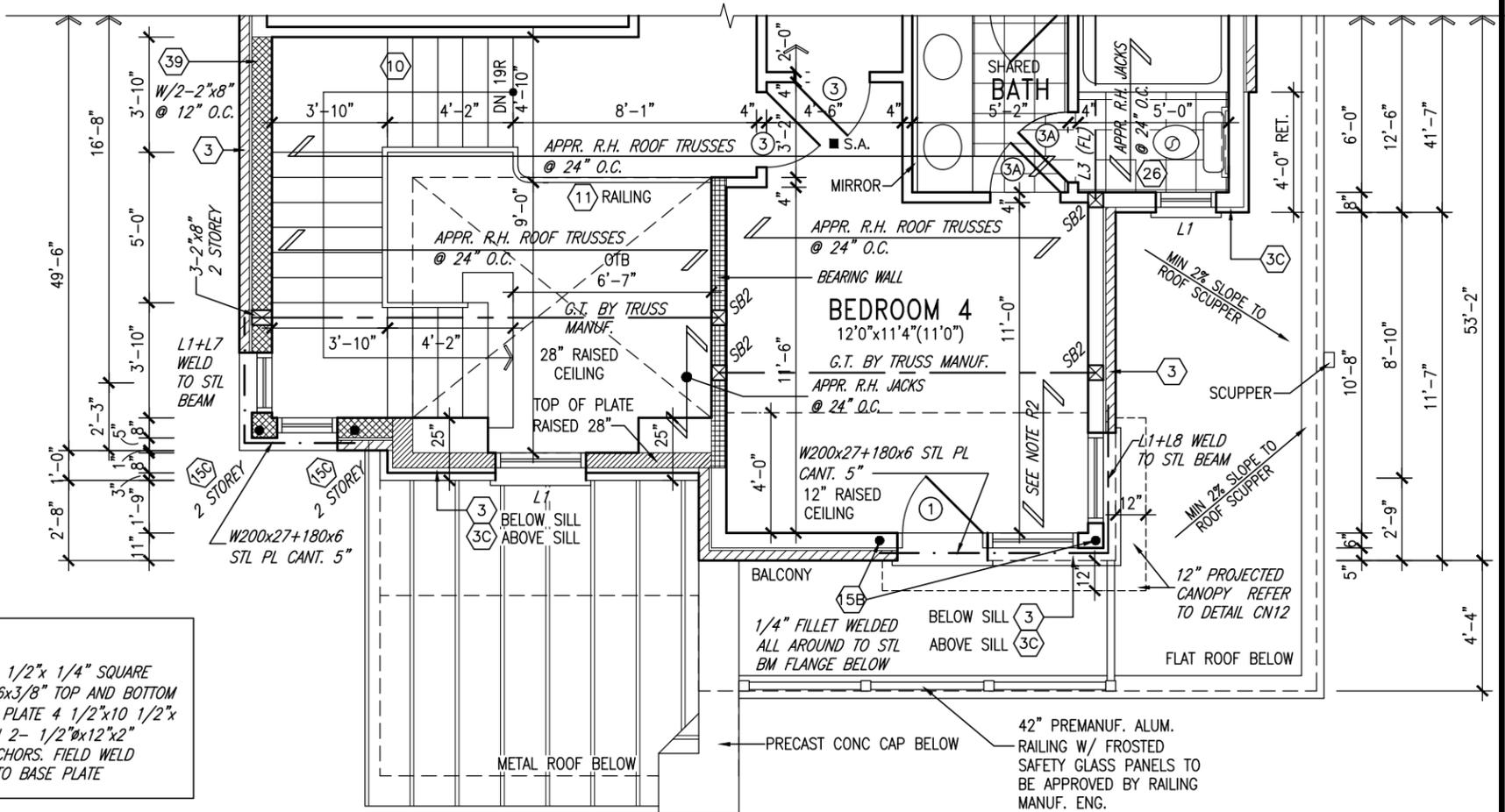
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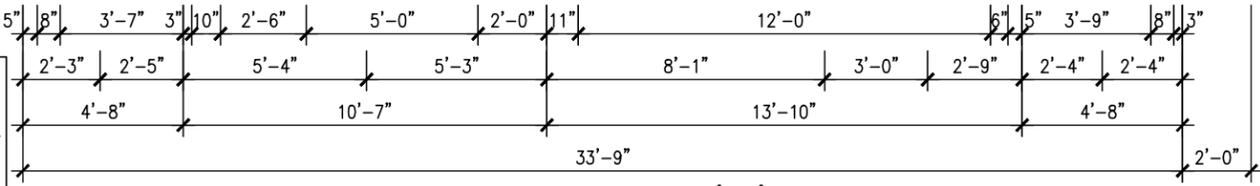
GB-NOTE-2020.dwg

10' GROUND



15C =
3 1/2"x3 1/2"x 1/4" SQUARE
H.S.S. 6x6x3/8" TOP AND BOTTOM
PL. BASE PLATE 4 1/2"x10 1/2"x
1/2" WITH 2- 1/2"x12"x2"
HOOK ANCHORS. FIELD WELD
COLUMN TO BASE PLATE

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
o.c. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.46 (R31)) MIN SLOPE 2:12



PART. SECOND FLOOR PLAN 'C'

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD, ON.	S42-17 RIDEAU 17	project no. 13045			
8	.	.	qualification information					project name GREEN VALLEY EAST	municipality BRADFORD, ON.	project no. 13045
7	.	.	Wellington Jno-Baptiste name registration information VA3 Design Inc.					date SEPT 2016	file name PARTIAL PLANS ELEV. 'C'	drawing no. 7
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"	file name 16023-S42-17-10GRND		
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC		25591 BCIN	255 BCIN	255 BCIN	255 BCIN		
4	10' GROUND FLOOR	JUN 17-21	KL		42658 BCIN	426 BCIN	426 BCIN	426 BCIN		
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL		255 BCIN	255 BCIN	255 BCIN	255 BCIN		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC		42658 BCIN	426 BCIN	426 BCIN	426 BCIN		
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB	42658 BCIN	426 BCIN	426 BCIN	426 BCIN			
no.	description	date	by		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:45 PM				

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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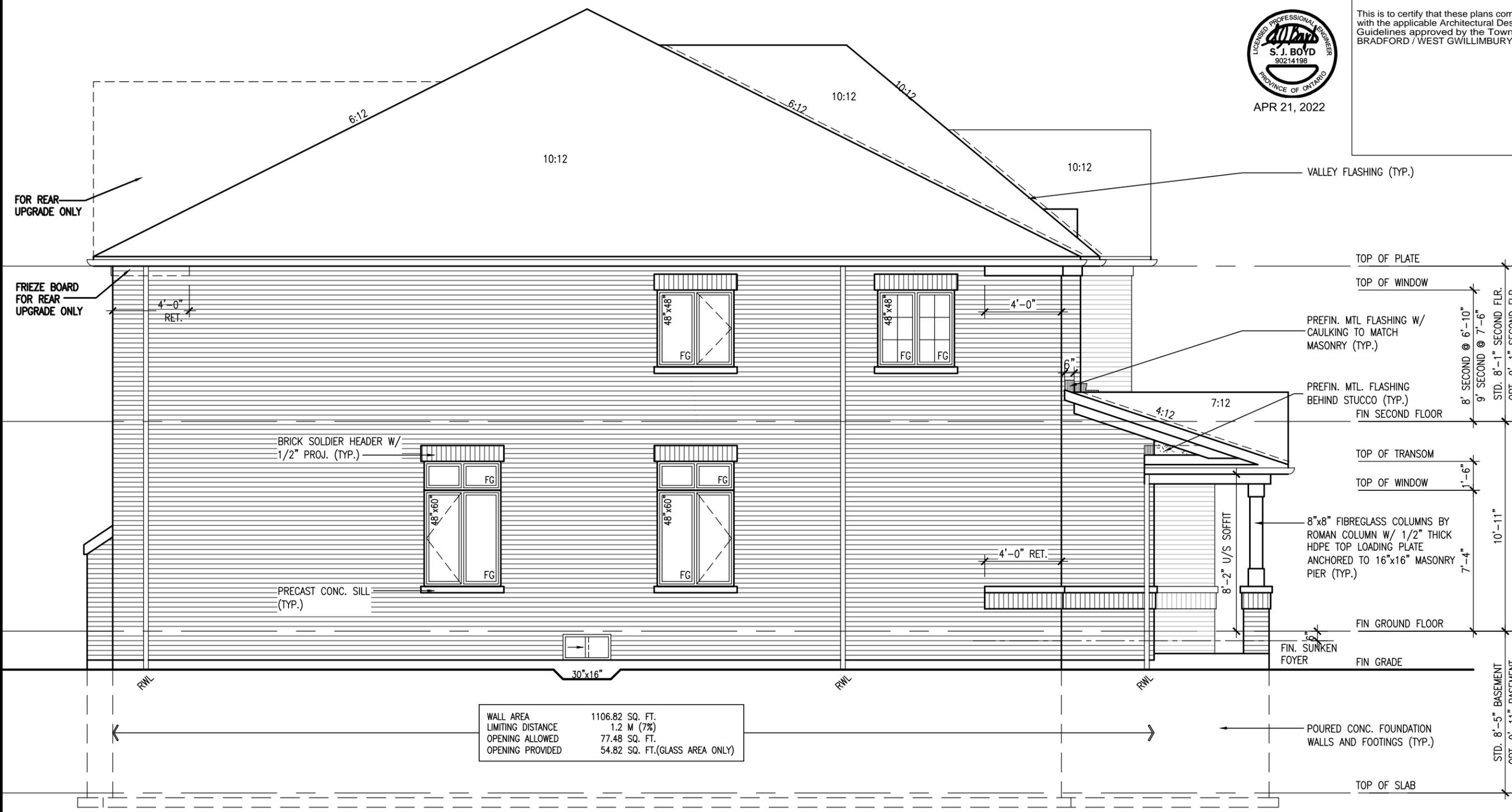


1'-0"

1'-0" 0'-0"

1'-0"

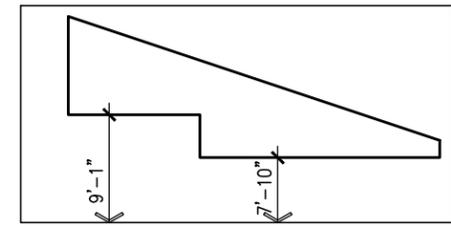
1'-0"



WALL AREA	1106.82 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.48 SQ. FT.
OPENING PROVIDED	54.82 SQ. FT.(GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'A'



ROOF PROFILE FOR PORCH & FOYER

project no. 13045
drawing no. 9

project name S42-17 RIDEAU 17
municipality BRADFORD, ON.
project name GREEN VALLEY EAST
LEFT SIDE ELEVATION 'A'

checked by 3/16" = 1'-0"
drawn by BD, BIM
date SEPT 2016
file name 16023-S42-17-10GRND

VAS3 DESIGN

255 Consumers Rd, Suite 120
Orono, ON L2V 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington, Jno-Baptiste 25591 BCIN
name registration information VAS Design Inc. 42658

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no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.A/A REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3699.88 S.F.	505.61 S.F.	13.67 %
TOTAL SQ. M.	343.73 S.M.	46.97 S.M.	13.67 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B/B REAR UPG. W/ 8' SEC	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3695.29 S.F.	498.27 S.F.	13.48 %
TOTAL SQ. M.	343.30 S.M.	46.29 S.M.	13.48 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.C W/ 8' SECOND	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	708.75 S.F.	185.94 S.F.	26.23 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3721.16 S.F.	525.22 S.F.	14.11 %
TOTAL SQ. M.	345.70 S.M.	48.79 S.M.	14.11 %

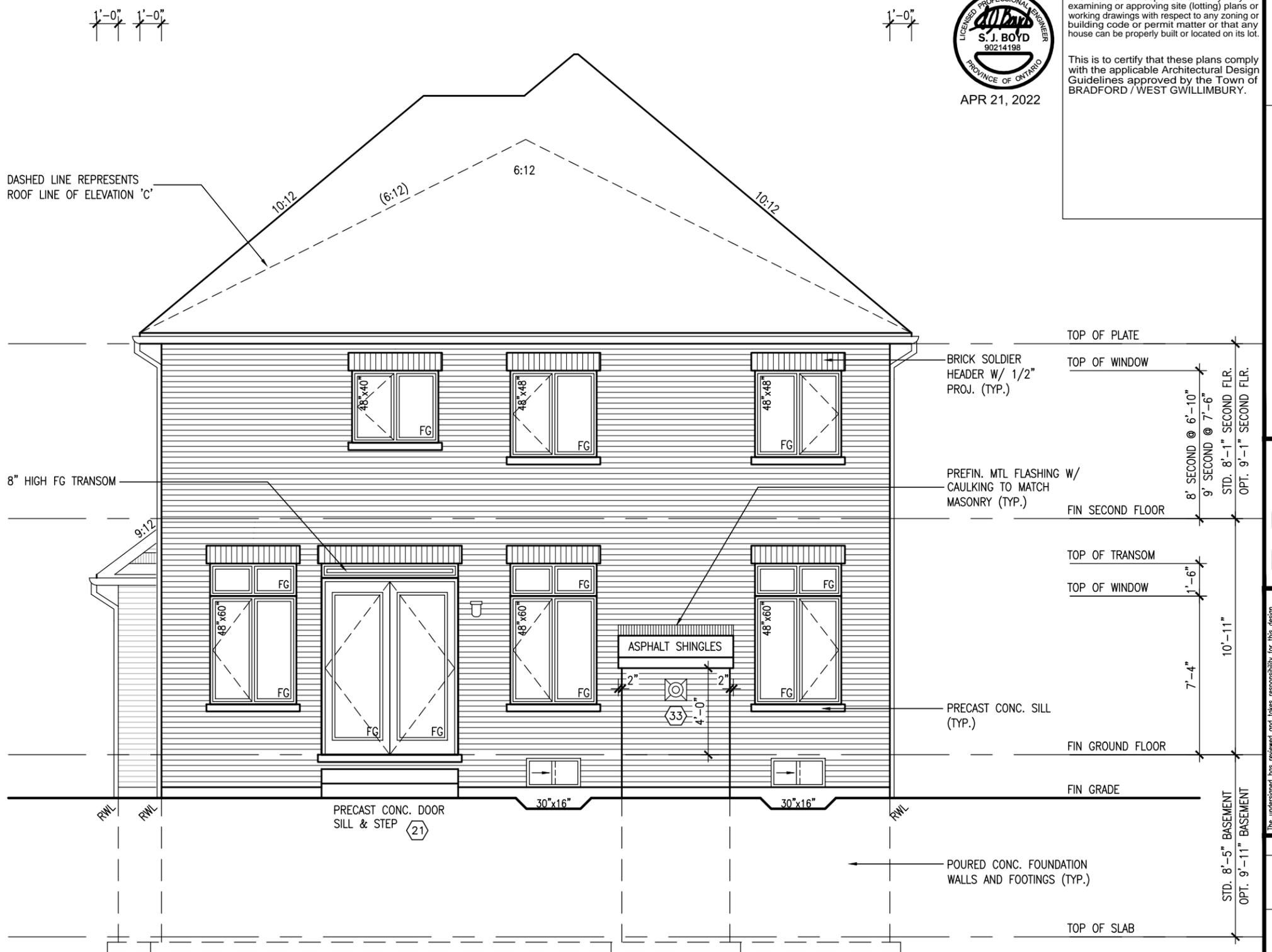
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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REAR ELEVATION 'A', 'B' & 'C'

10' GROUND

S42-17
RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON.

project no. 13045
drawing no. 10

checked by: **BD, BIM**
date: **SEPT 2016**
scale: **3/16" = 1'-0"**

file name: **16023-S42-17-10GRND**

VAS DESIGN

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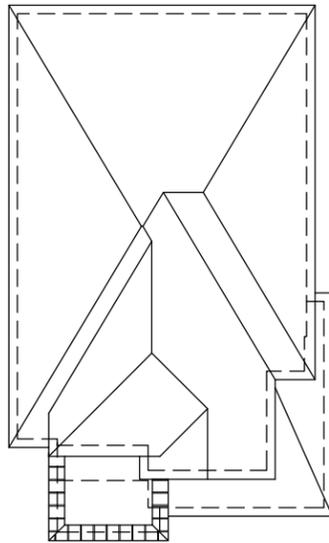
no.	description	date	by
9			
8			
7			
6	REVISD AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISD AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISD AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISD BASEMENT WALLS TO BE 10"	OCT 21/16	SB

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qualification information
Wellington, Jno-Baptiste 25591 BCIN
VAS Design Inc. 42658

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ROOF PLAN 'B'
N.T.S.

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

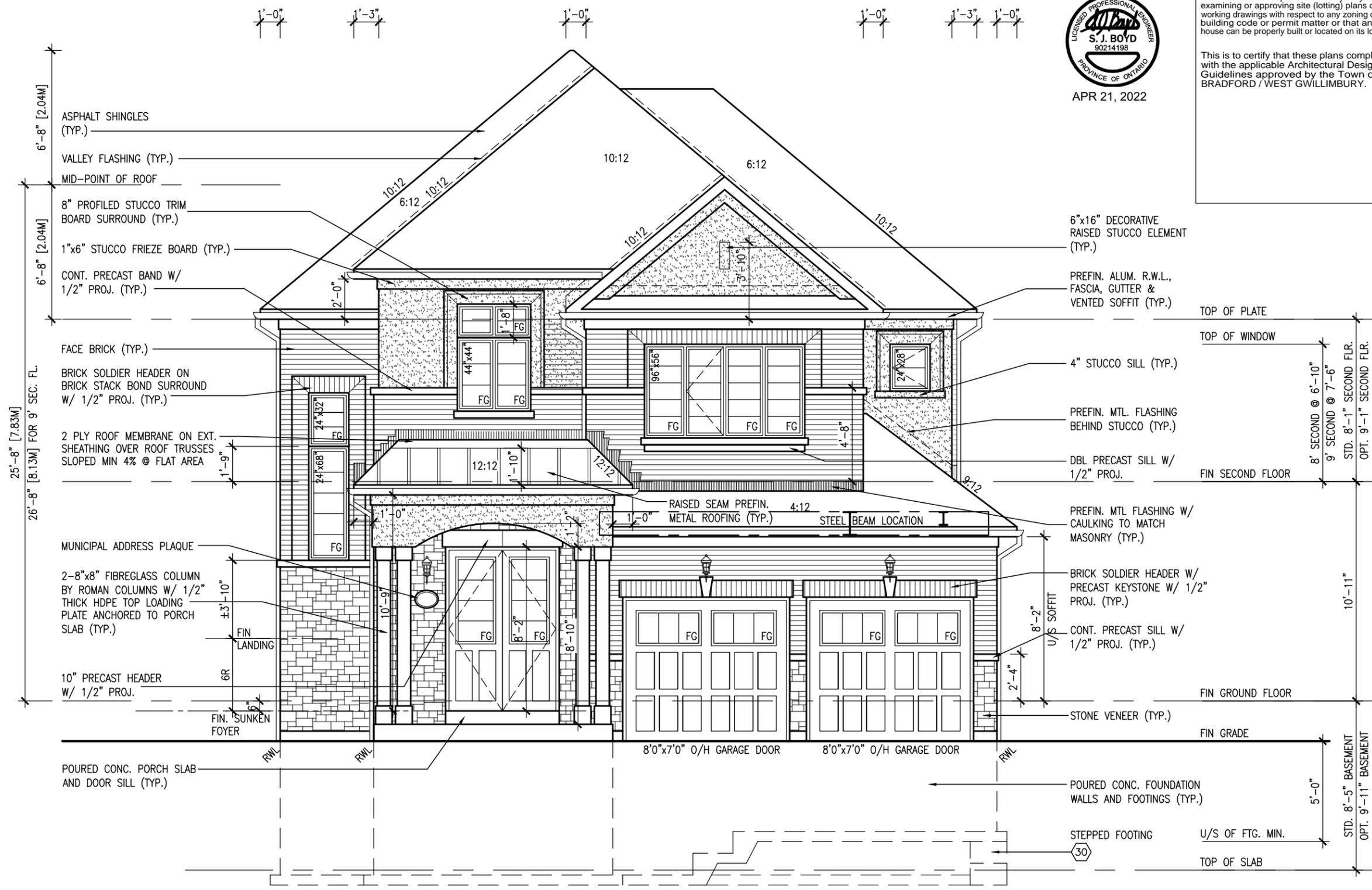
SEE DETAIL S4 FOR 9'-0"
BASEMENT COND

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APR 21, 2022



FRONT ELEVATION 'B'

10' GROUND

project no. 13045
drawing no. 12

project name BAYVIEW WELLINGTON
municipality BRADFORD, ON.

project name GREEN VALLEY EAST
municipality BRADFORD, ON.

FRONT ELEVATION 'B'

checked by BD, BIM
scale 3/16" = 1'-0"
date SEPT 2016
drawn by BD, BIM

16023-S42-17-10GRND
16023-BW, Units 42
16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:45 PM

VAS DESIGN

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qualification information
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name VAS Design Inc. 42658

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no.	description	date	by
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7			
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5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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1'-0"

1'-0" -0"

1'-0"

1'-0"



WALL AREA	1106.82 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.48 SQ. FT.
OPENING PROVIDED	54.82 SQ. FT.(GLASS AREA ONLY)

10' GROUND

LEFT SIDE ELEVATION 'B'

project no.	S42-17
project name	RIDEAU 17
municipality	BAYVIEW WELLINGTON
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON.
project no.	13045
drawing no.	13
checked by	BD, BIM
scale	3/16" = 1'-0"
file name	16023-S42-17-10GRND
date	SEPT 2016
drawn by	BD, BIM
checked by	BD, BIM
date	SEPT 2016
drawn by	BD, BIM
checked by	BD, BIM
date	SEPT 2016

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9					
8					
7					
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	Wellington, Jno-Baptiste	25591
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	Wellington, Jno-Baptiste	25591
4	10' GROUND FLOOR	JUN 17-21	KL	VAS Design Inc.	42658
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL	VAS Design Inc.	42658
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	VAS Design Inc.	42658
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB	VAS Design Inc.	42658

no.	description	date	by
9			
8			
7			
6			
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4			
3			
2			
1			

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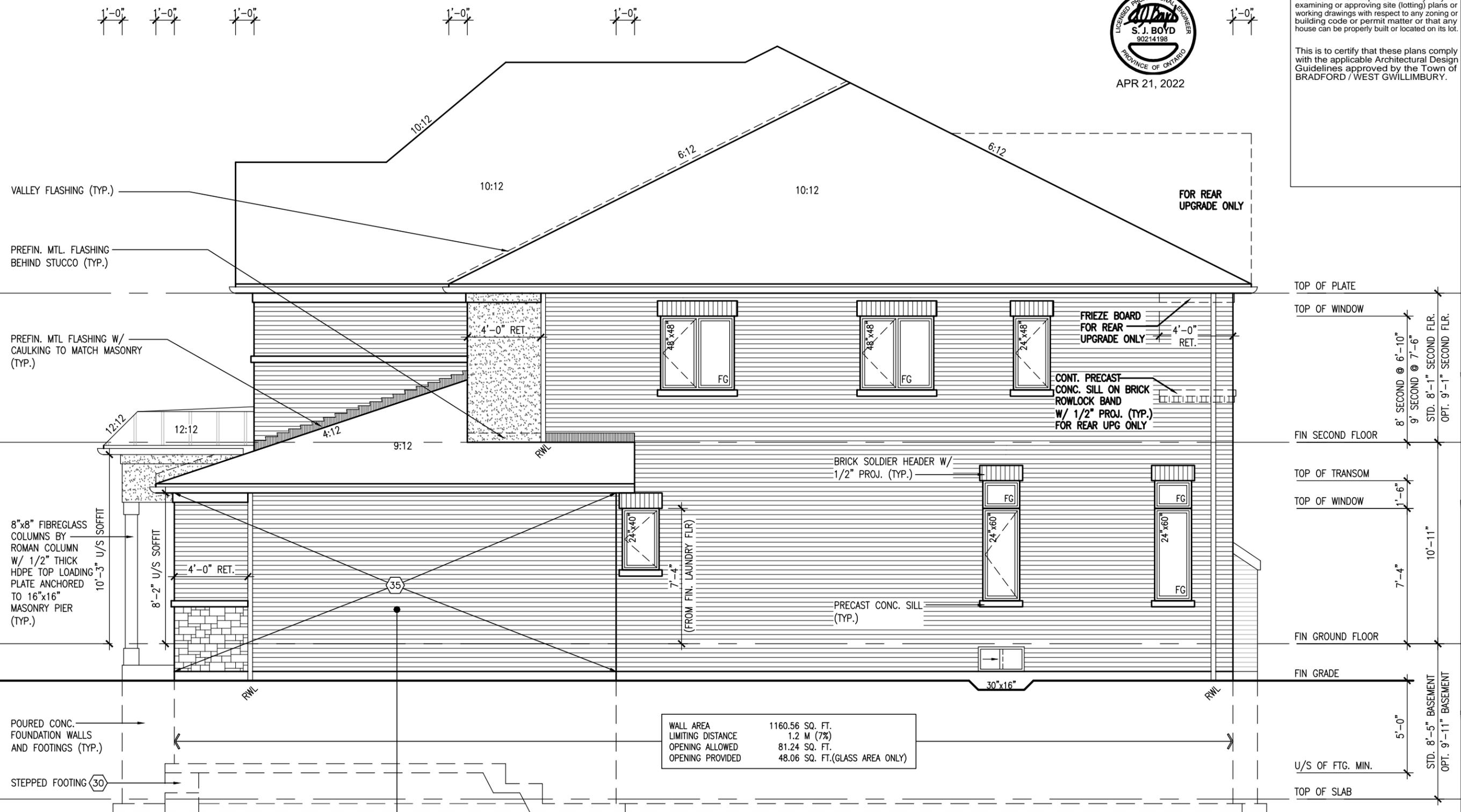
REFER TO FRONT ELEVATION FOR TYPICAL NOTES
 R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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10' GROUND

BRICK VENEER CONSTRUCTION
 (FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 'B'

project no. 13045
 drawing no. 14
 project name: S42-17 RIDEAU 17
 municipality: BRADFORD, ON.
 GREEN VALLEY EAST
 checked by: BD, BIM
 date: SEPT 2016
 scale: 3/16" = 1'-0"

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 Toronto, ON M2J 1R4
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9									
8									
7									
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	Wellington Jno-Baptiste	25591	BCIN			
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	Wellington Jno-Baptiste	25591	BCIN			
4	10' GROUND FLOOR	JUN 17-21	KL	VAS Design Inc.	42658				
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL						
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC						
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB						
no.	description	date	by						

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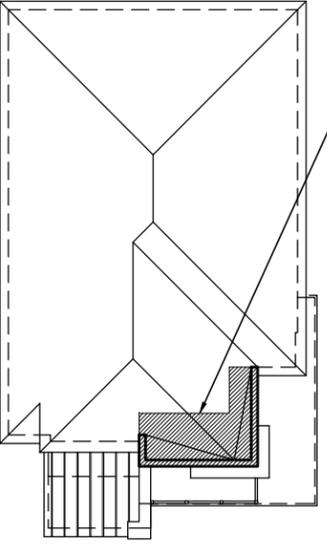
ADD ICE+ WATER SHIELD ON TOP AND INSIDE WALLS OF PARAPET WALLS

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

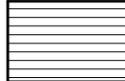
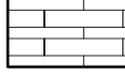
SEE DETAIL S4 FOR 9'-0" BASEMENT COND

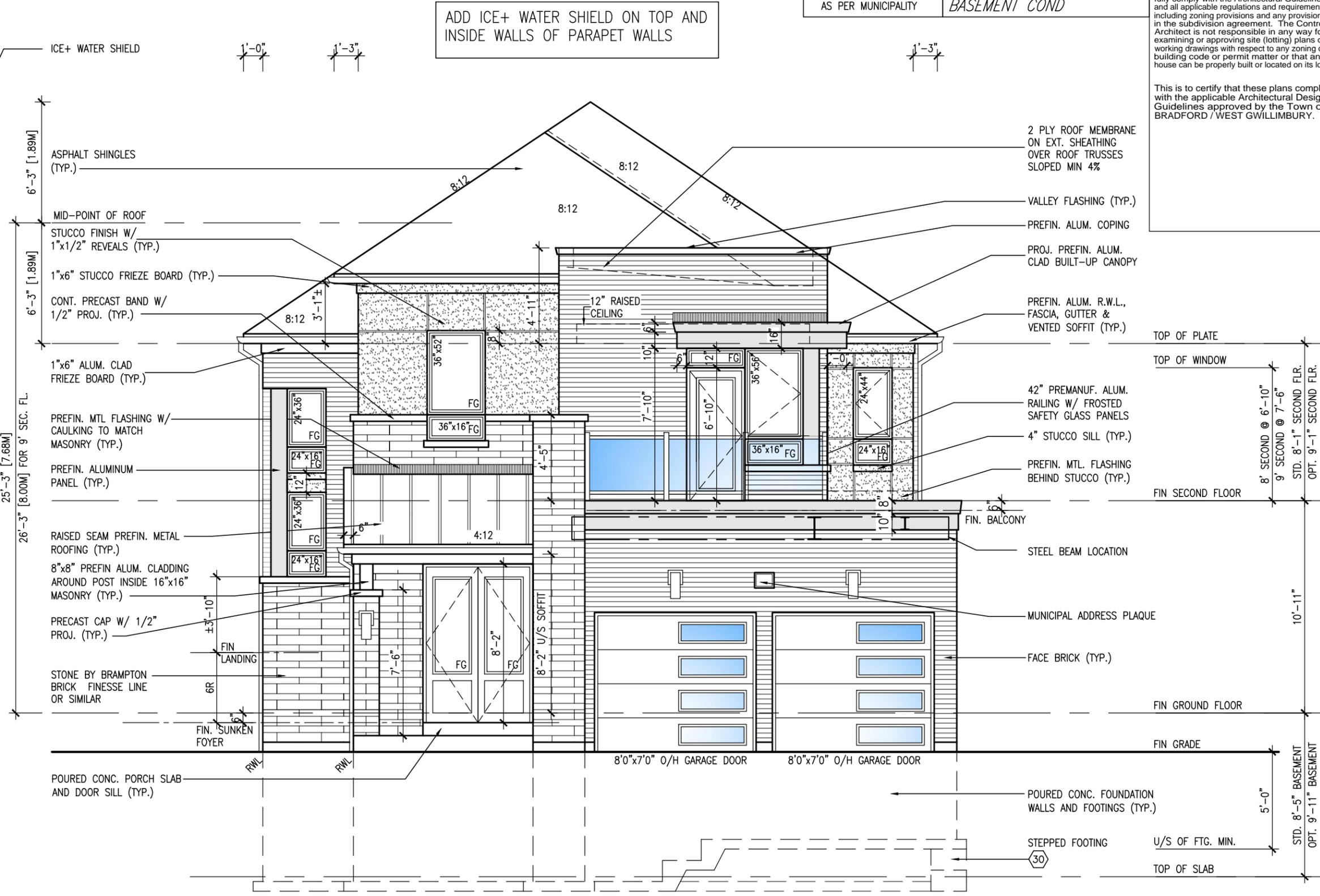
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ROOF PLAN 'C'
N.T.S.

-  FACE BRICK
-  STUCCO FINISH
-  RENAISSANCE STONE
-  ALUMN PANEL



FRONT ELEVATION 'C'

10' GROUND

project no. 13045
drawing no. 15
project name S42-17 RIDEAU 17
municipality BRADFORD, ON.
project name GREEN VALLEY EAST
file name 16023-S42-17-10GRND
checked by BD.BIM
scale 3/16" = 1'-0"
date SEPT 2016
drawn by BD.BIM

VAS3 DESIGN
255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

Wellington Jno-Baptiste
BCIN 25591
BCIN 42658
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no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB

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ADD ICE+ WATER SHIELD ON TOP AND INSIDE WALLS OF PARAPET WALLS

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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1'-0"

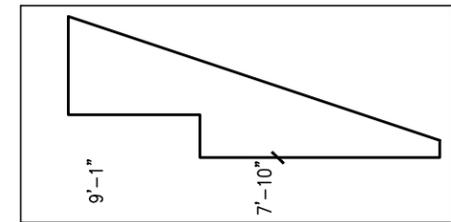
1'-0"

1'-0"



LEFT SIDE ELEVATION 'C'

10' GROUND



ROOF PROFILE FOR PORCH & FOYER

project no.	S42-17
project name	RIDEAU 17
municipality	BAYVIEW WELLINGTON
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON.
project no.	13045
drawing no.	16
checked by	BD, BIM
scale	3/16" = 1'-0"
date	SEPT 2016
drawn by	BD, BIM
file name	16023-S42-17-10GRND
date	16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM

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no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB

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Wellington, Jno-Baptiste
 name
 registration information
 VAS Design Inc.
 BCIN 25591
 BCIN 42658

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SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 21, 2022

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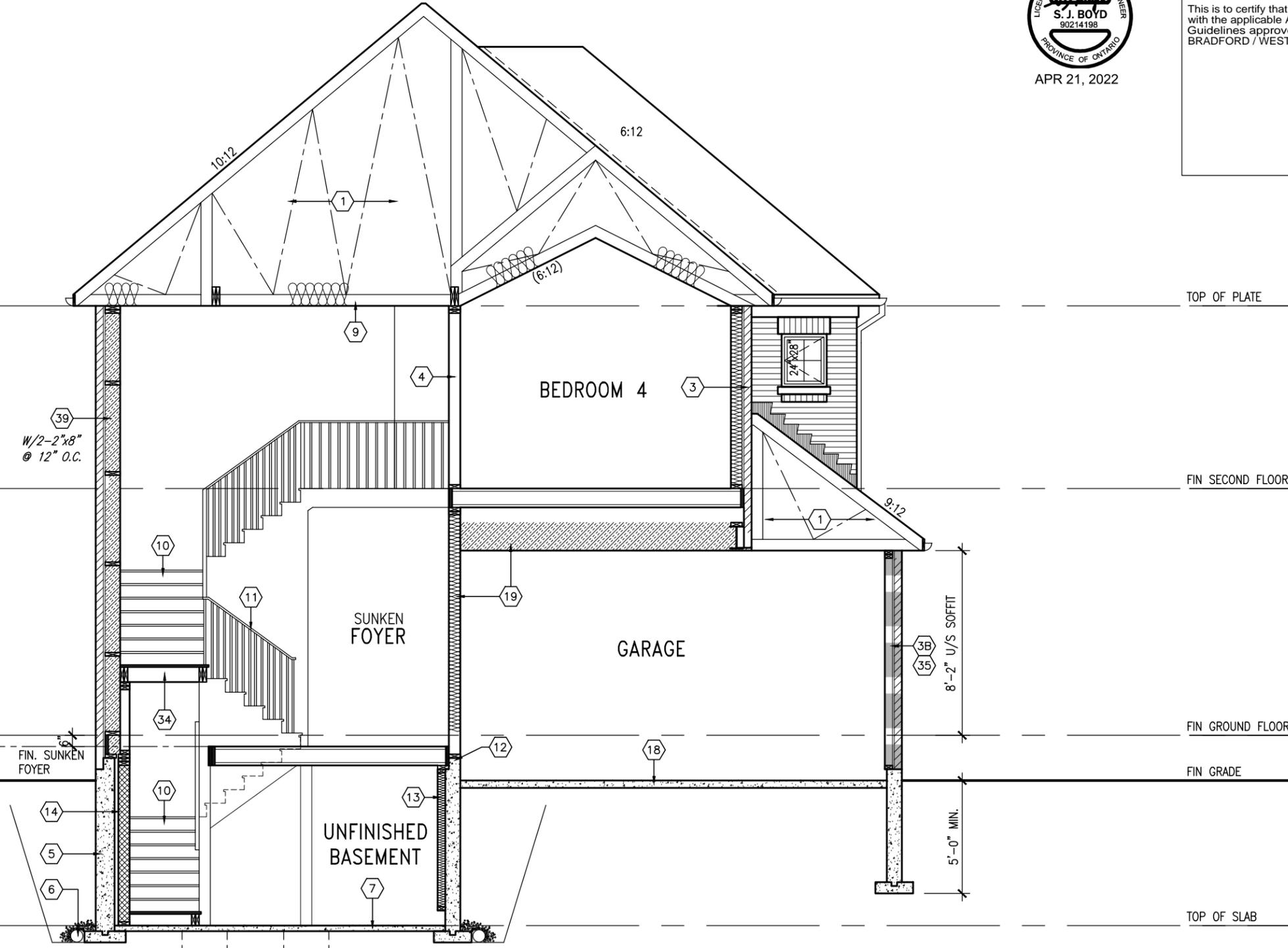
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1'-0"

1'-0"

1'-0"

1'-0"



CROSS SECTION 'A-A'

10' GROUND

TOP OF PLATE
 STD. 8'-1" SECOND FLR.
 OPT. 9'-1" SECOND FLR.
 FIN SECOND FLOOR
 STD. 8'-5" BASEMENT
 OPT. 9'-11" BASEMENT
 FIN GROUND FLOOR
 FIN GRADE
 TOP OF SLAB

project no.	S42-17
project name	BAYVIEW WELLINGTON
municipality	GREEN VALLEY EAST
city	BRADFORD, ON.
cross section	CROSS SECTION 'A-A'
project no.	13045
drawing no.	18
file name	16023-S42-17-10GRND
checked by	BD, BIM
scale	3/16" = 1'-0"
date	SEPT 2016
drawn by	BD, BIM

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 42658

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB

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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

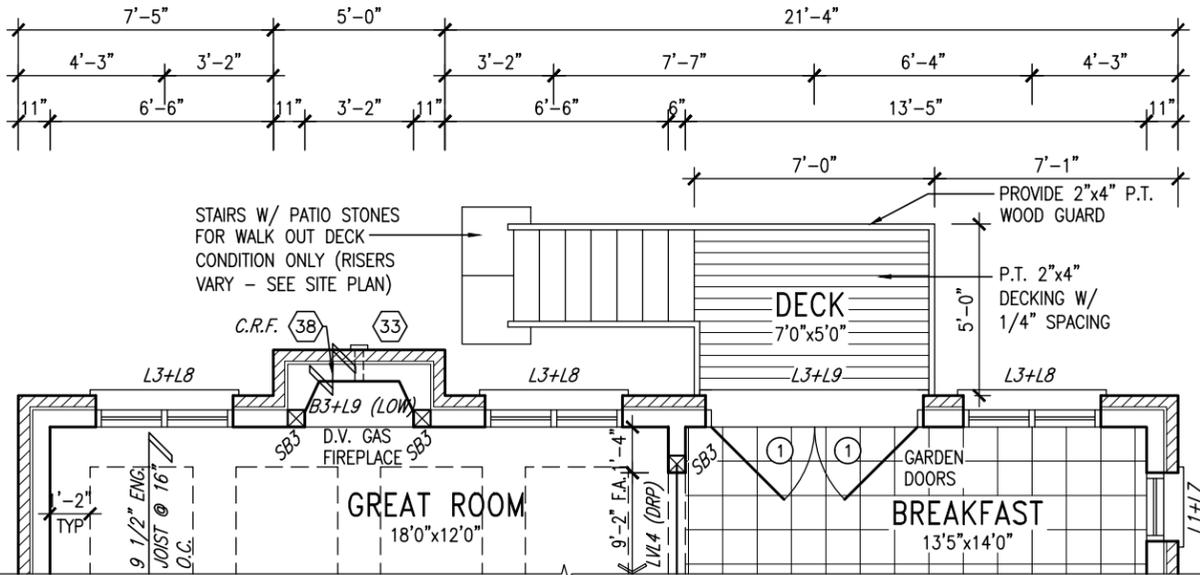
OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
- DRIVEWAY, PARKING SPACE, ROAD. 1.5m
- SOLID FUEL APPLIANCE EXHAUST 3.0m

KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

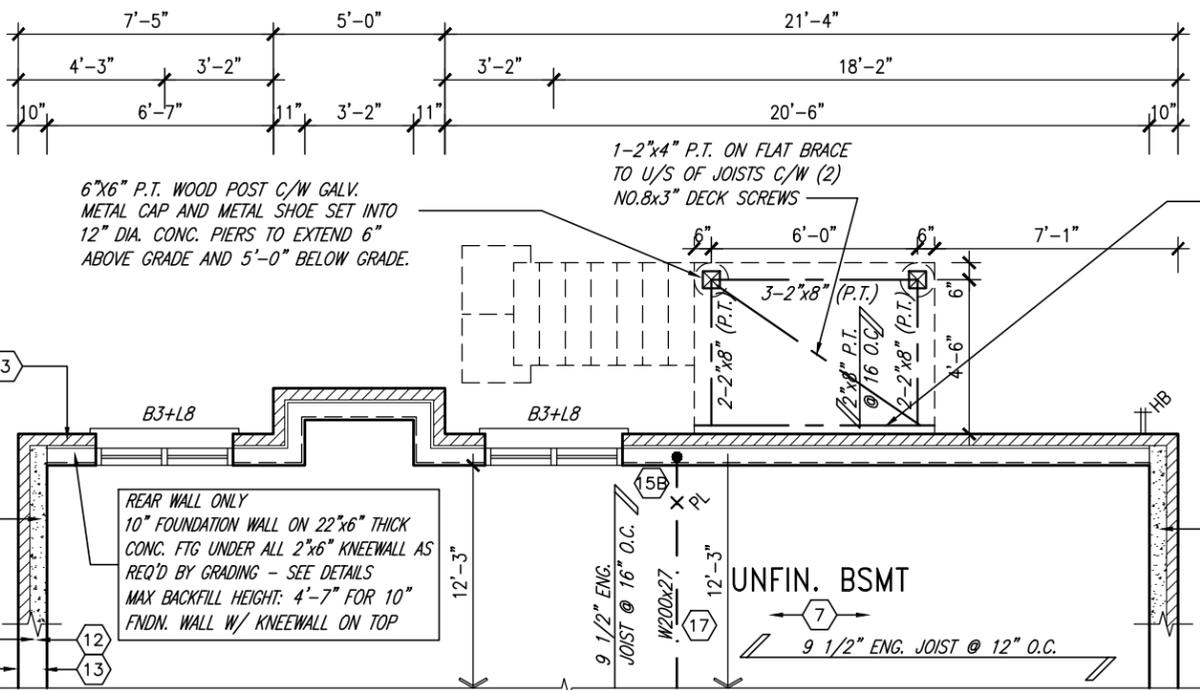
10' GROUND



PART. GRND FLOOR PLAN
W.O.D. CONDITION



APR 21, 2022



PART. BASEMENT PLAN
W.O.D. CONDITION

9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC	
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	
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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
 name registration information BCIN
VA3 Design Inc. 42658

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VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST** municipality: **BRADFORD, ON.**

date: **SEPT 2016** scale: **3/16" = 1'-0"**

drawn by: **BD.BIM** checked by: **-** file name: **16023-S42-17-10GRND**

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S42-17
 RIDEAU 17

project no. **13045**

drawing no. **19**

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 ELA/A REAR UPG. WOD W/ 8' SEC			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	843.75 S.F.	205.94 S.F.	24.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3834.88 S.F.	525.61 S.F.	13.71 %
TOTAL SQ. M.	356.27 S.M.	48.83 S.M.	13.71 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B/B REAR UPG. WOD W/ 8' SEC			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	843.75 S.F.	205.94 S.F.	24.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3830.29 S.F.	518.27 S.F.	13.53 %
TOTAL SQ. M.	355.84 S.M.	48.15 S.M.	13.53 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.C W/ WOD 8' SECOND			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	843.75 S.F.	205.94 S.F.	24.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3856.16 S.F.	545.22 S.F.	14.14 %
TOTAL SQ. M.	358.25 S.M.	50.65 S.M.	14.14 %



REFER TO FRONT ELEVATION FOR TYPICAL NOTES
 R.W.L. AS REQUIRED & AS PER MUNICIPALITY
 SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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10' GROUND

W.O.D. REAR ELEVATION 'A', 'B', & 'C'

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT	- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
	- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

BAYVIEW WELLINGTON
 GREEN VALLEY EAST
 BRADFORD, ON.

S42-17
 RIDEAU 17

project no. 13045
 drawing no. 20

checked by: 3/16" = 1'-0"
 date: SEPT 2016
 draw by: BD,BIM

REAR ELEVATION - W.O.D. CONDITION
 16023-S42-17-10GRND

VAS DESIGN
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 Toronto, ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 vasdesign.com

25591 BCIN 42658
 Wellington, Jno-Baptiste
 VAS Design Inc.

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
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1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB

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NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

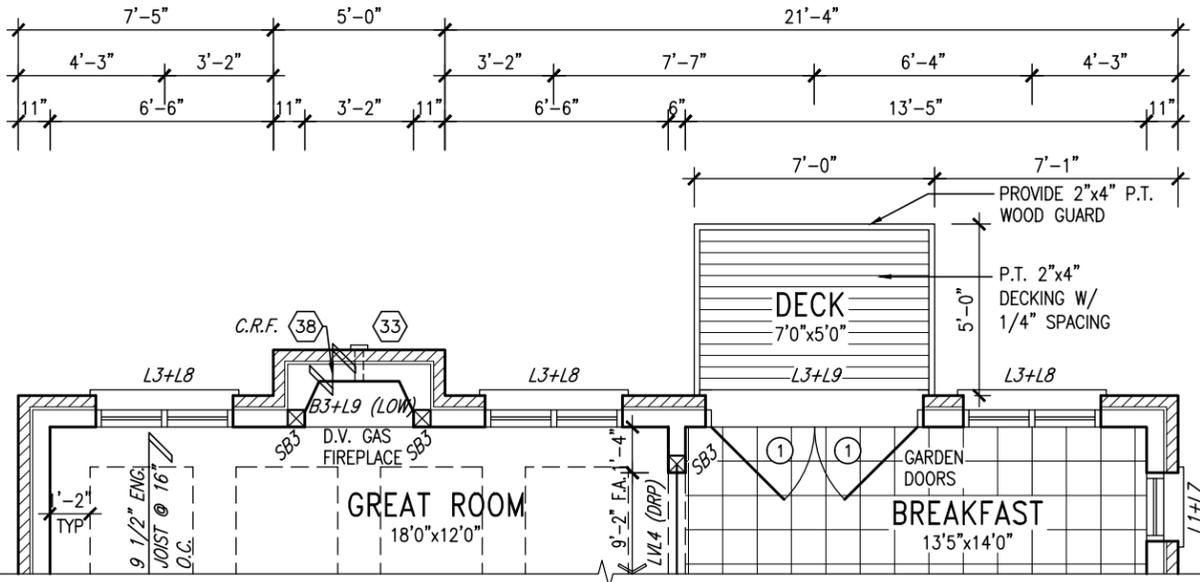
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ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.

- KITCHEN EXHAUST. 3.0m
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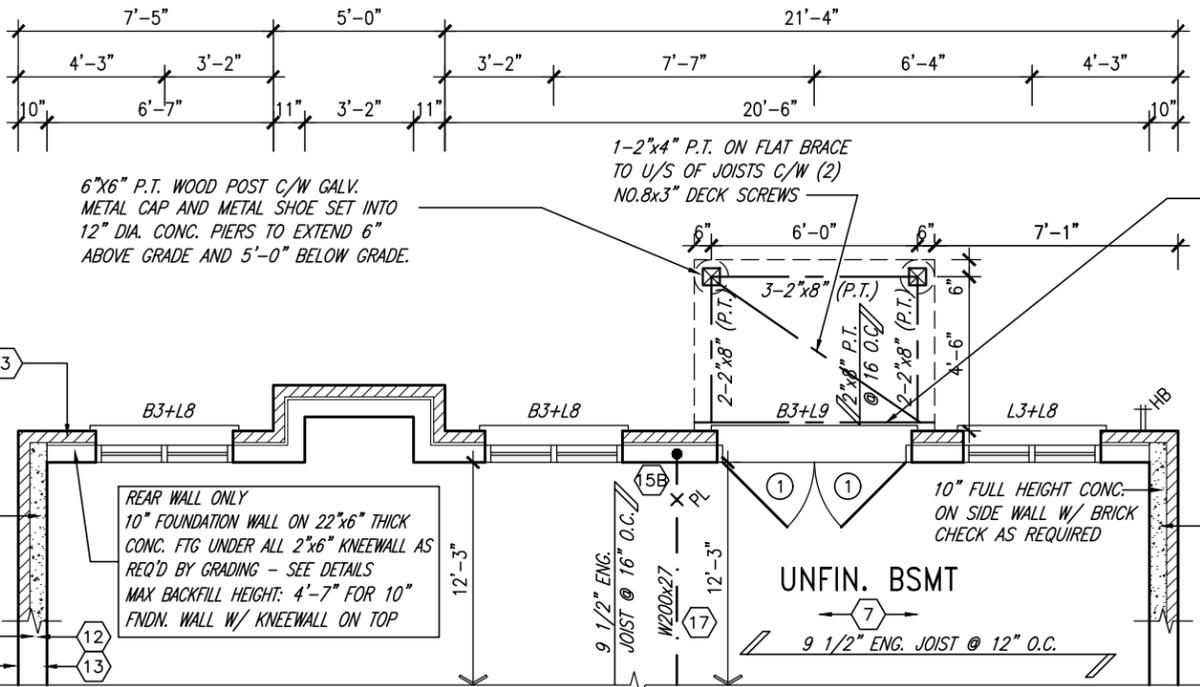
KIT-EX-NOTE-2020.dwg

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

10' GROUND



PART. GRND FLOOR PLAN
W.O.B. CONDITION



PART. BASEMENT PLAN
W.O.B. CONDITION



APR 21, 2022

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
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no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591
 name registration information BCIN
VA3 Design Inc. 42658

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 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST municipality: BRADFORD, ON.

date: SEPT 2016 scale: 3/16" = 1'-0"

drawn by: BD.BIM checked by: - file name: 16023-S42-17-10GRND

S42-17
 RIDEAU 17

project no. 13045

drawing no. 21

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 ELA/A REAR UPG. WOB W/ 8' SEC		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	942.19 S.F.	278.00 S.F.	29.51 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3933.32 S.F.	597.67 S.F.	15.20 %
TOTAL SQ. M.	365.41 S.M.	55.52 S.M.	15.20 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 ELB/B REAR UPG. WOB W/ 8' SEC		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	942.19 S.F.	278.00 S.F.	29.51 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3928.73 S.F.	590.33 S.F.	15.03 %
TOTAL SQ. M.	364.99 S.M.	54.84 S.M.	15.03 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 ELC W/ WOB 8' SECOND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	942.19 S.F.	278.00 S.F.	29.51 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3954.60 S.F.	617.28 S.F.	15.61 %
TOTAL SQ. M.	367.39 S.M.	57.35 S.M.	15.61 %

10' GROUND



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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S42-17
RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

municipality: **BRADFORD, ON.**

project no.: **13045**

drawing no.: **22**

file name: **16023-S42-17-10GRND**

scale: **3/16" = 1'-0"**

checked by: **BD, BIM**

date: **SEPT 2016**

drawn by: **BD, BIM**

REAR ELEVATION - W.O.B. CONDITION

16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM

VAS3 DESIGN

255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: *[Signature]* BCIN: 42658

APR 21/2022 RC to-Baptiste 25591

APR 21/2022 RC to-Baptiste 25591

JUL 12/18 RC to-Baptiste 25591

FEB 12-18 RC to-Baptiste 25591

OCT 21/16 SB to-Baptiste 25591

date: by: description

9 .

8 .

7 .

6 REVISED AS PER ENG'S COMMENTS

5 REVISED AS PER FLOOR LAYOUTS

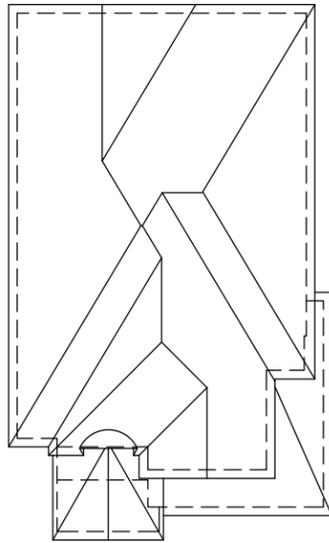
4 10' GROUND FLOOR

3 ADDED OPT. 9' BASEMENT

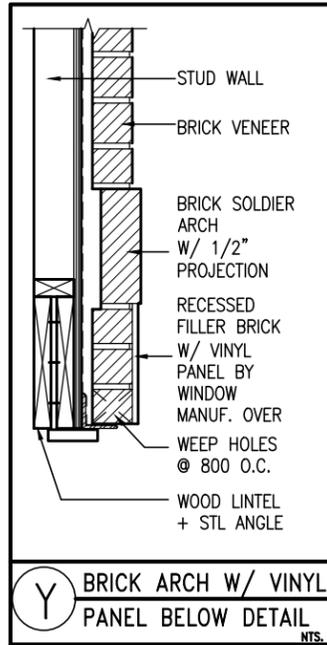
2 REVISED AS PER ENG'S COMMENTS

1 REVISED BASEMENT WALLS TO BE 10'

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ROOF PLAN 'A'
N.T.S.



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

R.W.L. AS REQUIRED & AS PER MUNICIPALITY

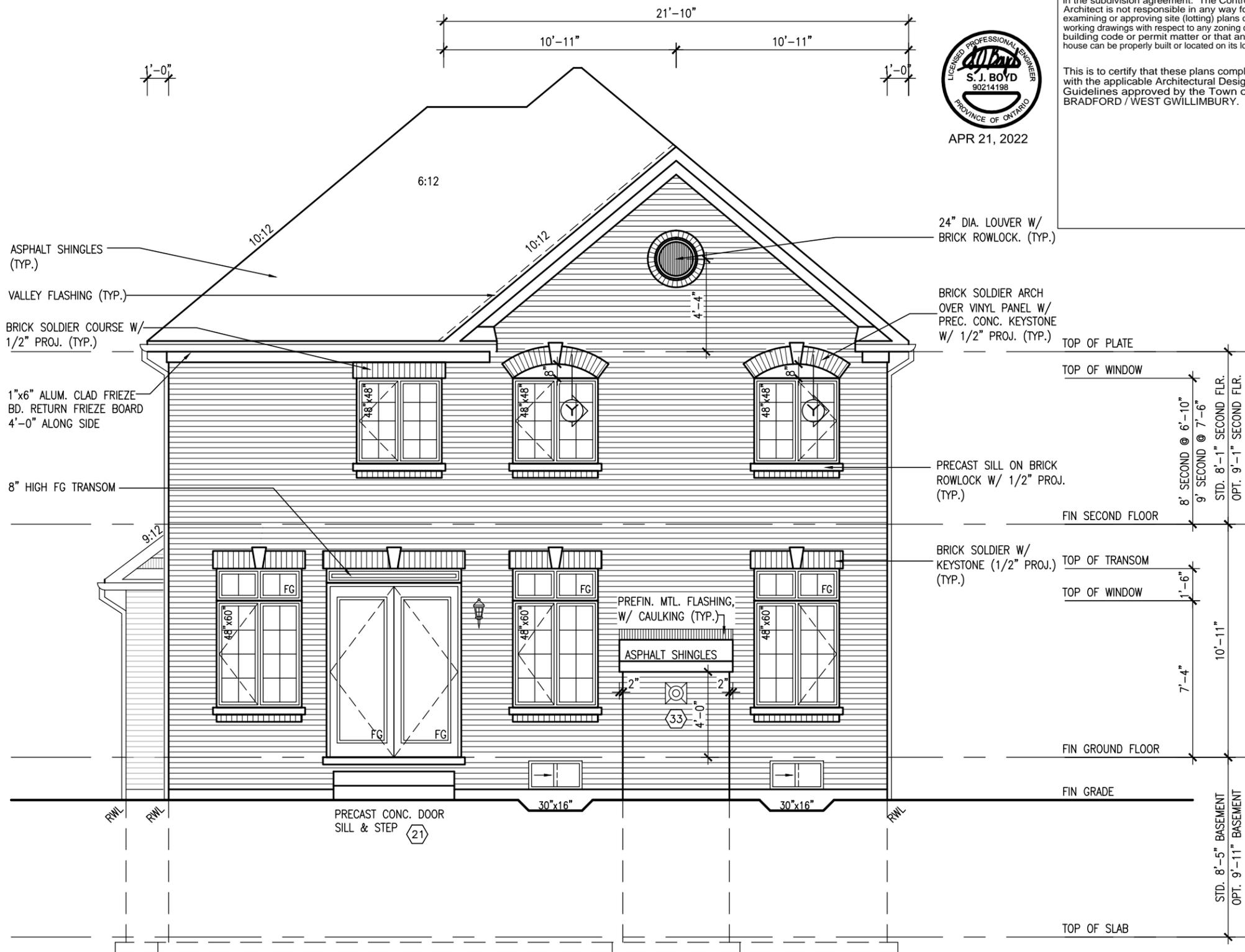
SEE DETAIL S4 FOR 9'-0" BASEMENT COND



APR 21, 2022

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REAR UPGRADE ELEVATION 'A'

10' GROUND

project no. 13045		drawing no. 23	
project name S42-17 RIDEAU 17		municipality BRADFORD, ON.	
project name GREEN VALLEY EAST		municipality BRADFORD, ON.	
project name ELEVATION 'A' REAR UPGRADE		municipality BRADFORD, ON.	
checked by	scale	file name	date
BD.BIM	3/16" = 1'-0"	16023-S42-17-10GRND	16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM
<p>VAS DESIGN 255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com</p>			
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p>			
<p>Wellington Jno-Baptiste 25591 B.C.N VAS Design Inc. 42658</p>			
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no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB

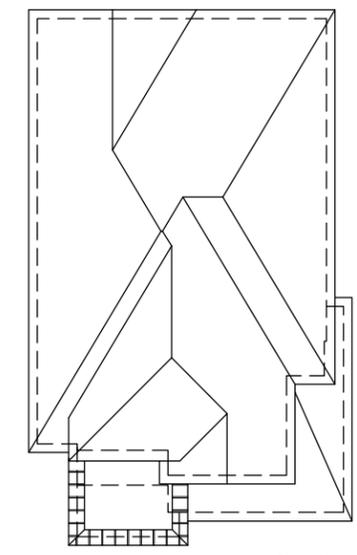
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES
R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

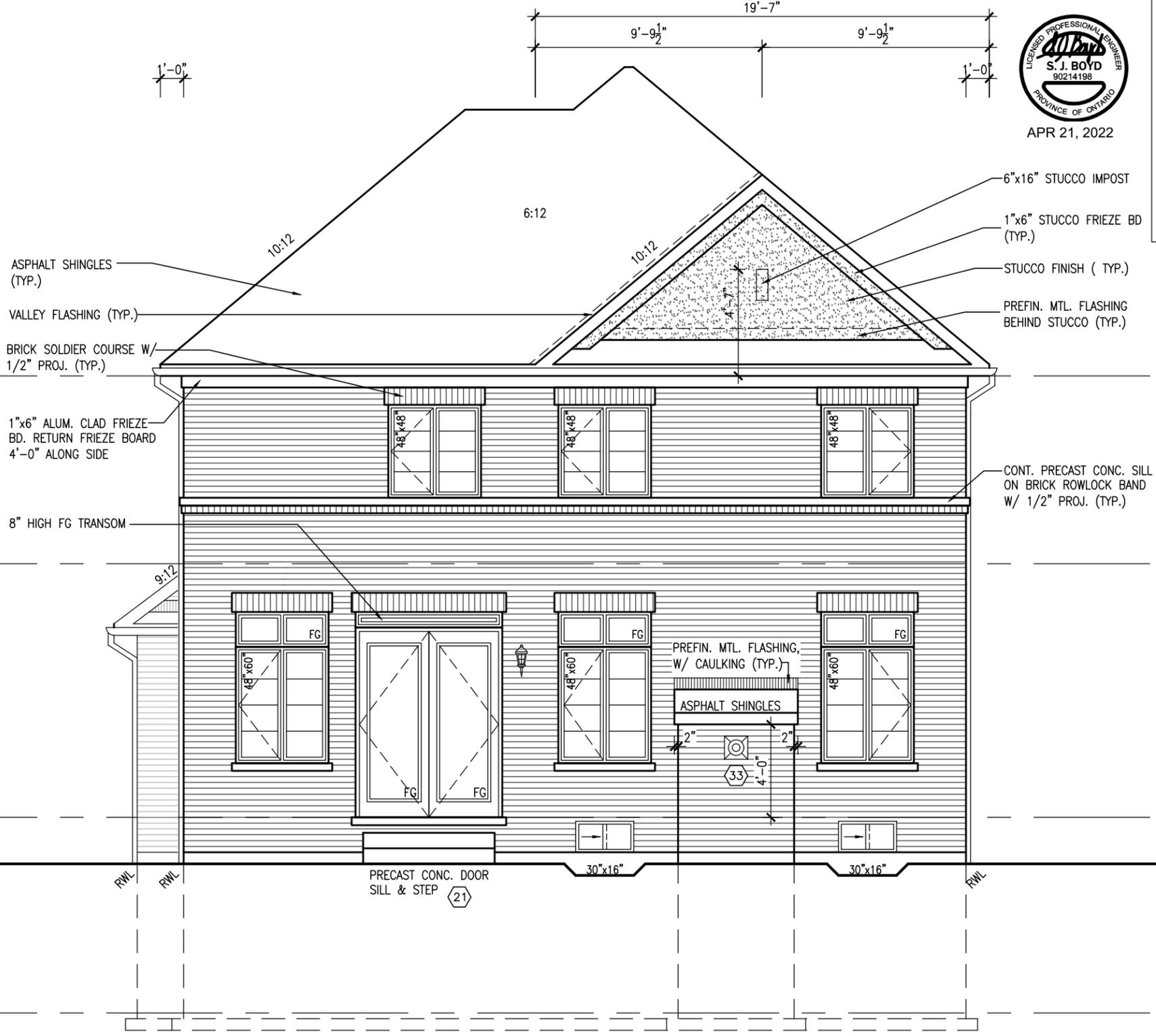
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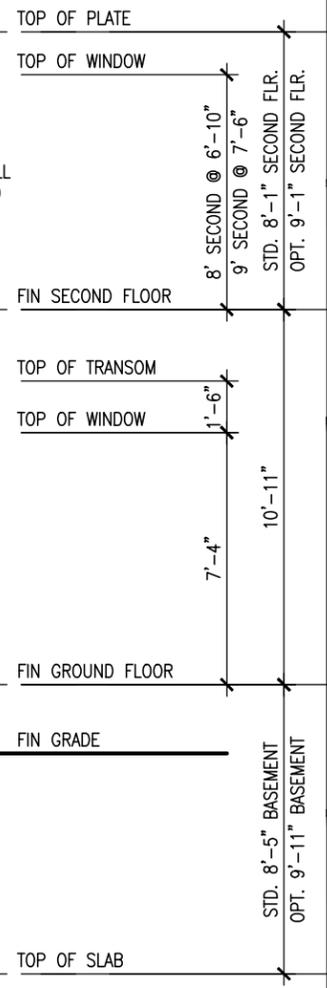
ROOF PLAN 'B'

N.T.S.



REAR UPGRADE ELEVATION 'B'

10' GROUND



project no. 13045
drawing no. 24
project name: S42-17 RIDEAU 17
municipality: BRADFORD, ON.
project name: GREEN VALLEY EAST
municipality: ELEVATION 'B' REAR UPGRADE
checked by: BD, BIM
scale: 3/16" = 1'-0"
date: SEPT 2016
drawn by: BD, BIM
file name: 16023-S42-17-10GRND

VAS DESIGN
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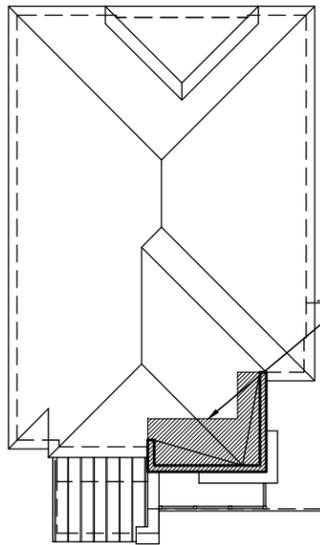
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no.	description	date	by
9			
8			
7			
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signature: *[Signature]*
name: Wellington Jno-Baptiste
registration information: VAS Design Inc.
BCIN: 25591
BCIN: 42658

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ROOF PLAN 'C'
N.T.S.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES
R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND



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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-17'C W/8' 2ND & REAR UPG			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	708.75 S.F.	182.61 S.F.	25.77 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3721.16 S.F.	521.89 S.F.	14.02 %
TOTAL SQ. M.	345.70 S.M.	48.48 S.M.	14.02 %

REAR UPGRADE ELEVATION 'C'

10' GROUND

project no. 13045
drawing no. 25
file name 16023-S42-17-10GRND
checked by BD.BIM
drawn by BD.BIM
date SEPT 2016
municipality BRADFORD, ON.
project name GREEN VALLEY EAST
ELEVATION 'C' REAR UPGRADE

VAS DESIGN
255 Consumers Rd, Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCIN
name registration information VAS Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10'	OCT 21/16	SB

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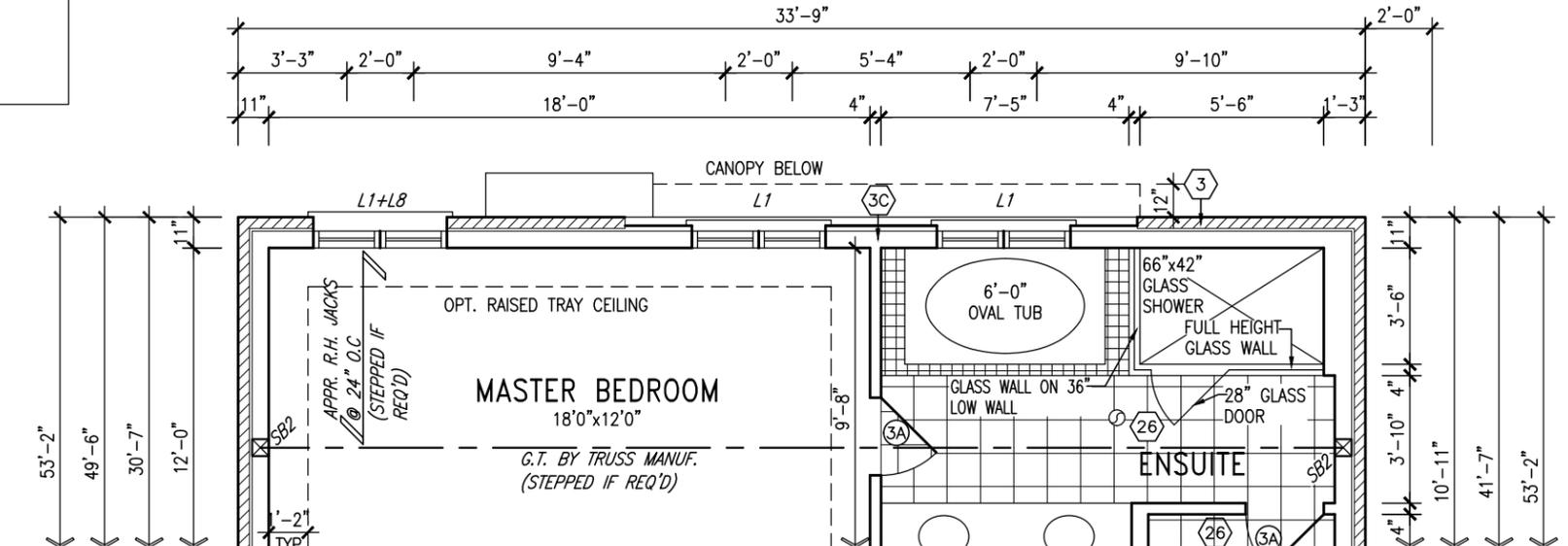
APR 21, 2022

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.

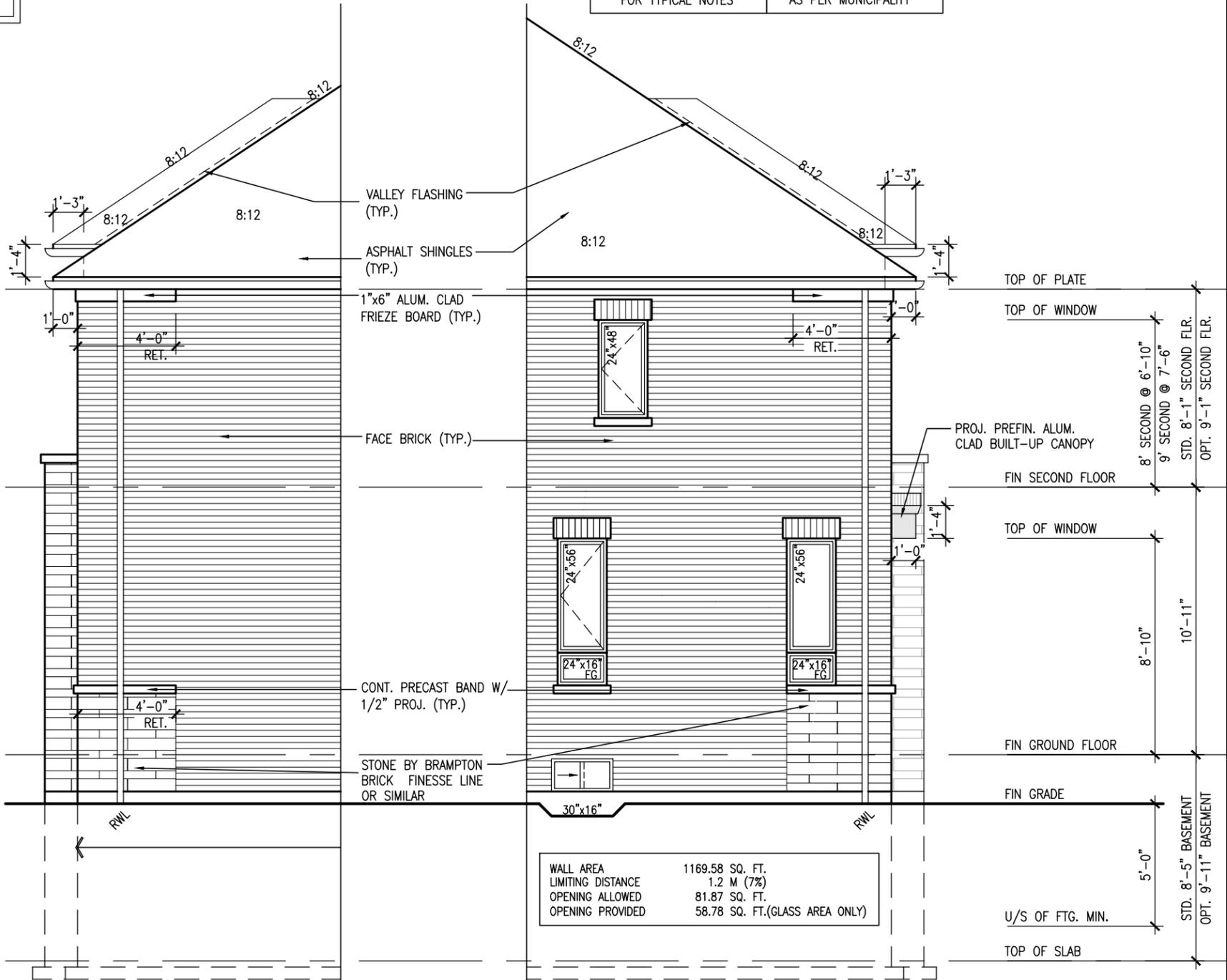
CONVENTIONAL FRAMING OVER ROOF TRUSS



PARTIAL SECOND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE

10' GROUND

REFER TO FRONT ELEVATION FOR TYPICAL NOTES R.W.L. AS REQUIRED & AS PER MUNICIPALITY



PARTIAL LEFT SIDE ELEV. 'C'
W/ REAR UPGRADE

PARTIAL RIGHT SIDE ELEV 'C'
W/ REAR UPGRADE

9	.	.	.
8	.	.	.
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6	REVISED AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591
 name registration information BCIN
VA3 Design Inc. 42658

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 255 Consumers Rd Suite 120
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 va3design.com

BAYVIEW WELLINGTON
 project name
GREEN VALLEY EAST municipality
 BRADFORD, ON.

date **SEPT 2016** checked by **ELEV 'C' REAR UPG SEC FL PLAN AND SIDE ELEV** scale **3/16" = 1'-0"**
 drawn by **BD.BIM** file name **16023-S42-17-10GRND**

S42-17
 RIDEAU 17 project no. **13045**

drawing no. **26**

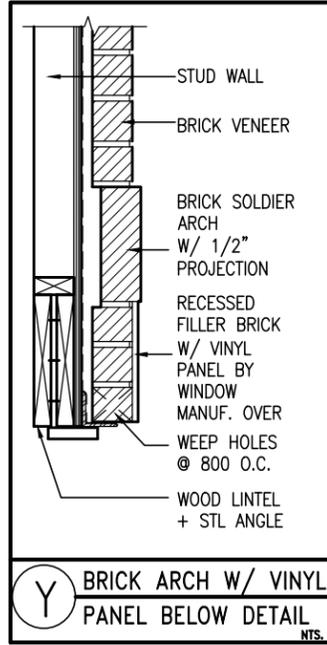
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM

REFER TO FRONT ELEVATION FOR TYPICAL NOTES
 R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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10' GROUND

REAR UPGRADE ELEVATION 'A' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW

STD. BASEMENT

- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

OPT. 9'-0" BASEMENT

- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

project no. 13045		drawing no. 27	
project name S42-17 RIDEAU 17		municipality BRADFORD, ON.	
project name GREEN VALLEY EAST		municipality BRADFORD, ON.	
date SEPT 2016		checked by BD, BIM	
drawn by		scale 3/16" = 1'-0"	
file name 16023-S42-17-10GRND		date APR 21 2022 - 1:46 PM	

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9					
8					
7					
6	REVISD AS PER ENG'S COMMENTS	APR 21-22	RC	Wellington Jno-Baptiste	25591
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	VAS Design Inc.	42658
4	10' GROUND FLOOR	JUN 17-21	KL		
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC		
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB		

no. description

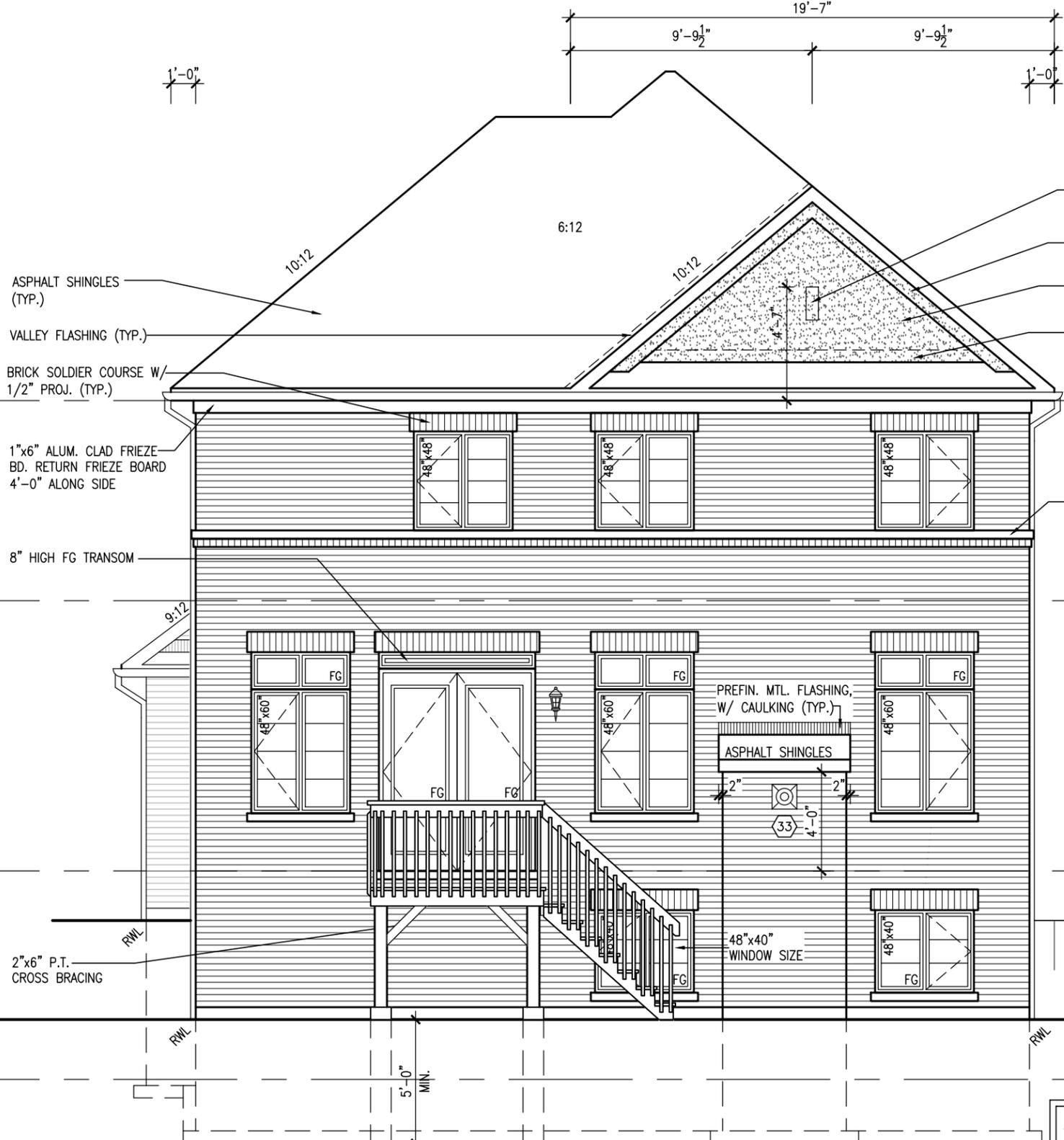
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES
 R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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10' GROUND

REAR UPGRADE ELEVATION 'B' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT	- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
	- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

TOP OF PLATE	
TOP OF WINDOW	
FIN SECOND FLOOR	8' SECOND @ 6'-10"
TOP OF TRANSOM	9' SECOND @ 7'-6"
TOP OF WINDOW	STD. 8'-1" SECOND FLR. OPT. 9'-1" SECOND FLR.
FIN GROUND FLOOR	
TOP OF WINDOW	7'-4"
FIN GRADE	10'-11"
TOP OF WINDOW	
FIN 8'-5" BASEMENT	
TOP OF WINDOW	
FIN 9'-11" BASEMENT	
TOP OF WINDOW	
TOP OF SLAB	

BAYVIEW WELLINGTON
 RIDEAU 17

GREEN VALLEY EAST
 BRADFORD, ON.

ELEVATION 'B' REAR UPGRADE W.O.D.

project no. 13045
 drawing no. 28

checked by: 3/16" = 1'-0"
 drawn by: BD.BIM
 date: SEPT 2016
 file name: 16023-S42-17-10GRND

VAS DESIGN

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 vasdesign.com

9					
8					
7					
6	REVISD AS PER ENG'S COMMENTS	APR 21-22	RC	Wellington Jno-Baptiste	25591
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22	RC	Wellington Jno-Baptiste	25591
4	10' GROUND FLOOR	JUN 17-21	KL	VAS Design Inc.	42658
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL		
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC		
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB		
no.	description	date	by		

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UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	843.75 S.F.	202.61 S.F.	24.01 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3856.16 S.F.	541.89 S.F.	14.05 %
TOTAL SQ. M.	358.25 S.M.	50.34 S.M.	14.05 %

REFER TO FRONT ELEVATION FOR TYPICAL NOTES
R.W.L. AS REQUIRED & AS PER MUNICIPALITY

SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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10' GROUND

REAR UPGRADE ELEVATION 'C' W.O.D.

BASEMENT WINDOW SIZES & TOP OF WINDOW	
STD. BASEMENT	- 4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS
OPT. 9'-0" BASEMENT	- 9R-11R USE 40" DEEP CASEMENT WINDOWS @ 8'-4" TOP OF WINDOW
	- 12R OR GREATER USE 40" DEEP CASEMENT WINDOWS @ 6'-10" TOP OF WINDOW

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ON.

project no. **S42-17**
RIDEAU 17

project no. **13045**
drawing no. **29**

checked by **BD, BIM**
scale **3/16" = 1'-0"**

date **SEPT 2016**
file name **16023-S42-17-10GRND**

drawn by **BD, BIM**
checked by **BD, BIM**

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Toronto, ON M2J 1R4
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no.	description	date	by
9			
8			
7			
6	REVISD AS PER ENG'S COMMENTS	APR 21-22	RC
5	REVISD AS PER FLOOR LAYOUTS	APR 06-22	RC
4	10' GROUND FLOOR	JUN 17-21	KL
3	ADDED OPT. 9' BASEMENT	JUN 17-21	KL
2	REVISD AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISD BASEMENT WALLS TO BE 10"	OCT 21/16	SB

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Wellington Jno-Baptiste
25591 BCIN
42658

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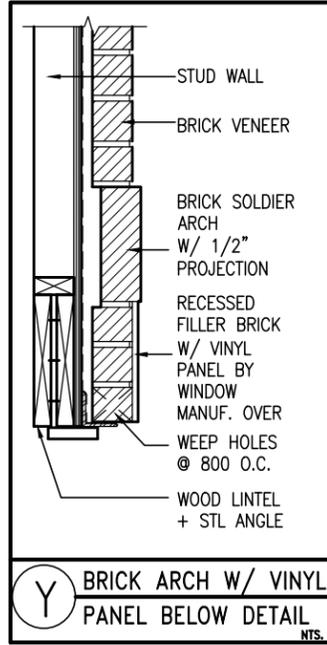
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES
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SEE DETAIL S4 FOR 9'-0" BASEMENT COND

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Y BRICK ARCH W/ VINYL PANEL BELOW DETAIL NTS.

10' GROUND

REAR UPGRADE ELEVATION 'A' W.O.B.

project no. 13045
 drawing no. 30
 project name S42-17 RIDEAU 17
 municipality BRADFORD, ON.
 GREEN VALLEY EAST
 elevation 'A' REAR UPGRADE W.O.B.
 date SEPT 2016
 checked by BD, BIM
 scale 3/16" = 1'-0"

VA3 DESIGN
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 v3design.com

25591 BCIN 42658
 Wellington Jno-Baptiste
 VAS Design Inc.
 name registration information
 APR 21-22 RC
 APR 06-22 RC
 JUN 17-21 KL
 JUN 17-21 KL
 FEB 12-18 RC
 OCT 21/16 SB

no.	description	date	by
9			
8			
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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA/A REAR UPG. W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3874.88 S.F.	505.61 S.F.	13.05 %	
TOTAL SQ. M.	359.99 S.M.	46.97 S.M.	13.05 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B/B REAR UPG. W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3869.12 S.F.	498.27 S.F.	12.88 %	
TOTAL SQ. M.	359.45 S.M.	46.29 S.M.	12.88 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELC W/ 9' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	742.50 S.F.	185.94 S.F.	25.04 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3896.15 S.F.	525.22 S.F.	13.48 %	
TOTAL SQ. M.	361.96 S.M.	48.79 S.M.	13.48 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'C W/9' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	742.50 S.F.	182.61 S.F.	24.59 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3896.15 S.F.	521.89 S.F.	13.40 %	
TOTAL SQ. M.	361.96 S.M.	48.48 S.M.	13.40 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA/A REAR UPG. WOD W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4009.88 S.F.	525.61 S.F.	13.11 %	
TOTAL SQ. M.	372.53 S.M.	48.83 S.M.	13.11 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B/B REAR UPG. WOD W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4004.12 S.F.	518.27 S.F.	12.94 %	
TOTAL SQ. M.	371.99 S.M.	48.15 S.M.	12.94 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELC W/ WOD 9' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	877.50 S.F.	205.94 S.F.	23.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4031.15 S.F.	545.22 S.F.	13.53 %	
TOTAL SQ. M.	374.50 S.M.	50.65 S.M.	13.53 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'C WOD W/9' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	877.50 S.F.	202.61 S.F.	23.09 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4031.15 S.F.	541.89 S.F.	13.44 %	
TOTAL SQ. M.	374.50 S.M.	50.34 S.M.	13.44 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELA/A REAR UPG. WOB W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	765.92 S.F.	156.34 S.F.	20.41 %	
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4108.32 S.F.	597.67 S.F.	14.55 %	
TOTAL SQ. M.	381.67 S.M.	55.52 S.M.	14.55 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 EL.B/B REAR UPG. WOB W/ 9' SEC	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	761.33 S.F.	149.00 S.F.	19.57 %	
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %	
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4102.56 S.F.	590.33 S.F.	14.39 %	
TOTAL SQ. M.	381.14 S.M.	54.84 S.M.	14.39 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17 ELC W/ WOB 9' SECOND	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	975.94 S.F.	278.00 S.F.	28.49 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4129.59 S.F.	617.28 S.F.	14.95 %	
TOTAL SQ. M.	383.65 S.M.	57.35 S.M.	14.95 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-17'C WOB W/9' 2ND & REAR UPG	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	781.31 S.F.	156.61 S.F.	20.04 %	
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %	
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %	
REAR	975.94 S.F.	274.67 S.F.	28.14 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	4129.59 S.F.	613.95 S.F.	14.87 %	
TOTAL SQ. M.	383.65 S.M.	57.04 S.M.	14.87 %	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

BAYVIEW WELLINGTON GREEN VALLEY EAST		S42-17 RIDEAU 17	
		project no. 13045 drawing no. 33	
municipality BRADFORD, ON.		project name SB12 - W/ OPT. 9' SECOND FLOOR	
date SEPT 2016		scale 3/16" = 1'-0"	
drawn by BD.BIM		checked by 16023-S42-17-10GRND	
file name 16023-S42-17-10GRND		date THU - APR 21 2022 - 1:46 PM	
255 Consumers Rd Suite 120 BRADFORD ON N3A 1B4 t 416.630.2255 f 416.630.4782 v3design.com		VAS DESIGN	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste signature registration information VAS Design Inc. BCIN 25591 BCIN 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		6 REVISED AS PER ENG'S COMMENTS 5 REVISED AS PER FLOOR LAYOUTS 4 10' GROUND FLOOR 3 ADDED OPT. 9' BASEMENT 2 REVISED AS PER ENG'S COMMENTS 1 REVISED BASEMENT WALLS TO BE 10"	
9	.	.	by
8	.	.	date
7	.	.	date
6	APR 21-22	RC	
5	APR 06-22	RC	
4	JUN 17-21	KL	
3	JUN 17-21	KL	
2	FEB 12-18	RC	
1	OCT 21/16	SB	
no.	description		

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.A/A REAR UPG. WOB W/9' BSMT+8' 2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	732.17 S.F.	156.34 S.F.	21.35 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3983.94 S.F.	597.67 S.F.	15.00 %
TOTAL SQ. M.	370.12 S.M.	55.52 S.M.	15.00 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B/B REAR UPG. WOB W/9' BSMT+8' 2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	727.58 S.F.	149.00 S.F.	20.48 %
LEFT SIDE	1130.60 S.F.	87.33 S.F.	7.72 %
RIGHT SIDE	1128.36 S.F.	76.00 S.F.	6.74 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3979.35 S.F.	590.33 S.F.	14.83 %
TOTAL SQ. M.	369.69 S.M.	54.84 S.M.	14.83 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/9' BSMT+8' 2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	992.81 S.F.	278.00 S.F.	28.00 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4005.22 S.F.	617.28 S.F.	15.41 %
TOTAL SQ. M.	372.09 S.M.	57.35 S.M.	15.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/9' BSMT+8' 2ND & REAR UPG		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	747.56 S.F.	156.61 S.F.	20.95 %
LEFT SIDE	1130.79 S.F.	88.67 S.F.	7.84 %
RIGHT SIDE	1134.06 S.F.	94.00 S.F.	8.29 %
REAR	992.81 S.F.	274.67 S.F.	27.67 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4005.22 S.F.	613.95 S.F.	15.33 %
TOTAL SQ. M.	372.09 S.M.	57.04 S.M.	15.33 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.A/A REAR UPG. WOB W/ 9' BSMT+2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	765.92 S.F.	156.34 S.F.	20.41 %
LEFT SIDE	1184.93 S.F.	87.33 S.F.	7.37 %
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4158.94 S.F.	597.67 S.F.	14.37 %
TOTAL SQ. M.	386.37 S.M.	55.52 S.M.	14.37 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 EL.B/B REAR UPG. WOB W/ 9' BSMT+2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	761.33 S.F.	149.00 S.F.	19.57 %
LEFT SIDE	1183.76 S.F.	87.33 S.F.	7.38 %
RIGHT SIDE	1181.53 S.F.	76.00 S.F.	6.43 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4153.18 S.F.	590.33 S.F.	14.21 %
TOTAL SQ. M.	385.84 S.M.	54.84 S.M.	14.21 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/ 9' BSMT+2ND		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	781.31 S.F.	156.61 S.F.	20.04 %
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %
REAR	1026.56 S.F.	278.00 S.F.	27.08 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4180.21 S.F.	617.28 S.F.	14.77 %
TOTAL SQ. M.	388.35 S.M.	57.35 S.M.	14.77 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-17 E.L.C WOB W/ 9' BSMT+2ND & REAR UPG		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	781.31 S.F.	156.61 S.F.	20.04 %
LEFT SIDE	1185.12 S.F.	88.67 S.F.	7.48 %
RIGHT SIDE	1187.22 S.F.	94.00 S.F.	7.92 %
REAR	1026.56 S.F.	274.67 S.F.	26.76 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	4180.21 S.F.	613.95 S.F.	14.69 %
TOTAL SQ. M.	388.35 S.M.	57.04 S.M.	14.69 %

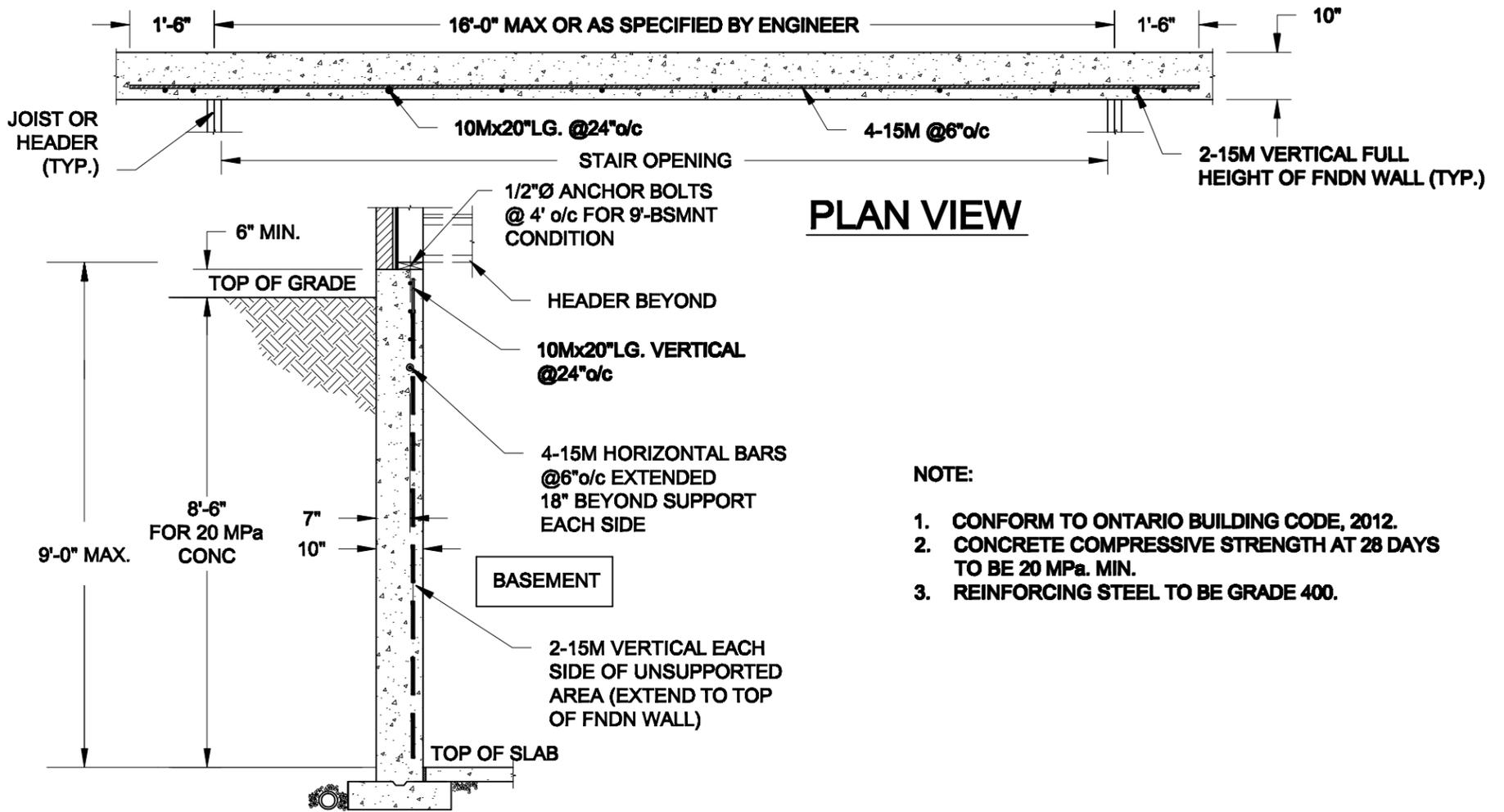
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

10' GROUND

BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
GREEN VALLEY EAST		BRADFORD, ON.	
project name		project no. 13045	
drawing no. 34		drawing no. 13045	
date SEPT 2016		file name 16023-S42-17-10GRND	
drawn by BD,BIM		checked by	
scale 3/16" = 1'-0"		16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM	
checked by		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-17-10GRND.dwg - Thu - Apr 21 2022 - 1:46 PM	
 255 Consumers Rd, Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington, Jno-Baptiste registration information BCIN 25591 name VAS Design Inc. BCIN 42658		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	APR 21-22 RC	
5	REVISED AS PER FLOOR LAYOUTS	APR 06-22 RC	
4	10' GROUND FLOOR	JUN 17-21 KL	
3	ADDED OPT. 9' BASEMENT	JUN 17-21 KL	
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	
no.	description	date	by

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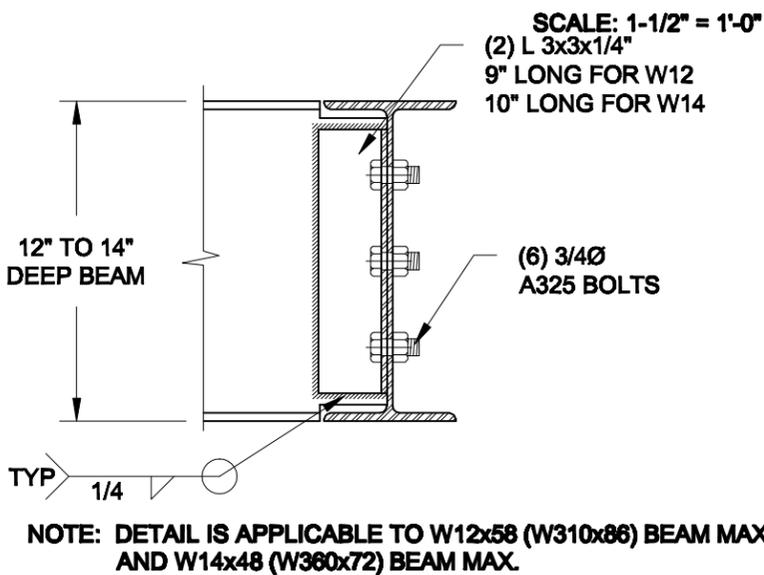
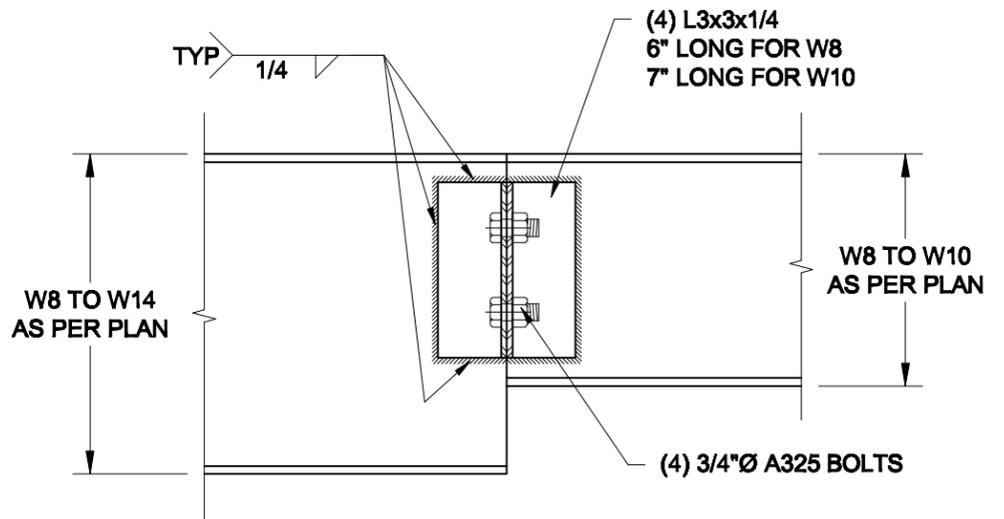
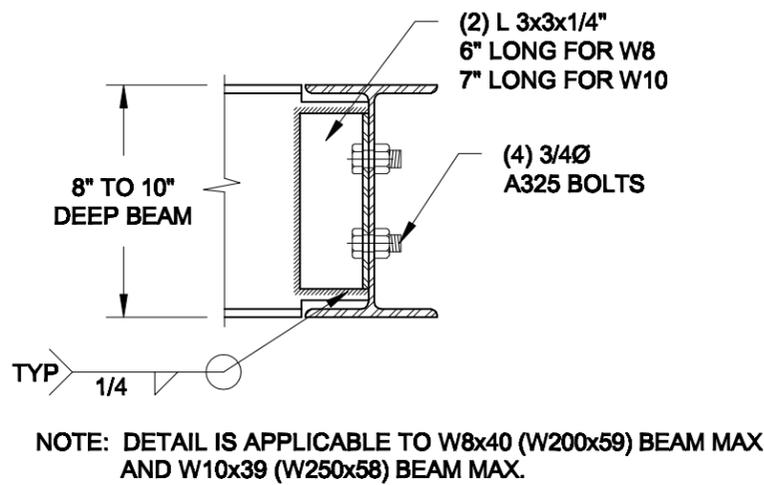


PLAN VIEW

NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 **LATERALLY UNSUPPORTED WALL**
S1 SCALE: 3/8" = 1'-0"



2 **STEEL BEAM CONNECTION DETAILS**
S1

Scale: AS NOTED	
Date: FEB-17-2022	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



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Engineer's Seal



Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

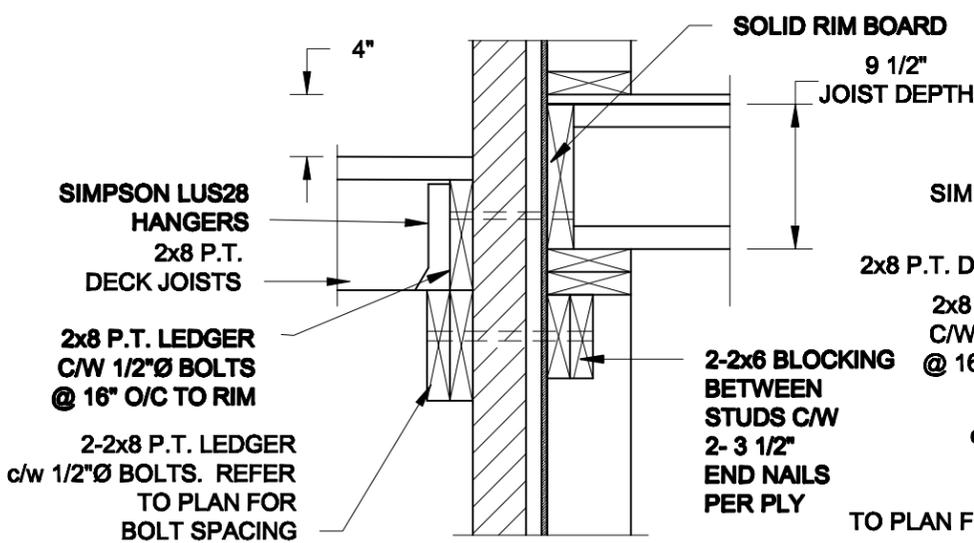
Project No.:

21-038

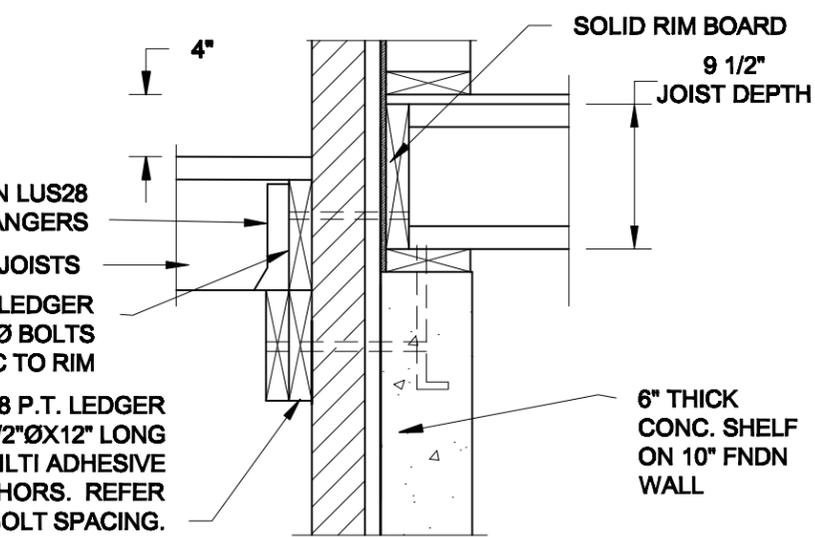
Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH

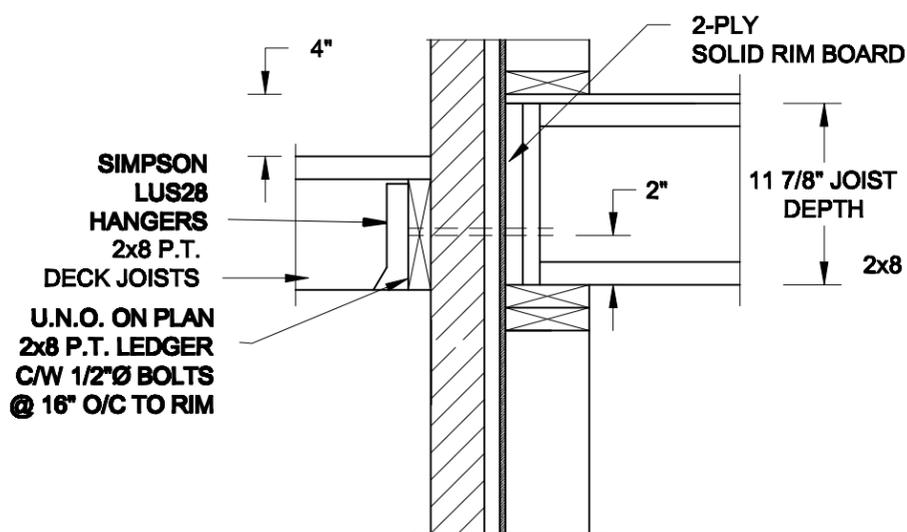


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

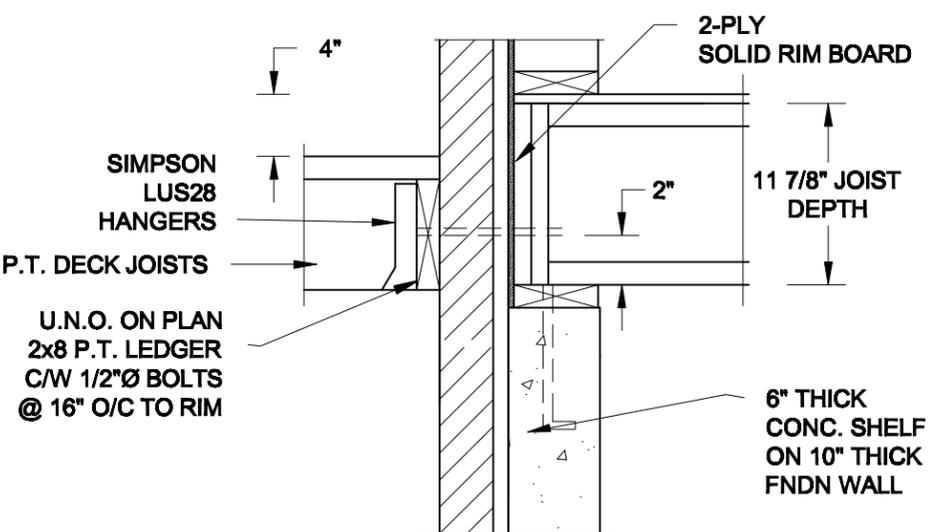


1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



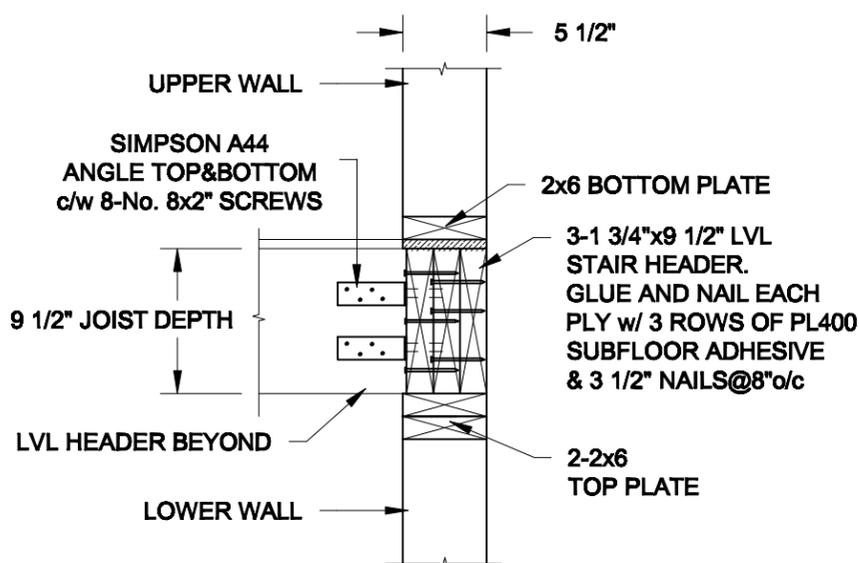
1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

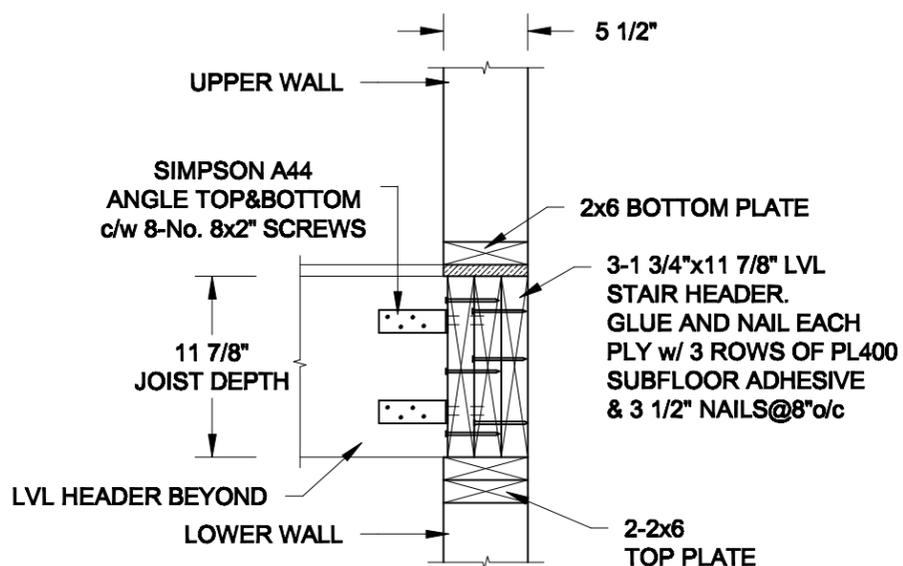
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED	
Date: MAR-16-2021	
Drawn: SC	Checked: SJB

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Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

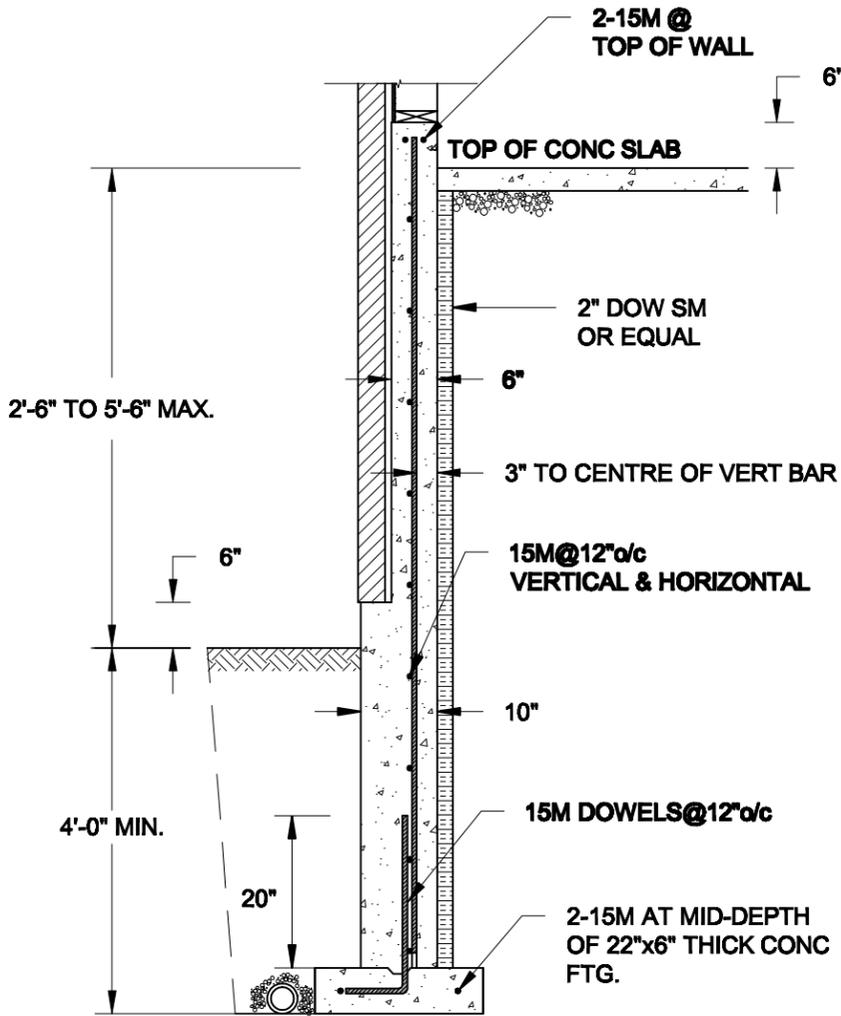
TYPICAL STRUCTURAL DETAILS

Project No.:

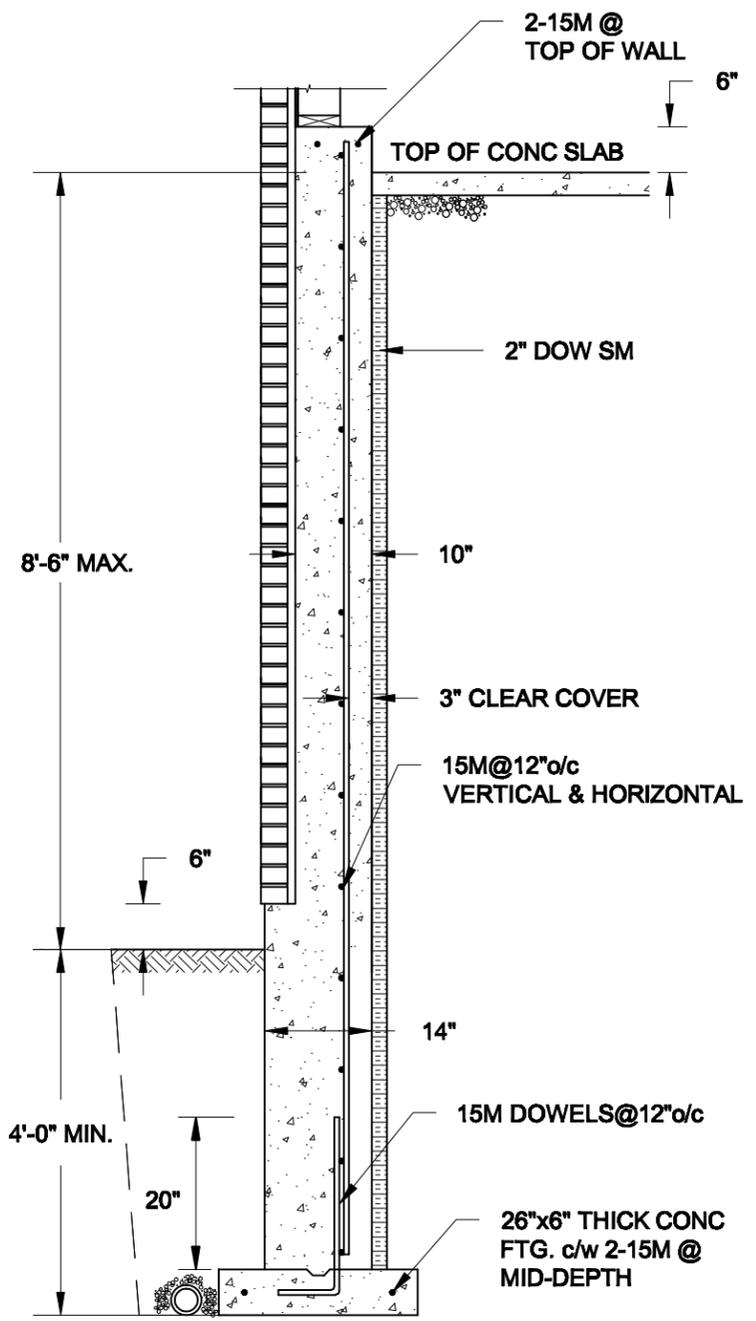
21-038

Drawing No.:

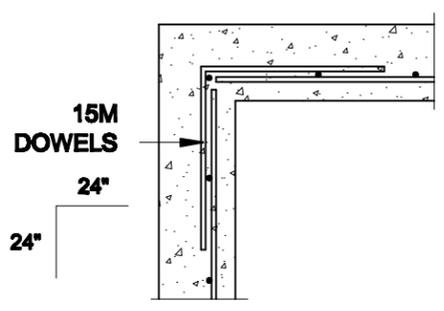
S2



1A REINFORCED BRICKSHELF
S3 SCALE: 1/2" = 1'-0"



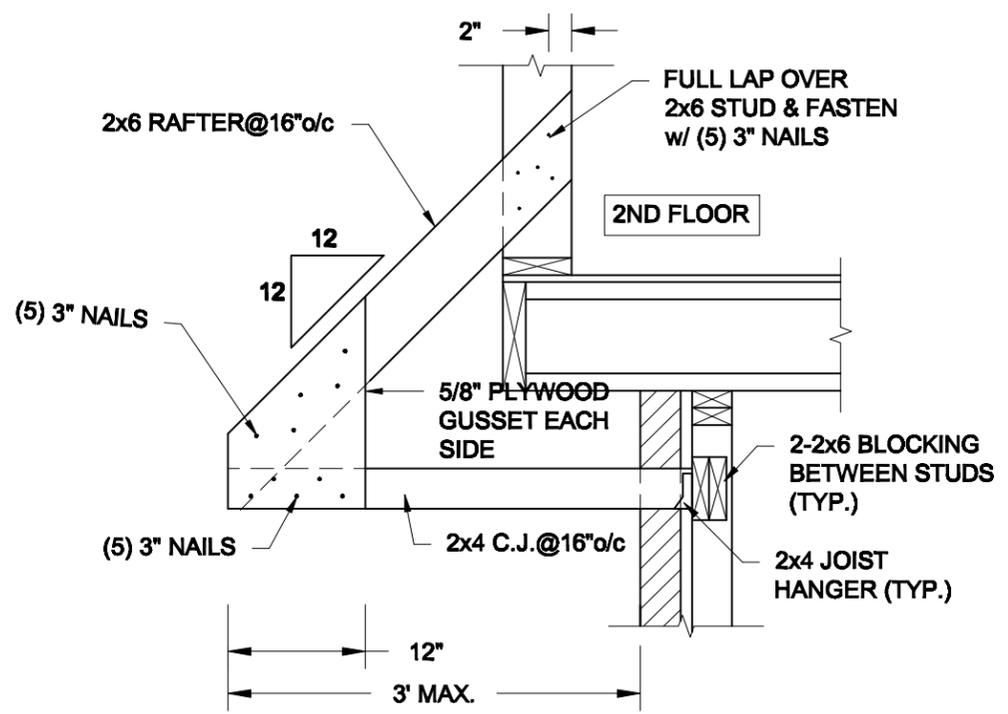
1B REINFORCED BRICKSHELF
S3 SCALE: 1/2" = 1'-0"



1C PLAN VIEW AT CORNER
S3 SCALE: 1/2" = 1'-0"

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S3.
5. PROVIDE 3" COVER TO SOIL MINIMUM.
6. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.



2 CANOPY ROOF OVER GARAGE
S3 SCALE: 3/4" = 1'-0"

Scale: AS NOTED	
Date: FEB-24-2022	
Drawn: SC	Checked: SJB

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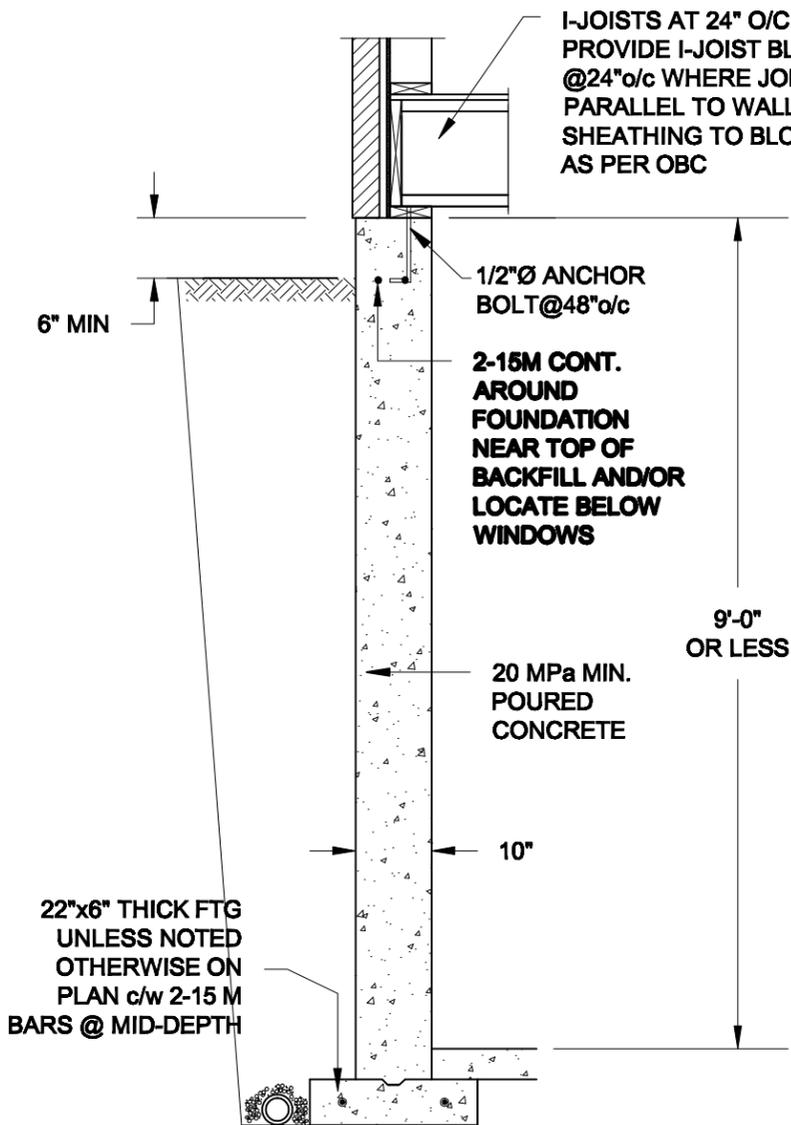


FEB 24, 2022

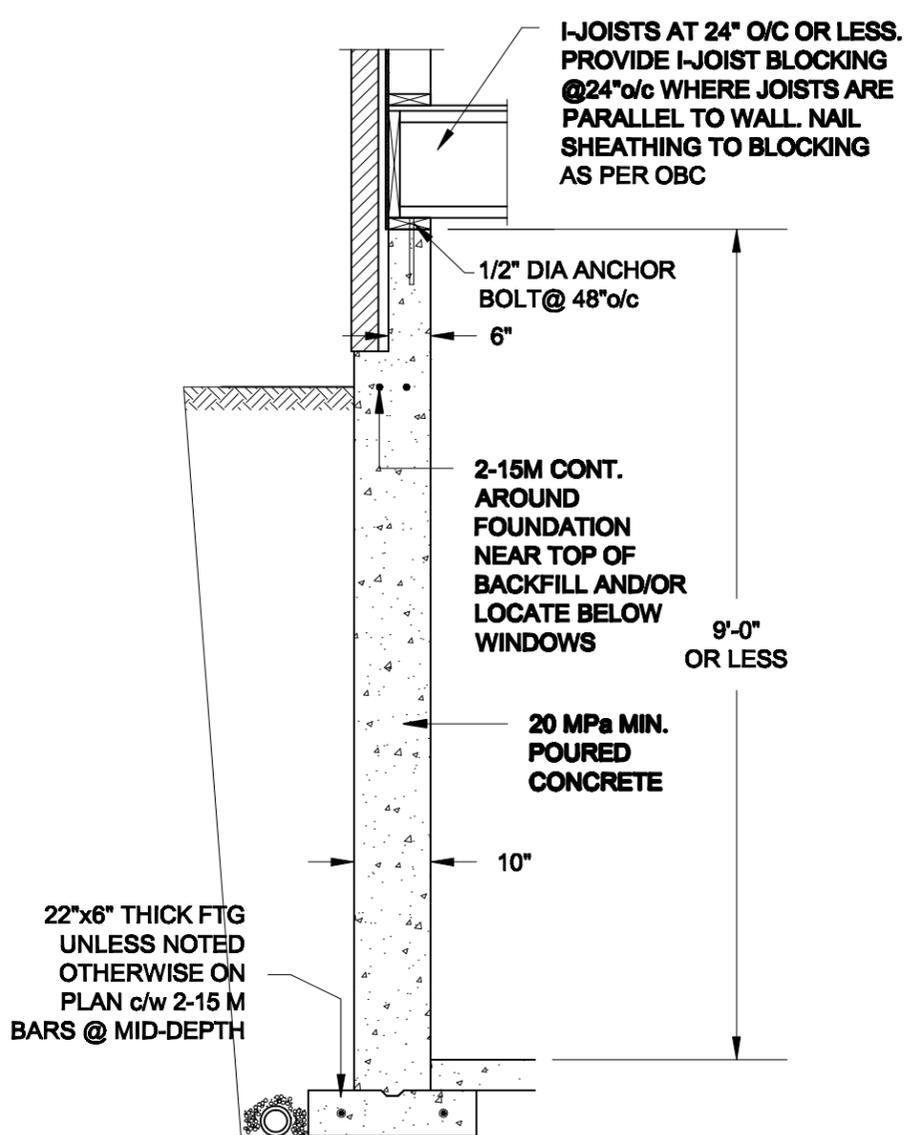
Project:
 BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
 BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

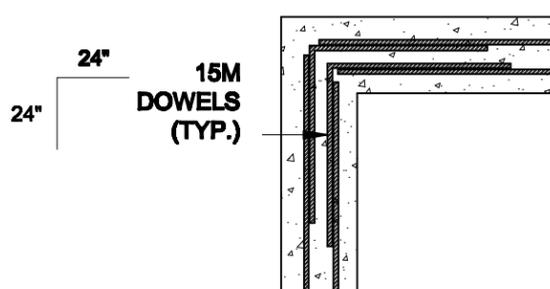
Project No.: 21-038	Drawing No.: S3
-------------------------------	---------------------------



1A
S4 FOUNDATION WALL
SCALE: 1/2" = 1'-0"



1B
S4 DROPPED VENEER
SCALE: 1/2" = 1'-0"



1C
S4 TYP. PLAN VIEW AT CORNER
SCALE: 1/2" = 1'-0"

NOTE:
AT ALL WINDOW OPENINGS,
PROVIDE 2-15M VERTICALLY
AT EACH SIDE + 2-15M
HORIZONTALLY 2" BELOW &
EXTEND 24" BEYOND OPENING

NOTES:

1. CONFORM TO THE ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING STEEL TO BE GRADE 400.
4. LAP REINFORCING STEEL 24" AT SPLICES. PROVIDE 24"x24" L-SHAPE BARS AT ALL CORNERS - SEE DETAIL 1C/S4.
5. BACKFILL ASSUMED TO BE FREE-DRAINING MATERIAL AS PER PART 9 OF THE OBC.
6. FOUNDATION IS FOR A PART 9 RESIDENTIAL BUILDING.
7. DETAIL IS APPLICABLE TO SITE CLASSES A TO D ONLY AS GIVEN IN TABLE 4.1.8.4.A OF THE OBC (TO BE CONFIRMED BY GEOTECHNICAL ENGINEER).

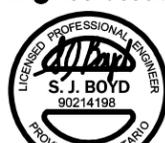
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Date: MAR-18-2021	
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Engineer's Seal



MAR 30, 2021

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

21-038

Drawing No.:

S4

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION
NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.). ENSURE ALL OVERLAPPING ROOF SPACES ARE OPEN TO MAIN ROOF ATTIC SPACE FOR VENTING PURPOSES.

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. MASONRY VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.75mm (7/8"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3A. RESERVED

3B. MASONRY VENEER CONSTRUCTION (2"x4") - GARAGE WALLS 90mm (4") MASONRY, 25mm (1") AIR SPACE, 22x180x0.75mm (7/8"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS 250mm (10") POURED CONC. FDTN. WALL 20MPa (2900psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

Table with 3 columns: STOREYS SUPPORTED, MASONRY VENEER, SIDING ONLY. Values range from 1 to 3 storeys.

-SEE OBC 9.15.3. -MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). -REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

6. STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS: 2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

7. FOUNDATION DRAINAGE OBC 9.14.2. & 9.14.3. 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

8. BASEMENT SLAB OBC 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL. OR 20MPa. (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

9. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

10. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8) RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

11. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.- (PRIVATE STAIRS) 5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (3/8") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

Table with 4 columns: MIN. RISE, MIN. RUN, MAX. TREAD, MAX. NOSING, MIN. HEADROOM, RAIL @ LANDING, RAIL @ STAIR, MIN. STAIR WIDTH, FOR CURVED STAIRS (TAPERED TREADS). Values range from 200 to 255.

12. HANDRAILS -OBC 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

13. INTERIOR GUARDS -OBC 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

14. SILL PLATE - OBC 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

15. BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

16. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

17. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CSG-7.2-9.4. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

18. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

19. STEEL COLUMN 90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

20. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

21. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

22. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

23. GARAGE CEILING/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.1.6. WALLS (R22), CEILING (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

24. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

25. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC 9.8.9.2., 9.8.9.3. & 9.8.10.

26. DRYER EXHAUST (OBC-6.2.3.8.7) & 6.2.4.1.1.) CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

27. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

28. FIREPLACE CHIMNEYS OBC 9.2.1. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITH A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

29. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

30. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC 9.32.3.5. & 9.32.3.10.

31. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

32. SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

33. RESERVED

34. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

35. STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24").

36. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 4x6-W2x9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

37. DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A NATURAL GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0M IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12..

38. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

39. SUBFLOOR, JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.1.). FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

40. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

41. COLD CELLAR PORCH SLAB (OBC 9.39.1) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT, REINF. WITH 10M BARS @ 200mm (7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

42. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

43. CONVENTIONAL ROOF FRAMING (2.0Kpp. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN.

44. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC 9.9.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-B 9.7.3. & SB12-3.1.1.9

4) GLASS-STRUCTURAL SUFFICIENCY OF GLASS DOOR & WINDOW MANUFACTURER/SUPPLIER TO PROVIDE ADEQUATE INFORMATION TO DEMONSTRATE COMPLIANCE WITH OBC DIV.-B 9.6.1.3.

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B. 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC DIV.-B 9.5.2.3 & DETAIL PROVIDED.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-B 9.25.3.

7) ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN COMPLIANCE WITH O.B.C. DIV.-B 6.2.3.12. AND TABLE 6.2.3.12.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

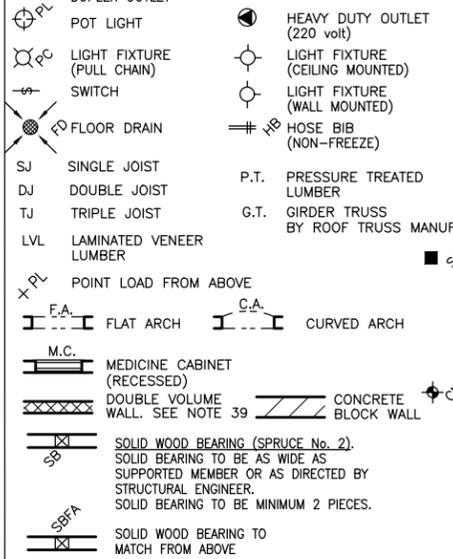
8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W CLASS "H" "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND



SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

UPDATED ONT. REG. 332/12-2012 OBC Amendment O. Reg. 88/19 Includes amendments effective Jan. 1, 2022

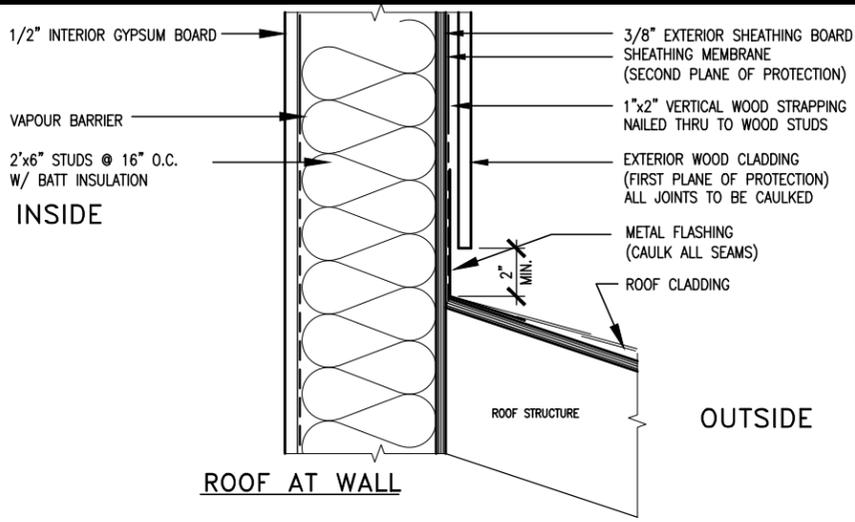
WOOD LINTELS AND BUILT-UP WOOD BEAMS

Table with 2 columns: Lumber size and Species. Rows include L1, B1, B2, B7, L3, B3, B4, L5, B5, B6.

LOOSE STEEL LINTELS

Table with 2 columns: Lumber size and Species. Rows include L7, L8, L9, L10, L11, L12, L13.

LAMINATED VENEER LUMBER (LVL) BEAMS



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:

- 2"x4" @ 16" O.C. - 9'-10"
- 2"x4" @ 12" O.C. - 10'-9"
- 3"x4" @ 16" O.C. - 11'-2"
- 3"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:**

- 2"x6" @ 16" O.C. - 12'-6"
- 2"x6" @ 12" O.C. - 13'-10"
- 2"x6" @ 16" O.C. - 15'-0"
- 2"x6" @ 12" O.C. - 17'-4"

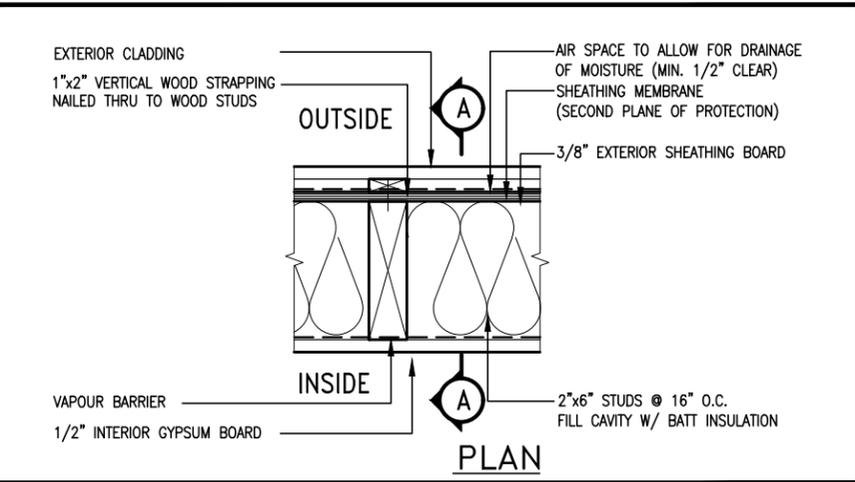
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- 2"x8" @ 16" O.C. - 16'-0"
- 2"x8" @ 12" O.C. - 17'-9"
- 2"x8" @ 16" O.C. - 20'-4"
- 2"x8" @ 12" O.C. - 22'-4"

NOTES:

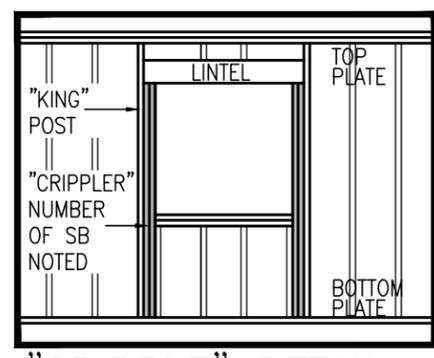
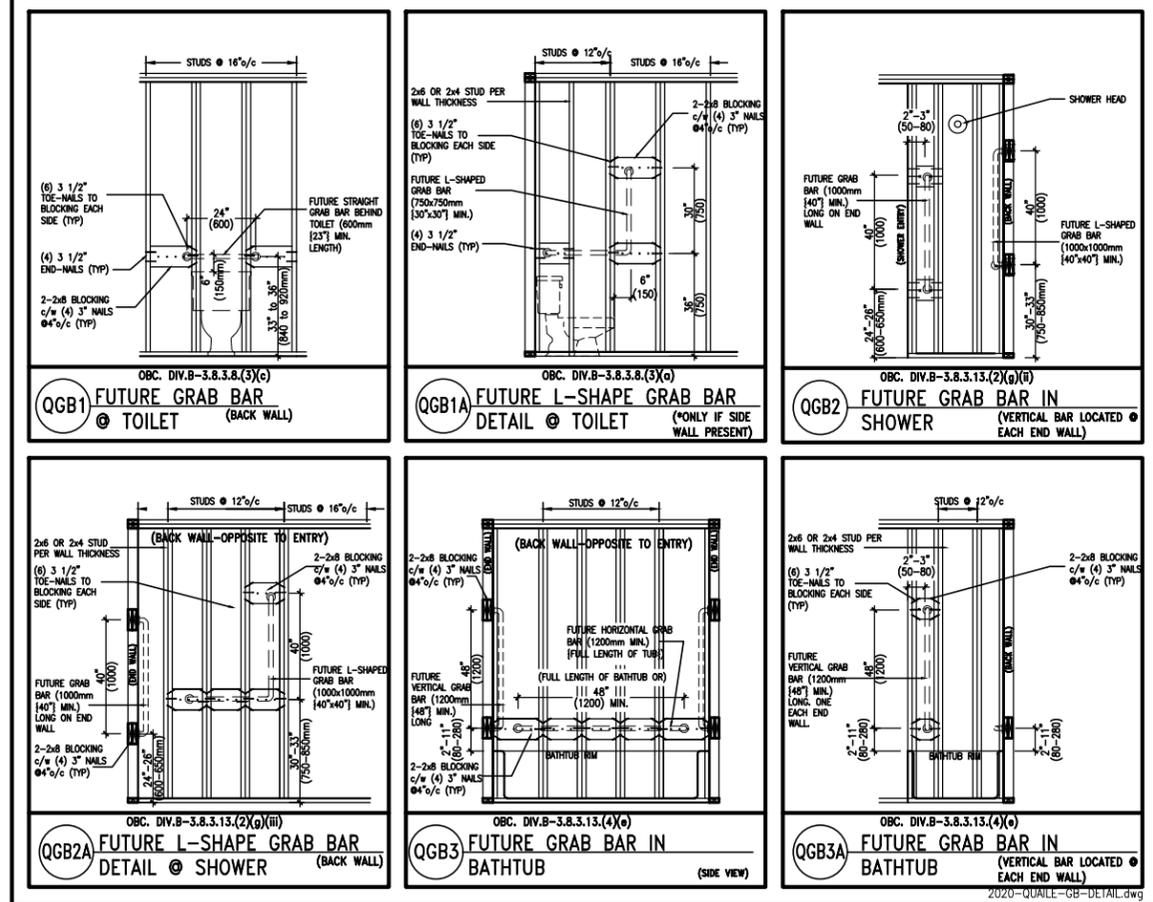
- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** STUD INFORMATION TAKEN FROM OBC TABLE A-30**



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF WOOD STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC. DIV. B-9.5.2.3. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb) REFER TO OBC. DIV. B- WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). & BATHTUB 3.8.3.13.(4)(e). AND DETAILS PROVIDED BELOW.



2020-QUALIF-GB-DETAIL.dwg

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	UPDATE TO 2022	JAN 11-22	RC	VA3 Design Inc. 42658
3	UPDATE TO 2020	FEB 24-20	RC	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	Drawings are not to be scaled.

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BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST
 municipally: BRADFORD

date: MAY 2016
 drawn by: RC
 checked by: scale 3/16" = 1'-0"

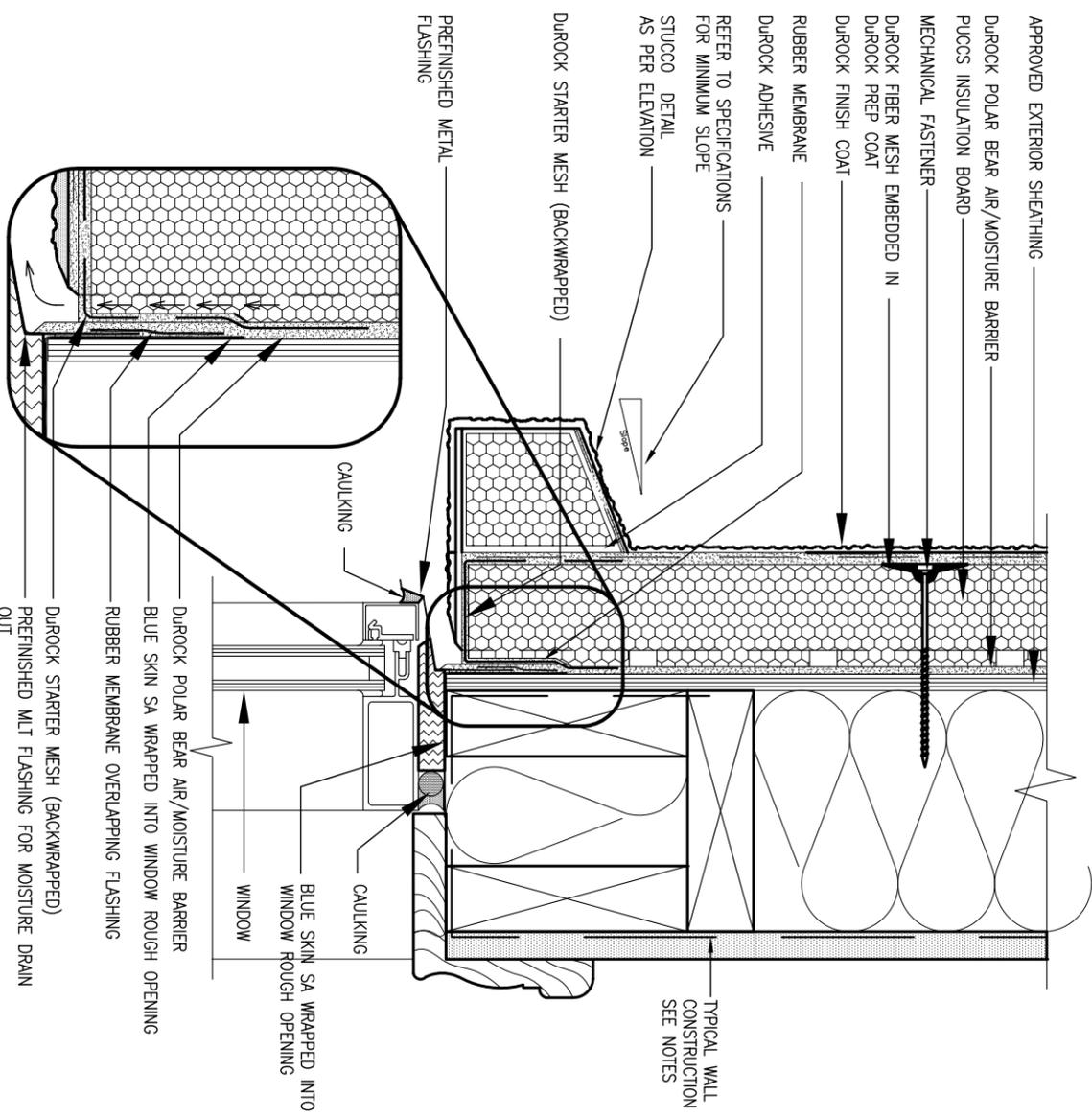
CONSTRUCTION NOTES
 16023-CN-2022-A1

CONST NOTE

project no. 16023

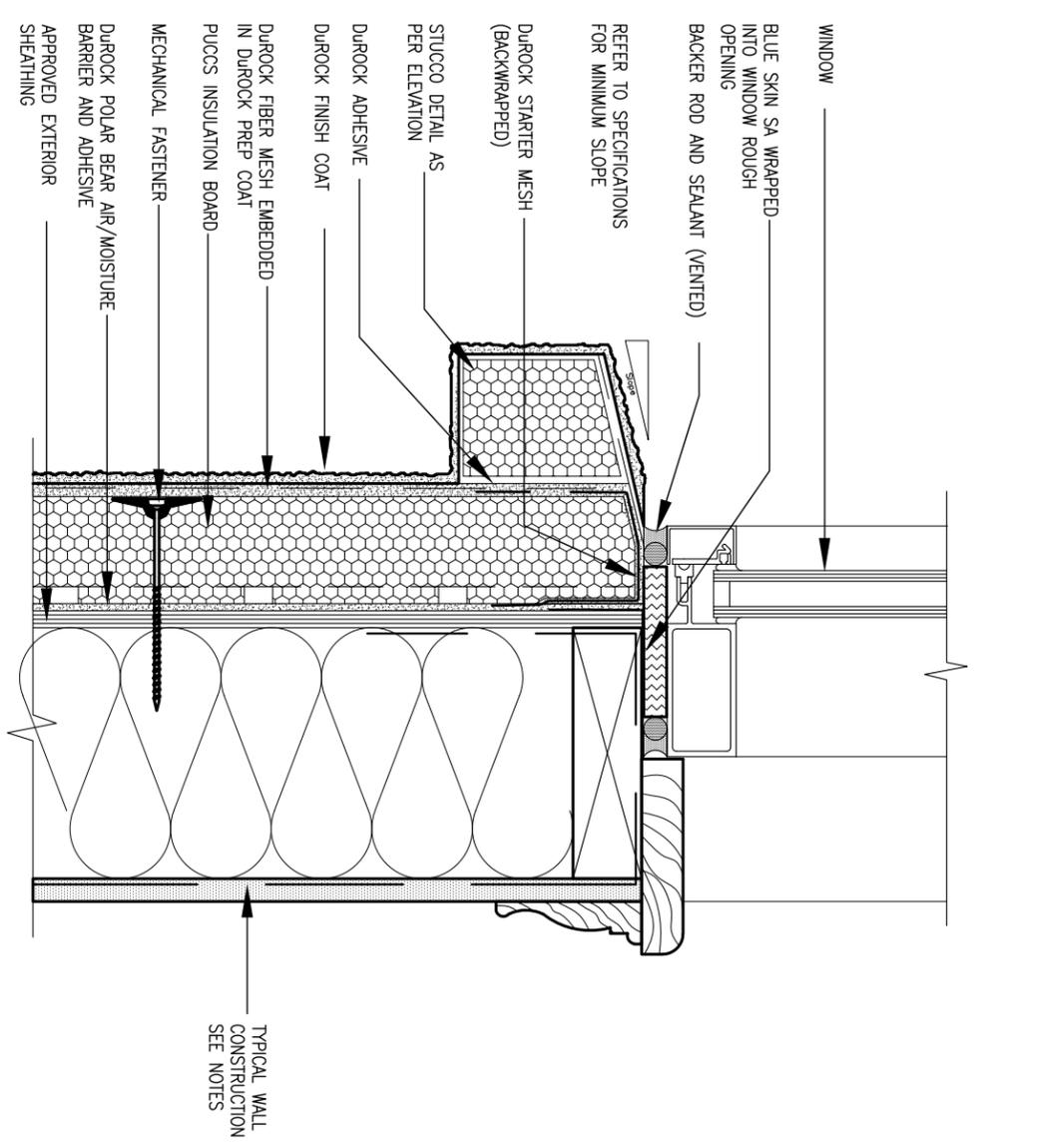
drawing no. CN2

PROFESSIONAL ENGINEER
S. J. BOYD
 PROVINCE OF ONTARIO
 JAN 26, 2022



1 WINDOW HEADER
 CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL
 CN3 SCALE: 3"=1'-0"

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
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7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature BCIN
5	.	.	.	42658
4	UPDATE TO 2022	JAN 11-22	RC	name registration information
3	UPDATE TO 2020	FEB 24-20	RC	VA3 Design Inc.
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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no.	description	date	by	



BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST municipality: BRADFORD project no.: 16023

date: MAY 2016 drawn by: RC checked by: scale: 3/16" = 1'-0" file name: 16023-CN-2022-A1

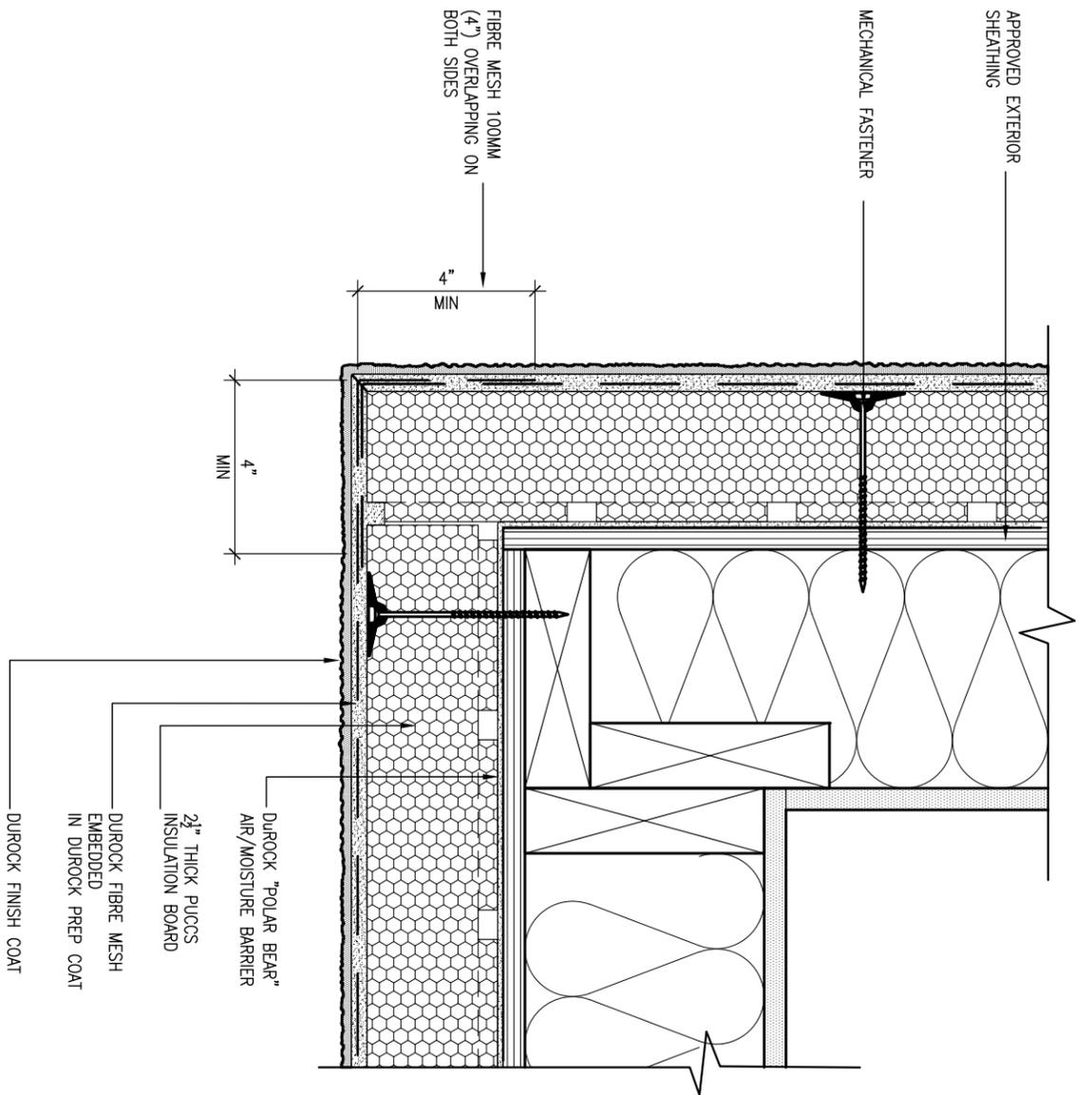
CONST NOTE

CONSTRUCTION NOTES

CN3

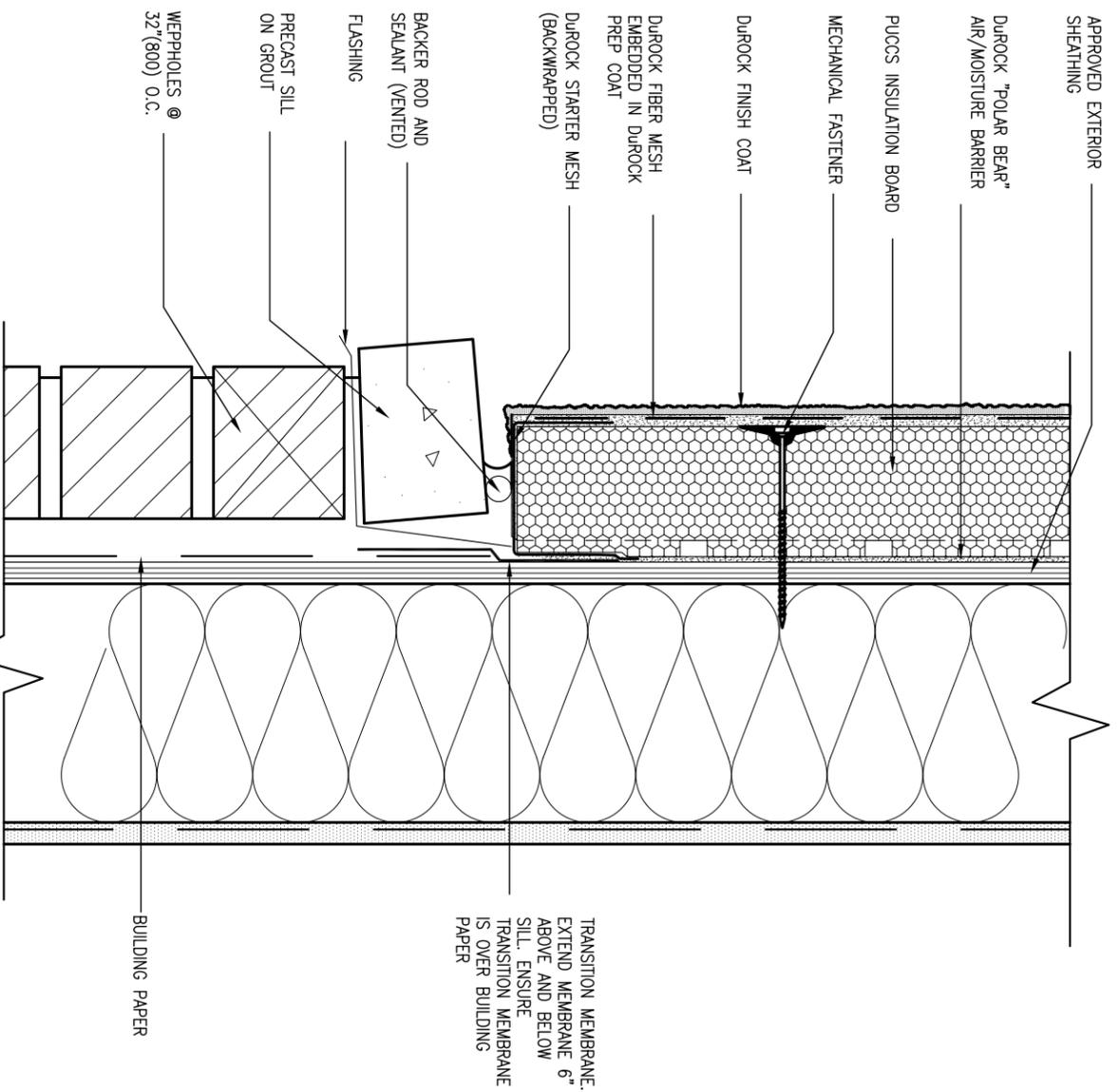
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5 CORNER DETAIL
CNS SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CNS SCALE: 3"=1'-0"

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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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Wellington Jno-Baptiste 25591
 name registration information BCIN
 VA3 Design Inc. 42658

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BAYVIEW WELLINGTON project name
GREEN VALLEY EAST municipality
 BRADFORD

project no. 16023

date MAY 2016
 drawn by RC
 checked by - scale 3/16" = 1'-0"
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CONST NOTE

CONSTRUCTION NOTES file name
 16023-CN-2022-A1

CNS drawing no.

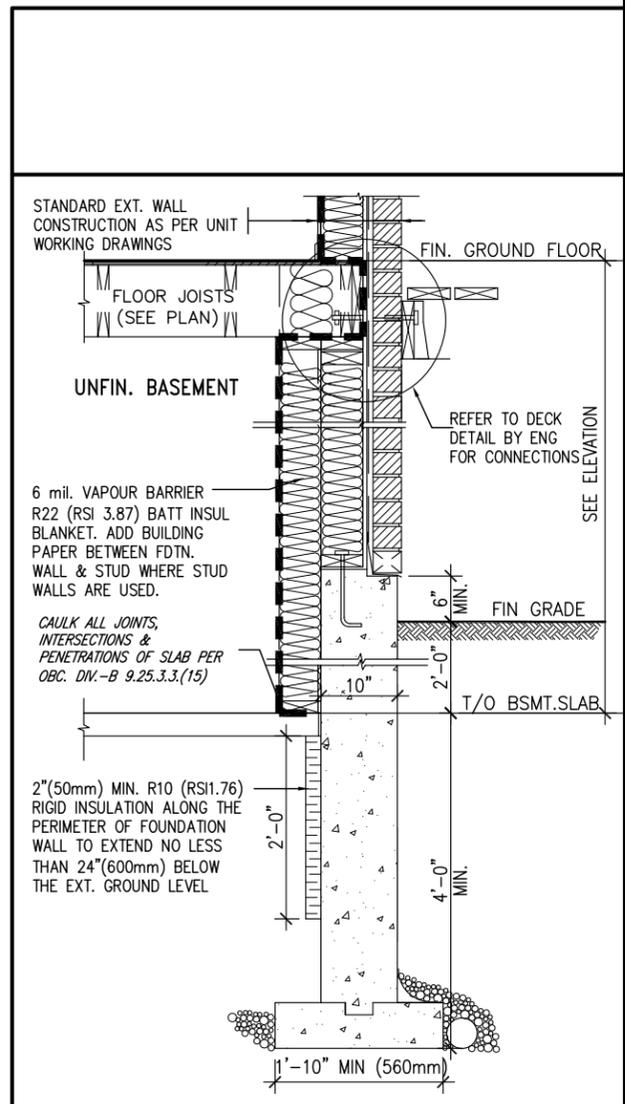
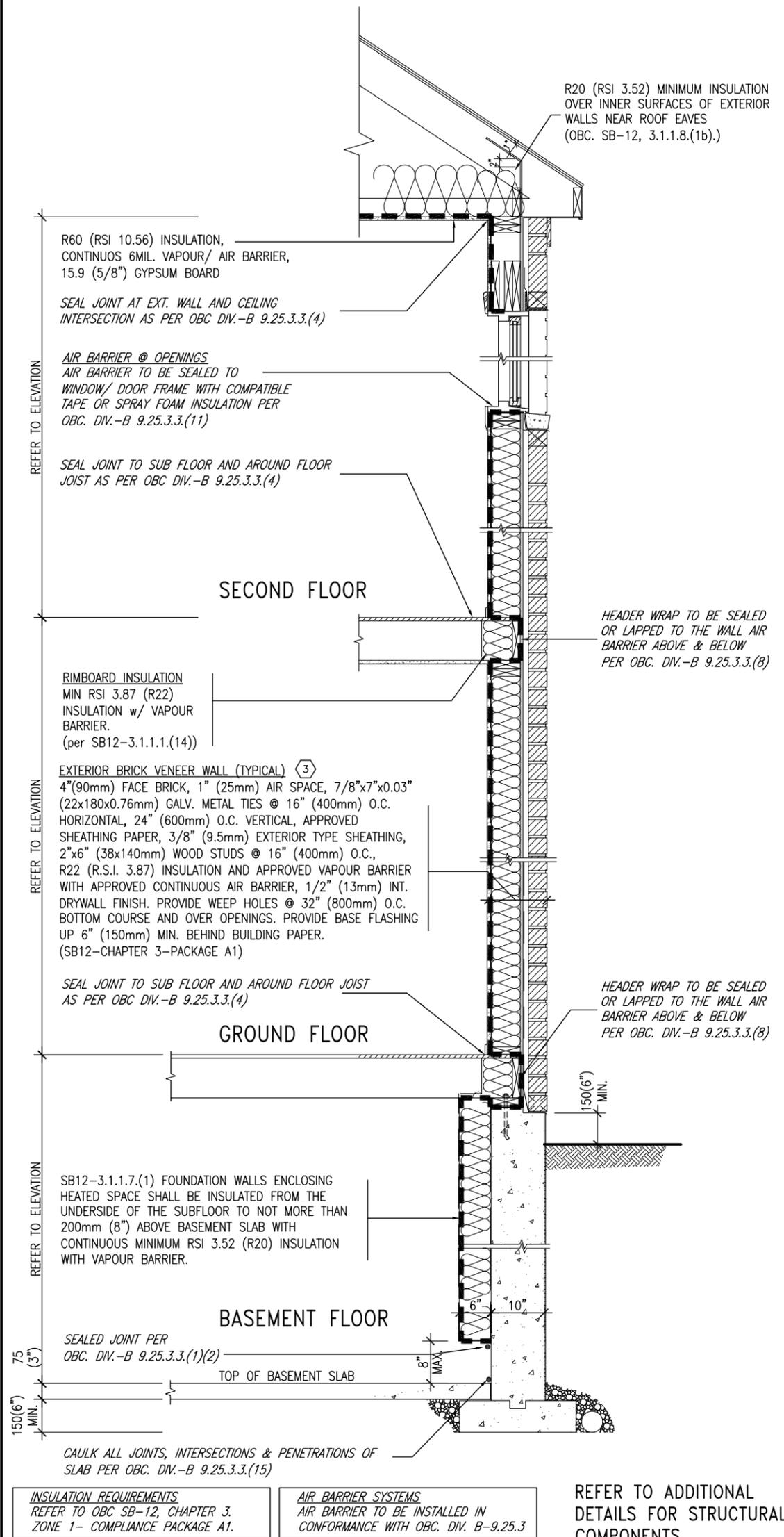
SB12-COMPLIANCE PACKAGE 'A1'

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.	

ci- Denotes Continuous Insulation without framing interruption.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

no.	description	date	by
9			
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

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qualification information
Wellington Jno-Baptiste 25591
 name
 signature
 BCIN
 registration information
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST** municipality: **BRADFORD** project no.: **16023**

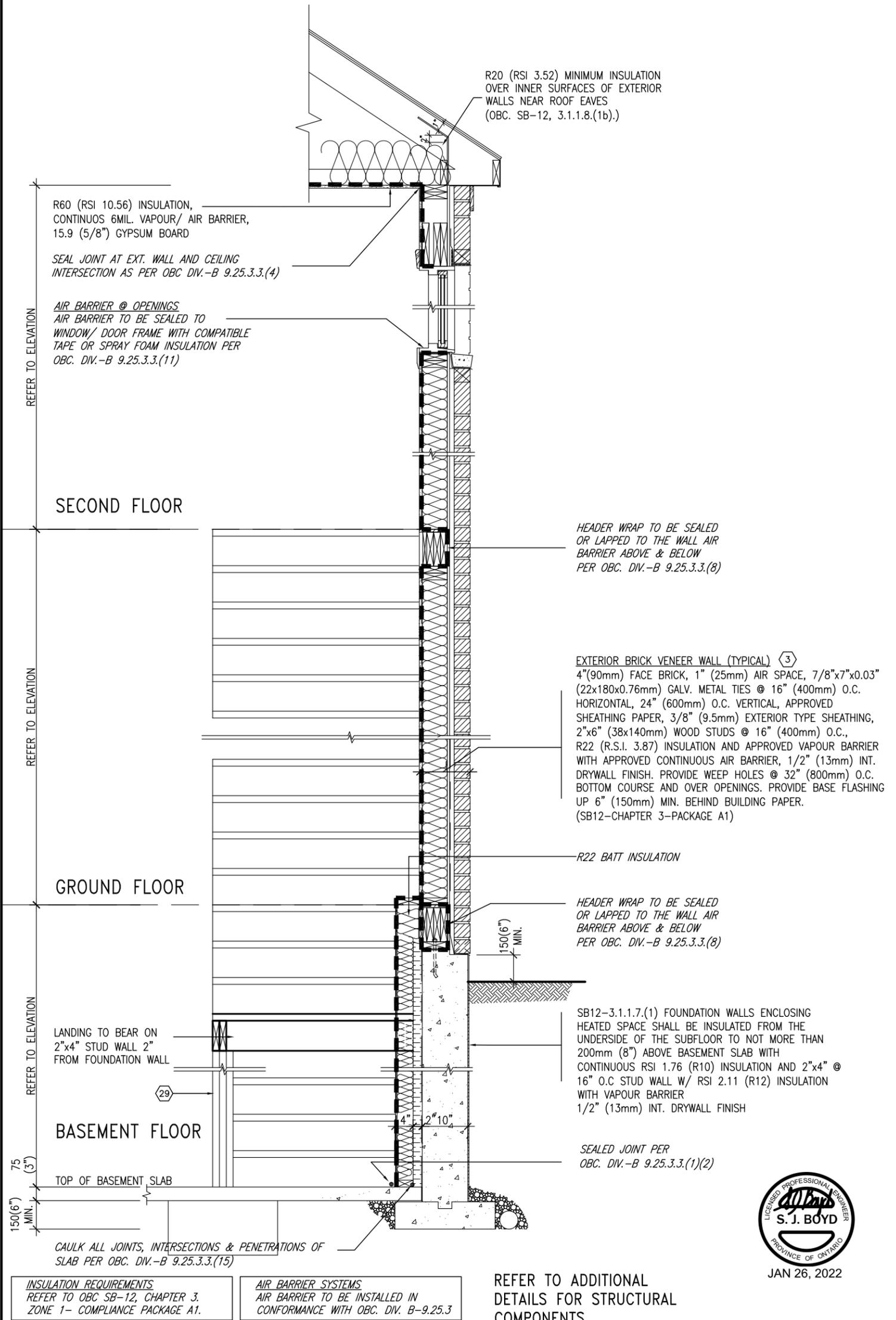
date: **MAY 2016** checked by: **RC** scale: **3/16" = 1'-0"** drawing no.: **CN6**

CONST NOTE

CONSTRUCTION NOTES
 16023-CN-2022-A1

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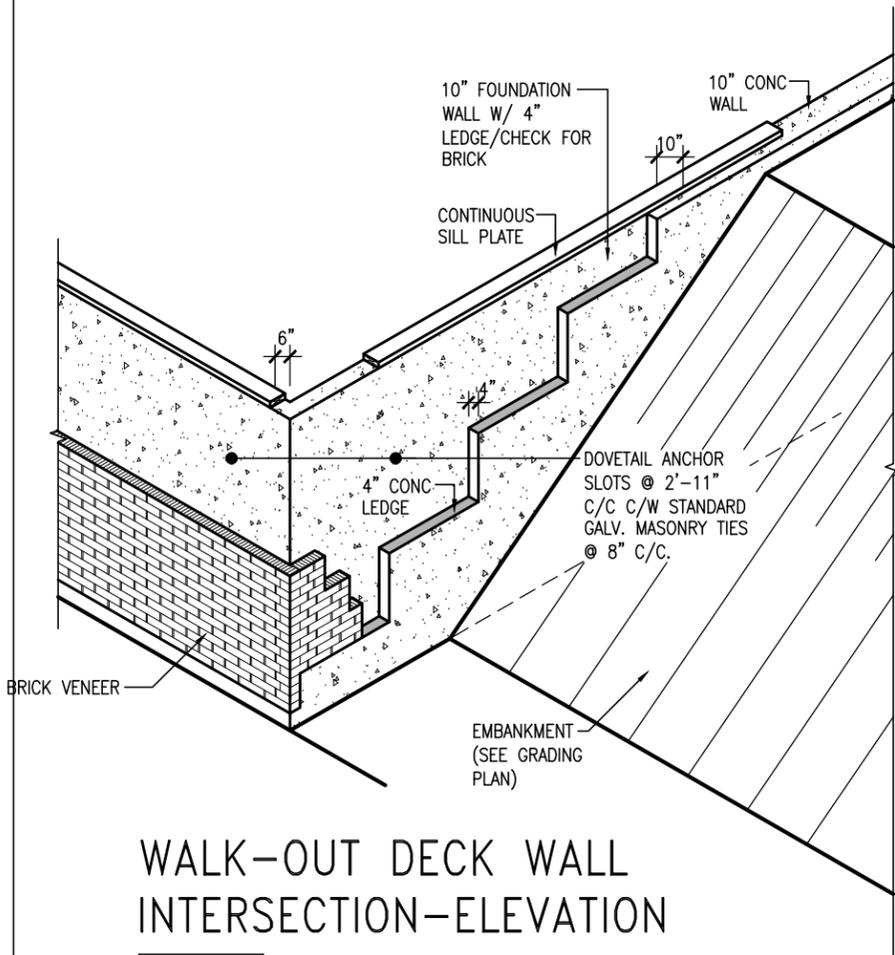
SB12-COMPLIANCE PACKAGE 'A1'



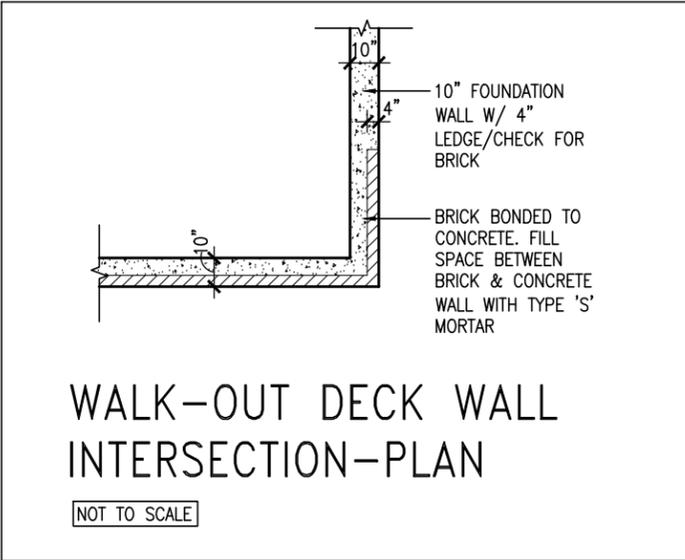
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p>BAYVIEW WELLINGTON</p> <p>project name GREEN VALLEY EAST</p> <p>date MAY 2016</p> <p>drawn by RC</p> <p>checked by -</p> <p>scale 3/16" = 1'-0"</p>	<p>CONST NOTE</p> <p>project no. 16023</p> <p>file name 16023-CN-2022-A1</p> <p>drawing no. CN7</p>
8	.	.	<p>name Wellington Jno-Baptiste</p> <p>registration information VA3 Design Inc.</p> <p>BCIN 42658</p>			
7	.	.	<p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>			
6	.	.	.			
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4	UPDATE TO 2022	JAN 11-22	RC			
3	UPDATE TO 2020	FEB 24-20	RC			
2	UPDATE TO 2018	JAN 11-18	RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			

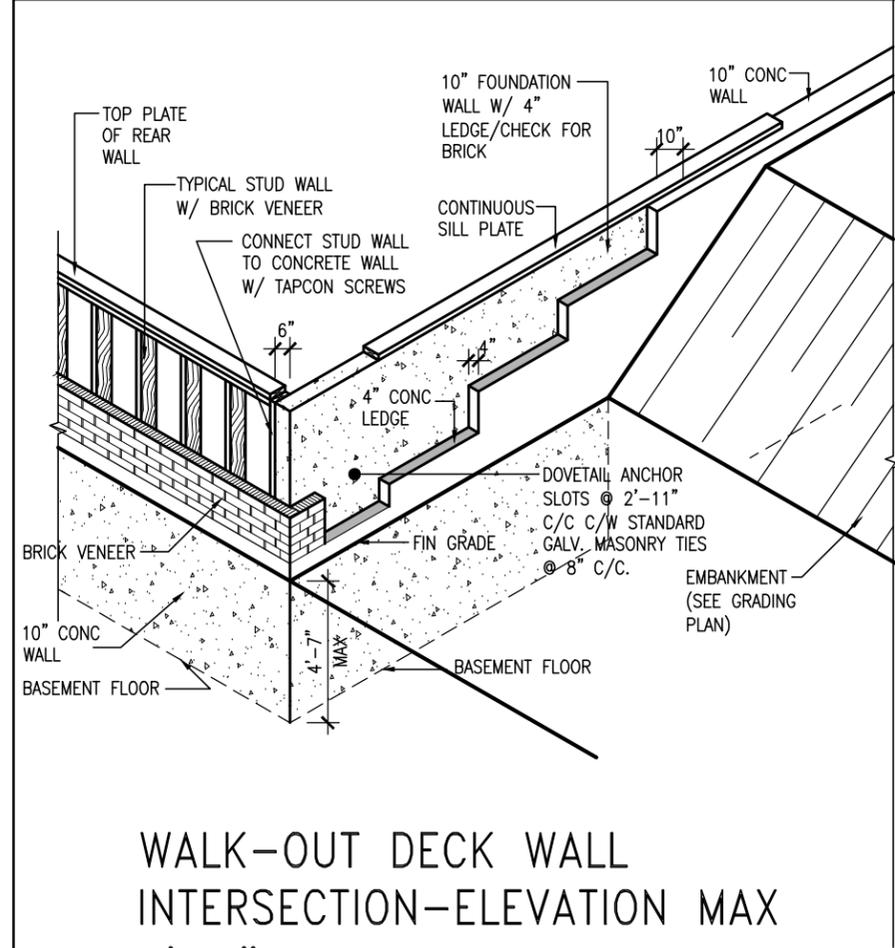
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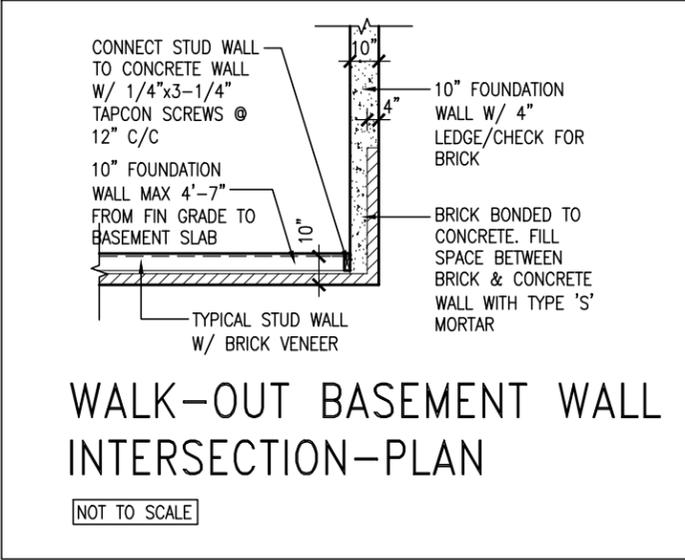
WALK-OUT DECK WALL INTERSECTION-ELEVATION
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL
NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



9			
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4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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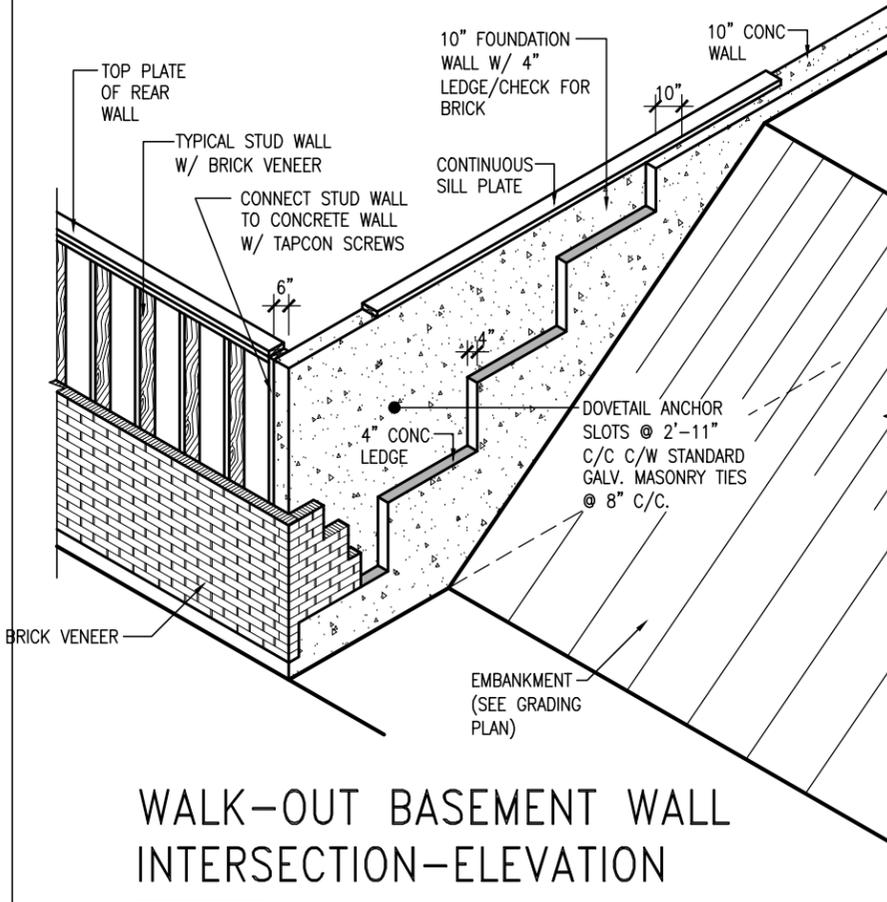
Wellington Jno-Baptiste 25591
 name registration information BCIN
 VA3 Design Inc. 42658

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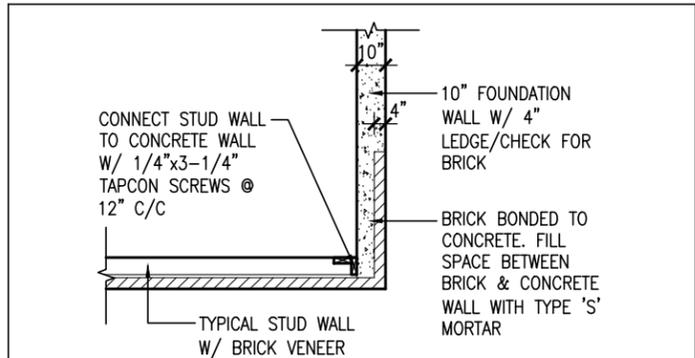
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BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	16023
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	16023-CN-2022-A1
		drawing no.	CN10
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WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

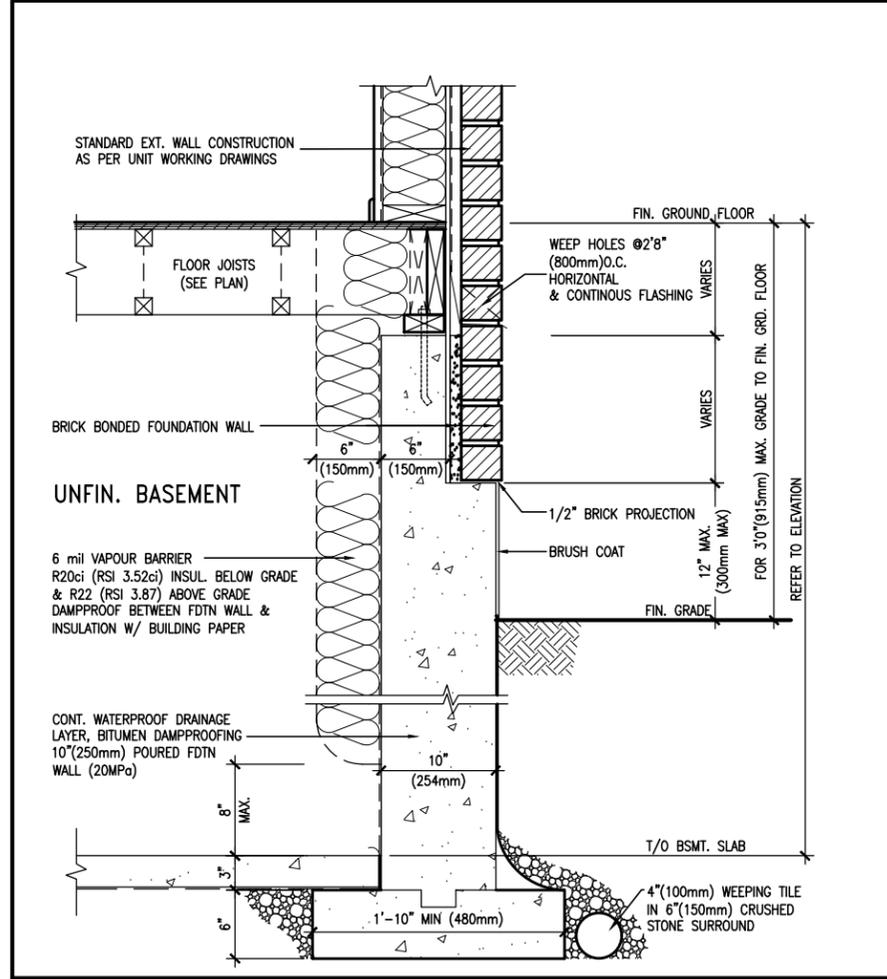
NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

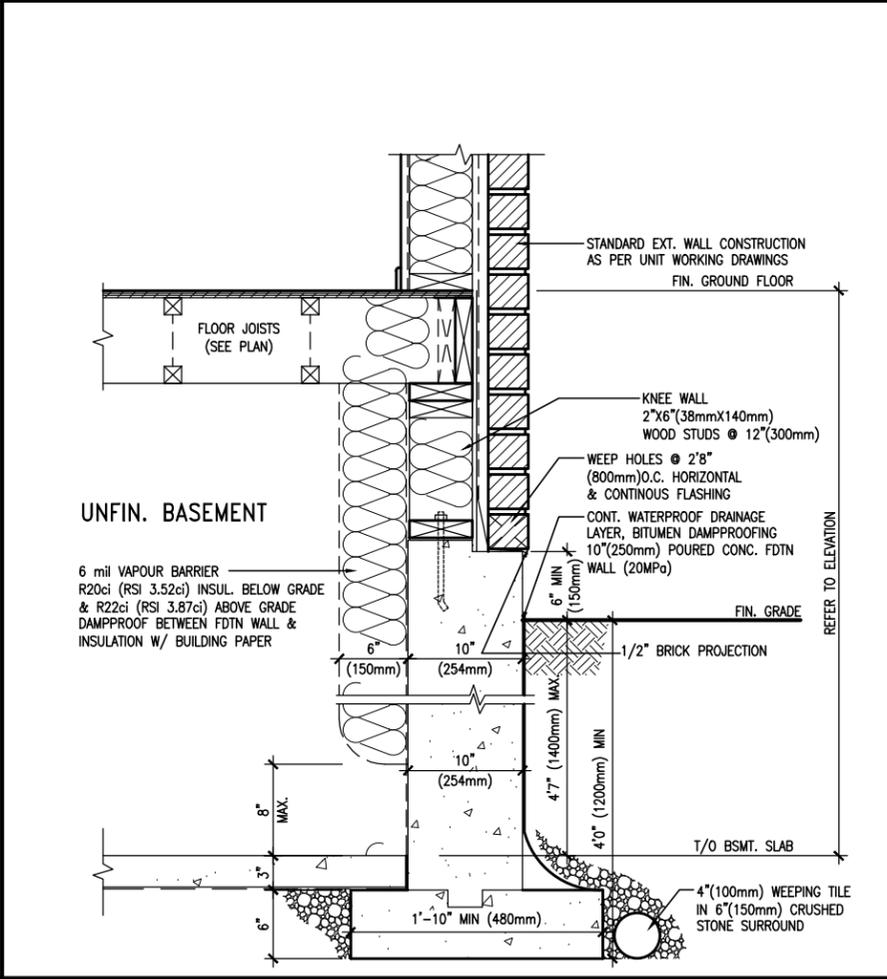
(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN. FLOOR MORE THAN 4'7" (1400mm) HEIGHT DIFFERENCE

EW3.06x
PKG A1

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT SLAB 4'7" (1400mm) MAX. HEIGHT DIFFERENCE

EW3.07x
PKG A1

SCALE: N.T.S.



JAN 26, 2022

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4	UPDATE TO 2022	JAN 11-22	RC
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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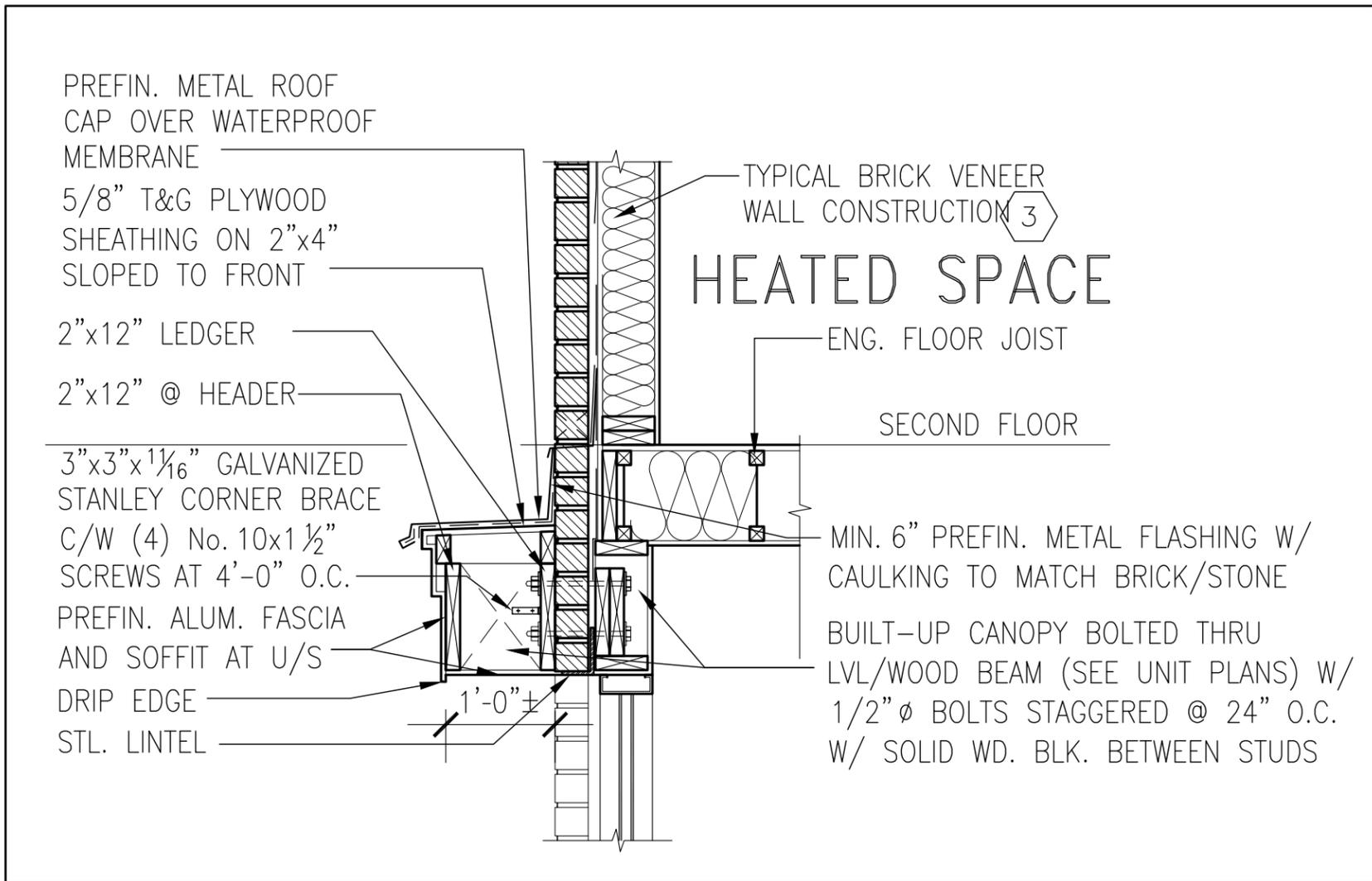
Wellington Jno-Baptiste 25591
 name BCIN
 registration information
 VA3 Design Inc. 42658

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project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016	checked by	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
drawn by RC			drawing no. CN11
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CN12

SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



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4	UPDATE TO 2022	JAN 11-22	RC
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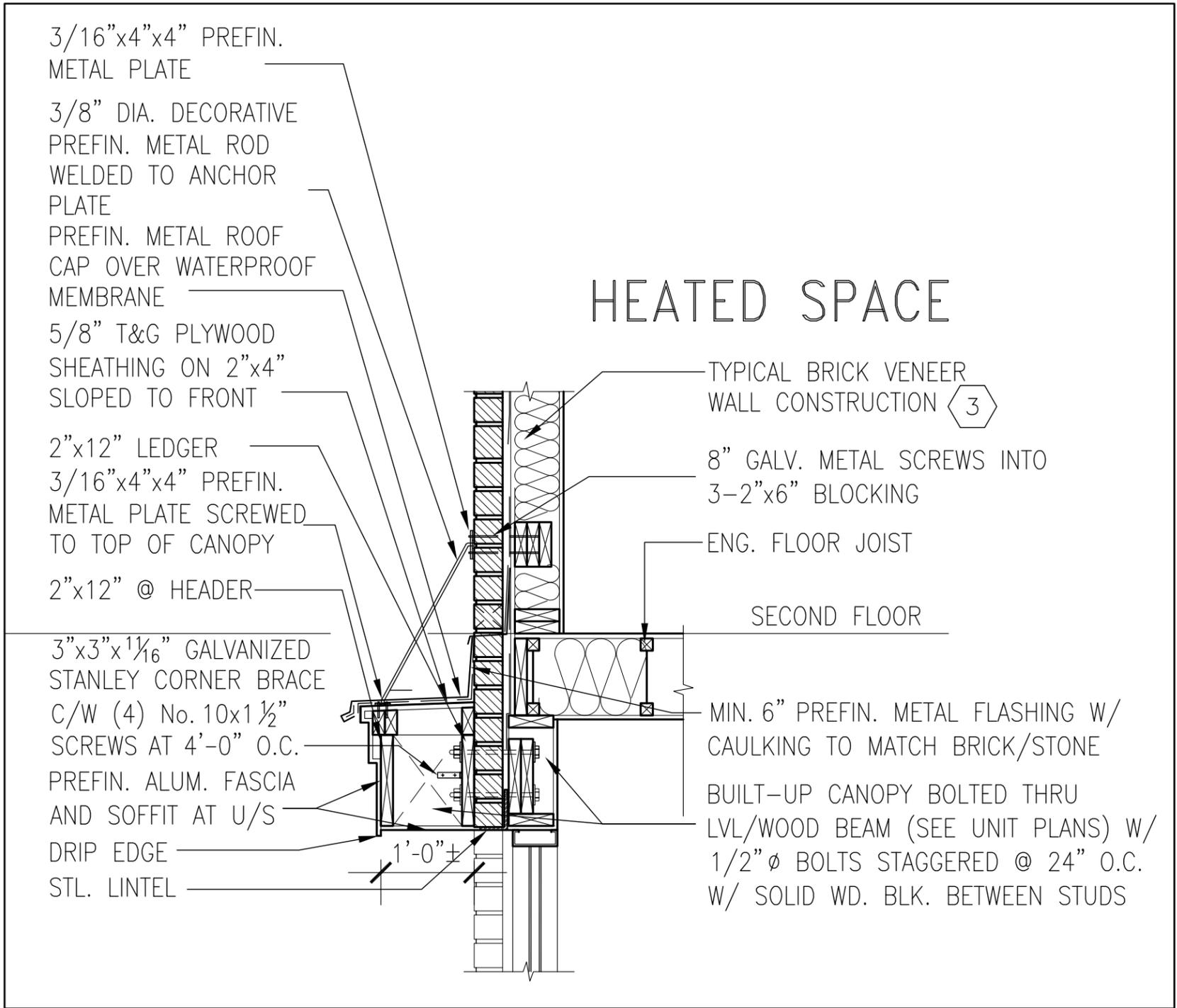
qualification information
Wellington Jno-Baptiste 25591
 name registration information BCIN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 16023-CN-2022-A1
CONSTRUCTION NOTES			drawing no. CN12
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM			



1
CN13

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON	CONST NOTE	
8	.	.	.	qualification information				
7	.	.	.	Wellington Jno-Baptiste 25591		municipality BRADFORD	project no. 16023	
6	.	.	.	name registration information VA3 Design Inc. 42658				
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	project name GREEN VALLEY EAST	date MAY 2016	CONSTRUCTION NOTES 16023-CN-2022-A1	
4	UPDATE TO 2022	JAN 11-22	RC		drawn by RC	checked by -	scale 3/16" = 1'-0"	drawing no. CN13
3	UPDATE TO 2020	FEB 24-20	RC		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	file name 16023-CN-2022-A1	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-2022-A1.dwg - Wed - Jan 26 2022 - 12:09 PM	
2	UPDATE TO 2018	JAN 11-18	RC					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by					

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER

3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1/16" GALVANIZED
STANLEY CORNER BRACE

C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE

STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

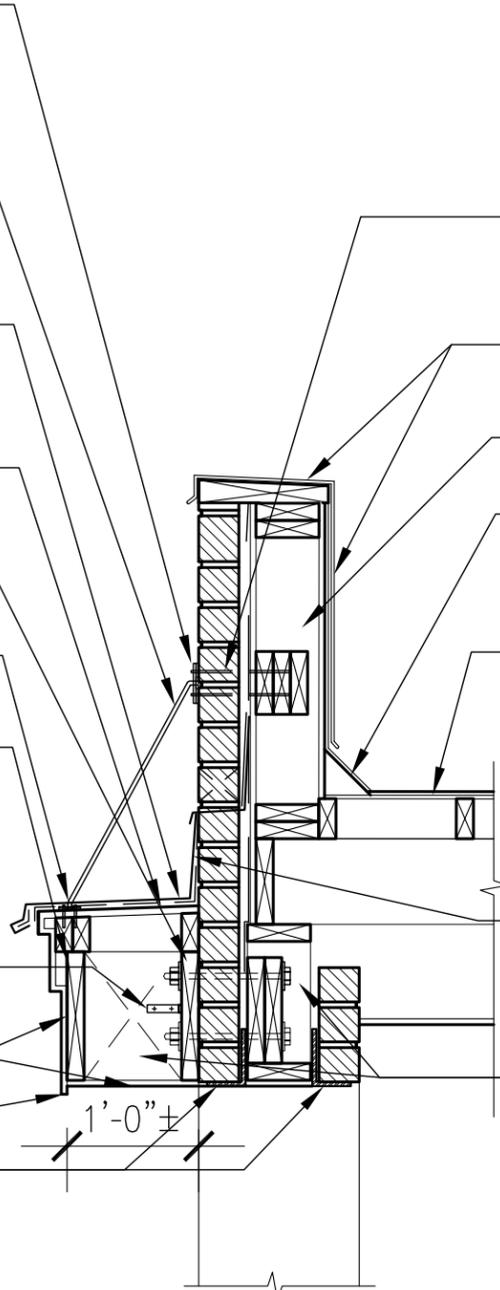
CANT STRIP

ROOF NOTE R1

SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS



1
CN14

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



JAN 26, 2022

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	UPDATE TO 2022	JAN 11-22	RC
3	UPDATE TO 2020	FEB 24-20	RC
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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VA3 DESIGN

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CONSTRUCTION NOTES			drawing no. CN14